



Engineers
Planners
Surveyors
Landscape Architects
Environmental Scientists

50 Chestnut Ridge Road, Suite 101
Montvale, NJ 07645
T: 845.352.0411
F: 845.231.6321
www.maserconsulting.com

MEMORANDUM

To: Pearl River Planning Team

From: Marcia Shiffman, AICP, PP, LLA

Date: June 11, 2019

**Re: Discussion Memo #8- Pearl River TOD Zoning
MC Project No. 19004002G**

The Pearl River Transit Oriented Development ("TOD") Zoning District has been revised as per our discussions.

The following documents are provided.

- Draft Pearl River Transit Oriented Development Zoning District Ordinance
- Draft Table of Bulk Regulations for TOD District
- Draft TOD Zoning District Map
- Draft Pearl River TOD District Design Guidelines.

Please let me know if you have any questions.



PROPOSED DRAFT ZONING ORDINANCE

CHAPTER 43 ARTICLE XVII

Pearl River Transit Oriented Development ("TOD") Zoning District.
[Added x-x-2019 by L.L. No. x- 2019)

17.1 Title.

The Town Board of the Town of Orangetown (hereinafter sometimes referred to as the "Town") determines that the title of this local law shall be "Article XVII: Pearl River Transit Oriented District ("TOD") Zoning District."

17.2 Legislative purpose and intent.

This local law is designed to provide and to implement a zoning and land use policy for the Pearl River Transit Oriented Development ("TOD") Zoning District (hereinafter sometimes referred to as the "Pearl River TOD District"). This district furthers the purposes set forth in Article 16 of the Town Law of the State of New York for the protection and promotion of the health, safety, comfort, convenience, prosperity and general welfare of the hamlet. The Pearl River train station will serve as a catalyst for orderly redevelopment, while preserving the District's unique character and scenic qualities. The six zones within the District including Mixed Use/Residential (TOD-MUR₁, TOD-MUR₂, and TOD-MUR₃) and Office/Residential Use (TOD-OR₁, TOD-OR₂, and TOD-OR₃) Districts have the following planning goals:

- To use the Pearl River train station as a catalyst for future redevelopment in the heart of the Pearl River Hamlet.
- To promote redevelopment around the Pearl River train station to maintain a diversity of entertainment, retail and service uses together with additional housing opportunities.
- To guide future development in accordance with a plan of mixed compatible and complementary land uses and appropriate development standards in keeping with the character and scale of the Pearl River hamlet.
- To support more diverse housing choices in the downtown area near the train station.
- To adopt design standards to maintain and enhance the architectural character of the Pearl River TOD District so that it may realize its potentialities as an attractive place to live and to work.



- To protect and conserve the value of land and the value of buildings appropriate to the Pearl River TOD District.

§ 17.3 Applicability.

The Pearl River TOD District comprises six zoning districts, TOD-MUR₁, TOD-MUR₂, TOD-MUR₃, TOD-OR₁, TOD-OR₂, and TOD-OR₃, as enumerated in §2.1, Establishment of districts, of Chapter 43, Zoning, of the Code of the Town of Orangetown. The Pearl River TOD District regulations apply to all land use applications for which any portion of the subject property is located within the Pearl River TOD District Map and as described in §2.2 (i.e., the Zoning Map) of Chapter 43, Zoning. Such properties are specifically designated on the Pearl River TOD District Map attached to and made a part of this local law, 87 and are described in §2.2 (i.e., the Zoning Map) of Chapter 43, Zoning, of the Code of the Town of Orangetown.

The standards of the Pearl River TOD District shall apply. No building or structure shall be erected, enlarged, or relocated and no building, structure or premises shall be built in the Pearl River TOD District except in compliance with the provisions of this Article XVII and then only after securing all required permits and licenses.

§17.4 Nonconforming uses.

Any structure, legally pre-existing as of the effective date of this local law and located within the Pearl River TOD District, which shall be damaged or destroyed by flood, fire or other natural disaster shall not be held to the requirements of this Article XVII, subject, however, to the provisions of Article IX, Nonconforming Use and Nonconforming Bulk Regulation, of Chapter 43. Any building, structure, or use which is lawfully existing within the Pearl River TOD District at the time of passage of this Article XVII of the Zoning Code, although not in compliance therewith, may be maintained as provided in Article IX, Nonconforming Use and Nonconforming Bulk Regulations, of Chapter 43. The provisions of Article IX, §9.33, §9.35 and §9.36 shall not be applicable to any pre-existing residential use within the Pearl River TOD District.

§17.5 TOD District regulations.

The Pearl River TOD District comprises six separate districts as shown on the Pearl River TOD District map. This include two non-residential districts with either mixed retail/service/office use (TOD- MUR) or primarily office use (TOD-OR) Each of these two non-residential districts contain three levels of residential uses. These levels primarily relate to the number of residential stories and overall residential density. Residential uses may be provided as part of any development application in the Pearl River TOD District. The Pearl River TOD Districts are as follows:

- | | |
|----------------------------|--|
| TOD-MUR₁ | TOD Mixed Use Residential Level 1 |
| TOD-MUR₂ | TOD Mixed Use Residential Level 2 |
| TOD-MUR₃ | TOD Mixed Use Residential Level 3 |
| TOD-OR₁ | TOD Office Residential Level 1 |
| TOD-OR₂ | TOD Office Residential Level 2 |
| TOD-OR₃ | TOD Office Residential Level 3 |



These six TOD districts shall be added to §43-2.1. The General Use Regulations covering the TOD districts shall be added to §43-3.11. The General Bulk Regulations covering the TOD districts shall be added to §43-3.12.

The Pearl River TOD District Design Guidelines are set forth as an Appendix to this Article identified as Appendix 17.5A and shall be deemed to be part of this Chapter and are referred to as "Design Guidelines." The Design Guidelines shall regulate the design of buildings including building layout, façade treatment, signage, awnings, lighting, landscape treatment, streetscape materials and related design factors under this Chapter.

ZONING
43 Attachment I-b
Town of Orangetown

Table of General Use Regulations Pearl River TOD Mixed Use/Residential (TOD-MUR)
(§3.11)

District TOD-MUR₁ TOD Mixed Use Residential Level 1
District TOD-MUR₂ TOD Mixed Use Residential Level 2
District TOD-MUR₃ TOD Mixed Use Residential Level 3

1. District

- TOD-MUR₁
- TOD-MUR₂
- TOD-MUR₃

2. Uses Permitted by Right

- 1. Retail drug stores
- 2. Dry-goods and variety stores
- 3. Restaurants
- 4. Clothing and department stores
- 5. Food Stores
- 6. Home appliance stores
- 7. Hardware stores
- 8. Stationery stores
- 9. Auto supplies stores
- 10. Jewelry stores
- 11. Art/crafts studios
- 12. Art galleries
- 13. Photography studios
- 14. Newsstands
- 15. Package liquor stores
- 16. Business, medical, and professional offices



17. Banks
18. Gyms, karate, physical fitness, and dance studios
19. Fire, police and community owned ambulance stations, government offices, town garages, municipal parking lots, municipal parking decks, and similar public buildings.
20. Personal services dealing directly with consumers (including but not limited to barber shops, beauty parlors , dry cleaning, laundry, tailoring, and shoe repair establishments.)
21. Multifamily residential uses

3. Uses by Special Permit

Town Board

1. Rail passenger stations and bus stations, provided that there is no maintenance repair or storage of commercial vehicles on the premises, and adequate off-street parking space is provided for passengers and employees. This use is permitted in the TOD-MUR₃ district only.

Zoning Board

1. None

4. Conditional Uses by Planning Board

1. Bars and nightclubs
2. Micro-breweries, micro-wineries subject to performance standards §43-4.1 et.al.
3. Farmers Market as licensed in accordance with New York State rules and permits.
4. Child day-care centers with all parking and outdoor play areas complying with all required yards, as provided in §43- 3.12.
5. Adult day-care centers
6. Parking structures

5. General Accessory Uses

1. Accessory parking , as permitted in §43-6.1.
2. Accessory loading, as permitted in §43-6.2.
3. Signage, subject to TOD Design Guidelines.
4. Lighting. subject to TOD Design Guidelines.
5. Child day-care center, as an accessory use, shall not exceed 20% of building use and shall comply with conditional use standards for child day-care centers.
6. Sidewalk café, subject §43-31B-1 et.al.
7. Outdoor dining, subject to additional use regulations.



6. Minimum Required Off-Street Parking Spaces

<i>Use</i>	<i>Minimum Required Parking Spaces for each</i>
1. Required on-site parking	<p>Parking may be provided on-grade, underground and within the building on the site.</p> <p>As an alternative to providing required on-site parking, a contribution of \$15,000 per required parking space provided to fund future expansion of municipal parking areas; Notwithstanding the foregoing, TOD-MU₃ must provide all required parking on-site.</p> <p>The required on-site parking spaces, as set forth herein, based on an existing use, shall be credited against parking requirements for an expansion of an existing use, change of use and/or new construction. For example, if 5 spaces are required for an existing use under these parking standards, and 7 spaces are required, based on an expansion of an existing use, change of use, and/or new construction, the applicant shall receive a credit for 5 spaces towards the new parking requirement.</p>
2. Retail sales and services	1 per 400 sq. ft.
3. Restaurants, bars	1 per 150 sq. ft.
4. Restaurants, take-out	1 per 300 sq. ft.
5. Sidewalk cafés	None required
6. Business, professional offices	1 per 400 sq. ft.
7. Medical offices	1 per 200 sq. ft.
8. Banks	1 per 300 sq. ft.
9. Personal services	1 per 400 sq. ft.
10. Arts/crafts studios	1 per 500 sq. ft.
11. Art galleries	1 per 400 sq. ft.
12. Child day-care centers	1 per staff member plus 1 per 8 children
13. Adult day-care centers	1 per staff member plus 1 per 8 adult clients at maximum occupancy
14. Gyms, karate, physical fitness, and dance studios	1 per 500 sq. ft.
15. Government uses	1 per 300 sq. ft.
16. Multifamily residential uses	1.0 per efficiency unit 1.25 per 1 bedroom units 1.50 per 2 bedroom unit

**7. Additional Use Regulations
(See Note 13)**

1. Excluded retail uses

- a. Drive-in restaurants
- b. Gas and auto service stations
- c. Fire arm sales
- d. Adult entertainment and adult retail uses
- e. Tobacco stores
- f. Vape shops
- g. Tattoo parlors
- h. Massage shops, except accessory to a gym or fitness center.
- i. Flea markets
- j. Pawn shops

2. All permitted uses, except government buildings and office uses, shall not exceed 5,000 square feet floor area per individual business operation.

3. All retail sales and service establishments and accessory storage, either on a temporary or interim basis, shall be within a completely enclosed building, except as provided for in Chapter 31B Sidewalk Cafes.

4. Retail establishments shall conform with §23A-4.

5. All drinking facilities serving alcoholic beverages must have a restaurant liquor license issued by the New York State Liquor Authority.

6. Outdoor dining areas shall conform with the following standards:

- a. Outdoor dining other than in the form of a sidewalk cafe as defined in this chapter shall be permitted as an accessory use that is incidental to and in conjunction with an established permitted restaurant, bar or delicatessen as permitted provided that the establishment of such an accessory use has no deleterious effect on the public health, safety or welfare, or negative effect on adjoining businesses. Outdoor cabarets and outdoor dining in conjunction with a cabaret are specifically prohibited.
- b. Areas utilized for outdoor dining shall comply with setback requirements for a principal building for the district in which such use is located.
- c. Areas utilized for outdoor dining shall not be located within 50 feet of the boundary of any neighboring residential district.
- d. Areas utilized for outdoor dining shall be included in the calculation of required parking for the principal use.
- e. All outdoor dining areas pursuant to this section shall provide a food menu, but this shall not be interpreted to prohibit the service of beverages only.
- f. Operating restrictions. The Planning Board may prohibit or limit the hours of operation of any activities that may impact adjacent or nearby properties, such as the operation or

use of musical instruments or sound reproduction devices, or any noise emanating from the outdoor dining area other than the conversational and service sounds.

7. Residential unit standards:
 - a. Residential units are permitted only in mixed use buildings. However, buildings that consist solely of multifamily residences are permitted only in the TOD-MUR₃ District. No single family or two family detached dwellings are permitted in the TOD –MUR Districts.
 - b. At least 80% of all dwelling units shall be either studio or one-bedroom units. Not more than 20% shall be two-bedroom units. No units larger than two-bedroom shall be permitted; except larger pre-existing non-conforming residential units may be retained.
 - c. No dwelling unit shall be greater than 1,500 square feet or less than 600 square feet in total gross floor area.
 - d. A separate, suitable, safe, direct and attractive means of access shall be provided to each dwelling unit for pedestrian use. Said means of access shall not pass through any other units (commercial/business or residential) located in the same building.
 - e. Each dwelling unit shall be equipped with full kitchen facilities.
 - f. Balconies for dwelling units shall be permitted.

8. Residential density
 - a. Three dwelling unit levels are provided in the TOD-MUR District. These levels establish the number of residential floors, non-residential floors, and overall residential unit density. A total density of 5 dwelling units per acre ('du/acre') per floor is permitted. Therefore, the following maximum density is permitted related to allowed residential floors.

One residential floor	5 du/acre
Two residential floors	10 du/acre
Three residential floors	15 du/acre
 - b. The residential density is related to the permitted floors; however, the actual units may be constructed on less than the required permitted floors (i.e. if 10 du/acre on two residential floors is permitted; the 10 du/acre can be constructed on one floor.)
 - c. For existing buildings on lots greater than 0.10 acres and less than 1 acre, a minimum of 2 dwelling units per acre/floor is permitted with the unit calculations rounded up from 0.5 or greater.
 - d. Lots shall not be subdivided to increase residential unit density.

9. The building design, façade treatment, signage, lighting, and streetscape shall be in conformance with the Design Guidelines, provided in Appendix 17-5A.

10. The nonresidential use of the building shall not create any odor, dust, fumes, smoke, gas, vibration, light, noise or similar condition which is deemed to be a hazard, subject to continued enforcement of performance standards under §43-4.3.



ZONING
43 Attachment I-c
Town of Orangetown

Table of General Use Regulations Pearl River TOD Office/ Residential (TOD-OR)
(§3.11)

District TOD-OR1 TOD Office Residential Level 1
District TOD-OR2 TOD Office Residential Level 2
District TOD-OR3 TOD Office Residential Level 3

1. District

TOD-OR1
TOD-OR2
TOD-OR3

2. Uses Permitted by Right

1. Business, professional and medical offices
2. Banks
3. Multifamily residential uses
4. Fire, police and community owned ambulance stations, government offices, town garages, municipal parking lots, municipal parking decks, and similar public buildings

3. Uses by Special Permit

None

4. Conditional Uses by Planning Board

1. Child day-care centers with all parking and outdoor play areas complying with all required yards, as provided in §43- 3.12.
2. Adult day-care centers
3. Data centers
4. Parking structures

5. General Accessory Uses

1. Accessory parking , as permitted in §43-6.1.
2. Accessory loading, as permitted in §43-6.2.
3. Signage, subject to TOD design guidelines.
4. Lighting. subject to TOD Design Guidelines.
5. Child day-care centers, as an accessory use, shall not exceed 20% of building use and shall comply with conditional use standards for child day-care centers.



6. Minimum Required Off-Street Parking Spaces

<i>Use</i>	<i>Minimum Required Parking Spaces for each</i>
1. Required on-site parking	<p>Parking may be provided on-grade, underground and within the building on the site.</p> <p>As an alternative to providing required on-site parking, a contribution of \$15,000/required parking space provided to fund future expansion of municipal parking areas; Notwithstanding the foregoing, TOD-OR3 must provide all required parking on-site.</p> <p>The required on-site parking spaces, as set forth herein, based on an existing use, shall be credited against parking requirements for an expansion of an existing use, change of use and/or new construction. For example, if 5 spaces are required for an existing use under these parking standards, and 7 spaces are required, based on an expansion of an existing use, change of use, and/or new construction, the applicant shall receive a credit for 5 spaces towards the new parking requirement.</p>
2. Business, professional offices	1 per 400 sq. ft.
3. Medical offices	1 per 200 sq. ft.
4. Banks	1 per 300 sq. ft.
5. Child day-care centers	1 per staff member plus 1 per 8 children
6. Adult day-care centers	1 per staff member plus 1 per 4 adult clients at maximum occupancy
7. Data centers	As set by the Planning Board as part of the site plan approval process.
8. Government use	1 per 300 sq. ft.
9. Multifamily residential uses	1.0 per efficiency unit 1.25 per 1 bedroom units 1.50 per 2 bedroom unit



7. Additional Use Regulations

1. All permitted uses, except government buildings and office uses, shall not exceed 5,000 square feet floor area per individual business operation.
2. Residential unit standards:
 - a. Multifamily residential units are permitted only in mixed use buildings. However, solely multifamily residential buildings are permitted in the TOD-OD₃ District only. No single family or two family detached dwellings are permitted.
 - b. At least 80% of all dwelling units shall be either studio or one-bedroom units. Not more than 20% shall be two-bedroom units. No units larger than two-bedroom shall be permitted; except larger pre-existing non-conforming residential units may be retained.
 - c. No dwelling unit shall be greater than 1,500 square feet or less than 600 square feet in total gross floor area.
 - d. A separate, suitable, safe, direct and attractive means of access shall be provided to each dwelling unit for pedestrian use. Said means of access shall not pass through any other units (commercial/business or residential) located in the same building.
 - e. Each dwelling unit shall be equipped with full kitchen facilities.
 - f. Balconies for dwelling units shall be permitted.
3. Residential density:
 - a. Three dwelling unit levels are provided in the TOD-OR District. These levels establish the number of residential floors, non-residential floors, and overall residential unit density. A total density of 5 dwelling units per acre ('du/acre') per floor is permitted. Therefore, the following maximum density is permitted related to allowed residential floors.

One residential floor	5 du/acre
Two residential floors	10 du/acre
Three residential floors	15 du/acre
 - b. The residential density is related to the permitted floors; however, the actual units may be constructed on less than the required permitted floors (i.e. if 10 du/acre on two residential floors is permitted, the 10 du/acre can be constructed on one floor.)
 - c. For existing buildings on lots greater than 0.10 acres and less than 1 acre, a minimum of 2 dwelling units per acre/floor is permitted with the unit calculations rounded up from 0.5 or greater.
 - d. Lots shall not be subdivided to increase residential unit density.
4. The building design, façade treatment, signage, lighting, and streetscape shall be in conformance with the Design Guidelines, provided in Appendix 17-5A.
5. The nonresidential use of the building shall not create any odor, dust, fumes, smoke, gas, vibration, light, noise or similar condition which is deemed to be a hazard, subject to continued enforcement of performance standards under §43-4.3.

ZONING
43 Attachment __
Town of Orangetown
Table of Bulk Regulations
 (§ 3.12)

TOD- MUR₁ District TOD- OR₁ District
 TOD- MUR₂ District TOD-OR₂ District
 TOD- MUR₃ District TOD-OR₃ District
 .)

Amended _____ by L.L. _____

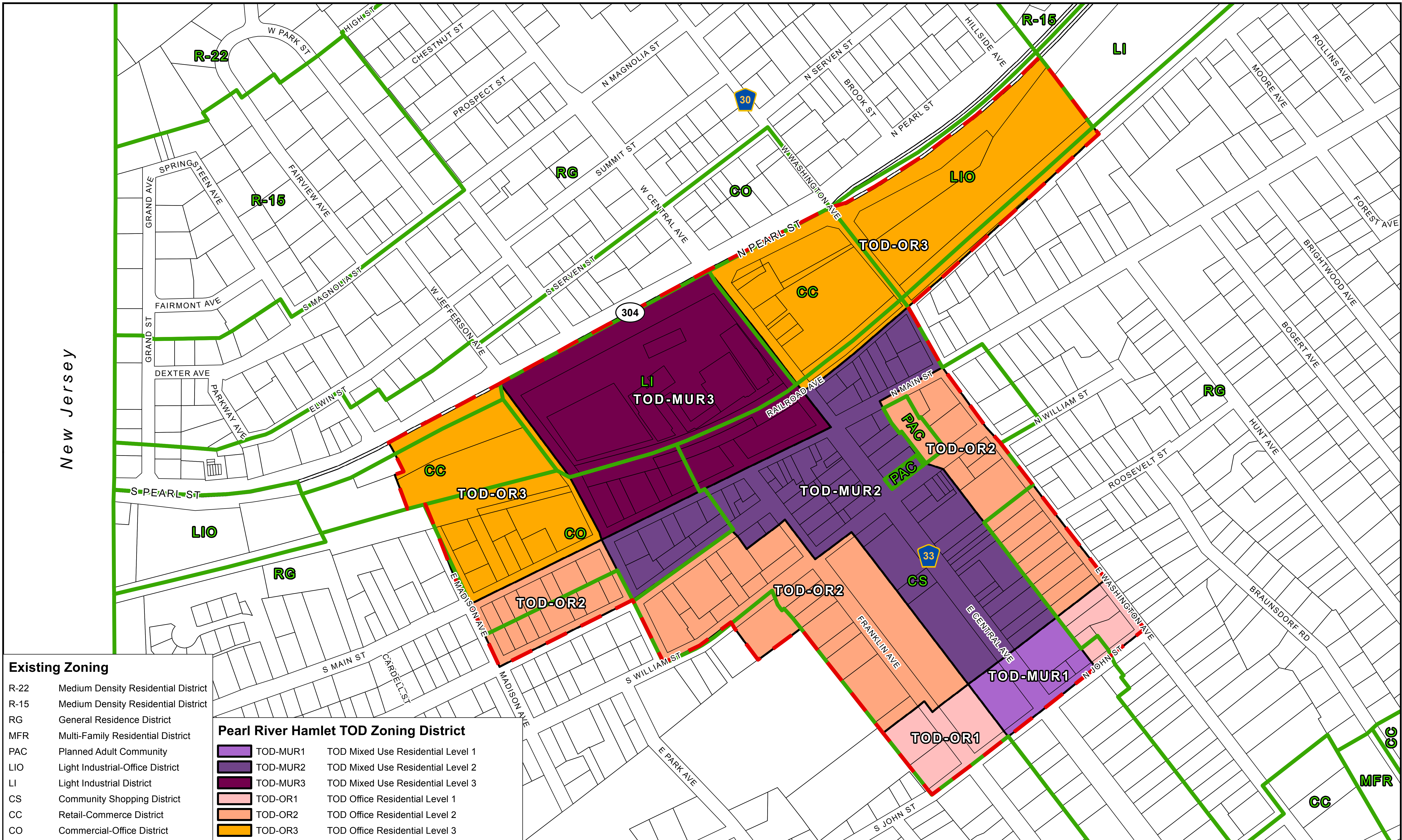
DRAFT 6/11/2019

1	2	3	4.0	5	6	7	8	9	10	11	12
District	Group	For Uses Listed Below (See Note A)	Maximum Floor Area Ratio (See Note B - Lot Coverage)	Minimum Lot Area	Minimum Lot Width (See Note C) (feet)	Minimum Street Frontage (See Note C) (feet)	Required Front Yard (See Note D) (feet)	Required Side Yard (See Note E) (feet)	Total Side Yard (feet)	Required Rear Yard (See Note E) (feet)	Maximum Building Height (See Note F) (feet/stories)
TOD-MUR ₁		All other uses allowed in TOD-MUR ₁ , including multi-family residential uses.	1.0	6,500 sf.	50	50	0 (minimum)/ 15 (maximum)	0	0	25	35/2 (See Note G)
		Fire, police, and government buildings	None	None	None	50	25	25	50	50	None
		Multifamily residential uses	Residential density is a maximum 5 du/ floor/acre. One residential floors is permitted inTOD-MUR ₁ district, therefore the maximum density is 5 du/acre. See TOD additional use regulations, Items #7,8, and 9 for additional residential standards.								
TOD-MUR ₂		All other uses allowed in TOD-MUR ₂ , including multi-family residential uses.	2.0	6,500 sf.	50	50	0 (minimum)/ 15 (maximum)	0	0	25	45/3 (See Note H)
		Fire, police, and government buildings	None	None	None	50	25	25	50	50	None
		Multifamily residential uses	Residential density is a maximum 5 du/ floor/acre. Two residential floors are permitted in the TOD-MUR ₂ district; therefore the maximum density is 10 du/acre. See TOD additional use regulations, Items #7,8, and 9 for additional residential standards.								
TOD-MUR ₃		All other uses allowed in TOD-MUR ₃ , including multi-family residential uses.	2.0	2 acres	200	200	0 (minimum)/ 15 (maximum)	25	50	50	45/3 (See Note I)
		Fire, police, and government buildings	None	None	None	100	15	25	50	50	None
		Multifamily residential uses	Residential density is a maximum 5 du/ floor/acre. Three residential floors are permitted in theTOD-MUR ₃ district; therefore the maximum residential density is 15 du/acre. See TOD additional use regulations, Items #7,8, and 9 for additional residential standards.								

