

ROCKLAND COUNTY SEWER DISTRICT NO. 1

4 Route 340
Orangeburg, New York 10962
Phone: (845) 365-6111 Fax: (845) 365-6686
RCSD@co.rockland.ny.us

George Hoehmann
Chairman

Michael R. Saber, P.E.
Assistant Director/Acting Executive Director

March 27, 2020

Ms. Deborah Arbolino
Town of Orangetown Zoning Board of Appeals
20 South Greenbush Road
Orangeburg, NY 10962



Re: Ben Wiley
161 Old Middletown Road, Pearl River
Tax Lot 89/69.17-1-26 (formerly 40-9-102.15)

Dear Ms. Arbolino:

Our office has received and reviewed an architectural drawing that was last revised on January 28, 2020, which John J. Gilchrist, AIA prepared for the above referenced project. We thank you for the opportunity to comment on this application. Our comments are as follows:

1. Rockland County Sewer District No. 1 does not object to the plan as shown. This project does not affect any sanitary sewers within the District. We request no future correspondence for this site.

Please inform us if any developments in this project change to affect the District. If you have any questions, please contact this office at 845-365-6111.

Very truly yours,

A blue ink handwritten signature that reads "Joseph LaFiandra".

Joseph LaFiandra
Engineer II

cc: M. Saber
Helen Kenny-Burrows – Rockland County Department of Planning

File: TOO 69.17-1-26 – 161 Old Middletown Road
Reader

March 12, 2020

To: Deborah Arbolino
Clerk to the Zoning Board of Appeals
Town of Orangetown

From: Arlene Miller
Principal Planner
Rockland County Planning Department

Re: Ben Wiley
161 Old Middletown Road
Pearl River, NY



MEMORANDUM

We are returning the enclosed application for Ben Wiley, 161 Old Middletown Road, Pearl River, NY, which is appearing before the Zoning Board of Appeals, April 1, 2020, because this parcel is outside of our area of jurisdiction, as it is not within 500 feet of any State or County facility.

Thank you.

Wiley

Debbie Arbolino

From: Dyan Rajasingham <RajasinD@co.rockland.ny.us>
Sent: Tuesday, March 03, 2020 8:55 AM
To: Debbie Arbolino; Cheryl Coopersmith
Cc: Arena, Joseph
Subject: Site Plan Review for 161 Old Middletown Road in Pearl River NY 10965 (Tax Lot # 69.17-1-26)

Good Morning All,

The proposed work in the parcel is out of the jurisdiction of the RC Highway Department and has no comments.

Thank you.

Dyan Rajasingham
Rockland County Highway Department

Ph. 845 638 5060

Law Office of John J. Tormey III, Esq.
John J. Tormey III, PLLC
1636 Third Avenue, PMB 188
New York, NY 10128 USA
(212) 410-4142 (phone)
(212) 410-2380 (fax)
jtormey@optonline.net

John J. Tormey III & Katherine Elizabeth (Kate) Tormey
157 Old Middletown Road
Pearl River, NY 10965 USA
(845) 735-9691 (phone and voicemail)

Tuesday, March 10, 2020

VIA U.S. MAIL and E-MAIL:

darbolino@orangetown.com
Ms. Debbie Arbolino, Administrative Aide & Mr. Daniel Sullivan, Chair
Mr. Thomas Quinn Sr., Ms. Patricia Castelli, Mr. Robert Bonomolo Jr., and Mr. Michael Bosco
Zoning Board of Appeals, Town of Orangetown
20 Greenbush Road
Orangeburg, NY 10962 USA

VIA U.S. MAIL and E-MAIL:

OBZPAE@orangetown.com
Town of Orangetown
Office of Building, Zoning, Planning, Administration & Enforcement
20 Greenbush Road
Orangeburg, NY 10962 USA

Re:

**161 Old Middletown Road, Pearl River – The Home of Ben & Stacy Wiley (“Wiley Residence”)
Hearing Currently Scheduled For April 1, 2020**

Dear Ms. Arbolino, Mr. Sullivan, Mr. Quinn, Ms. Castelli, Mr. Bonomolo, and Mr. Bosco:

My wife Kate Tormey and I live in the Pearl River house directly adjacent to and in close proximity to the north of the above-described Wiley Residence.

We are in **support** of the proposed two-story addition (“Addition”) which the Wiley family intends to add to the Wiley Residence during the period of April 2020 through July 2020 (Spring and Summer 2020), with the following further understanding from my conversations with Mr. Wiley:

1. The Addition. The Addition of approximately 360 square feet is intended to be added to the rear and southern side of the Wiley Residence, consisting of a dining room and den on the first floor, a new master bedroom and child’s bedroom on the second floor, and a wrap-around porch to replace their current front porch. The current plans therefor as furnished to me by Mr. Wiley, are annexed hereto for convenience of reference purposes as Exhibit “A”.

