

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2020 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial <input type="checkbox"/> Planning Board <input checked="" type="checkbox"/> Zoning Board of Appeals <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use <input type="checkbox"/> Special Permit <input type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Historical Board <input type="checkbox"/> Architectural Board <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input type="checkbox"/> Final <input type="checkbox"/> Interpretation
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PERMIT#: _____

ASSIGNED _____

INSPECTOR: _____

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: Valentine Deck *Meaghan & Billy Valentine*

Street Address: 9 Buttonwood Place
Blauvelt NY 10913

Tax Map Designation:
 Section: 69.20 Block: 1 Lot(s): 47
 Section: _____ Block: _____ Lot(s): _____

Directional Location:
 On the South side of Buttonwood Place, approximately
10 feet West of the intersection of Swannekin Road, in the
 Town of ORANGETOWN in the hamlet/village of Blauvelt.

Acreage of Parcel _____ School District <u>SOCSD</u> Ambulance District _____ Water District _____	Zoning District <u>R-15</u> Postal District _____ Fire District _____ Sewer District _____
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Project Description: *(If additional space required, please attach a narrative summary.)*
Installation of a rear deck

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
 Date: _____ Applicant's Signature: _____

APPLICATION REVIEW FORM

Applicant: Billy D. Valentine Phone # (845) 216-3604

Address: 9 Buttonwood Place Blauvelt NY 10913
Street Name & Number (Post Office) City State Zip Code

Property Owner: Billy D. Valentine Phone # (845) 216-3604

Address: 9 Buttonwood Place Blauvelt NY 10913
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: Kier B. Levesque Phone # 845-358-2359

Address: 49 Third Avenue Nyack NY 10960
Street Name & Number (Post Office) City State Zip Code

Attorney: _____ Phone # _____

Address: _____
Street Name & Number (Post Office) City State Zip Code

Contact Person: Billy D. Valentine Phone # (845) 216-3604

Address: 9 Buttonwood Place Blauvelt NY 10913
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

_____ State or County Road
_____ Long Path
_____ Municipal Boundary

_____ State or County Park
_____ County Stream
_____ County Facility

List name(s) of facility checked above:

Referral Agencies:

_____ RC Highway Department
_____ RC Drainage Agency
_____ NYS Dept. of Transportation
_____ NYS Thruway Authority
_____ Adjacent Municipality _____
_____ Other _____

_____ RC Division of Environmental Resources
_____ RC Dept. of Health
_____ NYS Dept. of Environmental Conservation
_____ Palisades Interstate Park Commission

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type:

Project History:

Has this project ever been reviewed before? ^{No} _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 Greenbush Road
Orangeburg, N.Y. 10962

*Called
Boj in
8 more plans
May 4, 2020*

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO ZONING BOARD OF APPEALS

Date: January 14, 2020

Applicant: Valentine

Address: 9 Buttonwood Pl, Blauvelt, NY

RE: Application Made at: same

Chapter 43, Table 3.12, Column 1 R-15, Column 2 Group M, Column 3 SFR, Column 11 Min Rear Yard 35' with 30.4' proposed

One Variance required

Section: 69.20 Block: 1 Lot: 47

Dear Valentine:

Please be advised that the Building Permit Application, which you submitted on January 10, 2020, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,

Richard Oliver
Deputy Building Inspector

[Handwritten signature of Richard Oliver]
[Handwritten signature of Deputy]
[Handwritten signature]

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.

APPLICATION FOR BUILDING / DEMOLITION PERMIT
TOWN OF ORANGETOWN

20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

ZONE: <u>R-15</u>	OFFICIAL USE ONLY	ACREAGE: <u>.51</u>
Inspector: <u>Dave</u>	Date App Received: <u>1/10/2020</u>	Received By: <u>LRZ</u>
Permit No. <u>49705</u>	Date Issued: _____	
CO No. _____	Date Issued: _____	
Permit Fee: <u>\$420</u>	Ck# <u>33277</u>	Paid By <u>Valentine Electric, Inc.</u>
GIS Fee: <u>\$20</u>	Ck# <u>3327U</u>	Paid By <u>u</u>
Stream Maintenance Fee	Ck # _____	Paid By _____
Additional Fee: _____	Ck# _____	Date Paid _____
1st 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____
2nd 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____

APPLICANT COMPLETES:

Note: See inside for instructions for completing this application,
PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.