DRAFT 6/11/2019

TOD-OR ₁		All other uses allowed in TOD-OR ₁ , including multi-family residential uses.	1.0	0.20 acres	100	100	0 (minimum)/ 15 (maximum)	10	20	25	35/2 (See Note G)
		Fire, police, and government buildings	None	None	None	100	25	25	50	25	None
		Multifamily residential uses	Residential density is a maximum 5 du/ floor/acre. One residential floors is permitted inTOD-OR ₁ district; therefore the maximum residential density is 5 du/acre. See TOD additional use regulations, Items #7,8, and 9 for additional residential standards.								
TOD-OR ₂		All other uses allowed in TOD-OR ₂ , including multi-family residential uses.	2.0	0.20 acres	100	100	0 (minimum)/ 15 (maximum)	10	20	25	45/3 (See Note H)
		Fire, police, and government buildings	None	None	None	100	25	25	50	25	None
		Multifamily residential uses	Residential density is a maximum 5 du/ floor/acre. Two residential floors are permitted in the TOD-OR ₂ district; therefore the maximum residential density is 10 du/acre. See the TOD additional use regulations, Items #7,8, and 9 for additional residential standards.								
TOD-OR ₃		All other uses allowed in TOD-OR ₃ , including multifamily residential uses.	2.0	2 acres	100	100	0 (minimum)/ 15 (maximum)	25	50	50	45/3 (See Note I)
		Fire, police, and government buildings	None	None	None	100	25	25	50	50	None
		Multifamily residential uses	Residential density is a maximum 5 du/ floor/acre. Three residential floors are permitted in theTOD-OR ₃ district; therefore the maximum residential density is 15 du/acre. See TOD additional use regulations, Items #7,8, and 9 for additional residential standards.								

- A. The required minimum lot area, front, side and rear yard setbacks and the maximum lot coverage standards shall not apply to existing properties where the existing building footprint is not altered.
- B. A parking area within the building shall not be charged against the floor area ratio. Maximum lot coverage shall not exceed ninety percent (90%), including buildings, parking, road and road widening within TOD-MUR₁, TOD-MUR₂, TOD-OR₁, TOD-OR₂ districts. Maximum lot coverage shall not exceed eighty percent (80%), including buildings, parking, road and road widening within the TOD-MUR₃ and TOD-OR₃ districts.
- C. Street frontage shall be measured along the property line fronting on the public street.
- D. Front yard setback shall be measured from the street right-of-way line. A minimum build-to-line and maximum build-to line front yard setback is established along public and internal streets/driveways.
- E. Where the side or rear lot line of a lot in the TOD-MUR₂, TOD-OR₁, TOD-OR₂, TOD-OR₃ districts adjoins or lies within twenty-five (25) feet of any RG District, a 25 feet buffer shall be required. The buffer area shall only be used for planting, landscaping and screening to provide environmental compatibility of dissimilar uses.
- F. Maximum building height for the purpose of this section, shall be measured from the average finished grade to the maximum point of any roofline. Should parking be provided on the first floor of buildings, an additional 10' building height is permitted. Internal building parking structures shall be subject to the Pearl River TOD Design Guidelines.
- G. Maximum of two stories is permitted. The first floor must be non-residential, except for the entrance vestibule to the second floor; the second floor may be solely either non-residential or residential use.
- H. Maximum of three stories is permitted. The first floor must be non-residential, except for the entrance vestibule to the second floor; the second and third floor may be solely either non-residential or residential use. Commercial floors shall not be located above residential floors.
- I. Maximum of three stories is permitted. All floors may be residential or non-residential. The first floor may be a mixed use of residential or commercial. All other floors must have a dedicated use (residential or non-residential). Commercial floors shall not be located above residential floors.
- I. Maximum of three stories is permitted. All floors may be residential or non-residential. The first floor may be a mixed use of residential or commercial. All other floors must have a dedicated use (residential or non-residential). Commercial floors shall not be located above residential floors.



Existing Zoning

R-22	Medium Density Residential District
R-15	Medium Density Residential District
RG	General Residence District
MFR	Multi-Family Residential District
PAC	Planned Adult Community
LIO	Light Industrial-Office District
LI	Light Industrial District
CS	Community Shopping District
CC	Retail-Commerce District
CO	Commercial-Office District

Pearl River Hamlet TOD Zoning District

	TOD-MUR1	TOD Mixed Use Residential Level 1
	TOD-MUR2	TOD Mixed Use Residential Level 2
	TOD-MUR3	TOD Mixed Use Residential Level 3
	TOD-OR1	TOD Office Residential Level 1
	TOD-OR2	TOD Office Residential Level 2
	TOD-OR3	TOD Office Residential Level 3

Legend

	State Boundary		Existing Zone Boundaries
	Pearl River Transit Oriented Development ("TOD") Study Area		

0 150 300 450 Feet

Source: Rockland County Roads, Parcels and 2018 Orangetown Zoning (Note that the Zoning data does not reflect any changes to the zone boundaries since December 11, 2018)

MASER
CONSULTING P.A.

Pearl River Transit Oriented Development ("TOD") Zoning District

Town of Orangetown
Rockland County, New York

June 2019

MC Proj. No.: 19004002G 26



Pearl River TOD District Design Guidelines

Town of Orangetown, New York

§43-17.5A

June 2019



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INTRODUCTION

The Pearl River Transit Oriented Development District (“TOD”) District provides a unique opportunity to support new mixed-use development focused around the Pearl River train station. It is an opportunity to upgrade and revitalize this older historic commercial area to serve as a catalyst for orderly redevelopment, while preserving the District’s unique character. This area has been identified in the *2003 Orangetown Comprehensive Plan* as a “mixed use downtown area, by adding additional opportunities for development, while limiting and controlling retail uses outside its immediate confines.”¹

The *2018 Pearl River TOD Opportunities Study* acknowledges that the “*Pearl River is well positioned physically and economically for some kind of infill redevelopment, especially in and around the station area. However, the scale must be in keeping with the community character.*”²

The 2019 Pearl River TOD District regulations establish 6 TOD Districts that build on these prior studies. The TOD-MUR₁, TOD-MUR₂, TOD-MUR₃ Districts include a mix of retail, office, and service uses with residential development, primarily focused on existing commercial areas along Central Avenue, Main Street, and the train station. Bracketing the mixed use districts is the TOD-OR₁, TOD-OR₂, TOD-OR₃ Districts which focus on office uses combined with residential uses. The residential density progressively increases closest to the train station. Also, the TOD-MUR₃ and TOD-OR₃ Districts encompass larger properties that include older office and industrial uses. These properties require special design considerations.

These Design Guidelines support the overall planning goals of the TOD District as follows:

- To use the Pearl River train station as a catalyst for future redevelopment in the heart of the Pearl River Hamlet.
- To promote redevelopment around the Pearl River train station to maintain a diversity of entertainment, retail and service uses together with additional housing opportunities.
- To guide future development in accordance with a plan of mixed compatible and complementary land uses and appropriate development standards in keeping with the character and scale of the Pearl River Hamlet.
- To support more diverse housing choices in the downtown area near the train station.
- To adopt design standards to maintain and enhance the architectural character of the Pearl River TOD District, so that downtown Pearl River may realize its potential as an attractive place to live and to work.
- To protect and conserve the value of land and encourage revitalization of the buildings in the Pearl River TOD District.

The historic character of the TOD District is the underlying basis for these design guidelines. East Central Avenue corridor is a developed commercial area with a mix of architectural styles. Two- and three-story Italianate influenced brick buildings are present, especially along East Central Avenue between William Street and Main Street. Typically, these are first floor retail uses with upper story office or some limited residential uses. Historic architectural elements include the flat front, decorative ornamented cornice, and detailed brick façade. Most buildings along East Central Avenue commercial corridor are built to

¹ Town of Orangetown Comprehensive Plan, May 2003, page V-12.

² Pearl River TOD Opportunities Analysis, Land Use Law Center and Kevin Dwarka, LLC, November 28, 2018, page 46.

the front and side property lines. Parking, if provided, is located to the rear. The following photos illustrate conditions along the Central Avenue downtown area.



Recent building construction has attempted to replicate the architectural ambience with The Mews, a newer commercial building on E. Central Avenue at William Street.



Many one-story commercial buildings are also present along the commercial corridor. These buildings are typical horizontal “one block” architecture from the early 20th century and later. Evidence of some façade renovations, including new display windows, façade changes, and large wall signs are apparent.



West of the railroad right-of-way is a mix of uses - retail, office, industrial, warehousing, and manufacturing. There are also a number of larger properties, which provide future redevelopment opportunities. Dexter Plaza is a prime example of an older light industrial complex with many users.



There are also special purpose structures such as the Chase Bank, which provide strong design element and counterpoint to the other commercial uses.



Public buildings and sites such as the Fire Station, the train station building (now a cafe), post office, recreation fields, train station parking lots, and Braunsdorf Park across from the train station on Main Street are other design elements within the TOD District.



The Town has undertaken streetscape improvements along E. Central Avenue including decorative street lights, brick paver sidewalks, pedestrian crossings at key intersections, and street trees to upgrade the downtown area. These improvements are referenced in the design guidelines and are a required design feature as development occurs in the TOD district streets.

DESIGN GUIDELINES

The Pearl River Transit Oriented Development (“TOD”) District design guidelines support future development in the TOD and build on the historic character of the older buildings along Main Street and Central Avenue which forms the corridor to the Pearl River train station. These guidelines create a framework for future development that will help to create and invigorate a more diverse, active, and engaging Pearl River downtown. They provide guidance for building architecture, signs, circulation, lighting, street furniture, landscape treatment and other features that will help to insure compatible future development that will be integrated within the existing fabric of the Pearl River downtown.

The Pearl River TOD Design Guidelines are adopted as part of the zoning regulations over the 6 Pearl River TOD districts – TOD-MUR₁, TOD-MUR₂, TOD-MUR₃, TOD-OR₁, TOD-OR₂, TOD-OR₃.

Design Guidelines Purpose

The purpose of the Pearl River Hamlet TOD District Design Guidelines is to provide direction to implement the TOD District. The use of the term “**should**” indicates a preferred and desirable standard. The use of the term “**shall**” indicate a mandatory standard. Relief from a mandatory standard may be granted by the Planning Board, unless otherwise specified in this Plan.

Design Guidelines Principles

- The historic character of the TOD District, especially along East Central Avenue, should be celebrated by recycling of the more architecturally significant buildings through adaptive reuse.
- All structures shall be constructed in a compatible architectural theme, with appropriate variations in design. The architectural theme shall include buildings, signage, fencing, lighting, paving, landscaping and other similar and related physical features and amenities.
- All building walls facing any public street, customer parking area or residential district line shall be suitably finished for aesthetic purposes.
- All buildings within any development site shall be compatibly designed, whether constructed all at one time or in stages over a period of time.
- Buildings should to be located at the sidewalk edge with a maximum build-to line continuing the historic streetscape building wall.
- Driveways from Central Avenue and Main Street should be limited, and shared driveway access to parking should be encouraged. Alleys or driveway widths should be minimized, to the greatest extent possible, to limit openings on the street.
- Any driveways and alleys between buildings should be designed to create a pleasant visual, well lit, pedestrian experience.
- Visually pleasing, inviting, and safe pedestrian circulation is required.
- Site improvements should support bicycle use and public transit.

Site Design Principles

- New building shall have architectural features in keeping with these design guidelines that create aesthetic value to their facade walls and the TOD district at large.
- Exterior building elevations must be reviewed for conformance with this requirement and approved as part of the overall site plan review process.
- New construction should be in keeping with the intent of the design guidelines without limiting creativity.
- Streetscape improvements shall replicate the design and materials of the East Central Avenue streetscape improvements including lighting, sidewalk pattern, street furnishing, tree grates, benches, and other amenities.
- Interior site improvements including paving, lighting, benches shall be compatible with this streetscape design palette.
- All sidewalks shall incorporate measures for pedestrian and vehicular safety and shall comply with State and Federally mandated ADA requirements.
- Open space shall be provided with park-like features for shade and passive enjoyment, support for new non-residential activity, play space and flexible gathering and event use.

ARCHITECTURAL STANDARDS

Building Materials and Design Articulation

Building facades shall utilize brick, masonry, stone or cast stone or other high-quality materials. Vinyl and wood siding, clapboard and cedar shakes shall not be permitted. Building materials should use natural earth tone colors and should harmonize with surrounding buildings. No more than three primary materials should be used; variations in colors and pattern may be used to break up the mass of the building.

Façade Sections

The building façade shall have a clearly defined base, body, and cap as illustrated in the sketch below.



Architectural Elements

Architectural building elements identified in the Design Guidelines are shown in the illustration below.



BASE

The base of the building should have a more ornate or architecturally significant appearance. A window base (kick plate) should be considered at the ground level to stabilize the building mass consistent with historic commercial building treatments. Base level non-residential uses should include a larger storefront display window encompassing at least 50% of the wall area. Transoms windows should also be considered on the base level above the display window and above the entry door. If the base level has residential uses, as permitted in the TOD-MUR₃ and TOD-OR₃ districts, the windows should be sized appropriately for residential use with a vertical orientation.

Decorative treatment between the base and body of the buildings should include a decorative frieze of wood, stone, or fiberglass above a signboard on mixed use buildings. Details, such as the frieze, should be extended around the corner of a building. Any building façade that faces a public or private street, parking area, public alley or is visible from a street or railroad right-of-way shall use the same materials, building design and have the same quality of appearance as the front façade.

BODY

The body of the building may be less ornate, generally of brick or masonry of a traditional color. The body shall be distinguished from the base and cap by use of horizontal belt courses, changes in material, detailing of the materials, fenestration arrangements and proportion. The windows should be residentially sized with a vertical orientation, whenever possible. The window framing and surrounding material design elements should offer contrast to the surrounding wall. Special treatment of the window lintel, sill, and frame is encouraged to reflect historic building designs.

The body of the building may be horizontally divided at floor, lintel, or sill levels with belt courses. The architectural treatment of a façade shall be completely continued around all street and open yard facing facades of a building. All sides of a building shall be architecturally designed so as to be consistent with regards to style, materials, color and details.

Building wall offsets, including projections and recesses, such as balconies, canopies, awnings, and other architectural details, are encouraged. Building exteriors should have vertical and/or horizontal offsets to create visual breaks on the exterior. Blank building walls of 25 feet in width or greater shall have vertical separations, projecting at least 6 inches to create a visual break. Long, blank, windowless, monotonous, uninterrupted walls or roof planes are not permitted.

CAP

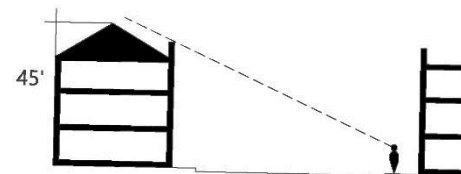
A decorative cornice shall cap the building. It should consist of wood, stone or fiberglass and wrap around the corner of the building on all visible facades.



Roofs

To continue the historic character of the Pearl River TOD, buildings shall be designed to appear as a flat roof terminating with a parapeet. This parapeet shall project vertically to hide any roof-mounted mechanical equipment. Additionally, a cornice shall project out horizontally from the façade and shall be ornamented with moldings, brackets, or other detailing.

The buildings may have pitched roofs; however, the pitched roof shall not be visible from the public street. The pedestrian sight line across the street from the building should block the view of the pitched roof. See the Roof Sight Line Measurement diagram for details.



Roof Sight Line Measurement

The shape, pitch, and color of a roof shall be architecturally compatible with the style, materials, and colors of such building. If the building has a pitched roof, a minimum pitch of 5:12 shall be provided. A

pitch of 8:12 is encouraged. Pitched roofs are encouraged to have dormers, chimneys, cupolas, and other similar elements to provide architectural interest. These elements shall be compatible with the style, materials, colors, and details of the building. Roofline offsets shall be provided along any roof measuring more than 30 feet in length in order to provide architectural interest and articulation to a building.

Rooftop heating, ventilating, and air conditioning (HVAC) systems, exhaust pipes and stacks, satellite dishes, and other telecommunications receiving devices shall be screened or otherwise specially treated to be inconspicuous as viewed from the primary to secondary street and adjacent properties.

In order to reduce the "Heat Island Effect," roofing materials for at least 75% of the roof area of all new buildings should have a Solar Reflectance Index (SRI) of at least 29 for roofs with a slope greater than 2:12 and an SRI of 78 for roofs with a slope of 2:12 or less.

Building Transparency

- Non-residential uses on the ground floor should have large pane display windows along the street frontage at an elevation of between 3 feet and 8 feet above grade.
- At least 50% of the street wall shall be a glass display window. Transom windows above display windows are also encouraged along the ground floor frontage.
- Window sills shall not be more than 3 feet above the sidewalk.
- Decorative window base panels or kick plates, of 18" to 24" in height, are encouraged between the sidewalk and the window sills.
- Glass blocks are not permitted on front windows at street level.
- Exterior security gates are prohibited.
- No blank walls exceeding 25 feet in length shall occur along sidewalks.



Entrances

PRIMARY ENTRANCES

The primary entrance to any building shall front on a major or secondary street. All entrances to a building shall be defined and articulated by architectural elements such as lintels, pediments, pilasters, columns, overhangs, or canopies. These elements shall be compatible with the style and materials of the building. Entrances may also be defined by planters.



CORNER ENTRANCES

Buildings on corners are significant buildings because they have two frontages visible from the street. Corner buildings act as important landmarks within the district and provide visual emphasis. For example, at the intersection of E. Central Avenue and Main Street, the Chase Bank Building accentuates this important intersection. The corner is also further defined by an attractive water fountain, flag pole and landscaping. The building on Central Avenue west of the railroad (shown below) has been attractively renovated. The turret forms an important building design element at the corner.



At street intersections, the corners of buildings can be emphasized with special entrance treatments. Special design elements at corners entrances such as clock towers, cupolas, truncated walls cut diagonally with corner door entries, contrasting façade materials can be used at key corners to increase visibility at the street intersection and provide a strong design statement.



Awnings

Awnings are encouraged above retail storefronts and over major building entrances. They are permitted above windows and doors. Extended awnings should be in the shed style in the shape of a sloped flat plane. Internally illuminated awnings are not permitted. No awning shall extend more than 3 ½ feet from the building exterior or be less than 8 feet from the sidewalk grade level. Awning valances should be not more than 10 inches in height. Signs can be included only on the awning valance.



Balconies

Upper level balconies are permitted on all residential facades. Balconies should be fully recessed within the building plane. However French balconies (shallow balconies connected to French doors, typically of wrought iron) are permitted to project from the building façade up to 30 inches.

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SIGNAGE

Guiding Principles

Signs should reflect the scale of the building and not obscure the building architectural features. Well-designed signs will add variety and visual interest to the streetscape. A sign plan shall be provided as part of the site plan application. New signage shall be fabricated in materials and styles compatible to the character of the buildings subject to the standards below. Deviations from the signage may be permitted to address the size and scale of buildings and to address project-wide signage that may be developed on larger projects, especially in the TOD-MUR₃ and TOD-OR₃ districts. Signage shall reinforce pedestrian scale. Sign clutter shall be avoided.

Prohibited Sign Features

- No sign shall have flashing lights or exposed high-intensity illumination or reflective material or be of neon letters.

- No sign shall obstruct any window, door, fire escape, stairway or opening intended to provide light or ingress or egress to or from any building or structure.
- Exterior signs using moving parts or banners, spinners, flags and pennant, with the exception of clocks and weather information.
- No plexiglass type box signs, that may be internally lighted, are not allowed.

Business Signage

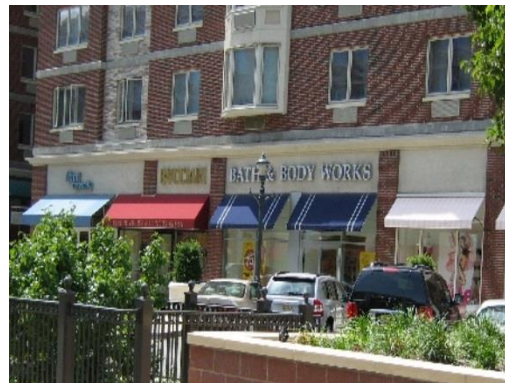
Each business is permitted the following signs: **wall, hanging, awning /canopy, and window signs.**

WALL SIGNS

Walls signs are most appropriately located in the frieze above the storefront display and transom windows for individual businesses. Wall signs shall be a maximum area of 30 square feet and must be located below the second story floor line within the frieze/sign board area. Wall signage is also permitted for walls facing rear parking areas with the same sign area as permitted on the front façade. The wall signs shall be either the following materials:

- Internally-lit raised letters with concealed ballast.
- Back-lit raised letters of wood or metal with concealed ballast.
- A wood or fiberglass sign board or separate wood or metal letters with overhead gooseneck type lighting

The sign graphics or logos should be at least 8 inches to be readable. They should not be more than 12" letters. Raised free standing letters should not be more than 12 inches from the building wall.



HANGING SIGNS

- One hanging sign per each business is permitted. The maximum sign area shall be 10 square feet. Letter/logo height shall be a maximum of 8 inches.
- Hanging signs shall be located below the second story floor line, with a lower edge clearance from the ground level of a minimum of 8 feet.
- Sign shall be constructed of wood or metal. They shall not be internally lighted.
- Signs must be rigid.
- Plastic, vacuum formed internally illuminated signs are not appropriate.



AWNING SIGNS

One sign with lettering per business shall be permitted on an awning only on the base floor. Sign shall be located on the vertical flap of the shed style awning. The height of the letters shall not exceed 8 inches. In cases of multi-tenanted buildings, all awnings shall be of compatible color, size, and style. Awnings shall be kept in good order and repair. They shall be made of a weather resistant cloth or canvas. There shall not be internal lighting under the awning.



WINDOW SIGNS

All window lettering and logo signs shall be inside on the display or transom windows and only on the first floor windows. Window lettering/logo signs shall not exceed 10% of the window area. Internal hanging signs shall not exceed 15% of the window area. Lettering height shall not exceed 8 inches. These signs shall pertain only to the business occupying the premises where the window is located.



Monument Signs

One monument sign shall be permitted to identify developments in the TOD-MUR3 and TOD-OR3 zones only. The total area of the monument sign, including sign face and support structure shall be limited to 30 square feet. The height of the sign shall not exceed a height of six feet above the grade. The monument sign shall be setback a minimum of 10 feet from any property line. A double faced sign shall be counted as one sign. The monument sign materials shall be compatible with the building design treatment of quality materials. The monument sign shall not be internally lighted.



Street Address Signs

A street address sign is required for each building or individual tenant. Street numbers shall be a maximum of 8" in height.

Temporary Signs

Temporary signs advertising the sale, rental and development of a site shall be permitted provided:

- No more than one such sign shall be permitted per street frontage.
- No one surface of any such sign shall exceed 24 square feet in area.
- No such sign shall exceed six feet in height.
- No such sign shall be located less than 10 feet from any lot line.
- No such sign shall be illuminated in any manner.

Directory Signs

Multi-tenanted commercial buildings may provide a directory sign on the main entrance to the upper floors of the building. These directory signs are permitted only for upper story non-residential uses. The directory sign shall be a wall sign not to exceed 15 square feet in area. The sign shall not be internally lighted. The letter height shall not exceed 4".



Wayfinding Signage

Wayfinding signage is an important streetscape element. It aids visitors and also acts as an additional aesthetic visual element in the streetscape. A wayfinding signage plan for the Pearl River TOD District should be developed by the Town of Orangetown. It shall provide information identifying the location of the train station, public parking lots, businesses and public buildings.



CIRCULATION

Driveways

Driveways into the rear parking areas shall be limited to 20' wide driveway openings. Where possible, driveways openings shall not be located on East Central Avenue or Main Street. Shared driveway access to rear parking areas between building lots is highly encouraged. Parking areas should be connected between properties to facilitate parking access and utilization.

Parking

Parking requirements for all permitted uses are stated in the TOD district regulations. Parking should be designed to meet the following standards:

- On-site surface parking shall not be located between a principal building and any street frontage.
- Off-street parking areas should be located to the rear of the building groups, landscaped and screened.
- Shared parking areas and shared driveway access to the rear of lots is strongly encouraged.
- Shared maintenance and cross-easements between adjoining properties shall be implemented by legal documentation to be reviewed and approved by the Town Planning Board Attorney.
- Parking spaces developed on the ground level under buildings should include commercial liner buildings along the street frontage to maintain pedestrian activity.

Walkways

Walkways between buildings shall be designed to create an attractive entry experience to side and rear entrances and parking areas. Trellises, archway, landscaping treatments can be used to create an aesthetic walking experience along the walkways and between buildings.



Parking Structures

Parking structures shall be designed to fit within the building streetscape. Parking structures shall meet the building setback and other bulk regulations and the exterior architecture treatment shall be compatible with the building design guidelines. Parking structures should be designed to include retail liner buildings along the street frontage to maintain the streetscape rhythm. Wherever possible, vehicle access should be from the side street or service drive and visually screened from view from the public street or walkway.



Source of garage photos: <http://plannersweb.com/2014/12/fbc3/parking-garage-liner-spaces-staunton>
<http://online.encodeplus.com/regs/overlandpark-ks>

Traffic Calming

Textured paver crosswalks shall be used in place of traditional painted lines for street improvements. The use of curb extensions on new internal roads and drives in the TOD-MUR₃ and TOD-OR₃ Districts should be used to improve pedestrian safety.

Pedestrian/Bike System

Pedestrian sidewalks shall be provided to encourage and support walkability. The pavement design should be consistent with the Pearl River TOD sidewalk improvement detail. Shared bike lanes should be considered and marked accordingly where appropriate. Bike racks should be included in the site amenities design.

LIGHTING

Street Lights

Street lights shall be the fixture type selected by the Town for the TOD district or an approved compatible design in terms of design and color. Pedestrian scaled lighting, less than 16 feet in height, shall be used along all internal streets within new developments. An average of 0.2 foot-candle illumination should be maintained over the sidewalks. Street light fixtures shall be full cut-off.



Parking Lot Lighting

Parking lot lighting fixtures shall be of a design compatible with the TOD district street light fixture.

- Fixture poles shall be no more than 25 feet in height.
- An average of 0.8 foot candle illumination must be maintained within residential parking lots.
- An average of 2.6 foot candle illumination must be maintained within non-residential parking lots.
- Parking lot fixtures shall be full cut-off and shall be on timers.