RECEIVED

MAR 19 2020

TOWN OF ORANGETOWN
BUILDING DEPARTMENT

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2. Safety Concerns. To assuage my safety-related concerns mindful of the close proximity of the houses, Mr. Wiley has assured me that throughout the course of the work, his contractors will carefully observe: (a) all fire-related regulations and fire-related precautions otherwise, as well as (b) all available measures to protect and preserve the large living tree between our respective houses as well as its root-system.

3. No Conveyance. Naturally, as further assured to me by Mr. Wiley: (a) all property borders will continue to be observed by the Wiley residence and its inhabitants, and are not affected in any way by this Letter of Support, (b) no easement, servitude, covenant, or other property interest should ever be deemed to be herein or hereby conveyed or acknowledged as such, (c) all "zoning code", "town code", and other applicable laws, rules, and regulations will continue to be observed by the Wiley residence and its inhabitants (as adopted by the Town Board of the Town of Orangetown 7-7-1969 by L.L. No. 4-1969, published 7-10-1969, *as amended*, including without limitation "Chapter 43: Zoning"), (d) no waiver of any right or interest shall be deemed accorded or otherwise inferred as a result of this Letter of Support, and (e) neither my wife nor I take or bear any responsibility ourselves, individually or collectively, for the building, maintenance, or compliance of the Addition or the Wiley Residence.

Please do not hesitate to contact me directly, if you require any further information from me. Thank you.

Very truly yours,



John J. Tormey III, Esq.

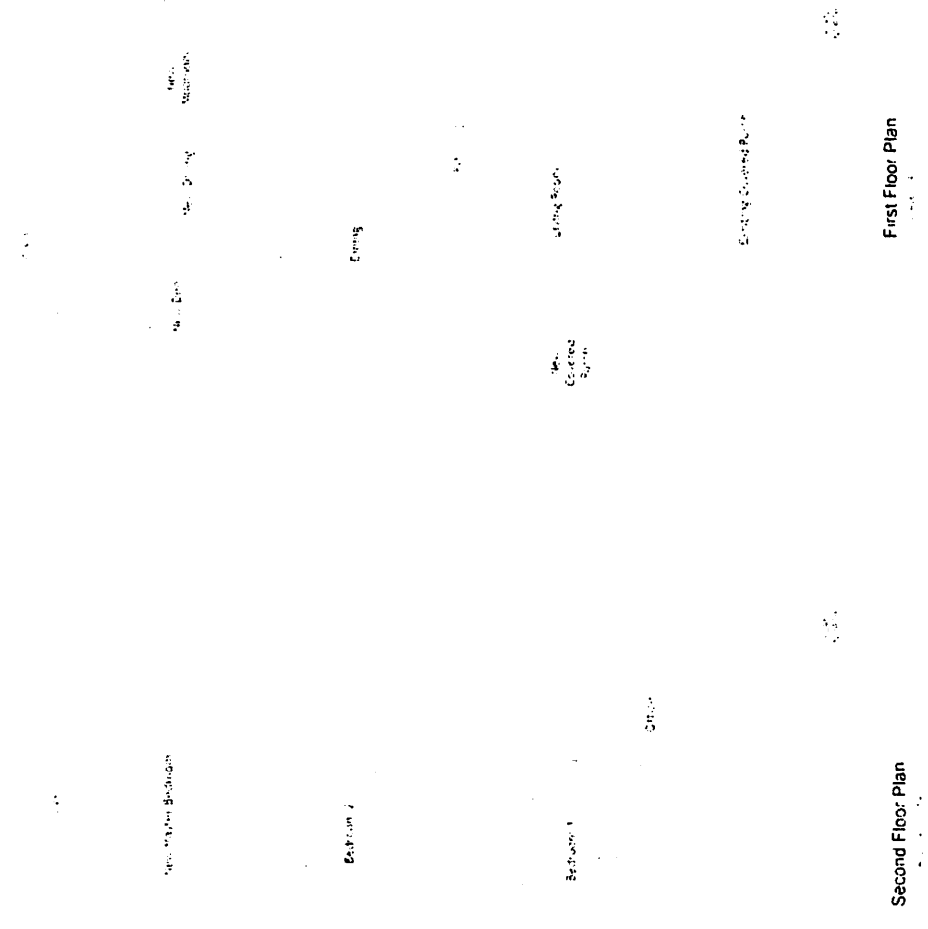
BEN & STACY WILEY ARCHITECT
 1400 S. 10th Street
 Phoenix, AZ 85006
 Phone: 602.254.1111
 Fax: 602.254.1112
 Email: info@benandstacy.com