Property Location: 9 Buttonwood Place Blauvelt, NY 10913

Section: 69.20 **Block:** 1 **Lot:** 47

Property Owner: Bill Valentine

Mailing Address: 9 Buttonwood Place Blauvelt, NY 10913

Email: billydvalentine@gmail.com **Phone #:** 845-216-3604

Lessee (Business Name): _____

Mailing Address: _____

Email: _____ **Phone #:** _____

Type of Business /Use: _____

Contact Person: Billy Valentine **Relation to Project:** owner

Email: _____ **Phone#:** 845-216-3604

Architect/Engineer: Kier B. Levesque **NYS Lic #** 15,938

Address: 49 Third Ave Nyack, Ny 10960 **Phone#:** 845-358-2359

Builder/General Contractor: Larvik Contracting & Construction **RC Lic #** H-10118

Address: 117 McNamara Rd. Wesley Hills, NY 10977 **Phone#:** _____

Plumber: Homeowner Billy D. Valentine **RC Lic #** _____

Address: 9 Buttonwood Place Blauvelt, NY **Phone#:** 845-216-3604

Electrician: Valentine Electric Inc. **RC Lic #:** E-384

Address: 374 Greenbush Road Blauvelt, NY 10913 **Phone#:** 845-398-1339

Heat/Cooling: _____ **RC Lic#:** _____

Address: _____ **Phone#:** _____

Existing use of structure or land: single family

Proposed Project Description: construct a rear deck

Proposed Square Footage: 386 **Estimated Construction Value (\$):** 15,000.00

BUILDING DEPARTMENT COMPLETES BELOW

PLANS REVIEWED: _____

PERMIT REFERRED / DENIED FOR: _____

Chapter 43, Title 3.12, Column 1 R-15 District Column 2 Group M, Column 3, SFR, Column 11 Maximum rear yard 35' w/ 30' proposed.