Building Lighting

Light fixtures attached to the exterior of a building are encouraged. These fixtures shall be architecturally compatible with the style, material and colors of such building.



BUFFER AREAS

Buffer areas shall be provided at a minimum of 25' wide where properties adjoin the residential zone. These buffer areas shall be developed in an aesthetic manner for the primary purpose of providing a year-round visual screen to the development from adjacent rights-of-way and land uses. The buffer shall contain dense plantings of evergreen trees, deciduous trees, flowering trees and shrubs. Structures and parking shall not be permitted in the required buffer area; however, fences and walls are permitted in the buffer area.

UTILITIES

New site development and complete reconstruction of a property shall place all utilities underground, unless specifically excluded by the Town Engineer.

STREET FURNITURE

Street furniture should be provided as part of the site improvements. These design elements shall be compatible with the Pearl River TOD streetscape design elements. The following presents examples compatible street furniture in keeping with the historic character of the District.

BENCHES

Benches encourage social interaction and add eyes on the street, making it a safer place. It is preferable to locate benches close to street trees so that they will benefit from summertime shading.



TRASH RECEPTACLES

Trash receptacles are important in keeping the sidewalks clean. They can also encourage recycling and reuse.

BIKE RACKS

The installation of bike racks encourages an alternative transportation mode. Bike racks provide a safe and appropriate location for bicycle storage and prevent the destruction that occurs when bikes are chained to street lamps and trees.



NEWSPAPER STANDS

Newspaper stands should be grouped to decrease cluttering of the sidewalk. Newspaper stand enclosures should be used in accord with Town standards.

KIOSKS

Kiosks should be provided in the public spaces to provide space for posting of notices and activities.



PLANTERS

Planters provide the opportunity for smaller scaled vegetation along the sidewalk. They are highly recommended to be used to define shop entrances, enclose outdoor dining areas and embellish the spaces between street trees.



TABLES

Tables and umbrellas provide space for outdoor dining and viewing the street activity. The style should be consistent with the design palette of the streetscape. Black wrought iron type is recommended.



PUBLIC ART

Murals and other public art can provide additional street vibrancy and visual interest in the District. Any mural or art provided along the street or located on building walls within the district shall be subject to Planning Board review and approval.



LANDSCAPE ELEMENTS

Landscape Standards

Street trees are an essential element of a streetscape; they provide shade to pedestrians in the summer months, improve air quality and provide natural beauty in a developed environment. Each street typology states whether trees are planted in a tree grate or planting strip. The following planting standards apply:

- All trees shall be planted at least 2.5' from the curb face
- Trees to be planted in planting beds shall be planted in a bed measuring a minimum of 4' x 8'
- Trees shall be supplemented by native, low-maintenance plants
- Trees to be planted in grates shall be planted in a grate measuring a minimum of 5' by 5'
- Trees to be planted in grates shall be planted in structural soil. Structural soil material is designed as follows. The three components of the structural soil are mixed in the following properties by weight: crushed stone: 100; clay loam: 20; hydrogel: 0.03. Total moisture at mixing should be 10% (AASHTO T-99 optimum moisture).
- Trees shall be planted at a minimum size of 2.5 to 3 inch caliper, bound and burlapped.

Guiding Principles

The landscape plan should conform to the following general design principles:

- All landscape plants should be native species and typical full specimens conforming to the American Association of Nurserymen Standards (ANA) for quality and installation.
- All plant selections should emphasize deer resistant species.
- Local soil conditions and water availability should be considered in the plant selection. All plants shall be tolerant of specific site conditions.
- Landscaping shall not inhibit access by emergency vehicles or inhibit visibility within required vehicular sight triangles.

- Only irrigation systems using nonpotable water supplies are to be used for all new plantings.
- An appropriate variety of tree species should be provided to avoid die-out due to species-specific diseases.

Street Tree Details

Street trees should be provided in accordance with the following standards:

- Street trees should be provided on both sides of all streets
- The number of street trees should average one for every 35 linear feet of property frontage.
- Spacing between trees should be determined based upon species selection. In general, trees should be between 30 and 50 feet on center, averaging no more than 40 feet on center (excluding driveways and utility vaults).
- Trees should be a minimum of two and one-half to three inches caliper, based on ANA standards.
- Trees are to be disease resistant and tolerant of road salts and air pollution.
- Branching height should bear a relationship to the size and species of tree, but shall have a minimum clearance height of seven feet above grade before branching begins.
- Along narrow street frontages, columnar and/or fastigate trees should be specified to accommodate canopy width.

Parking Lot Landscaping

Interior parking lot landscaping shall be provided as follows:

- 4 percent of the gross square footage of paved parking area shall be landscaped.
- Landscaping shall be provided in areas of at least 150 square feet.
- A minimum of 1 shade tree shall be planted within the parking area for every 10 parking spaces.
- Shrubbery shall be less than 3 feet and shade trees shall have foliage no lower than 7 feet in height to provide for safe visibility.
- No row of parking spaces shall exceed 20 spaces without interruption by a minimum 9 foot wide landscaped island.
- Plants shall be selected for high drought tolerance or irrigation shall be provided that uses only nonpotable water supplies such as captured rainwater or greywater.
- All tree plantings within landscaped islands shall be set back 2 feet from the curb.

Landscape Buffer Details

A landscaped buffer shall be provided around surface parking lots and around the perimeter of new development sites in accordance with the following:

- A shrub mass of deciduous and/or evergreen species shall be planted within the required buffer area to provide for a visual and physical screen along the entire frontage.
- Shrubs within the buffer shall primarily include evergreen species, although deciduous plants may be used provided that their use does not result in significant visual openings during the winter season. This landscape mass shall be interspersed with the required ornamental and evergreen trees to provide for a natural, random and visually interesting plant scheme.

- Selection of plants species shall provide for a variety and mixture of landscaping. Varieties should consider susceptibility to disease, shapes, seasonal display, textures, flowers, and foliage.
- The plant quantities constituting the buffer should include:
 - Shrubs averaging 25 per 100 linear feet of frontage.
 - Ornamental trees averaging four per 100 linear feet of frontage.
 - Evergreen trees averaging four per 100 linear feet of frontage.
 - Lawn or groundcover to complete the required buffer area.
- Required plantings in the buffer area shall meet the minimum size requirements as follows:
 - Shrubs: planted size is to be a minimum of 24 inches to 36 inches in height.
 - Ornamental trees: planted size is to be a minimum of six feet to eight feet in height.
 - Evergreen trees: planted size is to be a minimum of five feet to six feet in height.

Planting Specifications

- Deciduous trees shall have a minimum 2 1/2 to 3 inch caliper measured 6 inches above the ground surface at time of installation. Size of evergreens and deciduous shrubs shall be allowed to vary depending on setting and type of shrub. Only nursery-grown plant materials shall be acceptable horticultural standards.
- Dead or dying plants shall be replaced during the following planting season and guaranteed by the landscape contractor for a period of one year.
- Evergreen trees shall have a minimum height of 6 feet at planting. All plant materials, planting practices, and specifications shall be in accordance with the "American Standards for Nursery Stock" by the American Association of Nurserymen Standards.
- The plant species selected should be hardy for the particular climatic zone in which the development is located and appropriate in terms of function and size.
- Landscaping within sight triangles shall not exceed a mature height of 30 inches and shade trees shall be pruned up to a ten (10) foot branching height above grade.
- Any area not used for buildings, structures or paved areas shall be planted with an all-season ground cover or lawn and other landscape materials including, but not limited to, trees, shrubs, berms, plants, etc., as needed to meet the requirements for adequate landscaping and buffering as approved by the Planning Board.
- A landscape plan shall be prepared by a landscape architect, licensed by the New York State Board of Landscape Architects.

SITE DESIGN STANDARDS - TOD-MO₃ AND TOD-O₃ DISTRICT PROPERTIES

Site Design

Building architecture should be compatible with the historic character of commercial/mixed use buildings in the TOD zone. Large building sites within these districts should have internal streets and walkways designed to replicate a mixed-use street like East Central Avenue. The buildings should be located within the build-to-line close to the street, and on-street parallel parking should be provided. The sidewalk realm should include pedestrian amenities to encourage street level activity. Sidewalk connections shall be provided linking to public streets and connection to the Pearl River train station.

Parking

On-street parking shall be provided as part of a comprehensive streetscape design approach to new developments within the TOD- MUR₃ and TOD-OR₃ districts. Off-street parking areas should be located to the rear of the building groups, landscaped and screened. Open parking areas along public and internal streets should be discouraged.

Open Space

TOD-MUR₃ and TOD- OR₃ development shall provide recreation playground areas as part of any planned mixed use/residential development. These recreation areas shall provide facilities for children of all age groups in separate locations. Seating, trash receptacles, lighting, landscaping shall be provided in an integrated design plan.

Building Setbacks

TOD-MUR₃ and TOD-OR₃ development shall provide the following minimum setbacks between multiple buildings located internal to the lots shall be as follows:

- Front wall to front wall 75 feet
- Front wall to rear wall 75 feet
- Rear wall to rear wall 75 feet
- Side wall to side wall 50 feet
- Side wall to front or rear wall 50 feet
- Building setback from roads and drives - 0' Minimum 15' maximum measured from the interior edge of the sidewalk.

Other Standards

All utilities within the TOD-MUR₃, and TOD-OR₃ districts shall be placed underground.

The Muddy Creek shall be protected and designed as a water-related amenity for new development in the TOD-MUR₃ and TOD -OR₃ districts.

Other design standards shall be in effect unless superseded by this section.

SUSTAINABILITY

Guiding Principles

Encourage environmentally conscious strategies to reduce the consumption of resources and support municipal policies for sustainability.

Provide new construction for buildings and structures that advance high performance reduction in energy use and address sustainability in all aspects of design.

Requirements

- Building and site design should seek to minimize environmental damage, reduce energy and water use; use sustainable, renewable, non-toxic and locally-produced materials; improve indoor air quality; and provide environmentally conscious planning.
- New construction should incorporate the use of salvaged materials, recycled materials, regionally produced materials, renewable materials, materials with low or no VOCs in accordance with referenced standards.
- Design should incorporate appropriate areas for collection and storage of recyclable materials and refuse.
- Parking garage areas shall accommodate alternate energy vehicles and secure bicycle racks. Bicycle racks should also be located in open site areas convenient to primary entries.
- Green street technology should be incorporated to all street improvements to aid infiltration of excess stormwater. These green building design goals should be encouraged. Formal LEED certification is encouraged, but not required.

APPENDIX

TOD DISTRICT GATEWAYS

The East Central Avenue and Pearl Street (Route 304) intersection provides an opportunity to create a major gateway area into the Pearl Hamlet TOD District. Addressing this intersection in the site design can emphasize this special entry area. Similarly, the East Jefferson Avenue and South Pearl Street, and East Washington Ave and North Pearl Street intersection should be considered secondary gateways into the Pearl Street TOD District with special streetscape and intersection treatment. East Central Avenue and John Street is the eastern gateway into the TOD which can also be emphasized through signage, landscape treatment and future building design improvements.

The following sketches illustrate conceptual ideas for the East Central Avenue/Route 304 gateway view east.



Street level view facing east towards downtown on East Central Avenue at Route 304.



Aerial view of East Central Avenue and Route 304 intersection.



Proposed site plan of intersection over existing aerial photo. The Saloon Bar and other buildings on the northside, except the corner property, are shown to remain. New mixed use development is assumed on the Dexter Plaza property. The site plan sketch only looks at the Central Avenue/ Route 304 frontage at this intersection. Future development would occur beyond this frontage.



A pedestrian walkway provides access between the buildings to rear. Decorative pavement, lighting fixtures, trees and other streetscape materials are provided. Parallel parking is maintained along East Central Avenue.



The buildings are sited on the build-to-line, close to the street frontage. A decorative "Welcome to Pearl River" gateway sign is installed. The parking on Central Avenue is modified to widen the sidewalk on northside of street in front of the Saloon Bar and other properties. Curb bump outs provide a safer pedestrian crossing distance. The streetscape has brick pavers, decorative lighting planters, benches and other street furniture.



Special entrance treatments are provided to highlight buildings along corners. Curb bump outs provide a safer crossing at the intersection. Parallel parking is provided on both sides of East Central Avenue. Buildings are sited at the build-to-line, establishing a continuous frontage building façade treatment.

CONCEPT SKETCHES ILLUSTRATING THE TOD DESIGN GUIDELINES

The following concept sketches illustrate possible redevelopment opportunities utilizing the TOD Design Guidelines.



Existing Condition – East Central Avenue at Municipal Parking Lot Entrance







View looking east on East Central Avenue toward John Street and the Fire Station.





EXAMPLES OF ARCHITECTURAL TREATMENT COMPATIBLE WITH DESIGN GUIDELINES

Mixed Use Buildings – 2 story



Mixed Use Buildings – 3 story



Residential Buildings – 3 story



Mixed-Use Buildings – 2 & 3 story with garage parking



TOWN BOARD: TOWN OF ORANGETOWN
COUNTY OF ROCKLAND
STATE OF NEW YORK

-----X

IN THE MATTER OF THE

PETITION OF

RYERSON FARMS, LLC
350 BOXBERGER ROAD
VALLEY COTTAGE, NEW YORK

AMENDMENT TO THE ZONING ORDINANCE
OF THE TOWN OF ORANGETOWN FROM AN
"LO" & "R40:" DISTRICT TO AN "MFR" DISTRICT

-----X

PETITION

TO THE TOWN BOARD OF
THE TOWN OF ORANGETOWN

The undersigned petitioner respectfully petitions your Honorable Board as follows:

FIRST:

Ryerson Farms LLC. is the contract purchaser of property located west of Greenbush Road and East of NYS Route 303 in the hamlet of Blauvelt, more particularly bounded and described in Addendum A annexed hereto.

SECOND:

The property described in Addendum A is known and designated on the Tax Map of the Town of Orangetown as:

<u>Section</u>	<u>Block</u>	<u>Lot</u>
65.15	1	1

THIRD:

Annexed hereto and marked Exhibit A is a copy of the Vicinity and Zoning Map, Exhibit B is a copy of the Area Use Map, and Exhibit C is a copy of a Map of the Tax Lot which is the subject of the Petition and of the surrounding parcels.

FOURTH:

Annexed hereto and marked Addendum B is a list of names and addresses of all owners owning property within 500 feet of the property which is the subject of this application as the same appears on the tax roll of the Town of Orangetown.

FIFTH:

That the property which is the subject of this Petition comprises approximately 17.32 acres.

SIXTH:

The property is currently vacant.

SEVENTH:

Said property is presently zoned "LO" and "R40."

EIGHTH:

Pursuant to the Town Law of the State of New York, and the Zoning Ordinance of the Town of Orangetown, petitioners hereby request that the Zoning Ordinance be amended to place the aforesaid real property, as described and shown in Exhibit C, in an "MFR" Zoning District which would allow the development of multifamily residences within said zone.

NINTH:

That said proposed change would be compatible with the uses in the adjoining and neighboring properties. Further, this would be the most practical way, economically and

beneficially, in which the property could be utilized. There appears to be no other permitted use under the present zoning that will bring a fair return on the property.

TENTH:

That said proposed use would be in the public interest of the residents of the Town of Orangetown, in that:

(a) the development of the property under an “MFR” Zone would establish a substantial tax ratable for the Town of Orangetown;

(b) the development of the property under an “MFR” Zone would fill a need for the residents of the Town of Orangetown;

(c) the development of the parcel under an “MFR” Zone would permit the developers to install needed water and sewer facilities to this area; and the granting of such relief as is sought in this Petition will be the most appropriate use of the subject parcel, and will preserve property values and will be beneficial to the owners.

(d) As proposed the development of the parcel will use a limited amount of the realty (9.5 acres) and the residual acreage will be donated to the Town of Orangetown (7.82 acres).

ELEVENTH:

That the parcel which is the subject of this Petition can best be developed under the proposed “MFR” Zone.

TWELFTH:

The subject property is located within 500 feet of the following:

(a) a state road - Route 303;

(b) a county road - North Greenbush Road;

(c) a Town Line - Town of Clarkstown and Town of Orangetown.

THIRTEENTH:

That the subject premises are not within 500 feet of any of the following:

- (a) any city or village boundary line;
- (b) any state park or recreation area;
- (c) any right-of-way of any state park or recreation area;
- (d) any county or state owned land on which a public building or institution is

situated.

FOURTEENTH:

Brendan Cunney, the V.P. of Rathmagurry Realty, Inc., owner of the property described in the petition submitted to the Town Board of the Town of Orangetown, do hereby give permission to the contract purchaser to file this petition for Zone Change.

WHEREFORE, petitioners respectfully prays that your Honorable Board take such steps and such action as may be necessary to grant the relief sought in this Petition.

Dated: June 14, 2019

Respectfully Submitted,

RYERSON FARMS, LLC

BY: William Brodsky
WILLIAM BRODSKY

RATHMAGURRY REALTY, INC.

BY: Brendan Cunney
BRENDAN CUNNEY

Addendum A

Addendum A

Tax Lot Section 65.15 Block 1 Lot 1

BEGINNING at an iron pin on the easterly right of way of NYS Route 303, said iron pin marking the northwesterly corner of the lands described herein, and being formed by the intersection of the boundary line between the Town of Orangetown on the south and the Town of Clarkstown on the north, and running thence:

1. Along said boundary line between the Town of Orangetown and the Town of Clarkstown, N 85°09'55" E distant 280.10 feet to an iron pipe; thence
2. Along the westerly right of way of Greenbush Road the following four courses and distances:
 - a. S 5°35'30" W distant 716.42 feet to a Rockland County Monument; thence
 - b. S 5°15'15" W distant 556.89 feet; thence
 - c. Southwesterly, on a curve to the right having a radius of 905.41 feet and an arc length of 156.04 feet to a Rockland County Monument; thence
 - d. S 15°07'45" W distant 347.81 feet; thence
3. Along the northerly line of lands n/f Arri Inc. (Tax Lot 65.19-1-1), N 71°15'00" W distant 694.10 feet to an iron rebar, and a non-tangent point on a curve; thence
4. Along the easterly right of way of NYS Route 303, the following three courses and distances:
 - a. Northeasterly, on a curve to the left having a radius of 1,668.11 feet and an arc length of 433.71 feet, with a chord bearing of N 31°08'32" E; thence
 - b. N 23°49'34" E distant 630.00 feet to a point of curvature; thence
 - c. Northeasterly, on a curve to the left having a radius of 1,678 feet and an arc length of 583.39 feet, back to the point or place of BEGINNING.

Addendum B

ADDENDUM B - PAGE 1 OF 4

RYERSON FARMS, LLC. - 636 GREENBUSH ROAD
BLAUVELT, NEW YORK

REPUTED OWNERS WITHIN 500 FEET

<u>SECTION</u>	<u>BLOCK</u>	<u>LOT</u>	<u>OWNER/MAILING ADDRESS</u>
65.14	1	2	Kingship Realty LLC 634 Rte 303 Blauvelt, NY 10913
65.14	1	6	Grace Realty Holdings LLC 634 Rte 303 Blauvelt, NY 10913
65.14	1	9	F.M.L. Realty Rockland LLC 628 Rte 303 Blauvelt, NY 10913
65.15	1	3.2	Robert Zerilli 601 N Greenbush Rd Blauvelt, NY 10913
65.15	1	6	County of Rockland 11 New Hempstead Rd New City, NY 10956
65.18	1	8	Arriflex Corp. 617 Rte 303 Blauvelt, NY 10913
65.19	1	21	Victor Armaniaco 577 N Greenbush Rd Blauvelt, NY 10913
65.19	1	24	Vincent Carioscia Jr 583 N Greenbush Rd Blauvelt, NY 10913
65.14	1	3	Kingship Realty LLC 634 Rte 303 Blauvelt, NY 10913

ADDENDUM B - PAGE 2 OF 4

RYERSON FARMS, LLC. - 636 GREENBUSH ROAD
BLAUVELT, NEW YORK

REPUTED OWNERS WITHIN 500 FEET

<u>SECTION</u>	<u>BLOCK</u>	<u>LOT</u>	<u>OWNER/MAILING ADDRESS</u>
65.14	1	7	Sun O Kim 491 Route 304 Bardonia, NY 10954
65.15	1	2	James Maris 609 N Greenbush Rd Blauvelt, NY 10913
65.15	1	4	County of Rockland County Office Building New City, NY 10956
65.18	1	9	Advanced Manolta LLC 105-107 Stonehurst Ct Northvale, NJ 07467
65.19	1	19	Town of Orangetown 26 Orangetown Rd Orangetown, NY 10962
65.19	1	22	Chester F Lubeck 581 N Greenbush Rd Blauvelt, NY 10913
65.19	1	25	Lisa M Runco 18 Pine Glen Dr Blauvelt, NY 10913
65.14	1	5	Japa Inc 632 Rte 303 Blauvelt, NY 10913
65.14	1	8	Sarah Winikoff 626 Rte 303 Blauvelt, NY 10913

ADDENDUM B - PAGE 3 OF 4

RYERSON FARMS, LLC. - 636 GREENBUSH ROAD
BLAUVELT, NEW YORK

REPUTED OWNERS WITHIN 500 FEET

<u>SECTION</u>	<u>BLOCK</u>	<u>LOT</u>	<u>OWNER/MAILING ADDRESS</u>
65.14	1	10	Samaritan Daytop Foundation 138-02 Queens Blvd Briarwood, NY 11435
65.15	1	3.1	Greenbush Road LLC 75 Michael Roberts Dr. Pearl River, NY 10965
65.18	1	7	LIA Realty LLC 1258 Central Ave Albany, NY 12205
65.19	1	1	Arriflex Corp. 617 Rte 303 Blauvelt, NY 10913
65.19	1	20	Peter Solari 573 N Greenbush Rd Blauvelt, NY 10913
65.19	1	23	Anthony S Vaccaro 589 N Greenbush Rd Blauvelt, NY 10913
65.19	1	26	Patrick Trozzo 20 Pine Glen Dr Blauvelt, NY 10913
65.19	1	27	Carlo Minuto 22 Pine Glen Dr Blauvelt, NY 10913
65.19	1	28	George Alierio 24 Pine Glen Dr Blauvelt, NY 10913

ADDENDUM B - PAGE 4 OF 4

RYERSON FARMS, LLC. - 636 GREENBUSH ROAD
BLAUVELT, NEW YORK

REPUTED OWNERS WITHIN 500 FEET

<u>SECTION</u>	<u>BLOCK</u>	<u>LOT</u>	<u>OWNER/MAILING ADDRESS</u>
65.14	1	4	TRS Realty LLC 634 Rte 303 Blauvelt, NY 10913
65.14	1	11.3	Golden Crust Rockland LLC 3958 Park Ave Bronx, NY 10457 Town of Clarkstown 10 Maple Ave New City, NY 10956 Attn: Planning Dept.

