

69.06 - 2-13

Rogers
Revised plans

Drawing List

- T-1.0 Bulk regulations table, property information & drawing list
- T-1.1 General Notes and Conditions
- T-1.2 General Notes and Conditions
Perscriptive Residential Wood Deck Construction Guide DCA 6.
- EX-1.1 Existing & Demolition Floor Plans
Basement & First Floor.
- EX-1.2 Existing & Demolition Floor Plans
Second Floor & Roof.
- EX-2.0 Existing Elevations
- A-1.0 Proposed Plan -
Foundation & Basement
- A-1.1 Proposed Plan - First Floor
- A-1.2 Proposed Plan -
Upper & Second Floor
- A-1.3 Proposed Roof Plan
- A-2.0 Proposed Elevations
West & South Exterior Elevations
- A-2.1 Proposed Elevations
East & North Exterior Elevations

**Zoning Board
Revision**
Town of Orangetown, NY
July 09, 2020

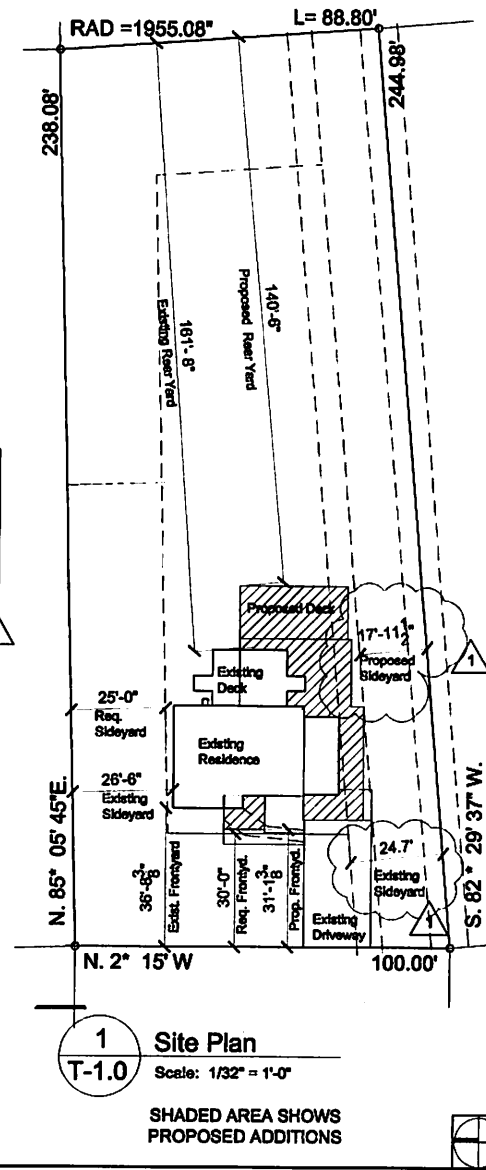
Property Information

50 Cara Drive	Section	6906
Pearl River, NY	Block	2
10965	Lot	13
	Zone	R-15

Bulk Regulations Table

Minimum	Required	Existing	Proposed
Lot Area	15,000 S.F.	22,735 S.F.	No change
Lot Width	100'-0"	100'-0"	No change
Street Frontage	75'-0"	100'-0"	No change
Front Yard	30'-0"	36.7'	31'-1 3/8"
Side Yard	20'-0"	24.7'	17'-11 1/2"
Total Side Yard	50'-0"	51'-6"	44'-5 1/2"
Rear Yard	35'-0"	161'-8"	140'-6"
Building Height 12" per ft. of distance from lot line	36'-0"	22'-11"	26'-10"
Maximum F.A.R.	20%	8.2%	15%

All information for table taken from a certified survey dated November 29, 2019 prepared by:
Jay A. Greenwell, PLS, LLC Surveying - Land Planning
85 Lafayette Avenue, Suffern, NY 10901
Ph: (845) 357 - 0830



1 Site Plan
T-1.0 Scale: 1/32" = 1'-0"

SHADED AREA SHOWS
PROPOSED ADDITIONS

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ISSUE:

DATE:	ISSUE:
02-22-18	BUILDING PERMIT SUBMISSION
07-02-19	VARIANCE GRANTED
05-15-20	BUILDING PERMIT SUBMISSION
08-06-20	ZONING SUBMISSION

REVISIONS:

DATE:	DESCRIPTION:
07-09-20	1 ZBA Submission Revision

PROJECT:
Renovations & Additions
Rogers Residence
50 CARA DRIVE
PEARL RIVER, NY 10965

DWG. TITLE:
Property Information
Bulk Table

DATE: _____
JOB NO: _____
DRAWN: LM
DWG. NO.