[Signature] Deputy 1/14/19

FOR OFFICE USE ONLY SECTION BLOCK LOT NAME PERMIT#

VALENTINE DECK

9 BUTTONWOOD PLACE BLAUVELT, NY 10913

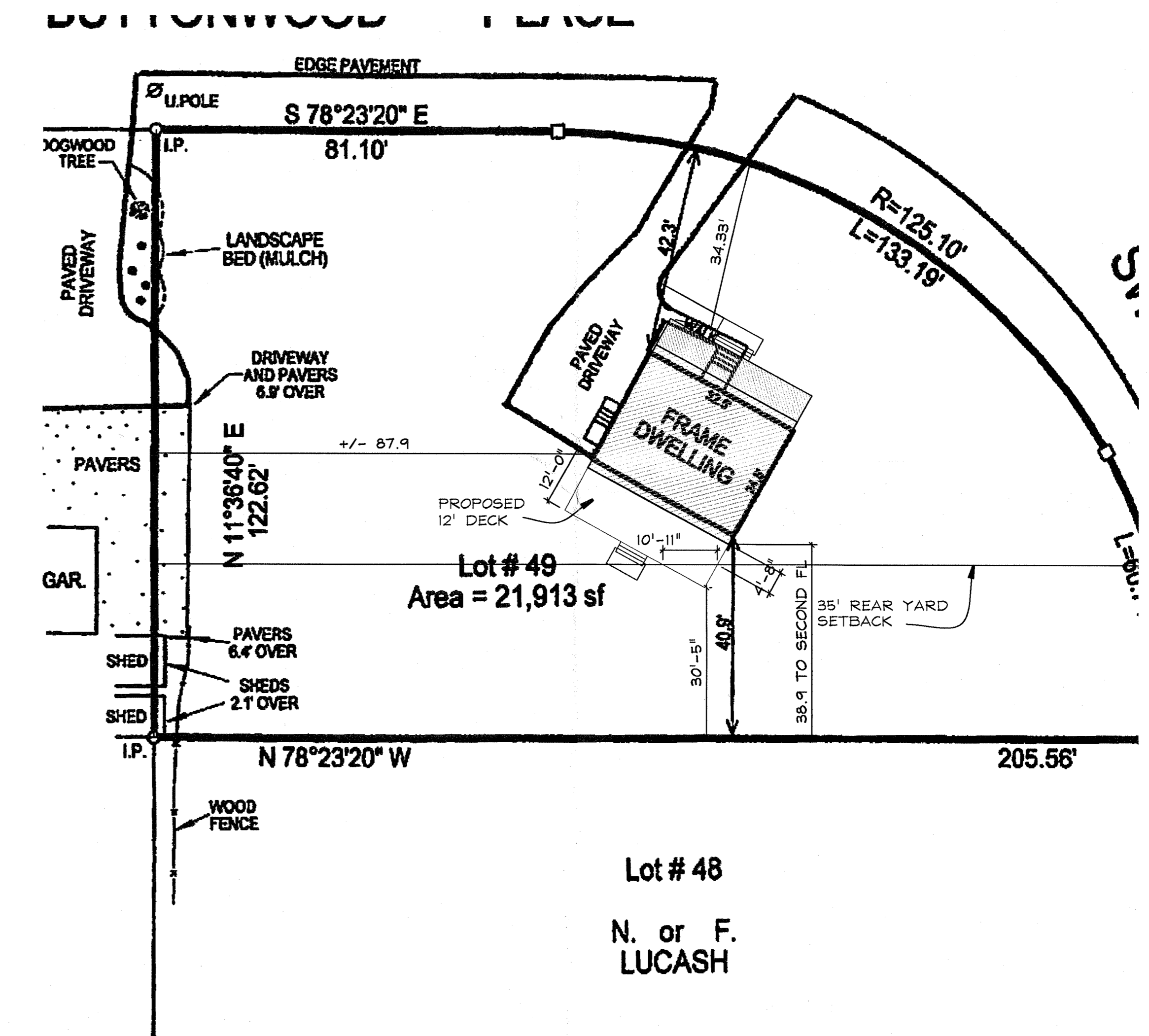
INDEX TO DRAWINGS

- C COVER
- A1 FLOOR PLANS
- A2 ELEVATIONS
- A3 SECTION

BULK REQUIREMENTS			
ZONE DISTRICT: R-15			
USE: M SINGLE - FAMILY RESIDENTIAL			
REQUIREMENTS	REQUIRED	EXISTING	PROPOSED
PRINCIPAL BUILDING:			
LOT AREA, MIN. S.F.	15,000	21,913	NO CHANGE
FAR	.20 (4,383)	.09 (1944)	
WIDTH MIN.	100	295	NO CHANGE
STREET FRONTAGE	75	295	NO CHANGE
FRONT YARD MIN.	30	34.33	NO CHANGE
SIDE YARD MIN.	20	+/- 87.9	NO CHANGE
TOTAL SIDE YARD MIN.	50	NA CORNER LOT	NA
REAR YARD MIN.	35	38.9	30.4**
MAX. BUILDING HEIGHT	12'/PER 1'	18.5'	24.62'

** NON-CONFORMING VARIANCE REQUIRED

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.



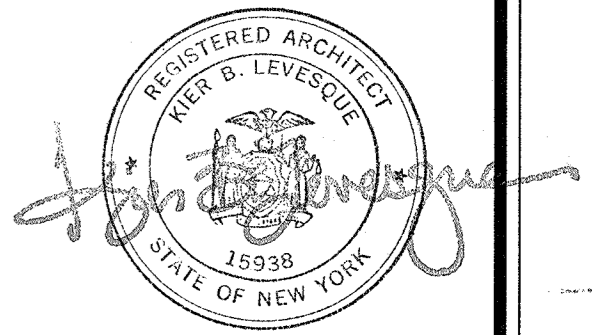
CODE COMPLIANCE	
ALL CONSTRUCTION SHALL COMPLY WITH THE:	
2015 IRC & 2017 NYS SUPPLEMENT	
NATIONAL ELECTRICAL CODE NFPA 70	
2015 IECC ENERGY CONSERVATION CONSTRUCTION CODE	
2015 IFC FIRE CODE	
2015 IPC PLUMBING CODE	
2015 IMC MECHANICAL CODE OF NEW YORK STATE	
OCCUPANCY GROUP: R3	
CONSTRUCTION TYPE: 5b	
SMOKE ALARMS: COMPLY WITH 2015 IRC & 2017 NYS SUPPLEMENT	