Exhibit A

Vicinity and Zoning Map

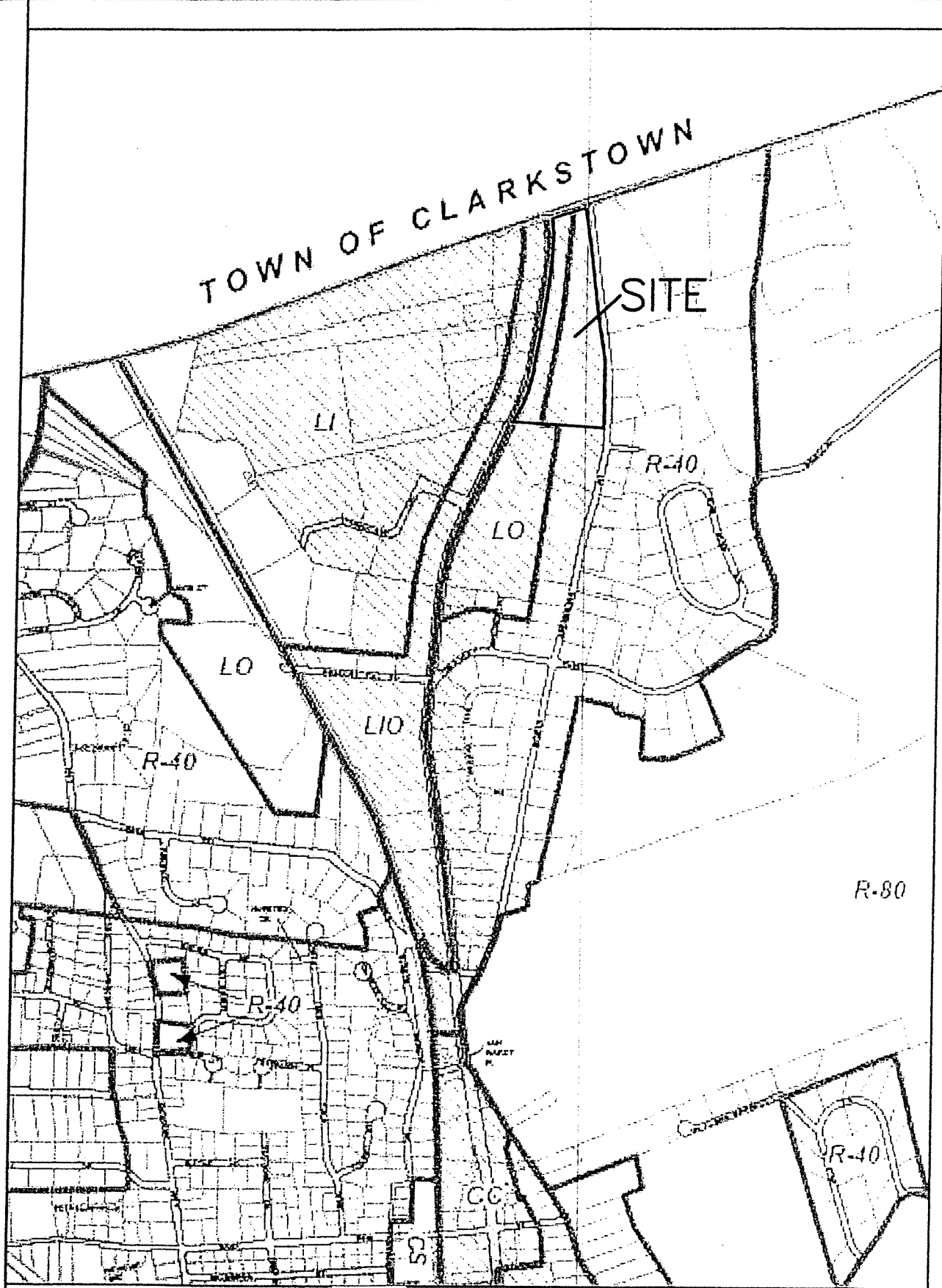


EXHIBIT A
VICINITY AND ZONING MAP

FOR:
RYERSON FARM LLC
350 BOXBERGER ROAD
VALLEY COTTAGE, NEW YORK

SCALE: 1"=300'±

BY:
DONALD BRENNER, PE, LUB
4 INDEPENDENCE AVE
BLAUVELT, NEW YORK 10983

DATE: JUNE 2019

Exhibit B
Area Use Map

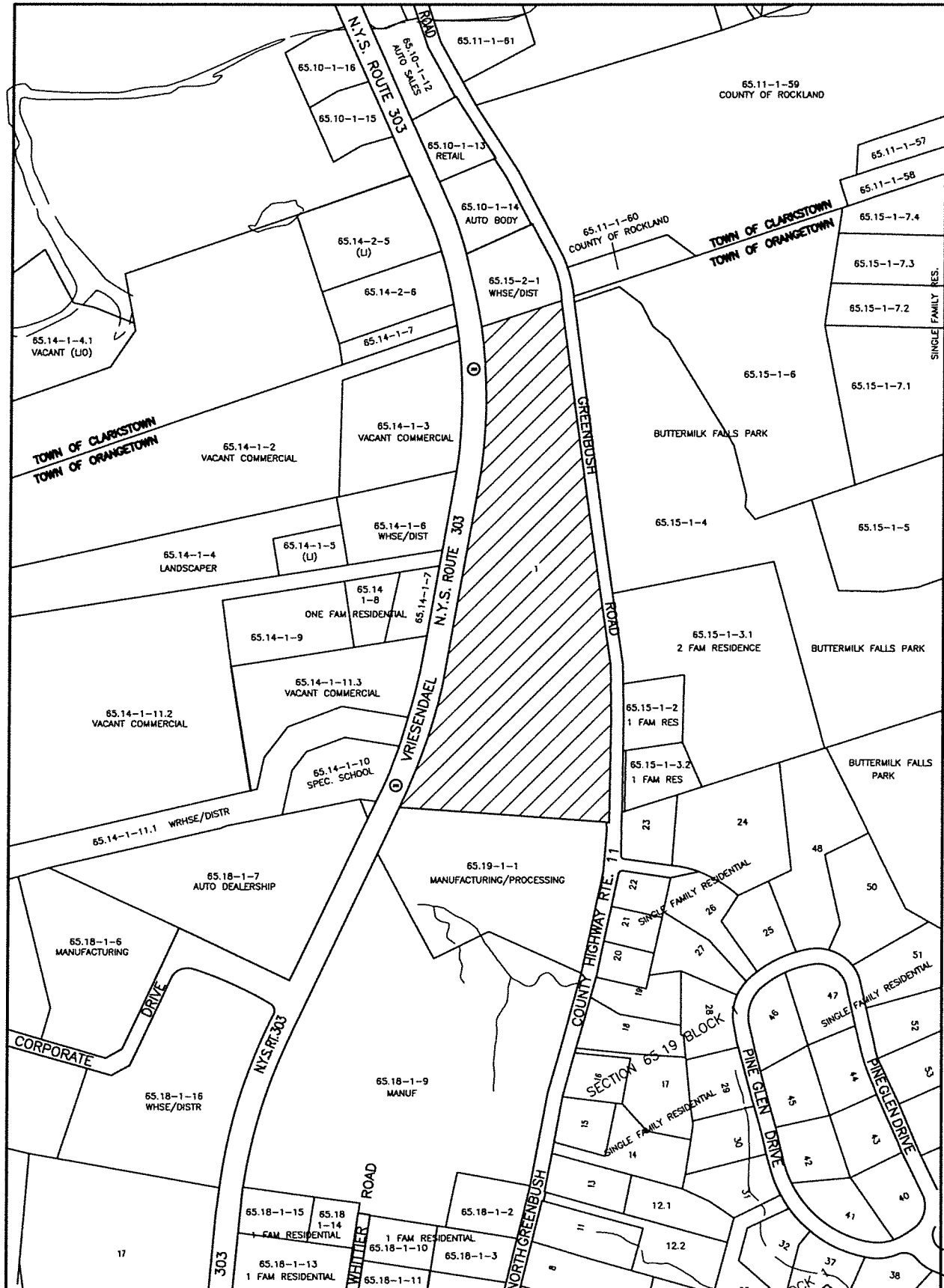


EXHIBIT B
AREA LAND USE MAP

<p>FOR: RYERSON FARM LLC 350 BOXBERGER ROAD VALLEY COTTAGE, NEW YORK</p>	<p>BY: DONALD BRENNER, PE, LLB 4 INDEPENDENCE AVE BLAUVELT, NEW YORK 10983</p>
<p>SCALE: 1"=300'±</p>	<p>DATE: JUNE 2019</p>

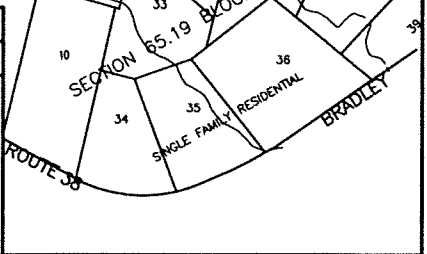


Exhibit C
Tax Lot Map

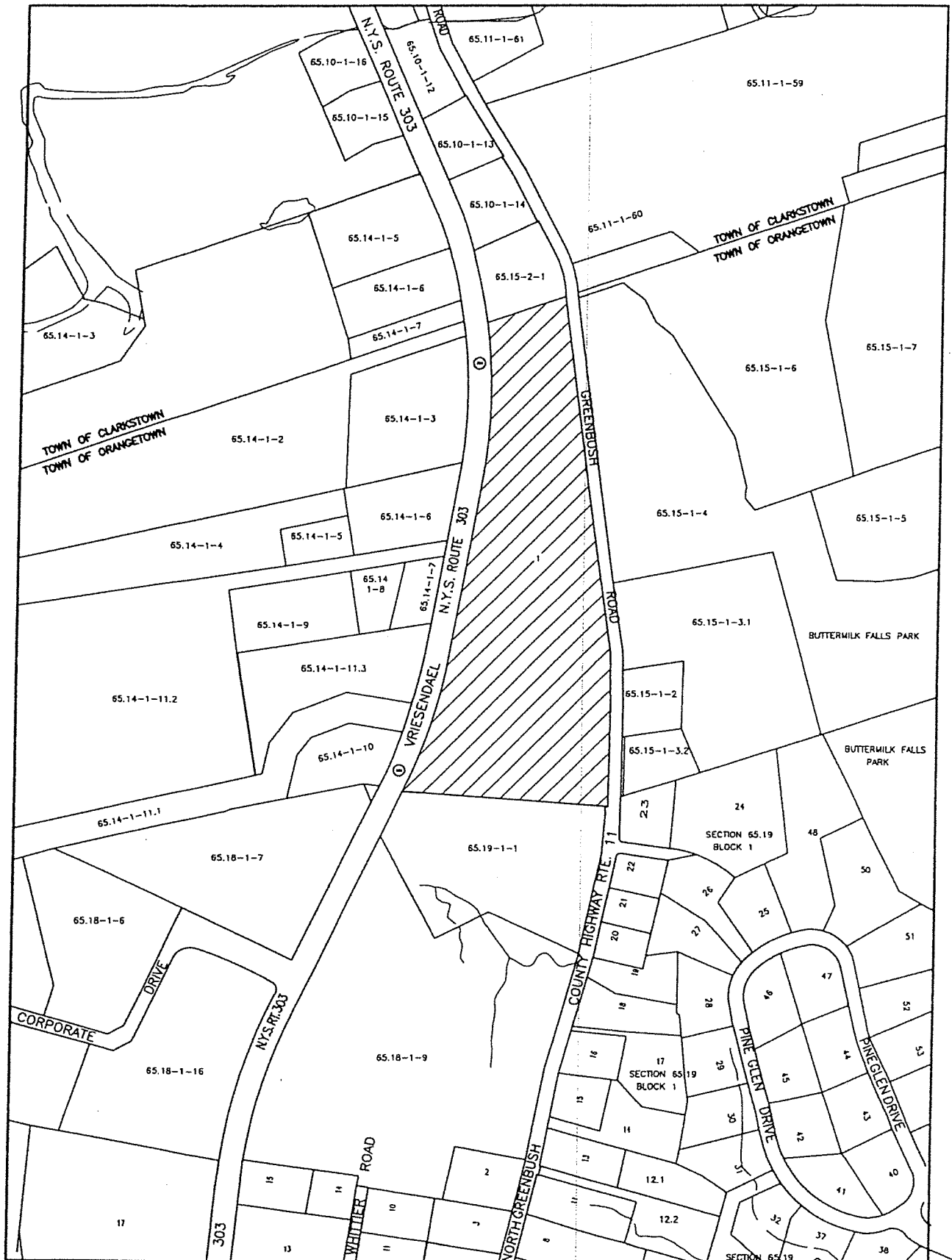


EXHIBIT C
MAP OF TAX LOT FOR ZONE CHANE

<p style="text-align: center;">FOR: RYERSON FARM LLC 350 BOXBERGER ROAD VALLEY COTTAGE, NEW YORK</p>	<p style="text-align: center;">BY: DONALD BRENNER, PE, LLB 4 INDEPENDENCE AVE BLAUVELT, NEW YORK 10983</p>
<p style="text-align: center;">SCALE: 1"=300'±</p>	<p style="text-align: center;">DATE: JUNE 2019</p>

Full Environmental Assessment Form

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Patriot's Crossing		
Project Location (describe, and attach a general location map): East side of Route 303 in the Town of Orangetown (TL 65.15-1-1), Rockland County		
Brief Description of Proposed Action (include purpose or need): Zone change required from existing LO (Laboratory Office) and R-40 (Residential) to MFR (Multifamily Residential) to develop 68 Townhomes with public sewer and water. Access shall be from NYS Rte 303 and emergency access to Greenbush Road.		
Name of Applicant/Sponsor: Ryerson Farms LLC		Telephone: 845-590-0646
		E-Mail: wpbtcg@gmail.com
Address: 350 Boxberger Rd		
City/PO: Valley Cottage	State: NY	Zip Code: 10989
Project Contact (if not same as sponsor; give name and title/role): Same as applicant		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Rathmagurry Realty Inc.		Telephone:
		E-Mail:
Address: 1 Corporate Drive		
City/PO: Orangeburg	State: NY	Zip Code: 10962

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Zone Change	
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Site Plan	
c. City, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	ACABOR	
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Rockland Planning & RCDOH + <i>RCDA</i>	
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS DOT - Highway Permit	
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, identify the plan(s):	
<u>Town of Orangetown - Route 303 Overlay District</u>	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?
LO (Laboratory Office) and R-40 (Residential)

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,
i. What is the proposed new zoning for the site? MFR (Multifamily Residential)

C.4. Existing community services.

a. In what school district is the project site located? South Orangetown Central School District

b. What police or other public protection forces serve the project site?
Town of Orangetown Police

c. Which fire protection and emergency medical services serve the project site?
Blauvelt Fire Department

d. What parks serve the project site?
Rockland County and Town of Orangetown parks

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Multifamily Residential

b. a. Total acreage of the site of the proposed action? 17.32 acres
b. Total acreage to be physically disturbed? 9.5 ~~8.88~~ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 7.82 17.32 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No

If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:
• Total number of phases anticipated 2
• Anticipated commencement date of phase 1 (including demolition) 9 month 2020 year
• Anticipated completion date of final phase 9 month 2022 year
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____
Commencement of project shall start upon Site Plan approval from town and shall last for approximately 2 years.

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

- i. Estimate methane generation in tons/year (metric): _____
- ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust):

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

- i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.
- ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____
- iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____
- iv. Does the proposed action include any shared use parking? Yes No
- v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____
- vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No
- vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No
- viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

- i. Estimate annual electricity demand during operation of the proposed action: _____
- ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____
- iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

- | | |
|--|---|
| <ul style="list-style-type: none"> i. During Construction: • Monday - Friday: _____ As per Town Code • Saturday: _____ As per Town Code • Sunday: _____ As per Town Code • Holidays: _____ As per Town Code | <ul style="list-style-type: none"> ii. During Operations: • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ |
|--|---|

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration:

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No

Describe: _____

n. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

Street lighting and building lighting

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No

Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No

If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ tons per _____ (unit of time)
- Operation : _____ tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: _____
- Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: _____
- Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.00	3.55	3.55
• Forested	17.13	8.25	-8.88
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)	0.19	0.19	0
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: <u>Lawn and Landscaped Areas</u>	0.00	5.33	5.33

c. Is the project site presently used by members of the community for public recreation? Yes No
 i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
 If Yes,
 i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
 If Yes:
 i. Dimensions of the dam and impoundment:
 • Dam height: _____ feet
 • Dam length: _____ feet
 • Surface area: _____ acres
 • Volume impounded: _____ gallons OR acre-feet
 ii. Dam's existing hazard classification: _____
 iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
 If Yes:
 i. Has the facility been formally closed? Yes No
 • If yes, cite sources/documentation: _____
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____

 iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
 If Yes:
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
 If Yes:
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
 ii. If site has been subject of RCRA corrective activities, describe control measures: _____

 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
 If yes, provide DEC ID number(s): 344050, 344001
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ 7+ feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

Wethersfield	_____	96 %
Udorthents	_____	4 %
_____	_____	%

d. What is the average depth to the water table on the project site? Average: _____ 3+ feet

e. Drainage status of project site soils:

<input checked="" type="checkbox"/> Well Drained:	_____	96 % of site
<input type="checkbox"/> Moderately Well Drained:	_____	% of site
<input checked="" type="checkbox"/> Poorly Drained	_____	4 % of site

f. Approximate proportion of proposed action site with slopes:

<input checked="" type="checkbox"/> 0-10%:	_____	68 % of site
<input checked="" type="checkbox"/> 10-15%:	_____	20 % of site
<input checked="" type="checkbox"/> 15% or greater:	_____	12 % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: None determined by NYSDEC EAF Mapper. However, there may be potential dinosaur tracks.

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name ACOE unnamed & NYSDEC Approximate Size 0.19 acres total
- Wetland No. (if regulated by DEC) ID - NA4

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

m. Identify the predominant wildlife species that occupy or use the project site: _____
 Deer _____ Possums _____
 Rodents _____
 raccoons _____

n. Does the project site contain a designated significant natural community? Yes No
 If Yes:
 i. Describe the habitat/community (composition, function, and basis for designation): _____
 ii. Source(s) of description or evaluation: _____
 iii. Extent of community/habitat:
 • Currently: _____ acres
 • Following completion of project as proposed: _____ acres
 • Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No
 If Yes:
 i. Species and listing (endangered or threatened): _____

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No
 If Yes:
 i. Species and listing: _____

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No
 If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
 If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? Yes No
 i. If Yes: acreage(s) on project site? _____
 ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No
 If Yes:
 i. Nature of the natural landmark: Biological Community Geological Feature
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No
 If Yes:
 i. CEA name: _____
 ii. Basis for designation: _____
 iii. Designating agency and date: _____

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Yes No

If Yes:

i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District

ii. Name: _____

iii. Brief description of attributes on which listing is based: _____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No

If Yes:

i. Identify resource: NYSDEC EAF Mapper

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): Local Parks (County and Town)

iii. Distance between project and resource: County Park across road miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

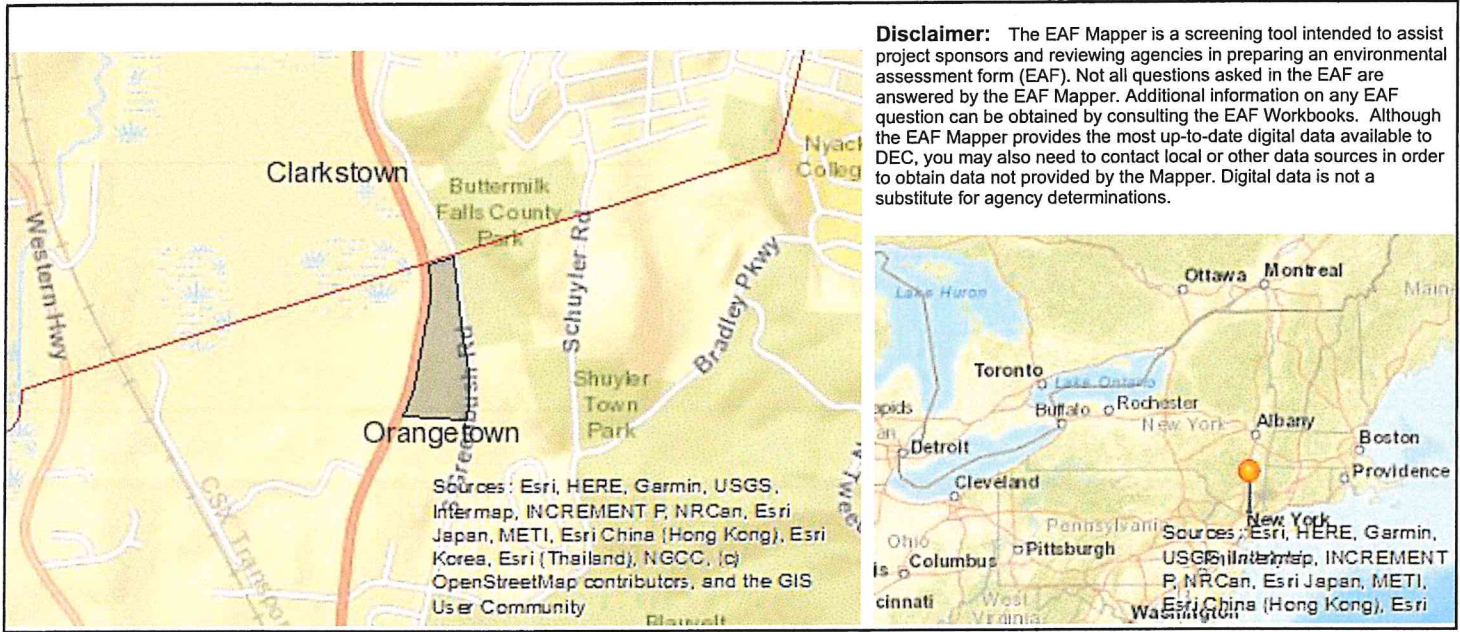
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

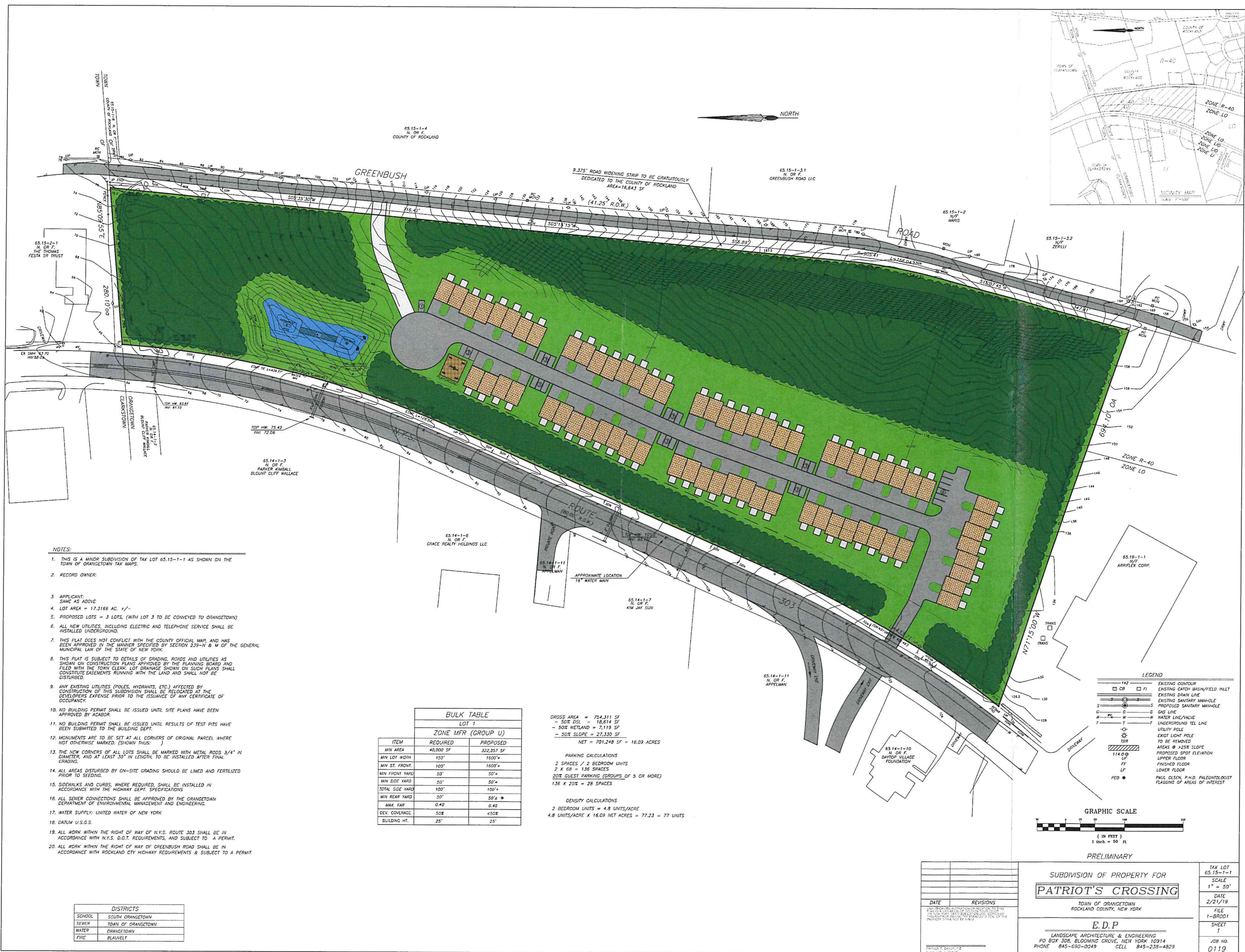
Applicant/Sponsor Name Patrick Brady, PE Date May 14, 2019

Signature _____ Title Project Engineer



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	344050, 344001
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No

E.2.p. [Rare Plants or Animals]	No	95
E.3.a. [Agricultural District]	No	
E.3.c. [National Natural Landmark]	No	
E.3.d [Critical Environmental Area]	No	
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.	
E.3.f. [Archeological Sites]	Yes	
E.3.i. [Designated River Corridor]	No	



- NOTES:**
1. THIS IS A MINOR SUBDIVISION OF TAX LOT 65.15-1-1 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAPS.
 2. RECORD OWNER:
 3. APPLICANT: SAME AS ABOVE
 4. LOT AREA = 17,3166 AC. +/-
 5. PROPOSED LOTS = 3 LOTS, (WITH LOT 3 TO BE CONVEYED TO ORANGETOWN)
 6. ALL NEW UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
 7. THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP, AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239-N & M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
 8. THIS PLAN IS SUBJECT TO DETAILS OF GRADING, ROADS AND UTILITIES AS SHOWN ON CONSTRUCTION PLANS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK. LOT DRAINAGE SHOWN ON SUCH PLANS SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND SHALL NOT BE DISTURBED.
 9. ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SUBDIVISION SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
 10. NO BUILDING PERMIT SHALL BE ISSUED UNTIL SITE PLANS HAVE BEEN APPROVED BY ACHADOR.
 11. NO BUILDING PERMIT SHALL BE ISSUED UNTIL RESULTS OF TEST PITS HAVE BEEN SUBMITTED TO THE BUILDING DEPT.
 12. MONUMENTS ARE TO BE SET AT ALL CORNERS OF ORIGINAL PARCEL WHERE NOT OTHERWISE MARKED. (SHOWN THUS:)
 13. THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER, AND AT LEAST 30" IN LENGTH, TO BE INSTALLED AFTER FINAL GRADING.
 14. ALL AREAS DISTURBED BY ON-SITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING.
 15. SIDEWALKS AND CURBS, WHERE REQUIRED, SHALL BE INSTALLED IN ACCORDANCE WITH THE HIGHWAY DEPT. SPECIFICATIONS
 16. ALL SEWER CONNECTIONS SHALL BE APPROVED BY THE ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING.
 17. WATER SUPPLY: UNITED WATER OF NEW YORK
 18. DATUM U.S.G.S.
 19. ALL WORK WITHIN THE RIGHT OF WAY OF N.Y.S. ROUTE 303 SHALL BE IN ACCORDANCE WITH N.Y.S. D.O.T. REQUIREMENTS, AND SUBJECT TO A PERMIT.
 20. ALL WORK WITHIN THE RIGHT OF WAY OF GREENBUSH ROAD SHALL BE IN ACCORDANCE WITH ROCKLAND CITY HIGHWAY REQUIREMENTS & SUBJECT TO A PERMIT.