Project No.	14-110
Client	Ben & Stacy Wiley
Address	1400 S. 10th Street, Phoenix, AZ 85006
City	Phoenix, AZ
State	AZ
Country	USA
Scale	1/8" = 1'-0"
Revision	
Date	10/16/12

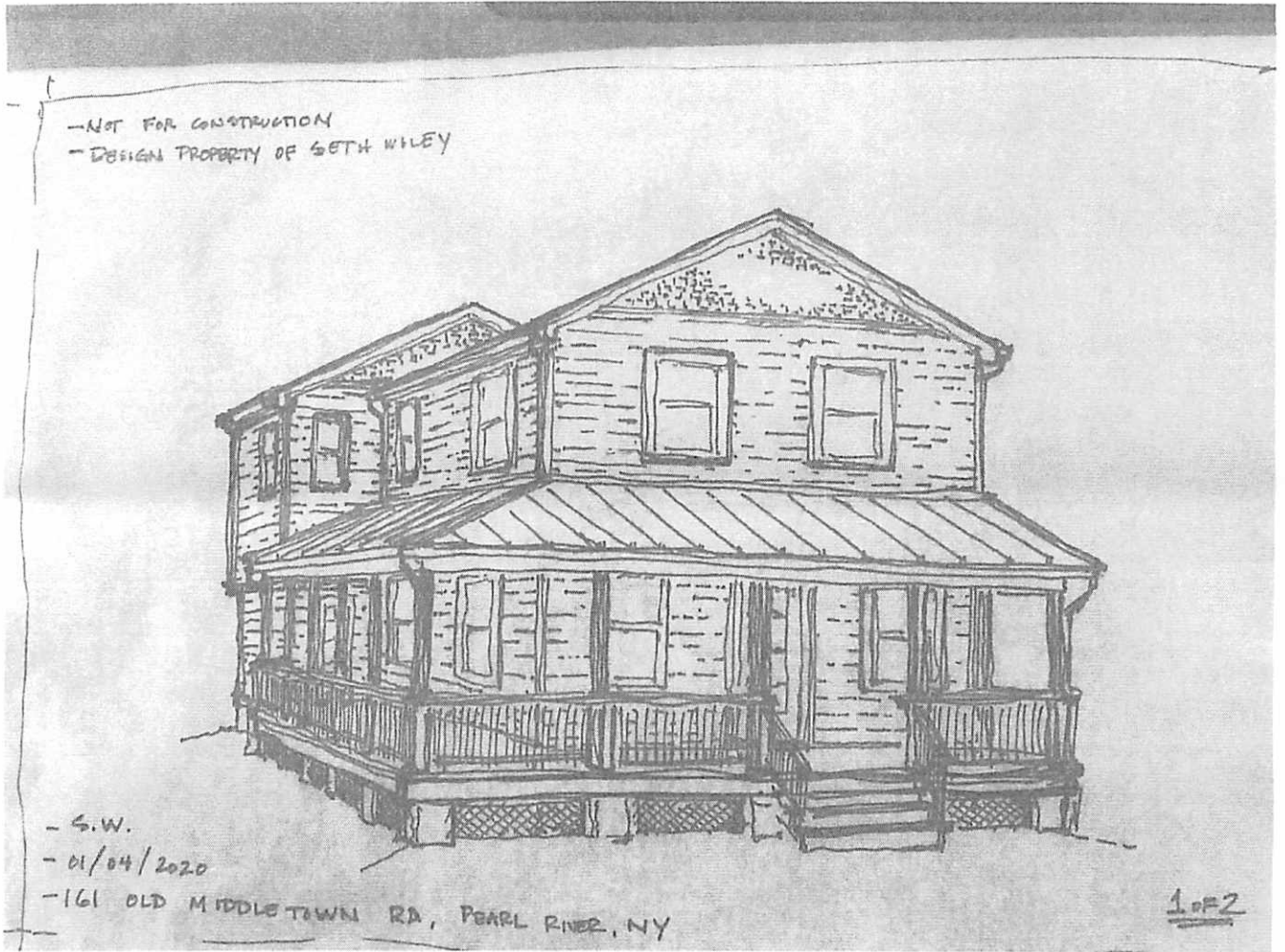
Ben & Stacy Wiley
 Architects
 1400 S. 10th Street
 Phoenix, AZ 85006
 Phone: 602.254.1111
 Fax: 602.254.1112
 Email: info@benandstacy.com