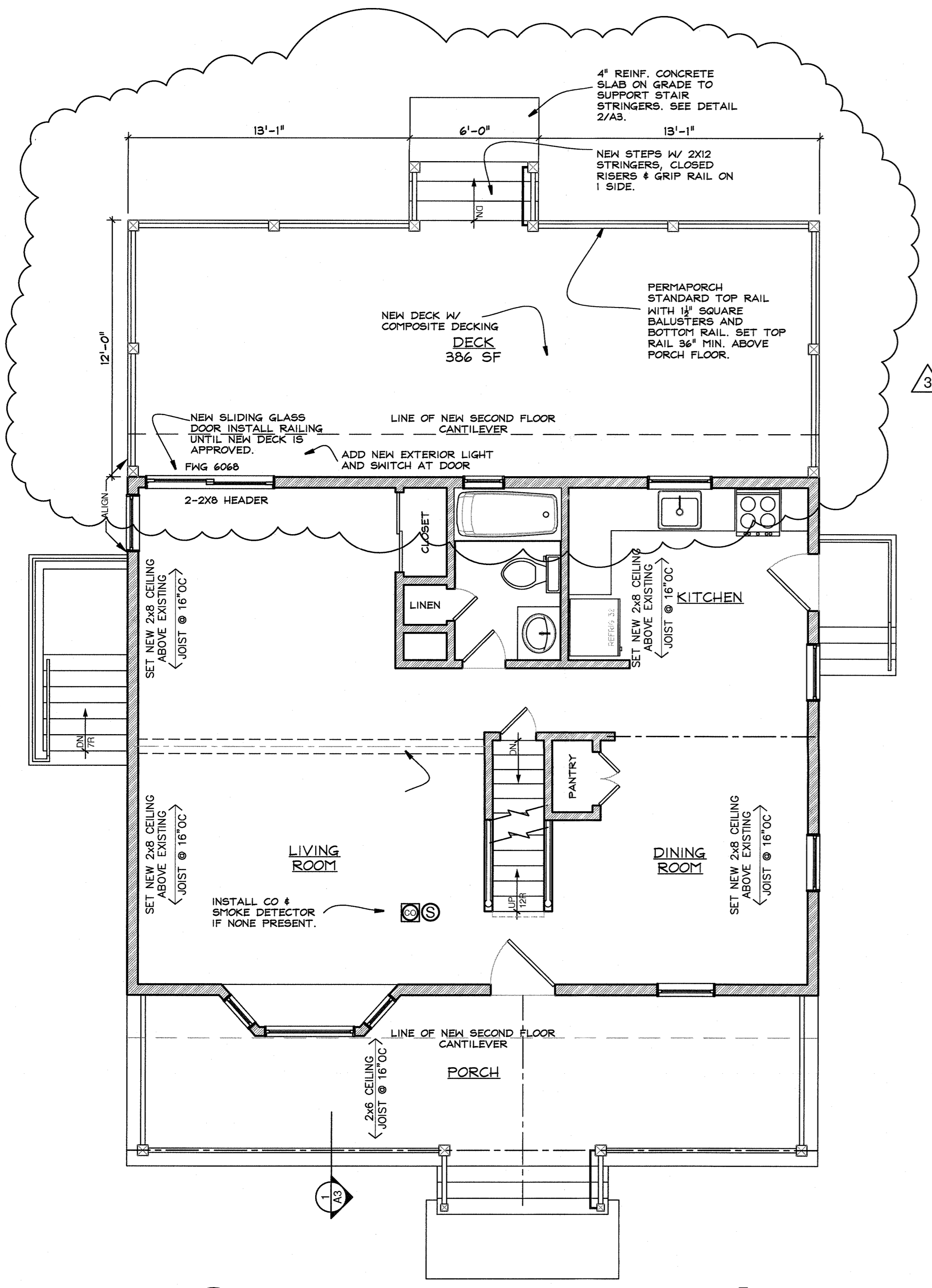
NY LIC# 15938

KIER B. LEVESQUE, RA
ARCHITECT
 49 THIRD AVENUE
 NYACK, NEW YORK 10960
 845-358-2359

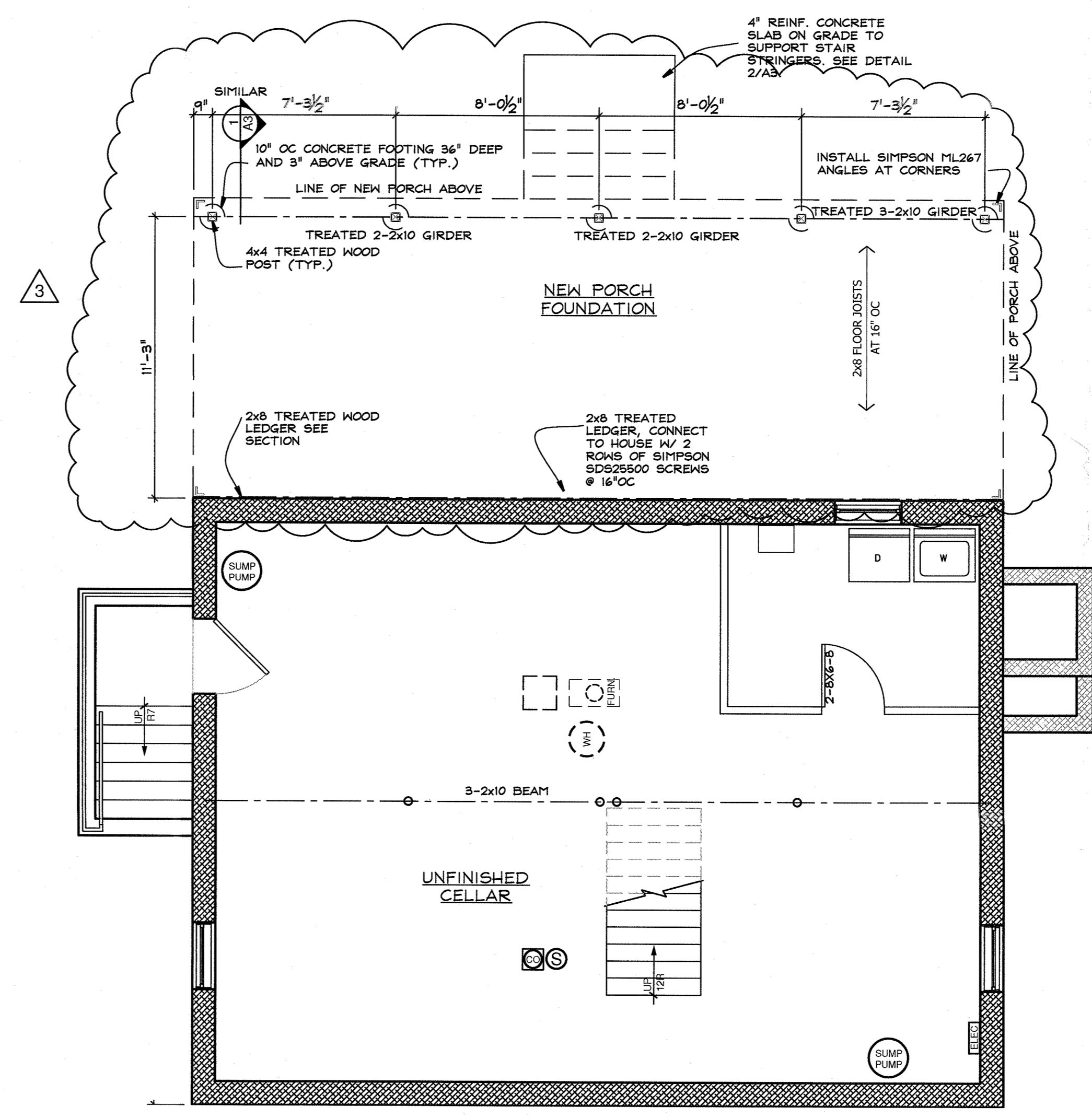
① SITE PLAN
 C 1 INCH = 20 FEET

ORANGETOWN TAX MAP NO: 69.20 - 1 - 47 THE INFORMATION ON THIS DRAWING WAS TAKEN FROM A SURVEY FOR:
 PAUL VALENTINE DATED: APRIL 8, 2015
 BY:
Robert E. Sorace, PLS
 135 South Main Street
 New City, NY 10956
 845-638-1498





2 FIRST FLOOR PLAN
 1/4" = 1 FOOT



1 BASEMENT FLOOR PLAN
 1/4" = 1 FOOT

GENERAL NOTES

1. DO NOT SCALE THE DRAWINGS. USE INDICATED DIMENSIONS ONLY.
2. ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED AS REQUIRED BY THE LOCAL BUILDING DEPARTMENT.
3. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE INDICATED. DOOR SIZES ARE IN FEET-INCHES. REFER TO THE INTERIOR ELEVATIONS FOR DOOR HEIGHT AND STYLE.
4. ALL NEW WALL BASE PLATES SHALL BE SET IN A MINIMUM 3/4" CONTINUOUS BEAD OF CAULK OR SEALANT. ALL PENETRATIONS THROUGH CEILINGS AND EXTERIOR WALLS SHALL BE AIR SEALED WITH EXPANDING FOAM AND/OR SILICONE CAULK PRIOR TO FLASHING.
5. ALL NEW EXTERIOR WALLS ARE 2x6 STUDS AT 16"OC UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 2x4 STUDS AT 16"OC UNLESS OTHERWISE INDICATED.