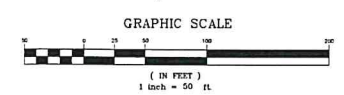
BULK TABLE		
LOT 1		
ZONE MFR (GROUP U)		
ITEM	REQUIRED	PROPOSED
MIN AREA	40,000 SF	322,357 SF
MIN LOT WIDTH	150'	1600'+
MIN ST. FRONT	100'	1600'+
MIN FRONT YARD	50'	50'+
MIN SIDE YARD	50'	50'+
TOTAL SIDE YARD	100'	100'+
MIN REAR YARD	50'	50'+
MAX FAR	0.40	0.40
DEV. COVERAGE	50%	<50%
BUILDING HT.	25'	25'

GROSS AREA = 754,311 SF
 = 50% DSI = 18,614 SF
 = 50% WETLAND = 2,119 SF
 = 50% SLOPE = 27,330 SF
 NET = 701,248 SF = 16.09 ACRES

PARKING CALCULATIONS
 2 SPACES / 2 BEDROOM UNITS
 2 X 68' = 136 SPACES
 20% GUEST PARKING (GROUPS OF 5 OR MORE)
 1.36 X 20% = 28 SPACES

DENSITY CALCULATIONS
 2 BEDROOM UNITS = 4.8 UNITS/ACRE
 4.8 UNITS/ACRE X 16.09 NET ACRES = 77.23 = 77 UNITS

- LEGEND**
- 142 EXISTING CONTOUR
 - CR EXISTING CATCH BASIN/YIELD INLET
 - FI EXISTING DRAIN LINE
 - S EXISTING SANITARY MANHOLE
 - PROPOSED SANITARY MANHOLE
 - G GAS LINE
 - W WATER LINE/VALVE
 - UNDERGROUND TEL LINE
 - UTILITY POLE
 - EXIST LIGHT POLE
 - TBR TO BE REMOVED
 - AREAS @ >25% SLOPE
 - PROPOSED SPOT ELEVATION
 - UPPER FLOOR
 - LOWER FLOOR
 - FINISHED FLOOR
 - IF
 - PALE OLSON, P.H.D. PALEONTOLOGIST
 - FLAGGING OF AREAS OF INTEREST



PRELIMINARY

DISTRICTS	
SCHOOL	SOUTH ORANGETOWN
SEWER	TOWN OF ORANGETOWN
WATER	ORANGETOWN
FIRE	BLAINELT

SUBDIVISION OF PROPERTY FOR PATRIOT'S CROSSING TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK		TAX LOT 65.15-1-1 SCALE 1" = 50' DATE 2/21/19 FILE 1-BROD1 SHEET 1 JOB NO. 0119
E. D. P. LANDSCAPE ARCHITECTURE & ENGINEERING PO BOX 308, BLOOMING GROVE, NEW YORK 10914 PHONE 845-690-0049 CELL 845-239-4829		
DATE REVISIONS		

TOWN OF ORANGETOWN COMPLETE STREETS POLICY

§ Definition.

“Complete Streets” means streets that are designed and operated to enable safe access for all users, in that pedestrians, bicyclists, motorists and public transportation users of all ages and abilities are able to safely move along and across a street.

§ Policy.

The Town of Orangetown shall develop a safe, reliable, efficient, integrated and connected multimodal transportation system that will promote access, mobility and health for all users, and will ensure that the safety and convenience of all users of the Public transit, people of all ages and abilities, motorists, emergency responders, freight providers and adjacent land users.

§ Scope of Applicability.

1. All Town of Orangetown owned transportation facilities in the public right- of-way including, but not limited to, streets, bridges and all other connecting pathways shall be designed, constructed, operated, and maintained so that users of all ages and abilities can travel safely and independently.
2. Privately constructed streets and parking lots shall adhere to this policy.
3. The Town of Orangetown shall foster partnerships with the State of New York, Rockland County, neighboring communities, business and school districts to develop facilities and accommodations that further the Town of Orangetown's complete streets policy and continue such infrastructure beyond the Town of Orangetown's 's borders.
4. The Town of Orangetown shall approach every transportation improvement and project phase as an opportunity to create safer, more accessible streets for all users. These phases include, but are not limited to: planning, programming, design, right-of-way acquisition, construction, construction engineering, reconstruction, operation and maintenance. Other changes to transportation facilities on streets and rights-of-way, including capital improvements, re-channelization projects and major maintenance, must also be included.

§ Exceptions.

- A. Any exception to this policy, including for private projects, must be reviewed and approved by both the Superintendent of Highways, the Director of Office of Building, Zoning, Planning, Administration and Enforcement, as well as the Commissioner of the Department of Environmental Management and Engineering and be documented with supporting data that indicates the basis for the decision. Such documentation shall be publicly available.
- B. Exceptions may be considered for approval when:
 - (1) An affected roadway prohibits, by law, use by specified users (such as an interstate freeways or pedestrian malls), in which case a greater effort shall be made to accommodate those specified users elsewhere, including on roadways that cross or otherwise intersect with the affected roadway;

- (2) The activities are ordinary maintenance activities designed to keep assets in serviceable condition (e.g. mowing, cleaning, sweeping, spot repair and surface treatments such as chip seal or interim measures);
- (3) The Superintendent of Highways issues a documented exception concluding that the application of Complete Streets principles is unnecessary, unduly cost prohibitive, or inappropriate because it would be contrary to public safety; or
- (4) Other available means or factors indicate an absence of need, including future need.

§ Design Standards.

The Town of Orangetown shall follow accepted or adopted design standards and use the best and latest design standards available. These standards include, but are not limited to: ITE Designing Walkable Urban Thoroughfares: A Context Sensitive Approach; and AASHTO Guide for Planning, Designing and Operating Pedestrian Facilities.

In recognition of context sensitivity, public input and the needs of many users, a flexible, innovative and balanced approach that follows other appropriate design standards may be considered, provided that a comparable level of safety for all users is present.

§ Performance Measures and Reporting.

- A. The Town of Orangetown shall measure the success of this Complete Streets policy using, but not limited to, the following performance measures:
 - (1) Total miles of bike lanes
 - (2) Linear feet of new pedestrian accommodation
 - (3) Number of new curb ramps installed along Town of Orangetown streets
 - (4) Crosswalk and intersection improvements

- B. The Town of Orangetown shall view Complete Streets as integral to everyday transportation decision-making practices and processes. To this end:
 - (1) The Superintendent of Highways, the Director of Office of Building, Zoning, Planning, Administration and Enforcement, the Commissioner of the Department of Environmental Management and Engineering and other relevant departments, agencies, or committees will incorporate Complete Streets principles into all existing plans, manuals, checklists, decision-trees, rules, regulations, and programs as appropriate (including, but not limited to the Comprehensive Plan, Transportation Capital Program, and other appropriate plans);
 - (2) The Superintendent of Highways, the Director of Office of Building, Zoning, Planning, Administration and Enforcement, the Commissioner of the Department of Environmental Management and Engineering and other relevant departments, agencies, or committees will review current design standards, including subdivision regulations which apply to new roadway construction, to ensure that they reflect the best available design standards and guidelines, and effectively implement Complete Streets, where feasible;
 - (3) When available, the Town of Orangetown shall encourage staff professional development and training on non-motorized transportation issues through attending conferences, classes, seminars, and workshops;

(4) Town of Orangetown staff shall identify all current and potential future sources of funding for street improvements and recommend improvements to the project selection criteria to support Complete Streets projects;

(5) The Town of Orangetown shall promote inter-departmental project coordination among Town of Orangetown departments with an interest in the activities that occur within the public right-of-way in order to better use fiscal resources;

(6) Every Complete Streets project shall include an educational component to ensure that all users of the transportation system understand and can safely utilize Complete Streets project elements.

§ Complete Streets Active Living Task Force.

1. There is hereby created a Complete Streets Active Living Task Force for the Town of Orangetown.
2. The Task Force shall consist of six (6) members holding one-year terms appointed by the Supervisor.
3. The purpose of the Complete Street Active Living Task Force is to promote health through physical activity and active transportation for all users, specifically, the most vulnerable—children, older adults, and those with disabilities within the Town of Orangetown.

SECTION TWO

This ordinance shall take effect ten (10) days after publication of a notice which shall give the title and describe same in summary form.

June 13, 2019

Christopher Day
Supervisor
Town of Orangetown
26 Orangetown Road
Orangeburg, NY 10962

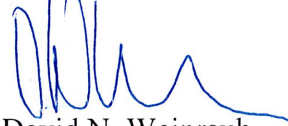
Dear Mr. Day:

Brown & Weinraub, PLLC agrees to provide legislative and regulatory representation on behalf of Town of Orangetown beginning on August 1, 2019 through July 31, 2020 for a monthly fee of \$4,000.00, plus disbursements. This agreement may be terminated by either party, by providing the other party with thirty (30) days written notice.

If the above meets with your approval, please so indicate by signing this letter in the space provided below and returning it to our office.

This agreement will be filed with the New York State Joint Commission on Public Ethics.

Very truly yours,



David N. Weinraub

ACCEPTED AND AGREED:

By: _____
Christopher Day
Town of Orangetown

_____ Date

INTERMUNICIPAL AGREEMENT FOR EMERGENCY RECEPTION CENTER
Between
THE TOWN OF ORANGETOWN
And
PEARL RIVER UNION FREE SCHOOL DISTRICT

This Intermunicipal Agreement for Emergency Reception Center (“Agreement”) is made and entered into between the Town of Orangetown (“Town”), with its principal office at 26 Orangeburg Road, Orangeburg, NY 10962 and Pearl River Union Free School District (“Facility Owner”), with its principal office residing at 135 West Crooked Hill Road, Pearl River, NY 10965.

- 1. PURPOSE:** The purpose of this Agreement is to identify specific facilities in the Town of Orangetown in the event that a state of local emergency is declared under article 2-B of the New York Executive Law. As set forth herein, the Town of Orangetown requests that various facilities in the town be used as Reception Centers for the general public. A Reception Center is defined as a facility where evacuees can be relocated, registered and accommodated until they can be reunited with family or transferred to a mass care center.
- 2. OPERATION OF RECEPTION CENTER:** The Town shall be responsible for the operation of the Reception Center, with the specific responsibilities enumerated below.
- 3. RESPONSIBILITY OF TOWN TO DISTRICT:** The Town, through the Orangetown Office of Emergency Management, shall be responsible for:
 - a. Notifying the District Superintendent with as much advance notice as possible of the arrival of the evacuees.
 - b. Providing personnel to initiate and maintain Reception Center activities and accommodate the evacuees. However, it is agreed that no overtime shall be required of any District personnel or subcontractors for custodial and/or good service.
 - c. Coordinating traffic control at the District facility used as a Reception Center.
 - d. Providing personnel to assist evacuees in leaving, in the event that the District, in its sole discretion, determines that some or all of the facilities which are being utilized as Reception Centers are required for educational or District purposes.
 - e. Although the District shall not be required by this Agreement to provide overtime services, if the District does in its discretion decide to provide overtime services, the District agrees to apply for reimbursement through the Federal Emergency Management Authority (FEMA). In the event the District is not reimbursed by FEMA, the Town will reimburse the District upon documentation of overtime incurred, so long as the overtime was reasonable and related to the purposes of this Agreement.

- 4. RESPONSIBILITY OF DISTRICT TO TOWN:** The District Superintendant (or his or her designee) is responsible for:
- a. Designating the District facility to be utilized for the evacuation operation.
 - b. Providing assistance, as required, to incoming Town staff in directing the evacuees to the area(s) designated for the purpose of the evacuation operation and in assisting evacuees in leaving, in the event that the District, in its sole discretion, all of some of the facilities which are being utilized as a Reception Center are required for educational or District purposes.
- 5. INSURANCE:** The town is self-insured under Article 6-n of the General Municipal Law. However, if in the discretion of the Town, the Town obtains a policy of general liability insurance for the purpose of this Agreement, then the District shall be named as an additional insured.

INDEMNIFICATION: Town agrees to indemnify and hold harmless the District with respect to any injury to person or property arising from the negligence or gross negligence of the Town in the event of a state of local emergency declared under Article 2-B of the New York Executive Law. This provision shall indemnify the District with respect to any compensatory damages to persons and monetary costs for repair and/or replacement of property damage, as well as for the reimbursement of the Facility Owner’s reasonable attorney’s fees in defending any claims or causes of action that result from the operation of a reception center pursuant to this Agreement.

It is understood that this Agreement will remain in effect until such time that either party notifies the other party in writing of its termination or for the maximum period allowed by law.

PEARL RIVER UNION FREE SCHOOL DISTRICT

TOWN OF ORANGETOWN

Thomas DePrisco,
President, Board of Education

Chris Day
Town Supervisor



Department of Environmental Management and Engineering Town of Orangetown

127 Route 303 Orangeburg New York 10962
Tel: (845) 359-6502 • Fax: (845) 359-6951

May 22nd, 2019

SENT VIA CERTIFIED MAIL and E-Mail

David R. DeGerolamo
Intercounty Paving Associates LLC
859 Willow Grove St.
Hacketstown, NJ 07840
Attention: Claims/Insurance Department

Re: Notice of Damage and Associated Costs

On December 16th, 2018 the Orangetown Sewer Department responded to a sewer blockage in the street at 221 Old Mountain Road, Upper Nyack, NY. Subsequently the blockage caused damages to the dwelling and personal property of the homeowner at 221 Old Mountain Road. The Town established that the root cause of the blockage was concrete/masonry debris that blocked the natural flow of the sewer. On or about May 7th, 2019 the Town determined that the concrete debris was caused by Intercounty Paving Associates work pursuant to their contract with the Village of Upper Nyack. The Photographs of the concrete debris, splatter, and the homeowner's damage are attached for reference (Enclosure 1).

Our understanding is that Intercounty Paving Associates LLC, as low bidder, (Bid# PV-01A-2017) was awarded a contract by the Village of Upper Nyack as part of their 2017 Paving Program. Part of the contract required the resetting of approximately 11 existing castings using masonry materials, specifically Bid Item 2B of the contract (Enclosure 2). A fully executed contract between the Village of Upper Nyack and Intercounty Paving Associates LLC was sent to Intercounty Paving Associates on August 25th 2017 (Enclosure 3). Intercounty Paving Associates LLC was then granted a time extension by the Village of Upper Nyack to commence work in the spring of 2018 (Enclosure 4). Certified Payroll indicates that the work was done from May 14th 2018 to May 23rd 2018 (Enclosure 5). The Town's subsequent investigation revealed that the blockage was caused by the negligence of Intercounty Paving Associates LLC, doing work on behalf of the Village of Upper Nyack.

Consequently, the Town suffered damages and incurred costs as a result of Intercounty Paving Associates LLC negligence, including a Notice of Claim that was filed by a neighboring homeowner. We are submitting an invoice in the amount of \$35,626.89 to cover the claim submitted on behalf of the homeowner of 221 Old Mountain Rd and to cover the costs of labor, material, equipment incurred by the Town of Orangetown as a result thereof. A detailed accounting of the costs is attached for reference (Enclosure 6). Although we do not foresee any additional expenses at this time, we reserve the right to pass on any future claims that may arise and that are directly related to this incident.



Department of Environmental Management and Engineering Town of Orangetown

127 Route 303 Orangeburg New York 10962
Tel: (845) 359-6502 • Fax: (845) 359-6951

Please remit payment in the amount of \$35,626.89 made payable to the Town of Orangetown within 30 days.

Yours Truly,

Eamon Reilly, P.E.
Commissioner

- Encl: 1) Photographs
2) Bid Item 2B
3) Letter sending Fully Executed Contract
4) E-mail Granting Time Extension
5) Certified Payroll
6) Detailed Accounting Summary

Cc: J. Perrucci Jr., Intercounty Paving Associates LLC
K. Tarapata, Mayor Upper Nyack
J. Diamond, Trustee Upper Nyack
D. Leston, Village Engineer Upper Nyack
R. Magrino, Town Attorney
C. Day, Town Supervisor
M. Weber, Chief Operator
E. Fordham, Administrative Secretary 1
File

ENCLOSURE (1)

























ENCLOSURE (2)

Bid # PV-01-2017
2017 Paving Program - Pavement Resurfacing

To the Village of Upper Nyack, North Broadway, Upper Nyack, N.Y., Rockland County, in accordance with the specification annexed hereto, or per exception to specifications as enumerated.

ITEM NO.	DESCRIPTION	APPROX QUANTITY	UNIT	UNIT BID PRICE (\$)	TOTAL ITEM PRICE (\$)
1	ASPHALT CONCRETE RESURFACING OF ROADWAYS	487	TON		
1A	ASPHALT CONCRETE TRUING AND LEVELING COURSE	TBD (EST 50 TN)	TON		
2A	RESETTING OF CASTINGS USING MANHOLE RINGS OR RISERS	TBD (EST 0 EA)	EA		
2B	RESETTING OF CASTINGS USING MASONRY MATERIALS	11	EA		
3	REPAIR OF DRAINAGE STRUCTURES AND RESETTING OF CASTINGS	TBD (EST 5)	EA		
4	RECONSTRUCTION OF DRAINAGE STRUCTURES & RESETTING OF CASTING	0	EA		
490.10	PRODUCTION COLD MILLING OF BITUMINOUS CONCRETE	2884	SY		
687.0101	WHITE THERMOPLASTIC REFLECTORIZED PAVEMENT STRIPES 18" Stop Bar	30	LF		
687.0101	WHITE THERMOPLASTIC REFLECTORIZED PAVEMENT STRIPES 6" Cross Walk	0	LF		
688.03	WHITE PREFORMED REFLECTORIZED PAVEMENT LETTERS	0	EA		
640.0102	WHITE PAINT REFLECTORIZED PAVEMENT STRIPES Single 4" Lane Line	3600	LF		
640.0202	YELLOW PAINT REFLECTORIZED PAVEMENT STRIPES Double 4" Centerline	1800	LF		

Total Price Bid (in figures) _____

Total Price Bid (in words) _____

VILLAGE OF UPPER NYACK
TECHNICAL SPECIFICATIONS - CONTRACT ITEMS

ITEM 2B - RESETTING OF CASTING USING MASONRY MATERIALS

1. DESCRIPTION

The Contractor shall reset the castings on sewer and drainage structures to the elevation of the final pavement surface using masonry materials.

2. MATERIALS

Masonry materials shall include only Common Brick, Concrete Brick, and Precast Concrete Pavers.

Mortar for Concrete Masonry shall consist of one part Portland cement, Type 2, one part Masonry Cement, and 4-1/2 to 6 parts Sand. Mortar Sand shall meet the requirements of Section 705. All cementitious materials and sand shall be mixed with the minimum amount of water to produce a workable consistency. Mortar shall be used and placed in final position with 2-1/2 hours after mixing.

3. CONSTRUCTION DETAILS

The Contractor shall reset castings on sewer and drainage structures, including manholes, drop inlets, catch basins, etc., to conform the elevation of the final pavement surface by using masonry materials and mortar. The existing castings shall be removed, cleaned and set aside. When resetting the castings, the space between the bottom of the castings and the top of the existing structures shall be completely filled with masonry materials and mortar. Any excavation of existing pavement that may be required for raising the castings shall be backfilled with concrete or mortar. Payment for such excavation shall be included in this item.

If any existing risers or adjustable manhole rings are removed at any location and not reused as part of this contract, they shall remain the property of the Village and shall be returned to the Village Department of Public Works.

A temporary patch of asphalt concrete shall be placed around raised manhole and drainage structures unless otherwise directed by the Superintendent. These temporary patches shall be removed when the wearing course is placed.

Before any asphalt concrete is placed in an area, all of the manholes and drainage structures shall be raised and adjusted to the satisfaction of the Superintendent.

No structure shall be reset after the final asphalt is placed unless ordered by the Superintendent, in which case the final asphalt surface within two (2) feet of the structure shall be replaced at no cost to the Village.

4. METHOD OF MEASUREMENT

The quantity to be paid under this item shall be the total number of sewer and drainage castings reset in accordance with the requirements heretofore given.

5. BASIS OF PAYMENT

The unit price for this item shall include all labor, materials, and equipment necessary to properly complete the work.

VILLAGE OF UPPER NYACK

TECHNICAL SPECIFICATIONS - CONTRACT ITEMS

ITEM 3 - REPAIR OF DRAINAGE STRUCTURE AND RESETTING OF CASTING

ITEM 4 - RECONSTRUCTION OF DRAINAGE STRUCTURE AND RESETTING OF CASTING

1. DESCRIPTION

The Contractor shall repair or reconstruct a drainage structure and reset the casting to the elevation of the final pavement surface.

2. MATERIALS

Masonry materials shall include only Common Brick, Concrete Brick, Concrete Block and Precast Concrete Pavers.

Mortar for Concrete Masonry shall consist of one part Portland cement, Type 2, one part Masonry Cement, and 4-1/2 to 6 parts Sand. Mortar Sand shall meet the requirements of Section 705. All cementitious materials and sand shall be mixed with the minimum amount of water to produce a workable consistency. Mortar shall be used and placed in final position within 2-1/2 hours after mixing.

3. CONSTRUCTION DETAILS

Item 3 and Item 4 shall not be used unless approved in advance by the Superintendent for the specific location.

The Contractor shall remove, clean, and set aside the casting on the drainage structure to be repaired. The structure shall be cleaned of any accumulation of silt, debris, or foreign matter of any kind and kept free of such accumulation until final acceptance of the work. The walls of the structure shall be repaired as ordered by the Superintendent. This repair shall include straightening existing brick or block, installing new brick or block, re-mortaring, parging, etc. The frame shall be reset at the elevation of the final pavement surface. When resetting the casting, the space between the bottom of the casting and the top of the existing structure not occupied by brick, block or concrete pavers shall be completely filled with mortar. The grate shall be placed so that it is non-rocking.

If no more than 25% of the wall area is repaired or replaced, other than re-mortaring or parging, the work shall be considered as a repair and the bid price for Item 5 shall apply. If more than 25% of the wall area is repaired or replaced, the work shall be considered, as a reconstruction and the bid price for Item 6 shall apply.

Any excavation of existing pavement that may be required for raising the casting shall be backfilled with concrete or mortar. Payment for such excavation shall be included in this item. Any grass area damaged shall be restored by the Contractor at no cost to the Village.

A temporary patch of asphalt concrete shall be placed around raised drainage structures unless otherwise directed by the Superintendent. These temporary patches shall be removed when the wearing course is placed.

Before any asphalt concrete is placed in an area, all of the drainage structures shall be raised and adjusted to the satisfaction of the Superintendent.

ENCLOSURE (3)

MAYOR
Karen A. Tarapata

DEPUTY MAYOR
Michael Esmay

TRUSTEES
Joseph P. Diamond
Donna L. Nye
Kennon Rothchild III

VILLAGE OF UPPER NYACK

328 NORTH BROADWAY
UPPER NYACK, NEW YORK 10960
★ INCORPORATED 1872 ★

Tel. 845-358-0084 • FAX. 845-358-0741
village.clerk@uppernyack-ny.us
www.uppernyack-ny.us

VILLAGE CLERK
Carol G. Brotherhood

DEPUTY VILLAGE CLERK
Donna Albert

TREASURER
Richard D. Fortunato

VILLAGE ATTORNEY
Robert P. Lewis

August 25, 2017

Intercounty Paving Associates Inc.
Attn: David R. DeGerolamo, Dir. of Contract Management
859 Willow Grove Street
Hackettstown, NJ 07840

Re: Bid # PV-01A-2017
2017 Paving Program – Pavement Resurfacing

Dear Mr. DeGerolamo:

The Village of Upper Nyack is in receipt of (3) originals of the Contract, Payment and Performance Bonds and Insurance Certificate for the 2017 Paving Program which you were awarded.

Enclosed you will find a fully executed contract between the Village of Upper Nyack and Intercounty Paving Associates, LLC for the paving of Old Mountain Road as specified in the bid specs.

Bryan Westervelt (Dept. of Public Works) will be the contact for you to schedule the work. He may be reached on his cell 845 222-2967

Contact our office if you have any questions. We look forward to working with you.

Thank you.

Very truly yours,



Carol G. Brotherhood
Village Clerk

Cc: Mayor Tarapata & Board of Trustees
Dennis Letson, Village Engineer
Upper Nyack Department of Public Works

ENCLOSURE (4)

village.clerk@uppernyack-ny.us

From: village.clerk@uppernyack-ny.us
Sent: Friday, December 15, 2017 1:27 PM
To: 'rchristian@intercountypaving.com'
Cc: 'dpw@uppernyack-ny.us'; 'Donna Nye (d.nye@verizon.net)'; 'Joseph diamond (joediamond@hotmail.com)'; Karen Tarapata; kvrothchild3@cs.com; 'Mike Esmay (mikeesmay@aol.com)'
Subject: RE: Bid #PV-01A-2017 / 2017 Paving Program - Pavement Resurfacing

Rob:

The Village of Upper Nyack agrees to extend the time for Intercounty Paving to commence work under the contract between the parties dated September 14, 2017 until the company providing the asphalt opens in the spring of 2018 when the weather will allow the work to be done.

Carol G. Brotherhood
Village Clerk
Village of Upper Nyack
Village.clerk@uppernyack-ny.us
(845) 358-0084
(845) 358-0741 fax

ENCLOSURE (5)

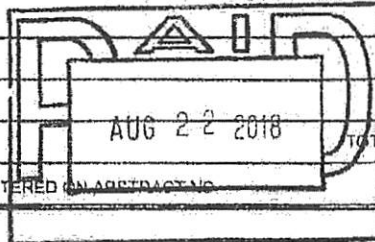
VOUCHER NUMBER 11191

VOUCHER

VILLAGE OF UPPER NYACK
328 NORTH BROADWAY
UPPER NYACK, NEW YORK 10960
INCORPORATED 1872

DATE VOUCHER RECEIVED _____

FUND - APPROPRIATION	AMOUNT
5110.45	115202.90
TOTAL 115202.90	



DEPARTMENT UPPER NYACK DEPT OF PUBLIC WORKS

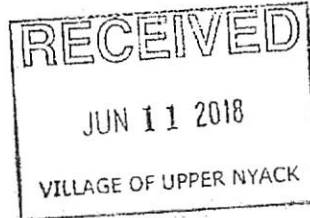
CLAIMANT'S
NAME
AND
ADDRESS

Intercounty Paving Associates, LLC
859 Willow Grove Street
Hackettstown, NJ 07840

DETAILED INVOICES MAY BE ATTACHED, AND TOTAL ENTERED ON THIS VOUCHER.
CERTIFICATION BELOW MUST BE SIGNED.