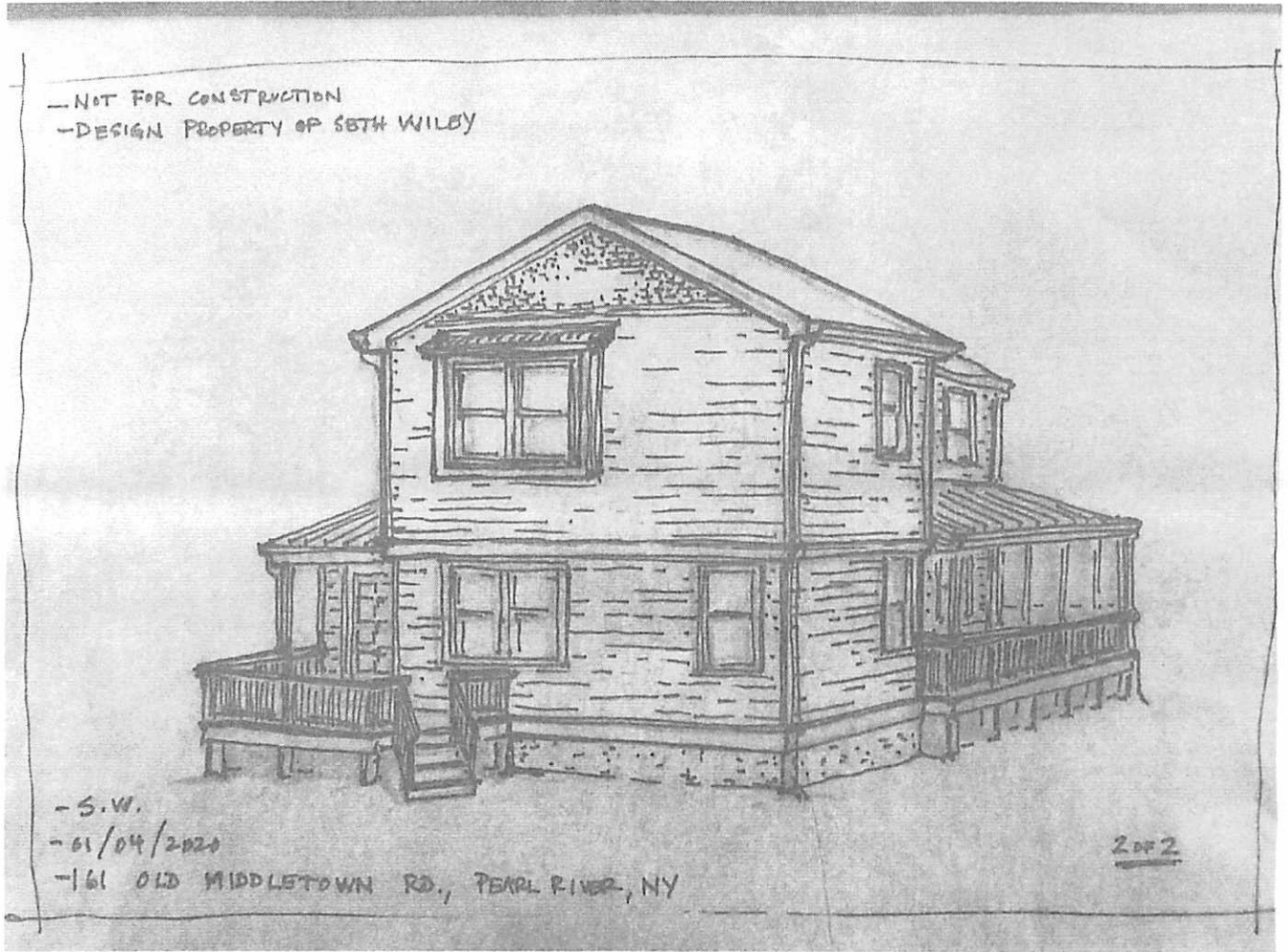
Floor Plans

John J. Gilchrist
 Architect
 1400 S. 10th Street
 Phoenix, AZ 85006
 Phone: 602.254.1111
 Fax: 602.254.1112
 Email: info@benandstacy.com



Burmpop No. 528
EXHIBIT
A





John J. Tormey III, Esq.

From: John J. Tormey III, Esq. <jtormey@optonline.net>
Sent: Sunday, March 15, 2020 4:45 PM
To: 'darbolino@orangetown.com'
Cc: 'OBZPAE@orangetown.com'
Subject: Tuesday, March 10, 2020 - 161 Old Middletown Road, Pearl River, NY - The Home of Ben & Stacy Wiley ("Wiley Residence") - Hearing Currently Scheduled For April 1, 2020.
Attachments: WILEY SUPPORT LETTER.pdf

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Tuesday, March 10, 2020

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darbolino@orangetown.com

Ms. Debbie Arbolino, Administrative Aide & Mr. Daniel Sullivan, Chair
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Zoning Board of Appeals, Town of Orangetown
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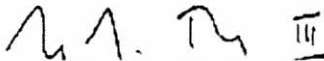
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<https://www.tormey.org>

Martindale-l