6. DOUBLE UP JOISTS UNDER PARALLEL PARTITIONS.
7. WINDOWS ARE 400 SERIES BY ANDERSEN. UNITS TO BE LOW-E COATED WITH INSULATING GLASS AND ARGON GAS. PROVIDE ALL OPERATING UNITS WITH SCREENS. UNIT NUMBERS ARE INDICATED ON THE PLANS.
8. ALL WOOD IN CONTACT WITH MASONRY & CONCRETE SHALL BE PRESSURE TREATED WITH A WOOD PRESERVATIVE.
9. INSTALL HANGERS AND CONNECTORS BY SIMPSON STRONG-TIE (SST) AS NOTED ON THE DRAWINGS AND DETAILS. INSTALL ALL CONNECTORS WITH NAILS OR SCREWS AS SPECIFIED BY SIMPSON STRONG-TIE. DO NOT SUBSTITUTE CONNECTORS OR FASTENERS. ALL FASTENER COATINGS SHALL MATCH THE EXTERIOR COATING OF THE SPECIFIED HANGER: HDG TO HDG AND STAINLESS TO STAINLESS.
10. FLASH ALL WINDOW ROUGH OPENINGS WITH A PEEL & STICK TYPE MEMBRANE FLASHING. FLASH SILLS TO CREATE A DRAIN PAN PITCHED TO THE EXTERIOR SIDE.
11. INSTALL BOISE 'VERSA-LAM' 2.0 3100lb LAMINATED STRUCTURAL LUMBER BEAMS IN SOLID WIDTHS AS INDICATED ON THE DRAWINGS. DO NOT NOTCH BEAMS. PROVIDE MINIMUM 3" SOLID BEARING AT ENDS UNLESS OTHERWISE INDICATED.
12. SEAL AROUND ALL DOOR AND WINDOW ROUGH OPENINGS WITH MINIMALLY EXPANDING FOAM. FOLLOW MANUFACTURERS PRECAUTIONS.