TERMS _____ PURCHASE ORDER NO. _____

DATE	VENDOR'S INVOICE NO.	QUANTITY	DESCRIPTION OF MATERIALS OR SERVICES	UNIT PRICE	AMOUNT
6-5-18	20328	SEE ATTACHED			
TOTAL					\$115202.90



CLAIMANT'S CERTIFICATION

I, DAVID DEGEROLMO, certify that the above account in the amount of \$ 115,202.90 is true and correct; that the items, services and disbursements charged were rendered to or for the municipality on the dates stated; that no part has been paid or satisfied; that taxes, from which the municipality is exempt, are not included; and that the amount claimed is actually due.

6/5/18
DATE

[Signature]
SIGNATURE

DIR. OF CONTRACT MANAGEMENT
TITLE

(SPACE BELOW FOR MUNICIPAL USE)

DEPARTMENT APPROVAL

The above services or materials were rendered or furnished to the municipality on the dates stated and the charges are correct.

6/14/18
DATE

William T. Fog
AUTHORIZED OFFICIAL

APPROVAL FOR PAYMENT

This claim is approved and ordered paid from the appropriations indicated above.

6/21/18 Donna L. Nye

DATE

AUDITING BOARD

STATEMENT OF COMPLIANCE

Date: 05-25-18

I, Thomas Parrinello, Chief Financial Officer do hereby state:
(Name of signatory party) (Title)

(1) That I pay or supervise the payment of the persons employed by Intercounty Paving Assoc., LLC on
the 2017 PAVING PROGRAM; that during the payroll period commencing on the 14 day of MAY 2018 and
ending the 20 day of MAY 2018 all persons employed on said project have been paid the full weekly wages earned,
that no rebates have been or will be made either directly or indirectly to or on behalf of said Intercounty Paving Assoc., LLC
(Contractor or subcontractor)

from the full weekly wages earned by any person and that no deductions have been made either directly or indirectly from the full wages earned by any person, other than permissible deductions as defined in Regulations, Part 3 (29 CFR Subtitle A), issued by the Secretary of Labor under the Copeland Act, as amended (48 Stat. 948, 63 Stat. 108, 72 Stat. 967; 76 Stat. 357; 40 U.S.C. §3145) and described below:

federal and state withholding, social security, medicare, union deductions

(2) That any payrolls otherwise under this contract required to be submitted for the above period are correct and complete; that the wages rates for laborers or mechanics contained therein are not less than the applicable wage rates contained in any wage determination incorporated into the contract; that the classifications set forth therein for each laborer or mechanic conform with the work he performed.

(3) That any apprentices employed in the above period are duly registered in a bona fide apprenticeship program registered with a State apprenticeship agency recognized by the Bureau of Apprenticeship and Training, United States Department of Labor, or if no such recognized agency exists in a State, are registered with the Bureau of Apprenticeship and Training, United States Department of Labor.

(4) That:

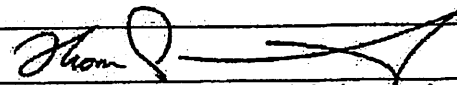
(a) WHERE FRINGE BENEFITS ARE PAID TO APPROVED PLANS, FUNDS, OR PROGRAMS

In addition to the basic hourly wage rates paid to each laborer or mechanic listed in the above referenced payroll, payments of fringe benefits as listed in the contract have been or will be made to appropriate programs for the benefit of such employees, except as noted in Section 4 (c) below.

(b) WHERE FRINGE BENEFITS ARE PAID IN CASH

Each Laborer or mechanic listed in the above referenced payroll has been paid as indicated on the payroll, an amount not less than the sum of the applicable basic hourly wage rate plus the amount of the required fringe benefits as listed in the contract, except as noted in Section 4 (c) below.

(c) EXCEPTIONS

EXCEPTION (CRAFT)	EXPLANATION
REMARKS	
NAME AND TITLE Thomas Parrinello, Chief Financial Officer	SIGNATURE 
The willful falsification of any of the above statements may subject the contractor or subcontractor to civil or criminal prosecution. See Section 1001 of Title 18 and Section 231 of Title 31 of the United States Code.	

Certified Payroll Report

For the Period Ending: 05-20-18

Job: 17MM-019 UPPER NYACK PAVING PROGRAM

		05-14	05-15	05-16	05-17	05-18	05-19	05-20	Total	Cash	Hrly	Gross	Total	FWH	SWH	Other	Net	
		Mon	Tue	Wed	Thu	Fri	Sat	Sun	Hours	Rate	Fringe	Fringe	This Job	Gross	FICA	SUI/SDI	Deducts	Net
ERIC JONES																		
32 WILLOW DRIVE																		
HAMBURG NJ 07419																		
XXX-XX-5873 Black Male	Journeyman																	
M - 0 LABORER SEMI-SKILLED	Reg	8.00							8.00	39.75			318.00	1,050.00	92.02	19.70	120.66	729.88
												318.00		80.33	7.41			
ANTONIO M. GUELHO																		
8803 MARJORIE LANE																		
STROUDSBURG PA 18360																		
XXX-XX-8217 Caucasian Male	Journeyman																	
M - 0 LABORER SEMI-SKILLED	OT	8.00							8.00	62.25		498.00	2,573.63	371.16	79.01	266.97	1,641.45	
												498.00		196.89	18.15			
KEVIN MICHAEL KELLY																		
150 FAWN LANE																		
ALBRIGHTSVILLE PA 18210-7744																		
XXX-XX-2170 Caucasian Male	Journeyman																	
M - 1 OPERATING ENGINEER	OT	8.00							8.00	75.86		606.84	2,950.83	426.59	90.59	237.53	1,949.57	
												606.84		225.74	20.81			
ROBERT M. GOEDEKE																		
881 MT. BENEVOLENCE ROAD																		
NEWTON NJ 07860																		
XXX-XX-8595 Caucasian Male	Journeyman																	
M - 10 OPERATING ENGINEER	OT	8.00							8.00	75.86		606.84	3,133.94	308.85	121.30	565.67	1,876.28	
												606.84		239.75	22.09			
DONALD J. CHAFE																		
9 VICTORIA COURT																		
FREEHOLD NJ 07728																		
XXX-XX-5971 Caucasian Male	Journeyman																	
S - 0 SITE TRUCK	Reg	8.00							8.00	41.62		332.96	1,457.84	226.98	57.43	162.58	889.05	
												332.96		111.52	10.28			
ROBERT G. MANN																		
805 RAMAPO BRAE LANE																		
MAHWAH NJ 07430																		
XXX-XX-2345 Amrcn Ind Male	Journeyman																	
S - 0 LABORER SEMI-SKILLED	Reg	8.00							8.00	39.75		318.00	1,050.00	137.26	32.42	120.66	671.92	
												318.00		80.33	7.41			

Certified Payroll Report

For the Period Ending: 05-20-18

Job: 1722M-019 UPPER NYACK PAVING PROGRAM

		05-14	05-15	05-16	05-17	05-18	05-19	05-20	Total	Cash	Hrly	Gross	Total	FWH	SWH	Other	Net	
		Mon	Tue	Wed	Thu	Fri	Sat	Sun	Hours	Rate	Fringe	Fringe	This Job	Gross	FICA	SUI/SDI	Deducts	Net
PAULO D. AFONSO 166 SHAW STREET GARFIELD NJ 07026 XXX-XX-9409 Caucasian Male M - 2 LABORER SEMI-SKILLED LABORER SEMI-SKILLED																		
	Journeyman																	
	Reg	8.00	8.00	8.00		8.00			32.00	45.00		1,440.00	1,507.50	127.77	32.48	298.80	922.50	
	OT		1.00						1.00	67.50		67.50						
												1,507.50		115.32	10.63			
MANUEL H. RODRIGUES 648 NORTH 9 ST NEWARK NJ 07107 XXX-XX-8083 Caucasian Male M - 2 LABORER SEMI-SKILLED LABORER SEMI-SKILLED																		
	Journeyman																	
	Reg	8.00	8.00	8.00		8.00			32.00	39.75		1,272.00	1,331.63	105.66	26.26	159.80	927.85	
	OT		1.00						1.00	59.63		59.63						
												1,331.63		101.87	9.39			
PAMELA D. AGULIS 978 COUNTY ROAD 519 FRENCHTOWN NJ 08825 XXX-XX-1969 Caucasian Femi S - 0 LABORER SEMI-SKILLED																		
	Journeyman																	
	Reg	8.00							8.00	39.75		318.00	1,050.00	137.26	32.42	120.66	671.92	
												318.00		80.33	7.41			
FREDRICK O. SMITH 135 SCHEERER AVE NEWARK NJ 07112 XXX-XX-8005 Black Male S - 4 LABORER SEMI-SKILLED LABORER SEMI-SKILLED																		
	Journeyman																	
	Reg	8.00	8.00	8.00		8.00			32.00	39.75		1,272.00	1,331.63	128.99	44.90	159.80	886.68	
	OT		1.00						1.00	59.63		59.63						
												1,331.63		101.87	9.39			
MATTHEW J. EMERSON 39 LOUNSBERRY HOLLOW RD SUSSEX NJ 07461 XXX-XX-0491 Caucasian Male S - 0 LABORER SEMI-SKILLED LABORER SEMI-SKILLED																		
	Journeyman																	
	Reg	8.00	8.00	8.00		8.00			32.00	39.75		1,272.00	1,331.63	199.22	49.59	159.80	811.76	
	OT		1.00						1.00	59.63		59.63						
												1,331.63		101.87	9.39			

Certified Payroll Report

Job:17MM-019 UPPER NYACK PAVING PROGRAM

For the Period Ending: 05-20-18

		05-14	05-15	05-16	05-17	05-18	05-19	05-20	Total	Cash	Hrly	Gross	Total	FWH	SWH	Other	Net
		<u>Mon</u>	<u>Tue</u>	<u>Wed</u>	<u>Thu</u>	<u>Fri</u>	<u>Sat</u>	<u>Sun</u>	<u>Hours</u>	<u>Rate</u>	<u>Fringe</u>	<u>Fringe</u>	<u>This Job</u>	<u>Gross</u>	<u>FICA</u>	<u>SUI/SDI</u>	<u>Deducts</u>
PATRICK J. FRANK																	
23 WILLIAMS AVENUE																	
SPRING VALLEY NY 10977																	
XXX-XX-2259 Caucasian Male Journeyman																	
M - 7	LABORER SEMI-SKILLED	Reg	8.00	8.00		8.00			32.00	39.75		1,272.00	1,331.63	58.78	60.08	159.80	980.50
	LABORER SEMI-SKILLED	OT		1.00					1.00	59.63		59.63					
												1,331.63		101.87	.60		

Totals for UPPER NYACK PAVING PROGRAM

05-14-18	05-15-18	05-16-18	05-17-18	05-18-18	05-19-18	05-20-18	Total	Gross	Total	Deductions	Net
Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday	Hours	This Job	Gross		
96.00	45.00	40.00	.00	40.00	.00	.00	221.00	9,832.66	20,100.26	FWH 2,321.54	12,929.16
										FICA 1,637.69	
										SWH 646.18	
										SDI 132.98	
										Other 2,532.73	

PAYROLL

17MM019

NAME OF CONTRACTOR INTERCOUNTY PAVING ASSOC., LLC	SUBCONTRACTOR <input type="checkbox"/>	ADDRESS 859 Willow Grove St., Hackettstown, NJ 07840	PROJECT OR CONTRACT NO.
PAYROLL NO. 02	FOR WEEK ENDING 05-27-18	PROJECT AND LOCATION UPPER NYACK - 2017 PAVING PROGRAM	PROJECT OR CONTRACT NO.

(1) NAME AND INDIVIDUAL IDENTIFYING NUMBER (e.g. LAST FOUR DIGITS OF SOCIAL SECURITY NUMBER) OF WORKER	(2) X S	(3) Ethnic Codes B - Black H - Hispanic AI - American Indian A - Asian W - White O - Other	(4) NO. OF WITHHOLDING EXEMPTIONS	(5) WORK CLASSIFICATION	(6) DAY AND DATE	(7) TOTAL HOURS	(8) RATE OF PAY	(9) GROSS AMOUNT EARNED	(10) DEDUCTIONS				(11) NET WAGES PAID FOR WEEK				
									HOURS WORKED EACH DAY					FICA	WITH-HOLDING TAX	OTHER	TOTAL DEDUCTIONS
									S	O	S	O					
SEE ATTACHED	X				05-27-18												
					05-28-18												
					05-29-18												
					05-30-18												
					05-31-18												
					06-01-18												
					06-02-18												
					06-03-18												
					06-04-18												
					06-05-18												
					06-06-18												
					06-07-18												
					06-08-18												
					06-09-18												

STATEMENT OF COMPLIANCE

Date: 08-04-18

I, Thomas Parrinello, Chief Financial Officer do hereby state:
(Name of signatory party) (Title)

(1) That I pay or supervise the payment of the persons employed by Intercounty Paving Assoc., LLC on
the 2017 PAVING PROGRAM; that during the payroll period commencing on the 21 day of MAY 2018 and
(Project Name)
ending the 27 day of MAY 2018 all persons employed on said project have been paid the full weekly wages earned,
that no rebates have been or will be made either directly or indirectly to or on behalf of said Intercounty Paving Assoc., LLC
(Contractor or subcontractor)

from the full weekly wages earned by any person and that no deductions have been made either directly or indirectly from the full wages earned by any person, other than permissible deductions as defined in Regulations, Part 3 (29 CFR Subtitle A), issued by the Secretary of Labor under the Copeland Act, as amended (48 Stat. 948, 63 Stat. 108, 72 Stat. 967; 76 Stat. 357; 40 U.S.C. §3145) and described below:

federal and state withholding, social security, medicare, union deductions

(2) That any payrolls otherwise under this contract required to be submitted for the above period are correct and complete; that the wages rates for laborers or mechanics contained therein are not less than the applicable wage rates contained in any wage determination incorporated into the contract; that the classifications set forth therein for each laborer or mechanic conform with the work he performed.

(3) That any apprentices employed in the above period are duly registered in a bona fide apprenticeship program registered with a State apprenticeship agency recognized by the Bureau of Apprenticeship and Training, United States Department of Labor, or if no such recognized agency exists in a State, are registered with the Bureau of Apprenticeship and Training, United States Department of Labor.

(4) That:

(a) WHERE FRINGE BENEFITS ARE PAID TO APPROVED PLANS, FUNDS, OR PROGRAMS

In addition to be basic hourly wage rates paid to each laborer or mechanic listed in the above referenced payroll, payments of fringe benefits as listed in the contract have been or will be made to appropriate programs for the benefit of such employees, except as noted in Section 4 (c) below.

(b) WHERE FRINGE BENEFITS ARE PAID IN CASH

Each Laborer or mechanic listed in the above referenced payroll has been paid as indicated on the payroll, an amount not less than the sum of the applicable basic hourly wage rate plus the amount of the required fringe benefits as listed in the contract, except as noted in Section 4 (c) below.

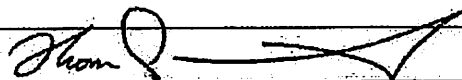
(c) EXCEPTIONS

EXCEPTION (CRAFT)	EXPLANATION

REMARKS

NAME AND TITLE
Thomas Parrinello, Chief Financial Officer

SIGNATURE



The willful falsification of any of the above statements may subject the contractor or subcontractor to civil or criminal prosecution. See Section 1001 of Title 18 and Section 231 of Title 31 of the United States Code.

Certified Payroll Report

For the Period Ending: 05-27-18

Job:17MM-019 UPPER NYACK PAVING PROGRAM

		05-21	05-22	05-23	05-24	05-25	05-26	05-27	Total		Cash	Hrly	Gross	Total	FWH	SWH	Other		
		Mon	Tue	Wed	Thu	Fri	Sat	Sun	Hours	Rate	Fringe	Fringe	This Job	Gross	FICA	SUI/SDI	Deducts	Net	
WILLIAM T. COLLINS 81 BUNNY TRAIL BANGOR PA 18013 XXX-XX-2276 Caucasian Male		Journeyman																	
S - 0	OPERATING ENGINEER								8.00	47.07			376.56	2,903.13	589.86	89.13	411.06	1,570.51	
	OPERATING ENGINEER								2.50	70.81			176.61						
														553.07		222.10	20.47		
RONNIE T. PAIGE 715 CRANBERRY ROAD E. STROUDSBURG PA 18301 XXX-XX-3431 Caucasian Male		Journeyman																	
S - 2	FOREMAN								8.00	45.00			360.00	2,637.88	467.89	137.34	271.29	1,640.98	
	FOREMAN								2.50	67.50			168.75						
														528.75		201.79	18.69		
JOHN OLIVEIRA 224 CROWS NEST ROAD MANAHAWKIN NJ 08050 XXX-XX-9544 Caucasian Male		Journeyman																	
S - 0	OPERATING ENGINEER								8.00	50.57			404.56	2,662.28	562.05	141.74	214.33	1,521.73	
	OPERATING ENGINEER								1.50	75.86			113.78						
														518.34		203.66	18.77		
JAMES K. KOBA 54 CLOVE ROAD MONTAGUE NJ 07827 XXX-XX-9250 Caucasian Male		Journeyman																	
M - 3	FOREMAN								8.00	45.00			360.00	2,637.88	322.62	98.74	271.29	1,740.03	
	FOREMAN								2.50	67.50			168.75						
														528.75		201.80	3.40		
MAURICE F. TRIPALDI 23 CYPRESS DRIVE COLONIA NJ 07057 XXX-XX-8745 Caucasian Male		Journeyman																	
M - 1	LABORER SEMI-SKILLED								8.00	39.75			318.00	1,672.63	157.16	42.20	186.86	1,146.64	
	LABORER SEMI-SKILLED								1.50	59.63			89.44						
														407.44		127.97	11.80		
STEPHEN S. MC CORMICK 398 SMILEY LANE STROUDSBURG PA 18360 XXX-XX-4974 Caucasian Male		Journeyman																	
M - 2	OPERATING ENGINEER								8.00	47.07			376.56	2,486.71	306.92	76.34	208.19	1,687.50	
	OPERATING ENGINEER								1.50	70.81			106.91						
														482.47		190.23	17.53		

Certified Payroll Report

For the Period Ending: 05-27-18

Job:17MM-019 UPPER NYACK PAVING PROGRAM

		05-21	05-22	05-23	05-24	05-25	05-26	05-27	Total	Cash	Hrly	Gross	Total	FWH	SWH	Other	Net
		<u>Mon</u>	<u>Tue</u>	<u>Wed</u>	<u>Thu</u>	<u>Fri</u>	<u>Sat</u>	<u>Sun</u>	<u>Hours</u>	<u>Rate</u>	<u>Fringe</u>	<u>This Job</u>	<u>Gross</u>	<u>FICA</u>	<u>SUI/SDI</u>	<u>Deducts</u>	
MICHAEL R. BAGLIO																	
5 TERHUNE ROAD																	
ANDOVER NJ 07821																	
XXX-XX-3163 Caucasian Male	Journeyman																
M - 0 LABORER SEMI-SKILLED	Reg	8.00							8.00	39.75		318.00	1,678.75	167.47	43.75	187.02	1,140.26
LABORER SEMI-SKILLED	OT	1.50							1.50	59.63		89.44					
												407.44		128.42	11.83		
WILLIAM A. SHICK JR.																	
6234 LAKESHORE DRIVE EAST																	
EAST STROUDSBUR PA 18302																	
XXX-XX-3051 Caucasian Male	Journeyman																
S - 0 SITE TRUCK	Reg	8.00							8.00	41.62		332.96	2,441.02	458.95	74.94	260.33	1,442.85
SITE TRUCK	OT	3.00							3.00	59.63		178.88					
												511.84		186.74	17.21		
PAULO D. AFONSO																	
166 SHAW STREET																	
GARFIELD NJ 07026																	
XXX-XX-8409 Caucasian Male	Journeyman																
M - 2 LABORER SEMI-SKILLED	Reg	8.00	8.00						16.00	45.00		720.00	2,095.00	220.75	66.80	360.64	1,271.77
LABORER SEMI-SKILLED	OT	4.00							4.00	67.50		270.00					
LABORER SEMI-SKILLED				4.00					4.00	77.63		310.50					
												1,300.50		160.27	14.77		
MANUEL H. RODRIGUES																	
848 NORTH 9 ST																	
NEWARK NJ 07107																	
XXX-XX-8083 Caucasian Male	Journeyman																
M - 2 LABORER SEMI-SKILLED	Reg	8.00	8.00						16.00	39.75		636.00	1,895.14	176.78	54.60	220.43	1,285.00
LABORER SEMI-SKILLED	OT	4.00							4.00	59.63		238.50					
LABORER SEMI-SKILLED				4.00					4.00	68.57		274.26					
												1,148.76		144.97	13.36		
JOHN B. MILLER																	
20 CLYDESDALE COURT																	
BANGOR PA 18013																	
XXX-XX-2020 Caucasian Male	Journeyman																
M - 8	Reg	1.00							1.00	50.94		50.94	1,300.67	45.48	39.93	54.03	1,052.57
												50.94		99.49	9.17		
FREDRICK O. SMITH																	
155 SCHEERER AVE																	
NEWARK NJ 07112																	
XXX-XX-9005 Black Male	Journeyman																
S - 4 LABORER SEMI-SKILLED	Reg	8.00	8.00						16.00	39.75		636.00	1,620.88	192.62	63.46	191.81	1,037.56
LABORER SEMI-SKILLED	OT	4.00							4.00	59.63		238.50					
												874.50		124.00	11.43		

Certified Payroll Report

For the Period Ending: 05-27-18

Job: 17MM-019 UPPER NYACK PAVING PROGRAM

		05-21	05-22	05-23	05-24	05-25	05-26	05-27	Total	Cash	Hrly	Gross	Total	FWH	SWH	Other	Net
		Mon	Tue	Wed	Thu	Fri	Sat	Sun	Hours	Rate	Fringe	This Job	Gross	FICA	SUI/SDI	Deducts	Net
MATTHEW J. EMERSON																	
39 LOUNSBERRY HOLLOW RD SUSSEX NJ 07461 XXX-XX-0491 Caucasian Male Journeyman																	
S - 0	LABORER SEMI-SKILLED	Reg	8.00						8.00	39.75		318.00	1,832.56	312.92	83.66	202.55	1,080.31
	LABORER SEMI-SKILLED	OT	2.50						2.50	59.63		149.08					
												467.06		140.20	12.92		
PATRICK J. FRANK																	
23 WILLIAMS AVENUE SPRING VALLEY NY 10977 XXX-XX-2259 Caucasian Male Journeyman																	
M - 7	LABORER SEMI-SKILLED	Reg	8.00						8.00	39.75		318.00	556.50		11.64	66.78	434.91
	LABORER SEMI-SKILLED	OT	4.00						4.00	59.63		238.50					
												556.50		42.67	.60		

Totals for UPPER NYACK PAVING PROGRAM

05-21-18	05-22-18	05-23-18	05-24-18	05-25-18	05-26-18	05-27-18	Total	Gross	Total	Deductions	Net				
Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday	Hours	This Job	Gross	FWH	FICA	SWH	SDI	Other	Net
140.00	24.00	8.00	.00	.00	.00	.00	172.00	8,336.36	28,421.03	3,981.47	2,174.21	1,024.27	181.85	3,106.61	17,952.62

ENCLOSURE (6)

Composit Summary

Contract No. DEME-BC-2019-04
 Contract Title BACKCHARGE
 Location: 221 Old Mt. Road South Nyack
 Force Account Records Clear Stoppage and Remove Concrete Debris From MH

Week Ending	Notes	Total
12/16/2018		\$1,610.18
12/23/2018		\$3,751.71
NA	Adam M. Weinstock Claim	\$30,265.00
		\$ 35,626.89

CONTRACT NO. DEME-BC-2019-04
CONTRACT TITLE: Back Charge
LOCATION: 221 Old Mt. Road, Upper Nyack
FORCE ACCOUNT RECORDS: Clear Stoppage
Cost Summary: **WEEK ENDING:** 12/16/18 **DEME-BC-2019-04**

BILLABLE Labor Cost: DEME	
Regular Wages: (1)	\$798.78
Fringe Benefits: (2)	\$515.05
SUBTOTAL (a) = (1) + (2)	\$1,313.83
Additional Wages (3)	
SUBTOTAL (A) = SUBTOTAL(a) + (3)	\$1,313.83
TOTAL OF LABOR = Sum of SUBTOTALS =	
	\$1,313.83
Equipment Cost: DEME	
Total Cost of Owned Equipment =(4)	\$296.36
Total Cost of Rented Equipment =(5)	\$0.00
TOTAL EQUIPMENT COSTS: Sum of (4) + (5)	
	\$296.36
Material Cost: DEME	
Total Cost of Material =(6)	\$0.00
TOTAL MATERIAL COSTS:	
	\$0.00
SUBS/SERVICES/OUTSIDE CONTRACTORS: DEME	
SUBS: (7)	
SERVICES: (8)	
OUTSIDE CONTRACTORS: (9)	
Total SUBS/SERVICES/OUTSIDE CONTRACTORS: DEME	
	\$0.00
Total Cost of the Extra Work = TOTAL COST (LABOR+EQUIPMENT+MATERIAL+ SERVICES)	
	\$1,610.18

Back Charge
 DEPARTMENT of ENVIRONMENTAL MANAGEMENT and ENGINEERING
 DAILY RECORD OF WORK AUTHORIZED

Contract No. DEME-BC-2019-04	Fed. Project No.	Contractor	Date: 12/16/2018 SUNDAY
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Item No. and Description:
Clear Stoppage

LABOR				MATERIAL				OWNED EQUIPMENT					
Name	Employee #	Title	Grade Step	Hours			Material	Stock	QUANT	UNIT	Description	HRS IN USE	STNDBY HRS
				ST	1.5X	2.0X							
Curran, John	2955	Motor Equipment Operator II	12 B/13			3					7500 Combination	3	
McGarvey, Kevin	1174	Sewer System Mechanic I	14 19/24			3					Silverado 2500P/U	3	
Brennan, Keith	1549	Sludge Process Equipment Operator I	14 19/24			3					BLANK		
			#N/A								BLANK		
			#N/A								BLANK		
			#N/A								BLANK		
			#N/A								BLANK		
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			#N/A								BLANK		
			#N/A								BLANK		
			#N/A								BLANK		
			#N/A								BLANK		
				Total for the Day							Total for the Day		

STATEMENT OF WORK ACCOMPLISHED:
 Sucked Down MH and Cleared Line

CERTIFICATION: I certify to the best of my knowledge and belief, that the equipment used on this work was of the proper size, that the material taken from stock as designated above was installed in the project, and that the account herein shown is an accurate statement of labor, materials and equipment used on this day.