CONSTRUCTION LEGEND	
	NEW CONSTRUCTION
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING STUD WALL TO REMAIN
	HARDWIRED SMOKE DETECTOR
	HARDWIRED CARBON MONOXIDE DET.

Valentine Renovation
 9 BUTTONWOOD PLACE
 BLAUVELT, N.Y. 10913

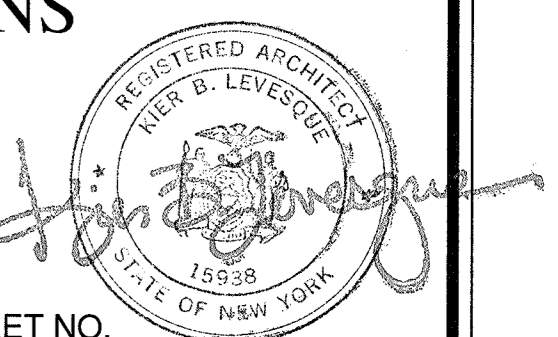
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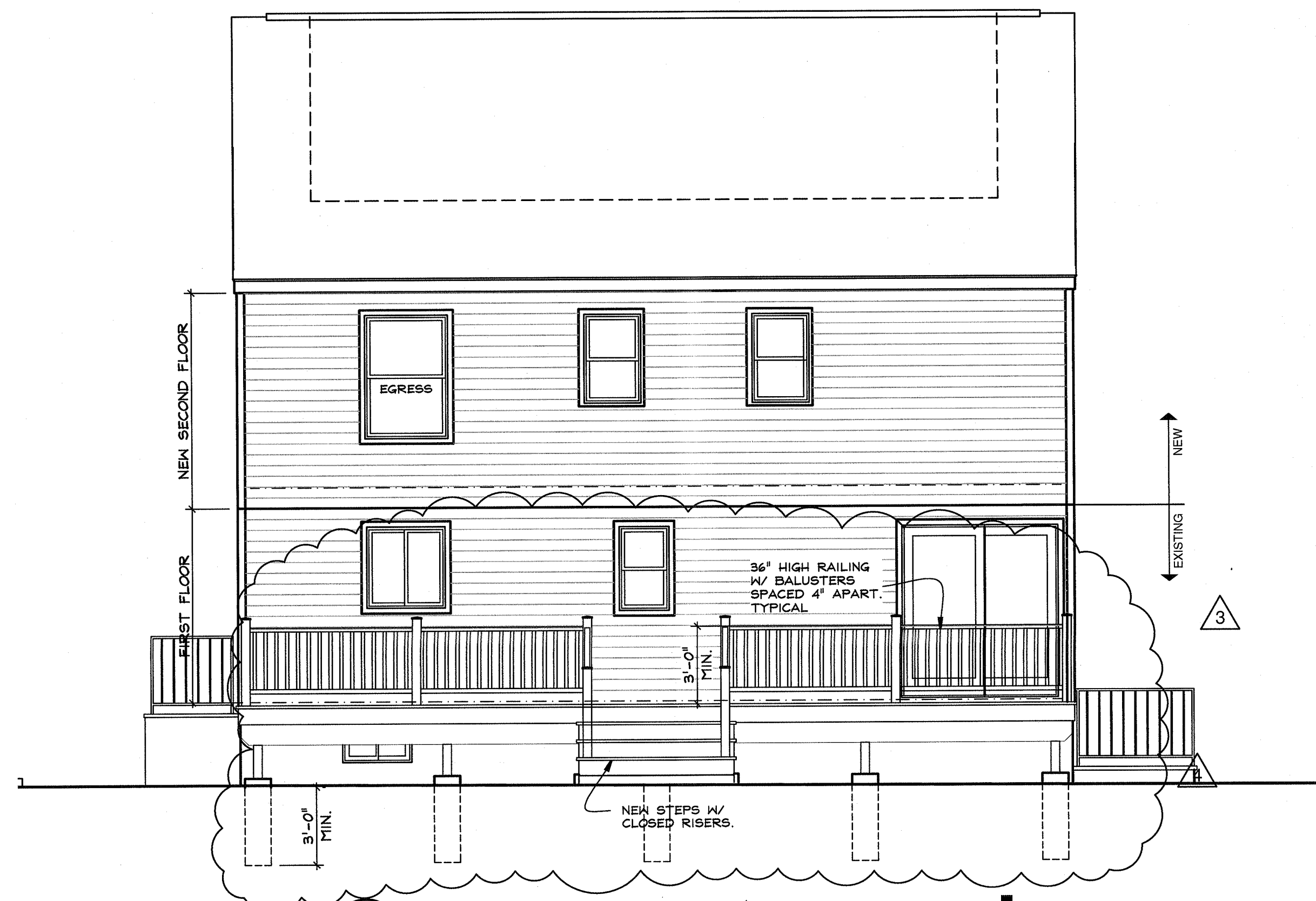
FLOOR PLANS