Signed: _____ 12/16/18 _____
 FOR CONTRACTOR DATE FOR DEME DATE

DEME-BC-2019-04
DEME EQUIPMENT SUMMARY

CONTRACT NO. DEME-BC-2019-04
 CONTRACT TITLE: Back Charge

Clear Stoppage

WEEK ENDING: 12/16/18
 LOCATION: 221 Old Mt. Road, Upper Nyack

Calculations for DEME OWNED Equipment Utilization on a Daily Basis																																	
A	B	C	D	E	F	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z	AA	AC								
Description of OWNED Equipment	MFG	Vehicle NO.	OWNED EQUIPMENT			Daily Equipment Utilization Recording												TOTALS		Computations													
			Details of Ref		Prorated Hrly Rate	12/10/2018		12/11/2018		12/12/2018		12/13/2018		12/14/2018		12/15/2018		12/16/2018		Subtotals		Total											
			Equipment	Page		Monday	Tuesday	WED	Thursday	Friday	Saturday	Sunday	HRS USED	HRS STNBY	In Use	Standby																	
			No.	No.	Monthly Rate/176	FUEL COST per Hour		A	S	A	S	A	S	A	S	A	S	A	S	COL Z + AA													
			asc	td	asc	td	asc	td	asc	td	asc	td	asc	td	asc	td	asc	td	asc	td													
asc	td	asc	td	asc	td	asc	td	asc	td	asc	td	asc	td	asc	td	asc	td																
7500 Combination	International	141	E-28		74.20																									222.60		222.60	
Silverado 2500P/U	Chevrolet	125	E-21		5.74	18.85																								73.76		73.76	
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																						TAL for Contr. Owned Eq		296.36									

RENTED EQUIPMENT:

DESCRIPTION	VENDOR	DATE OF RENTAL	INVOICE AMOUNT

TOTAL RENTALS:

CONTRACT NO. DEME-BC-2019-04
CONTRACT TITLE: Back Charge
LOCATION: 221 Old Mt. Road, Upper Nyack
FORCE ACCOUNT RECORDS: Remove Concrete Debris Form MH
Cost Summary: **WEEK ENDING:** 12/23/18 **DEME-BC-2019-04**

BILLABLE Labor Cost: DEME	
Regular Wages: (1)	\$1,702.57
Fringe Benefits: (2)	\$1,702.57
SUBTOTAL (a) = (1) + (2)	\$3,405.14
Additional Wages (3)	
SUBTOTAL (A) = SUBTOTAL(a) + (3)	\$3,405.14
TOTAL OF LABOR = Sum of SUBTOTALs =	
	\$3,405.14
Equipment Cost: DEME	
Total Cost of Owned Equipment =(4)	\$346.57
Total Cost of Rented Equipment =(5)	\$0.00
TOTAL EQUIPMENT COSTS: Sum of (4) + (5)	
	\$346.57
Material Cost: DEME	
Total Cost of Material =(6)	\$0.00
TOTAL MATERIAL COSTS:	
	\$0.00
SUBS/SERVICES/OUTSIDE CONTRACTORS: DEME	
SUBS: (7)	
SERVICES: (8)	
OUTSIDE CONTRACTORS: (9)	
Total SUBS/SERVICES/OUTSIDE CONTRACTORS: DEME	
	\$0.00
Total Cost of the Extra Work = TOTAL COST (LABOR+EQUIPMENT+MATERIAL+ SERVICES)	
	\$3,751.71

Back Charge
 DEPARTMENT of ENVIRONMENTAL MANAGEMENT and ENGINEERING
 DAILY RECORD of WORK AUTHORIZED

Contract No. DEME-BC-2019-04	Fed. Project No.	Contractor	Date 12/18/2018 TUESDAY
---------------------------------	------------------	------------	-------------------------------

Item No. and Description:
Remove Concrete Debris Form MH

LABOR				MATERIAL				OWNED EQUIPMENT					
Name	Employee #	Title	Grade Step	Hours			Material	Stock	QUANT	UNIT	Description	HRS IN USE	STNDBY HRS
				ST	1.5X	2.0X							
Michel, Gregory	3375	Laborer	9 8/13	2							L-8500 Tanker	2	
Mulroe, Joseph	1313	Municipal Aide	9 25/29	2							Silverado 2500PJU	2	
Murphy, Martin	3923	Motor Equipment Operator II	12 2	2							L-7500 Combination 01	2	
Antonutti, Bryan	3374	Laborer	9 6/7	2							F-550 Utility	2	
O'Connell, Kevin	2334	Maintenance Mechanic I	14 14/18	2							BLANK		
Connolly, Matthew	1168	Maintenance Mechanic I	14 19/24	2							BLANK		
Fordham, Stephen	1567	Asst. Maintenance Supervisor	18 14/18	2							BLANK		
			#N/A #N/A								BLANK		
			#N/A #N/A								BLANK		
			#N/A #N/A				RENTED EQUIPMENT:	QUANT	VENDOR		BLANK		
			#N/A #N/A								BLANK		
			#N/A #N/A								BLANK		
			#N/A #N/A								BLANK		
			#N/A #N/A								BLANK		
			#N/A #N/A								BLANK		
			#N/A #N/A								BLANK		
			#N/A #N/A								BLANK		
			#N/A #N/A								BLANK		
Total for the Day											Total for the Day		

STATEMENT OF WORK ACCOMPLISHED:
Removed Concrete Debris From MH

CERTIFICATION: I certify to the best of my knowledge and belief, that the equipment used on this work was of the proper size, that the material taken from stock as designated above was installed in the project, and that the account herein shown is an accurate statement of labor, materials and equipment used on this day.

MURK 11A Signed: _____ 12/18/18
DATE _____ DATE _____

DEME-BC-2019-04
DEME EQUIPMENT SUMMARY

CONTRACT NO. DEME-BC-2019-04
CONTRACT TITLE: Back Charge

Remove Concrete Debris Form MH

WEEK ENDING: 12/23/18
LOCATION: 221 Old Mt. Road, Upper Nyack

Calculations for DEME OWNED Equipment Utilization on a Daily Basis

Description of OWNED Equipment	MFG	Vehicle NO.	OWNED EQUIPMENT			Daily Equipment Utilization Recording														TOTALS		Computations		
			Details of Ref		Prorated Hrly Rate	12/17/2018		12/18/2018		12/19/2018		12/20/2018		12/21/2018		12/22/2018		12/23/2018		HRS USED	HRS STNBY	Subtotals		Total
			Equipment	Page		Monday	Tuesday	WED	Thursday	Friday	Saturday	Sunday	In Use	Standby	COL Z + AA									
			No.	No.	Monthly Rate/176	FUEL COST per Hour	A	S	A	S	A	S	A	S	A	S	A	S						
L-8500 Tanker	Sterling	140	E-27		16.23	33.85												2.0		100.15		100.15		
Silverado 2500P/U	Chevrolet	125	E-21		5.74	18.85												2.0		49.17		49.17		
L-7500 Combination 01	Sterling	142	E-29		74.20													2.0		148.40		148.40		
F-550 Utility	Ford	119	E-16		4.82	19.60												2.0		48.84		48.84		
BLANK																								
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																			TAL for Contr. Owned Eq				346.57	

RENTED EQUIPMENT:

DESCRIPTION	VENDOR	DATE OF RENTAL	INVOICE AMOUNT

TOTAL RENTALS:

Adam M. Weinstock

221 Old Mountain Road, Nyack, NY 10960 • amweinstock@gmail.com • 917.204.7840

ITEMIZED EXPENSES FOR DAMAGES CLAIM

1. Mitigation services (Servpro) - 5,649.47
2. Electricity bill increase, per mitigation service fans/dehumidifiers - 70+
3. Repair of dwelling
 - a. Labor & materials (Pesantez Construction) - 22,420.80
 - b. Faucet replacement - 53.19
 - c. Vanity replacement - 509.35
 - d. Replacement of area ruges & carpet -
 - i. Stairs carpeting - measurement 35.00 + carpet/install 847.89 = 882.89
 - ii. Carpet tile - 119.99 + 260.08 = 380.07
 - iii. Area rug - 245.99
4. Laundry hamper replacement - 19.99
5. Laundry drying rack replacement - 19.99
6. Litter scoop replacement - 4.59
7. Suitcase replacement - 69.00

TOTAL EXPENSES: **\$30,265**

COVERED BY HOME INSURANCE RIDER: \$10,000

BALANCE - TOTAL CLAIM REQUEST: \$20,265



Servpro of NW Bergen/ S&E
 Rockland
 151 Crescent Ave.
 Waldwick, NJ 07463
 (201)236-2400/(845)753-3730
 Tax ID 13-3848380

SERVPRO
 151 CRESCENT AVE
 WALDWICK, NJ 07463
 (201)236-2400

Invoice

SALE

Date	Invoice #
12/27/2018	0631

TD: 001 REF#: 00000001
 Batch #: 606 12:23:17
 01/28/19
 AVS: Z V-CODE: M
 APPR CODE: 03143P
 MASTERCARD Manual CNP
 *****0364 **/**

Bill To
 WEINSTOCK, ADAM
 221 OLD MOUNTAIN RD. N.
 NYACK, NY 10960
 (917)204-7840
 CLAIM #2401266

Address

AMOUNT \$5,649.47

APPROVED

THANK YOU
 PLEASE COME AGAIN

CUSTOMER COPY

Date	Rep	Location
------	-----	----------

	12/27/2018		
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Item	Description	Amount
Water Remed	Water Restoration Rockland County Sales Tax	5,212.89T 436.58

Total	\$5,649.47
Payments/Credits	\$0.00
Balance Due	\$5,649.47



We do it for you. Results Guaranteed.

Dear Valued Home Depot Customer,

Congratulations on your new flooring purchase! Thank you for choosing The Home Depot for your home improvement needs. As The Home Depot's authorized service provider for over 25 years our goal at ACS is to provide world-class service, exceed your expectations, and leave you extremely satisfied with your flooring project.

You may receive an email from The Home Depot asking for your participation in an online survey regarding your flooring project. If we have met your expectations please mark the 5 Install categories as

EXTREMELY SATISFIED.

If for any reason you are not extremely satisfied with your experience or feel our service has not earned this rating please contact us at:

1-800-331-1983 or
customercare@acsouth.com

We will address your concerns immediately to make sure you are extremely satisfied with your new flooring.

ACS prides itself on exceptional service and if, for any reason, you feel as you are not receiving the quality service you deserve please contact me directly. Thank you for letting ACS perform your installation services; we truly appreciate your business.

Sincerely

Joe Santagata, CEO
American Carpet South
866-941-7371

Pesantez Construction Co.

General Contractor

DEC 28, 2018

RESIDENCE OF:

MR & MRS ADAM WEINSTOCK
221 OLD MOUNTAIN Rd No.
UPPER NYACK NY 10960

THE FOLLOWING IS A SUMMARY OF ITEMS & COST OF LABOR AND MATERIAL TO BE PROVIDED FOR THE ABOVE RESIDENCE:

INCLUDED:

1. DEMOLITION (REMOVE: PANELLING, ACOUSTIC TILE, DOORS, INSULATION, CARPETING @ STAIRS, TRIM) (REMOVE OR SEAL FLOOR TILE)
2. INSTALL NEW R13 INSULATION @ EXTERIOR WALLS
3. INSTALL NEW 1/2" MOISTURE RESISTANT DRYWALL, TAPE & COMPOUND (3)
4. PRIME ALL WALLS
5. INSTALL (1) NEW PRE-FINISH LUAN FLUSH DOORS
6. INSTALL ACOUSTIC TILE @ ENTIRE CEILING
7. INSTALL NEW FLOATING FLOOR (MATERIAL ALLOWANCE \$340 SQ. FT.)
8. TRIM: BASE, CASING & MISL.
9. BATHROOM: REPLACE TILE FLOOR, VANITY, ACCESS DOOR, ACCESSORIES
10. INSTALL DOOR HARDWARE (1)
11. FINISH PAINTING (2) COATS
12. DEBRIS OFF SITE
13. PROTECTION & DUST PROOFING
14. LIC. CONT. W/ LIABILITY, WORKMANS COMP. & DISABILITY INSURANCE
15. REPLACE NEW CARPET IN STAIRS

TOTAL L-18 \$ 24,560.00
LABOR + MATERIALS

THANK YOU

JORGE PESANTEZ

(1)

• All Phases of Work
& Small Jobs

• Free Estimate

FESANTEZ CONSTRUCTION CORP.
OF WESTCHESTER
GENERAL CONTRACTOR
16 Lafayette Ave Ossining NY 10562



SOLD TO: MR AND MRS. ADAM WEINSTOCK
221 OLD MOUNTAIN RD
LOPPER NJACK NJ 10960

2/21/19
DATE

For services rendered:

Quantity	Description	Labor	Materials	Amount
	THE FOLLOWING IS A SUMMARY OF ITEMS COST OF LABOR AND MATERIAL TO BE PROVIDED FOR THE ABOVE RESIDENCE:			
	INCLUDED:			
1)	DEMOLITION (REMOVE PANELLING, ACOUSTIC TILE, DOORS, INSULATION, CARPETING @ STAIRS, TRIM, REMOVE COMMERCIAL FLOOR TILE.			
2)	INSTALL NEW R13 INSULATION EXTERIOR WALLS.			
3)	INSTALL NEW 1/2 MOISTURE RESISTANT GYPSUM TAPE AND JOINTS (3) COATS			
4)	PAINT INTERIORS			
5)	INSTALL NEW DOOR FINISH			
	DOORS AND (1) WINDOW DOOR			
		TOTAL		
		TAX		
		TOTAL		
		DEPOSIT		
		BALANCE		

0301216A

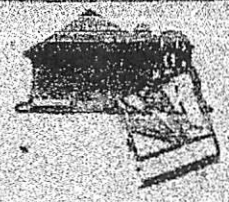
NO.	DESCRIPTION	UNIT	AMOUNT	DATE
10	INSTALL TILES HALLWAY (8)			
11	FINISH PAINTING (2) CORNS			
12	DEBRIS CFT SITE			
13	PROTECT (AND) RESTORATION			
14	INSURANCE			
15	INSTALL TILES HALLWAY (8)			
16	ACCESS CABINET FOR ACCESSORS			
17	BATHROOM: INSTALL PLUMBING			
18	TRIM: SEE DRAWING FOR TRIM			
19	REMOVE EXISTING COMMERCIAL TILE			
20	REMOVE EXISTING COMMERCIAL TILE			
21	REMOVE EXISTING COMMERCIAL TILE			
22	REMOVE EXISTING COMMERCIAL TILE			
23	REMOVE EXISTING COMMERCIAL TILE			
24	REMOVE EXISTING COMMERCIAL TILE			
25	REMOVE EXISTING COMMERCIAL TILE			
26	REMOVE EXISTING COMMERCIAL TILE			
27	REMOVE EXISTING COMMERCIAL TILE			
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42	REMOVE EXISTING COMMERCIAL TILE			
43	REMOVE EXISTING COMMERCIAL TILE			
44	REMOVE EXISTING COMMERCIAL TILE			
45	REMOVE EXISTING COMMERCIAL TILE			
46	REMOVE EXISTING COMMERCIAL TILE			
47	REMOVE EXISTING COMMERCIAL TILE			
48	REMOVE EXISTING COMMERCIAL TILE			
49	REMOVE EXISTING COMMERCIAL TILE			
50	REMOVE EXISTING COMMERCIAL TILE			

PEANTEEZ CONSTRUCTION CORP.
 OF WESTCHESTER
 GENERAL CONTRACTORS
 16 Lafayette Ave. Ossining NY 10561
 Phone: (914) 490-1544 Telex: PEANTEEZ
 221 Old Mountain Rd
 11990 N. Macar Dr. 10960



As Prices of Work
& Small Jobs
Price Estimated

RESANTE CONSTRUCTION CORP.
OF WESTCHESTER
GENERAL CONTRACTOR
16 Lafayette Ave Ossining NY 10562
Phone (914) 491-1333 Fax (914) 491-1333



SOLD TO: Mr AND Mrs ADAM WEINSTEIN
221 OLD MOUNTAIN RD
L OGER ROCK NY 10960

2/21/19
DATE

For amounts rendered:

Quantity	Description	Labor	Material	Amount
	NOT INCURRED IN CONTRACT			
	BY OWNER MATERIALS			
1	FINISH FLOOR, STAIRS CARPET			
2	VANITY, HARDWARE, BATHROOM			
1	TILE FLOOR			
	TOTAL OWNER CREDIT			\$3219.20
	EXTRA WORK			
	REPLACE REPAIR (2) STAIRS STEPS			
	REPLACE TRIM IN STAIRS HALL			
	PAINTING HALLWAY STAIRS			
	REPLACE NEW DOOR IN OFFICE			
	FIXING DOOR INSTALL IN			
	OFFICE ROOM			\$1080.00

PAID TO: MRS ADAM WEINSTEIN

ELI TOTAL _____
DIN _____
TOTAL _____
DEPOSIT _____
BALANCE _____



ADAM WEINSTOCK
 CANDICE A. MANSON
 221 OLD MOUNTAIN RD. N
 NYACK, NY 10960-1128

1-2/210

181

CHASE
 PRIVATE
 CLIENT

DATE

1/15/19

PAY TO THE
 ORDER OF

PESANTER CONSTRUCTION \$10,000.00

Ten thousand and ⁰⁰/₁₀₀ —

DOLLARS



JPMorgan Chase Bank, N.A.

MEMO

BASEMENT RENO. PAYMT #1

[Handwritten Signature]

163

1-2/210

ADAM WEINSTOCK
CANDICE A. MANSON
221 OLD MOUNTAIN RD. N
NYACK, NY 10960-1128

DATE 1/29/19

RES/INTEZ CONSTRUCTION \$5,000.00
Five thousand and 00/100 — DOLLARS

JPMorgan Chase Bank, N.A.

PRESENT PAYMENT #2 AS DEPOSIT

164

1-2/210

ADAM WEINSTOCK
CANDICE A. MANSON
221 OLD MOUNTAIN RD. N
NYACK, NY 10960-1128

DATE 2/26/19

CHASE
PRIVATE
CLIENT

PAY TO THE ORDER OF RESANTER CONSTRUCTION | \$ 7,420.80
Seventy-four hundred twenty and 80/100 DOLLARS

SUNNY VALLEY
FOLLOWING
DEPOSIT ONLY

JPMorgan Chase Bank, N.A.

MEMO BASEMENT RENO - FINAL PAYMENT(3) - ASSESS A

Thanks for your Wayfair order!

Wayfair service@wayfair.com

Fri 2/22/2019 2:47 PM

To: adamweinstock@hotmail.com <adamweinstock@hotmail.com>

FREE Shipping Over \$49



Furniture | Decor | Rugs | Lighting | Sale

Thanks for Your Order!

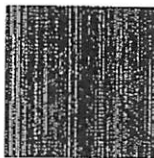
Hi Adam,

Details for your order #2962555945 are below. We'll send you tracking information as soon as an item from your order ships.

[View Order Details](#)



Deliver via **Ground** [What's this?](#)



Epsom 24" x 24" Loop Carpet Tile by Mohawk
 Qty: 2
 Color: Mudslide
 Price: \$239.98

Order Details

Shipping to
 Adam Weinstock
 221 Old Mountain Rd N
 Nyack, NY 10960
 United States

Contact information
 Adam Weinstock
 adamweinstock@hotmail.com
 9172047840

Payment Details

Subtotal:	\$239.98	Billing to
Shipping:	\$0.00	Adam Weinstock
Tax:	\$20.10	221 Old Mountain Rd N
Total Cost:	\$260.08	Nyack, NY 10960
		United States
		adamweinstock@hotmail.com
		9172047840

Payment Method:

MASTERCARD|***0364 \$260.08

Pending charges will be settled as items ship. All charges will appear as Wayfair.

Frequently Asked Questions

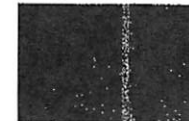
Where's the item I ordered?

Not to worry, we'll let you know as soon as your items ship. For an up-to-date status of your order, you can check My Account at any time.

How do I change my order?

If you need to change or cancel your order, visit My Account. Please note that you will no longer be able to make any changes once your items ship.

You Might Also Need





Adam Manson Weinstock <amweinstock@gmail.com>

Fwd: Thanks for your Wayfair order!

1 message

Adam M. Weinstock (@CandiceAnitra) <adam@candiceanitra.com>
To: Adam Manson Weinstock <amweinstock@gmail.com>

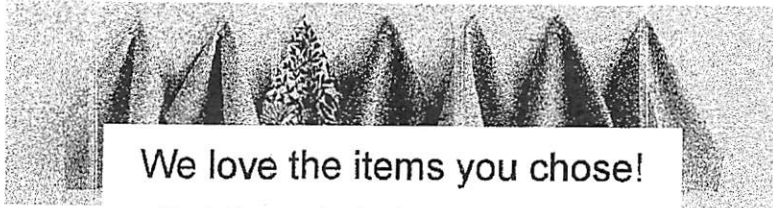
Fri, Feb 22, 2019 at 3:22 PM

----- Forwarded message -----

From: Wayfair <service@wayfair.com>
Date: Mon, Feb 18, 2019, 6:15 PM
Subject: Thanks for your Wayfair order!
To: ca@candiceanitra.com <ca@candiceanitra.com>



Order #2977495845

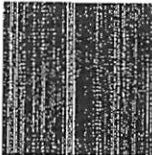


We love the items you chose!

Thanks for your order, Candice. View 3 of 4 deliveries below. For the rest, visit [My Orders](#). We'll send you tracking information as soon as your items ship.


Delivery 1 of 4

Estimated Delivery: Fri, Feb 22

Item	Qty	Price
 Epsom 24" x 24" Loop Carpet Tile by Mohawk Color: Mudslide	1	\$119.99

Delivery 2 of 4

Estimated Delivery: Mon, Feb 25

Item	Qty	Price
 Voyages Eggplant Geometric Area Rug by Malene b Rug Size: Rectangle 5' x 8' Add Protection Plan for \$15.99	1	\$245.99

Delivery 3 of 4

Estimated Delivery: Wed, Feb 27

Item	Qty	Price
 Carolina Standard Loveseat by House of Hampton Upholstery: Wine Add Protection Plan for \$36.99	1	\$344.99

Subtotal (4 items):	\$746.96
Shipping:	\$0.00
Tax:	\$62.56
Order Total:	\$809.52

Billing Information

Billing Address:

Payment Method:



Adam Manson Weinstock <amweinstock@gmail.com>

Home depot Fwd: Thank you for your order!

1 message

Adam M. Weinstock (@CandiceAnitra) <adam@candiceanitra.com>
To: Adam Manson Weinstock <amweinstock@gmail.com>

Fri, Feb 22, 2019 at 3:23 PM

----- Forwarded message -----
From: Home Depot Sales <hdms_onlinereservation@homedepot.com>
Date: Wed, Jan 30, 2019, 9:18 AM
Subject: Thank you for your order!
To: <ca@candiceanitra.com>



Measurement Services
Service beyond measure.

THANK YOU FOR YOUR MEASURE ORDER!
Your order will be processed within 6 hours.

Measure Number: 14590115

Measure Date: 02/02/2019

Price

Price \$35.00
Estimated Tax \$0.00
Total \$35.00

Site Information

Email ca@candiceanitra.com
Name Manson, Candice
Site Address 221 Old Mountain Road North
Nyack, NY 10960
County Rockland
Phone H: (646) 279-6077
C: (646) 279-6077

Billing Information

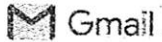
Card Type Visa
Name On Card Candice Manson
Billing Address 221 Old Mountain Road North
Nyack, NY 10960
Credit Card: **** *5359

Comments

Store

W NYACK #1217
2024 PALISADES CTR DR
WEST NYACK, NY 10994
845-348-0566

Line #	Material	Rooms
1	Carpet	Upper Stairs



Adam Manson Weinstock <amweinstock@gmail.com>

Fwd: Your Quote

1 message

Adam M. Weinstock (@CandiceAnitra) <adam@candiceanitra.com>
To: Adam Manson Weinstock <amweinstock@gmail.com>

Fri, Feb 22, 2019 at 3:24 PM

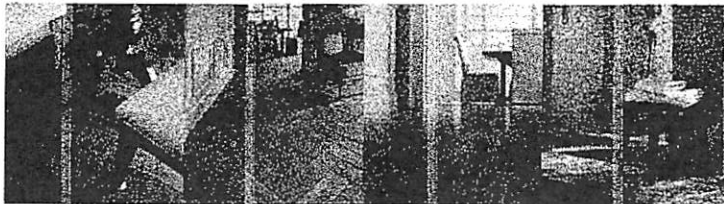
----- Forwarded message -----

From: <hdms_noreply@homedepot.com>
Date: Wed, Feb 20, 2019, 3:51 PM
Subject: Your Quote
To: <ca@candiceanitra.com>



Thank you for your order.
For any order change requests please contact your Home Depot store, W Nyack. Please remember it will take approximately 24 hours for your initial order to be processed before we can make any updates.

Measure #14590115 Quote #15890671.0



Material for Floor Surface 1: Carpet
Areas: STAIRS, STAIRS

QTY	Unit	Description	
16.67	SY	1002-029-218 - Gazelle II (Special Order) (12'0 x 12'6) Color: Cascade	
16.67	SY	Traffic Master 6# 7/16" Carpet Pad Note: Upgraded pad for this line starting at an additional \$15.00 (\$0.10/sf)	
Material Total			\$814.66

Labor for Floor Surface 1: Carpet
Areas: STAIRS, STAIRS

QTY	Unit	Description
16.67	SY	Basic installation package of tackless carpet/pad over 699
13	Each	Basic Step Installation (Plain/Boxed, Hollywood, Waterfall, Left/Right/Double Capped, Pie)

• Please Note:

- Customer did not indicate whether they have heat or not. Customer must ensure that heat is running for at least three days at a minimum temperature of

65 degrees before installation can be scheduled.

- Customer did not indicate whether they have electricity or not. Customer must ensure that they have electricity available before installation can be scheduled.

Floor #	Areas	Material Cost	Labor Cost	Line Total
1	STAIRS, STAIRS	\$814.66	\$0.00	\$814.66
Coupon for Credit for Deposit/Measure: Coupon Code: 9815 3000 0025 4738 9579 6046 80				-\$35.00
Tax @ 8.375 %				\$68.23
TOTAL				\$847.89

Homes built prior to 1978 are subject to Lead Paint Laws. Please review this document or visit <http://www.epa.gov/lead> for more details.

Flooring Installation: What to Expect

GETTING READY FOR THE INSTALLATION

Now that you've completed your payment, your order will be sent to the flooring manufacturer and to the Authorized Service Provider. Once your flooring products are delivered to the Authorized Service Provider, he/she will contact you to schedule your installation date and time. Keep in mind that different types of flooring have differing lead times. Please ask your store's Flooring Specialist for details on lead times.

What is requested of me BEFORE the installation?

The following information is a checklist of items to prepare your home for your new flooring. Proper preparation helps the installation go smoothly and efficiently Preparation.

- Empty all closets (clothes must be at least 4' up from the floor) receiving the new floor covering
- Remove all items from underneath beds and remove bed coverings
- Remove lamps, knickknacks, glassware from china cabinets, books from bookcases
- Remove all pictures and mirrors from walls. Disconnect and move all computers, stereos, TVs, VCRs, DVD equipment, or any other electronics, Inform the measurer and installer of all wires located under the carpet or along baseboards, Check for cable wire connections under existing floor covering(s)

Thanks for your Wayfair order!

Wayfair <service@wayfair.com>

Sat 1/19/2019 4:09 PM

To: adamweinstock@hotmail.com <adamweinstock@hotmail.com>

FREE Shipping Over \$49



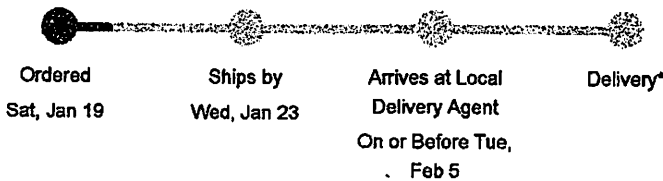
Furniture | Decor | Rugs | Lighting | Sale

Thanks for Your Order!

Hi Adam,

Details for your order #2377801095 are below. We'll send you tracking information as soon as an item from your order ships.

Manage Orders



Service Level Outside Front Door Drop-Off What's this?

*An updated delivery estimate will be provided at the time of shipment. You will receive an email confirming your exact delivery date within 2 business days after your shipment reaches our delivery partner.

Kirby 36" Single Bathroom Vanity Set by Union Rustic
Qty: 1

Price: \$469.99

Add Protection Plan for \$34.99



Order Details

Shipping to

Adam Weinstock
221 Old Mountain Rd N
Nyack, NY 10960
United States

Contact information

Adam Weinstock
adamweinstock@hotmail.com
9172047840

Payment Details

Subtotal:	\$469.99
Shipping:	\$0.00
Tax:	\$39.36
Total Cost:	\$509.35

Billing to

Adam Weinstock
221 Old Mountain Rd N
Nyack, NY 10960
United States
adamweinstock@hotmail.com
9172047840

Payment Method:

Paypal_EC Sale \$509.35

All charges will appear as: Wayfair.

Frequently Asked Questions

Where's the item I ordered?

Not to worry, we'll let you know as soon as your items ship. For an up-to-date status of your order, you can check My Account at any time.

How do I change my order?

If you need to change or cancel your order, visit My Account. Please note that you will no longer be able to make any changes once your items ship.



More saving.
More doing.

2024 PALISADES CTR DR. W. NYACK, NY 10994
STORE MGR DAVE LAWRENCE (845)348-0566

1217 00005 97104 01/21/19 12:06 PM
CASHIER JULIE

034449810647 4" BATH FCT <A> 49.00
FOUNDATIONS 4" INHDL BATH FAUCET CH

SUBTOTAL 49.00
SALES TAX 4.10
TOTAL \$53.10
STORE CREDIT 32.49
CARD BALANCE 0.00

XXXXXXXX5560
CARD BALANCE

XXXXXXXXXXXX0364 MASTERCARD

USD\$ 20.61

AUTH CODE 01019P/2052040
AID A0000000041010 4D41535445524341524



1217 05 97104 01/21/2019 1299

RETURN POLICY DEFINITIONS
POLICY ID DAYS POLICY EXPIRES ON
A 1 90 04/21/2019

DID WE NAIL IT?

Take a short survey for a chance TO WIN
A \$5,000 HOME DEPOT GIFT CARD

Opine en español

www.homedepot.com/survey

User ID: H8D 195714 194502
PASSWORD: 19071 194497

Entries must be completed within 14 days
of purchase. Entrants must be 18 or
older to enter. See complete rules on
website. No purchase necessary.



CLARKSTOWN - 845-348-6440
01/21/2019 11:44 AM EXPIRES 04/21/19



LUGGAGE
069040538

LUGGAGE T \$69.00

PETS
083020207

PET WASTE AC T \$4.59

SUBTOTAL \$73.59
REdcard Savings \$3.49-
T = NY TAX 8.3750% on \$70.10 \$5.87

TOTAL \$75.97
*2026 GIFT CARD PAYMENT \$10.00
*9004 TARGET CARD \$65.97
AID: A0000006122222
Target Credit
*2026 GIFT CARD BALANCE \$0.00



Today's REDcard Savings
\$3.49

TOTAL SAVINGS THIS TRIP
\$3.49

REC#2-9021-1083-0073-6222-3 VCD#756-749-842

Help make your Target Run better.
Take a 2 minute survey about today's trip:

informtarget.com
User ID: 7097 8891 7992
Password: 637 777

CUÉNTENOS EN ESPAÑOL

Please take this survey within 7 days.



ROCKLAND CENTER - STE 55
205 EAST ROUTE 59
NANUET, NY 10954
845-623-5410

REGULAR SALE *Hamper*

52 - STORAGE ORGANI 117042 \$19.99 T
52 - STORAGE ORGANI 110176 \$16.99 T
41 - KITCHEN/ACCESS 222404 \$4.99 T
52 - STORAGE ORGANI 102041 \$19.99 T

Subtotal \$61.96
NY 8.375% Sales Tax \$5.19

Total \$67.15

MASTERCARD \$67.15

----- TRANSACTION RECORD -----

*****0364
PURCHASE
EXPIRES **/** CHIP
AUTH# 03673P
AID A0000000041010
APP PREFERRED NAME MASTERCARD
APPLICATION LABEL MASTERCARD
Signature Captured
008325 10100061 18:24:50
APPROVED

Change \$0.00

HomeGoods VALUES YOUR FEEDBACK!!!
Tell us what you think about
your store visit today and
enter a monthly drawing to win a
\$500 HomeGoods Gift Card!

Visit www.HOMEGOODSFEEDBACK.com

Respond by 1/10/19
You will need to reference
your receipt
Survey number: 0465015379
SEE WEBSITE FOR COMPLETE RULES

ADAM WEINSTOCK
 221 OLD MOUNTAIN RD
 UPPER NYACK, NY 10960
 061149-40421

 Your next Meter Reading will be: Dec 03

 If you have questions about this bill, call toll-free 1-877-434-4100 or go to www.oru.com

ELECTRIC RESIDENTIAL - DELIVERY
 Meter Number: 701027333

Oct 31 reading (Actual)	7357
Oct 1 reading (Actual)	6858
Total Usage KWH 30 Days	499

Delivery Charges

Basic Service Charge			\$20.00
First	250 KWH @	7.296¢ each	18.24
Next	249 KWH @	7.296¢ each	18.17
Energy Cst Adj	499 KWH @	0.24800¢	1.24
NY Assessment	499 KWH @	0.00000¢	.00
RDM Adjustment	499 KWH @	0.60300¢	3.01
Transition Adj Chg	499 KWH @	0.00500¢	-.02
SBC Chg	499 KWH @	0.58700¢	2.93
Government surcharges - Delivery			-2.11
Total Delivery Charges			\$65.68
Total Supplier Charge			59.87

CURRENT ELECTRIC CHARGES

\$105.55

GAS FIRM TRANS SPACE HEATING - DEL

Meter Number: 171013088

Oct 31 reading (Actual)	8323
Oct 1 reading (Actual)	8275
Total Usage CCF 30 Days	48

Delivery Charges

Basic Service Charge			\$20.00
First	3 CCF @	0.000¢ each	.00
Next	45 CCF @	65.285¢ each	29.38
Adjustment charge	@	14.53527¢	6.98
NY Assessment	48 CCF @	0.00000¢	.00
RDM Adjustment	48 CCF @	0.83000¢	40
SBC Charge	48 CCF @	0.60100¢	29
Government surcharges - Delivery			-2.03
Total Delivery Charges			\$59.08
Total Supplier Charge			19.15

CURRENT GAS CHARGES

\$78.23

To avoid a 1.5% late charge, please pay by 11/23/2018.

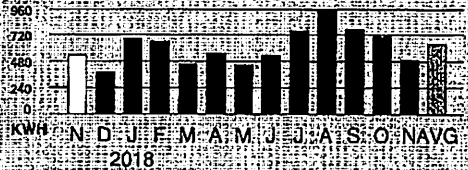
BILLING DATE 10/31/18

BILLING SUMMARY

ACCOUNT NUMBER	20420-55025
Last Bill	\$188.28
Payments as of 10/31/18	00
Balance Forward	\$188.28
Adjustments:	
1.5% Late Payment	2.82
Service Charges:	
Electric	105.55
Gas	78.23
Rockland Sales Tax	2.36
TOTAL AMOUNT DUE	\$377.24

Avg Temp This Period 56°F
 Same Period Last Year 61°F

ELECTRIC USAGE MONTHLY



GAS USAGE MONTHLY



■ ACTUAL □ ESTIMATED ■ AVG. CUST PROFILE

Orange & Rockland

20420-55025

SB

TOTAL AMOUNT DUE

\$377.24

Amount enclosed:

To avoid a late charge pay by 11/23/2018

X to enroll in ABP

ADAM WEINSTOCK
 221 OLD MOUNTAIN RD
 UPPER NYACK, NY 10960-1128

PO Box 1005
 Spring Valley NY 10977

 NEIGHBOR FUND: Add \$1 and O&R Will Match

0009 2042055025 0000018828 00000037724

0049156

This bill is due on receipt. Detach and mail this portion with payment.





Application for Showmobile Use

Showmobile Requirements

Applications must be submitted to the Parks & Recreation Office no later than 8 weeks prior to your event in order to be placed on a Town Board agenda.

There are two pages to this application. Please read and understand all items listed on page 1 (this page) and upload your certificate of insurance.

Click "next" to advance to page 2 and fill out all requested information.

Upload Certificate of Insurance * Cert of Ins - 2019 TOWN OF ORANGETOWN
PARKS & RECREATION.PDF 40.53KB

Before completing the Showmobile Request Form, please be aware of the following:

- + The total area needed for the Showmobile is a space 50 feet in length, 15 feet in width and 25 feet in height.
- + Showmobile stage measures 28 feet long x 14 feet 7 inches deep x 25 feet high when open. One set of stairs is available with hand railings. (Please note that this measurement does not include the trailer hitch or the tow vehicle).
- + The lights require a 110 volt, 20 amp circuit to plug into within 150 feet of the right front side of the Showmobile. Additional electrical equipment must be plugged into a separate circuit.
- + The Showmobile must be parked in a relatively level space. The placement of the Showmobile is at the discretion of the Orangetown Parks & Recreation staff. Although every effort will be made to meet requests, this equipment does not go off road, over curbing, on uneven ground or over rough terrain.
- + The area must be free of obstructions such as overhanging tree limbs, electrical wires, etc.
- + The tow vehicle must remain with the Showmobile for the duration of the event.
- + In the event of winds in excess of 30 MPH, the stage canopy must be closed.
- + The Town seal is not to be covered and no nails, staples, tacks or tape may be used to attach any items to the Showmobile)
- + The organization will receive an emailed invoice after their event is complete. Payment is expected no later than 14 days after receipt of invoice.
- + A member of the organization renting the unit must be on site at time of arrival for proper set up as well as time of departure to assure all event tasks have been completed (i.e. removal of equipment)
- + Any changes/cancellations (unless otherwise agreed upon) to the event must be made 24 hours in advance by contacting Mark Albert at malbert@orangetown.com.

Additional Requirements:

- + Certificate of insurance required. Must name the Town of Orangetown as additionally insured.
- + Rental Costs: \$400.00 plus labor.

Showmobile Application

Event Information

Event/Festival Name * Traubenfest 2019

Event Location Name * German Masonic Park

Event Address *

Street Address
89 Western Hwy S
Address Line 2
City Tappan State / Province / Region NY
Postal / Zip Code 10983 Country US

Setup Date & Time * 10/6/2019
08:00:00 AM

Take-Down Date & Time * 10/7/2019
08:00:00 AM

Stair Arrangement *

Right side of stage
 Left side of stage
 Front of stage
 Not Sure

Set-up Info * Please describe in detail what the stage will be used for and how you intend to set it up. If you have a rain date, please list it here so long as all the information above is the same.
7 and 8 piece music band

Applicant Information

Applicant's Name * Mark Rampanelli

Organization Name * The Noble Ninth Inc

Organization Address * 149-39 11th Ave

Organization City * Whitestone

Organization State * NY

Phone (w) * 5162363847

Phone (c) * 5162363847

Email * saltcay01@gmail.com

Signature *



terms and conditions.

*

I accept the terms and conditions



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

06/03/2019

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Wilkinson & Krause Agency Inc 75B Montauk Hwy Blue Point, NY 11715	CONTACT NAME: Jourdan Lopez PHONE (A/C, No, Ext): 631-567-1111 E-MAIL ADDRESS: Info@5starcoverage.com	FAX (A/C, No): 631-218-3411
	INSURER(S) AFFORDING COVERAGE	
INSURED The Noble Ninth Inc 149-39 11th Avenue Whitestone, NY 11357	INSURER A : U.S. UNDERWRITERS INSURANCE CO. NAIC # 35416	
	INSURER B :	
	INSURER C :	
	INSURER D :	
	INSURER E :	


COVERAGES **CERTIFICATE NUMBER: 00000000-264564** **REVISION NUMBER: 3**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	Y		CPS3085670	10/19/2018	10/19/2019	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input checked="" type="checkbox"/> CLAIMS-MADE DED RETENTION \$			XL1581858	10/05/2018	10/05/2019	EACH OCCURRENCE \$ 2,000,000 AGGREGATE \$ 2,000,000
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A				PER STATUTE OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Certificate holder is named as additional insured

CERTIFICATE HOLDER TOWN OF ORANGETOWN PARKS & RECREATION 81 HUNT RD Orangeburg, NY 10962	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
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(JCL) 168

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PLANNED SERVICE RENEWAL

6/19/2019

Aric Gorton
Orangetown Town Hall
81 Hunt Rd
Orangeburg NY 10962-2517

Town Of Orangetown HVAC 2019-20



Dear Aric:

Thank you for choosing Johnson Controls to provide the maintenance solution for your facility. We appreciate your business and look forward to continuing as your building technology services partner.

Your current service agreement (1-71385476742) will expire on 07/31/2019. We are pleased to offer a one year continuation of your current agreement as per Option Year Two for the annual sum of \$18,295.00, to be paid quarterly. The scope will remain the same and the term of this contract will be 08/01/2019 to 07/31/2020. Invoices will be sent to:

Town Of Orangetown
81 Hunt Road
Orangeburg NY 10962

To continue service without interruption, please sign below and return to me by 7/1/2019. If you require us to reference a requisition or purchase order on our invoices, please provide a copy of that document when you return this signed notice.

As a manufacturer of mechanical, controls, security and fire systems, we have the expertise and resources to provide proper maintenance and repair services for your facility. With planned service you're getting a solution that can help optimize your building's performance, provide dependability, sustainability and energy efficiency. Your service is delivered with the attention of a local service company backed by the resources of a global organization.

Again, thank you for your business and we look forward to serving you in the coming year. Please do not hesitate to call if I can assist you in any way.

Sincerely,
Johnson Controls

Customer Signature: _____

Anne Wiesner
JOHNSON CONTROLS WESTCHESTER
NY CB - 0N62
8 Skyline Dr
Hawthorne NY 10532-2151
Anne.wiesner@jci.com
Phone: 914-593-5254

Customer Name: _____

Customer Title: _____

PO/Requisition #: _____

TOWN OF ORANGETOWN

REQUEST TO ATTEND CONFERENCE, MEETING, SEMINAR OR SCHOOL

(Complete Page 1 and forward original to Finance Office. Retain copy for your records.)

REQUESTING DEPARTMENT: Police Date- July 2, 2019

NAME(S) OF PERSON(S) TO ATTEND: Det. Brandon Myers

CONFERENCE, ETC. – NAME & LOCATION: Crimes Against Children Conference- Sheraton Dallas Hotel- 400 N. Olive Street Dallas Texas 75201

CONFERENCE, ETC. DATE(S): August 12, 2019 to August 15, 2019- All travel and registration fees will be reimbursed by Rockland County.

WHAT DO YOU EXPECT TO GAIN FROM ATTENDANCE (ATTACH COPY OF BROCHURE) This is the premier conference in providing practical and interactive instruction in investigating crimes against children. This training will enhance our juvenile investigations with the training and networking with some of the best in the field.

DATE(S) LAST ATTENDED A SIMILAR CONFERENCE, ETC.: This will be the first first time an OPD members attends this national conference.

ESTIMATED EXPENSES:

<u>Item</u>	<u>Charge to:</u> B.3120.441.16 <u>Schls & Confs</u>	<u>Charge to:</u> B.3120.480.16 <u>Travel Exp*</u>	<u>Total</u>
Registration Fee	\$ <u>530.00</u> (Reimbursed)		
Lodging	_____	_____	_____
Meals	<u>up to \$35 a day</u>		\$105.00
Travel	_____	_____	_____
Other	_____	_____	_____
Total	\$ _____	\$ _____	\$ <u>105.00</u>

*Use if only travel expense involved

REMAINING BALANCE IN 0441 Account: \$ _____

IF TRAVEL ONLY, REMAINING BALANCE IN 0480 Account: \$ _____

DEPARTMENT HEAD APPROVAL/SIGNATURE (if not an attendee): _____

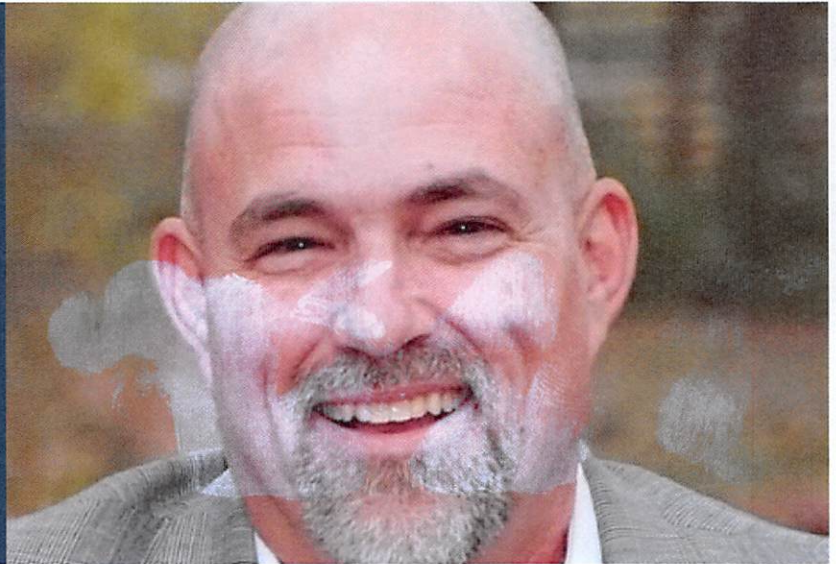
CRIMES AGAINST CHILDREN CONFERENCE



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- CONTACT

2019 KEYNOTE SPEAKER

Greg Smith



ATTEND



EXHIBIT



SPONSOR

About the Conference

August 12-15, 2019 | Sheraton Hotel | Dallas, Texas

Internationally recognized, the Crimes Against Children Conference is the premier conference of its kind providing practical and interactive instruction to those fighting crimes against children and helping children heal. There were more than 5,000 professionals from around the world in 2018!

The conference is presented annually by the **Dallas Children's Advocacy Center** and the **Dallas Police Department**. The conference is conducted to provide training to those employed by government or nonprofit agencies in the fields of law enforcement, child protective services, social work, children's advocacy, therapy, and medicine who work

Contact Our Team

Name *

Your Email *

Question/Comment *



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[Register Now](#)

[Fees & Payment Information](#)

[Pre-Paid Lunch](#)

[Computer Lab Registration](#)

[Scholarships](#)

[International Attendees](#)

HOME - REGISTRATION - INTERNATIONAL ATTENDEES

International Attendees

Welcome!

The conference has had attendees from all over the world, including:

Australia	Guam	New Zealand
Austria	Guatemala	Norway
Cambodia	Hungary	Singapore
Canada	Indonesia	Sweden
Colombia	Ireland	Thailand
El Salvador	Israel	United Arab Emirates
France	Malaysia	United Kingdom
Georgia	Mexico	
Germany	Netherlands	

Interpreters

Workshops are offered in English only. The conference does not provide interpreters. If you require an interpreter, [click here](#) to search for interpreters in the Dallas metroplex.

If you set up services with an interpreter, contact the [conference team](#) to ensure they have the appropriate badge for conference entrance. If the conference team is unaware of an interpreter attending, the interpreter will be denied access to the conference and therefore unable to assist you. The conference team will not engage in contract negotiations with interpreters.

Letters of Invitation

The conference does not provide letters of invitation.



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Conference Schedule

2019 Conference Schedule

Speakers

Workshops

Case Studies

Forum

Computer Labs

Opening Plenary

Past Programs

Continuing Education

2017 Conference Information

HOME - SCHEDULE - CONFERENCE SCHEDULE

2019 Conference Schedule

Please note that there is no set lunch break. Attendees can take a lunch break any time throughout the day to suit individual needs. Light breakfast of pastries and coffee provided daily.

	Sunday	Monday	Tuesday	Wednesday	Thursday
		7:00-8:15 am Light Continental Breakfast Registration and Check-In	7:00-8:30 am Light Continental Breakfast	7:00-8:30 am Light Continental Breakfast	7:00-8:30 am Light Continental Breakfast
		8:15-9:30 am Opening Plenary	8:30-9:45 am Workshops	8:30-9:45 am Workshops	8:30-9:45 am Workshops
		10:15-11:30 am Workshops	10:15-11:30 am Workshops	10:15-11:30 am Workshops	10:15-11:30 am Workshops
		12:00-1:15 pm Workshops	12:00-1:15 pm Workshops	12:00-1:15 pm Workshops	11:30 am Conference Concludes
	2:00-9:00 pm BEAT THE CROWD Conference Check-In 2nd Floor of the	1:45-3:00 pm Workshops	1:45-3:00 pm Workshops	1:45-3:00 pm Workshops	

on 2nd floor of the

Sheraton

Conference Center

	3:30-4:45 pm Workshops	3:30-4:45 pm Workshops	3:30-4:45 pm Workshops
	5:15-6:30 pm Workshops (no computer labs)	5:15-6:30 pm Workshops (no computer labs)	
	Dinner on your own	Dine on your own or Optional Social at the Dallas Police Association	7:00 pm-Midnight Conference Social

[HOME](#) [ABOUT](#) [REGISTRATION](#) [HOTEL & TRAVEL](#) [SCHEDULE](#) [OPPORTUNITIES](#) [EXHIBIT](#) [CONTACT](#)

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