SCALE AS SHOWN
 DATE JULY 24, 2019
 JOB NO. 18150
 REVISIONS: SHEET NO.

- 1 AUG. 8, 2019
- 2 NOV. 14, 2019
- 3 DECK JAN. 3, 2020

A-1





3 REAR ELEVATION
A2 1/4" = 1 FOOT



4 SIDE ELEVATION
A2 1/4" = 1 FOOT



2 SIDE ELEVATION
A2 1/4" = 1 FOOT



1 FRONT ELEVATION
A2 1/4" = 1 FOOT

CONSTRUCTION LEGEND	
	NEW CONSTRUCTION
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING STUD WALL TO REMAIN
	HARDWIRED CARBON MONOXIDE DET.
	HARDWIRED SMOKE DETECTOR

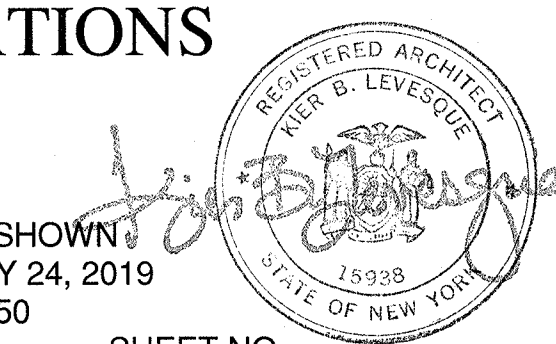
Valentine Renovation
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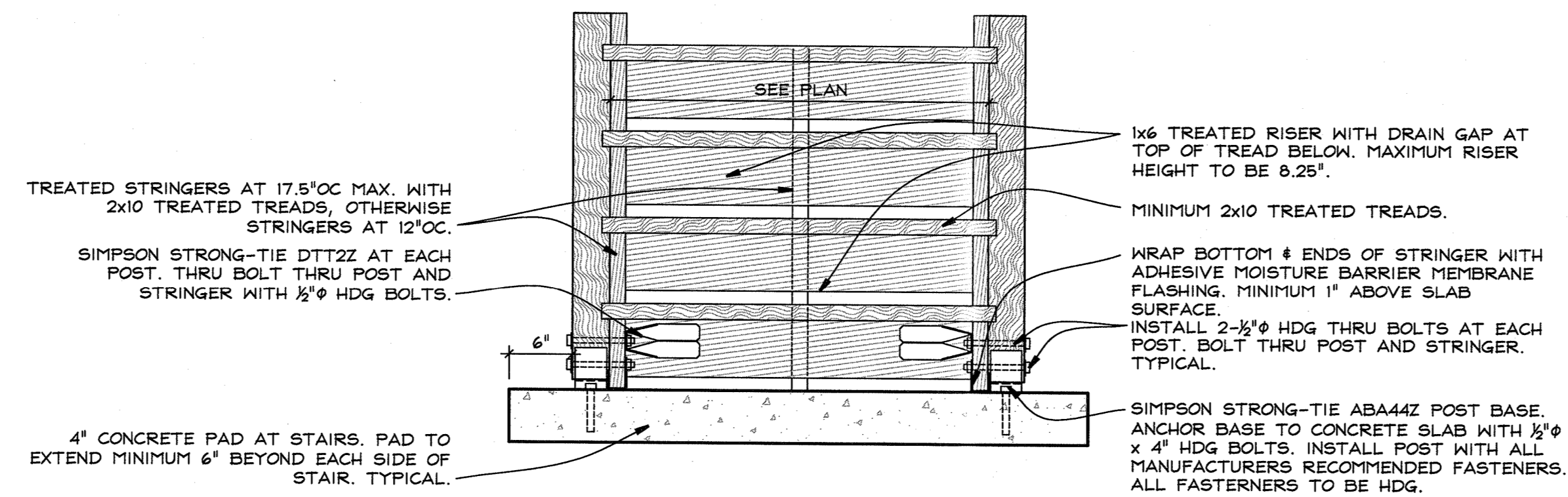
ELEVATIONS

SCALE AS SHOWN
DATE JULY 24, 2019
JOB NO. 18150
REVISIONS: SHEET NO.

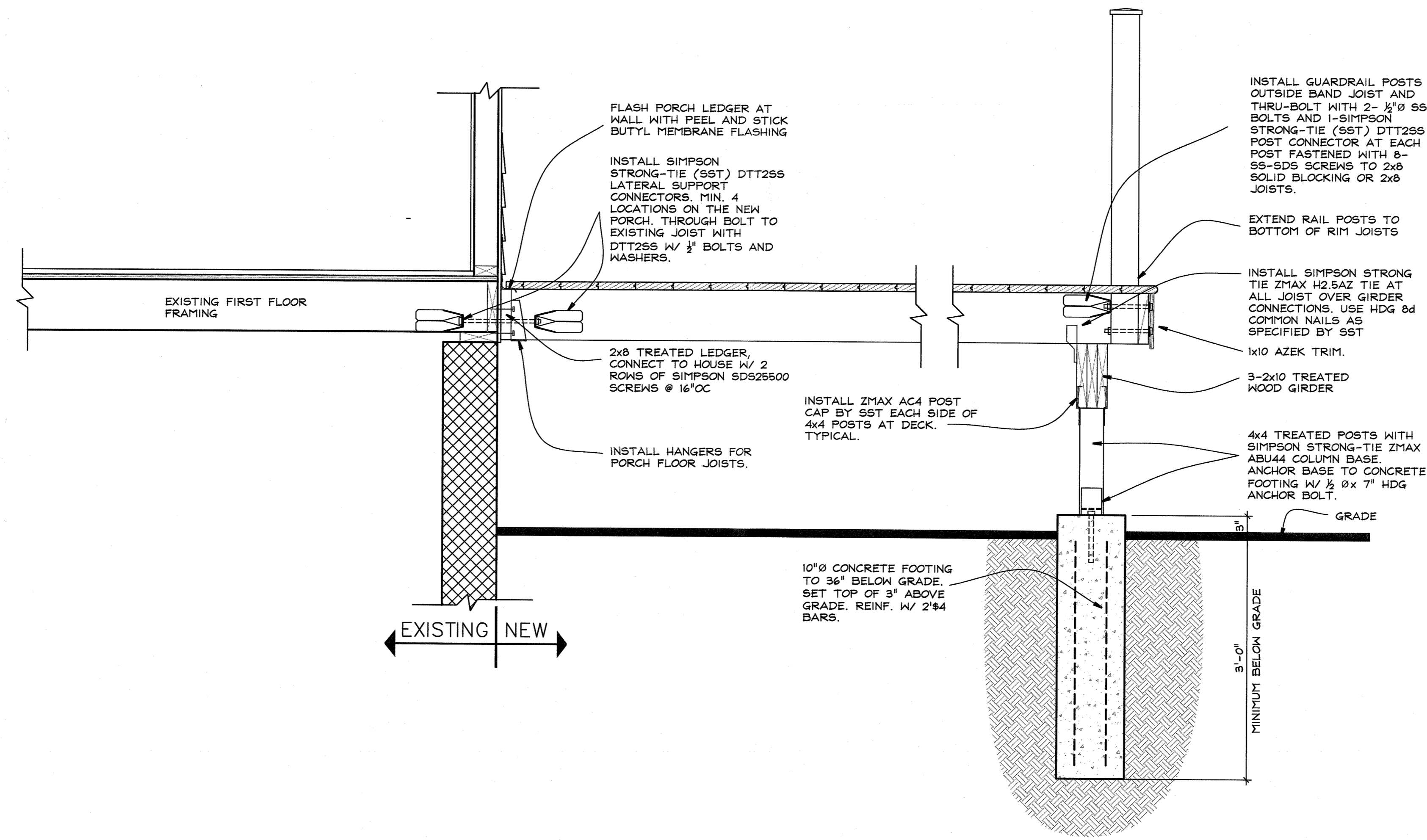
2 NOV. 14, 2019
3 DECK
JAN. 3, 2020



A-2



2 PORCH STEP DETAIL
A3 1" = 1 FOOT



1 DECK SECTION
A3 1" = 1 FOOT

CONSTRUCTION LEGEND	
	NEW CONSTRUCTION
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING STUD WALL TO REMAIN
	HARDWIRED CARBON MONOXIDE DET.
	HARDWIRED SMOKE DETECTOR

Valentine Renovation
9 BUTTONWOOD PLACE
BLAUVELT, N.Y. 10913

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NYACK, NEW YORK 10960
845-358-2359

NY LICENSE # 15938

RENOVATION SECTION

SCALE AS SHOWN
DATE JULY 24, 2019
JOB NO. 18150
REVISIONS: SHEET NO.

1 AUG. 7, 2019
2 NOV. 14, 2019

A-3