T1.0

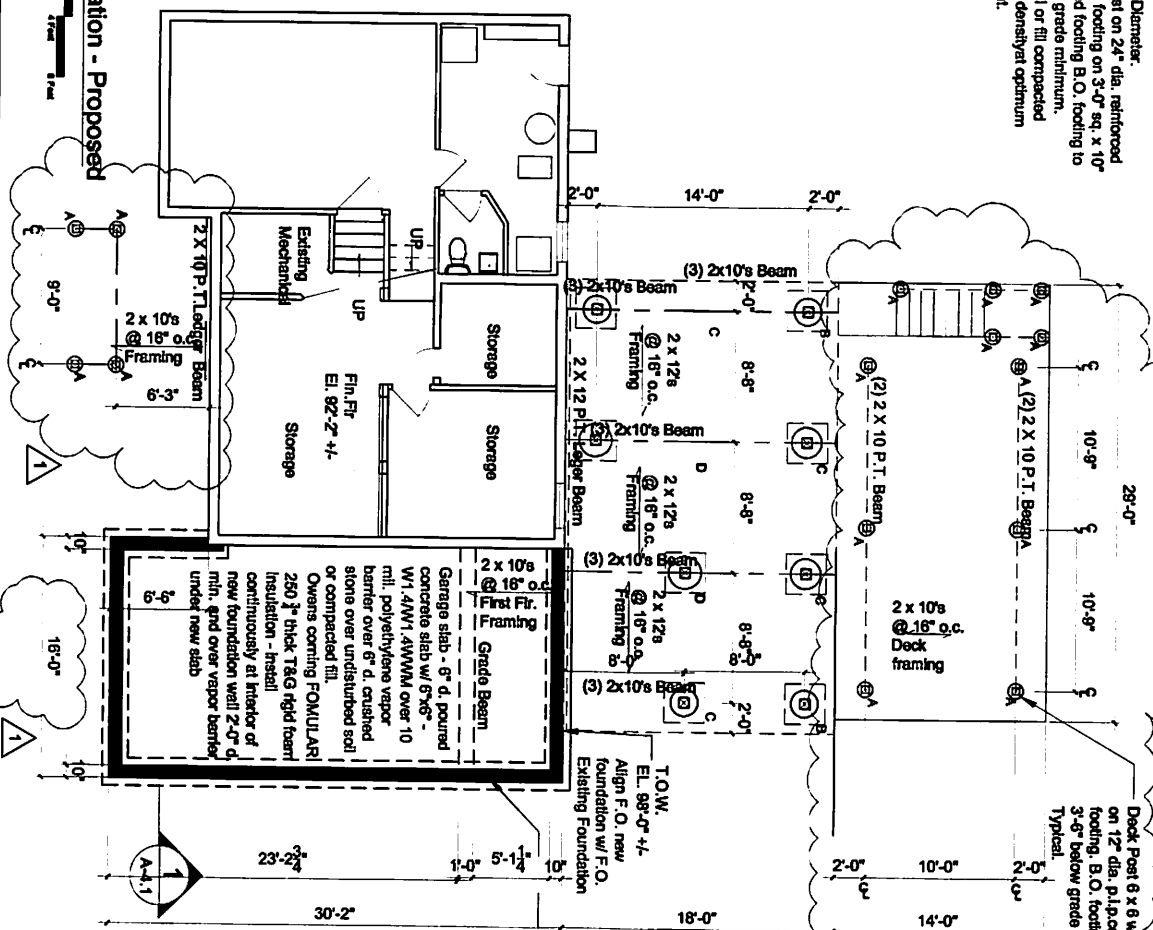
Post Footing Legend

- (1) TYPE A - 12" Diameter. 6 x 6 wood post on 12" dia. p.l.p. concrete footing. B.O. footing to be 3'-6" below grade minimum.
- (2) TYPE B - 20" Diameter. 8 x 8 wood post on 20" dia. reinforced p.l.p. concrete footing on 2'-9" sq. x 10" deep reinforced footing B.O. footing to be 4'-0" below grade minimum.
- (3) TYPE C - 24" Diameter. 8 x 8 wood post on 22" dia. reinforced p.l.p. concrete footing on 2'-10" sq. x 10" deep reinforced footing B.O. footing to be 4'-0" below grade minimum.
- (4) TYPE D - 28" Diameter. 8 x 8 wood post on 24" dia. reinforced p.l.p. concrete footing on 3'-0" sq. x 10" deep reinforced footing B.O. footing to be 4'-0" below grade minimum. Undisturbed soil or fill compacted to 95% of max. density at optimum moisture content.

Symbol Legend

- Existing structure to be remain
- Existing structure to be removed
- Non-load bearing partitions to be removed, repair, replace existing walls, finishes etc. as required.
- New Construction -
- Typical Foundation Wall - 10" wide CMU or poured in place concrete foundation wall on 2'-0" wide x 12" deep poured in place concrete footing. See A-1.0 for locations.
- CONFIRM all layouts with owner before starting work.

1 Basement/Foundation - Proposed
 Scale: 1/4" = 1'-0"
 A-1.0



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02-22-19 BUILDING PERMIT SUBMISSION	
07-02-19 VARIANCE GRANTED	
05-15-20 BUILDING PERMIT SUBMISSION	
06-08-20 CANONING SUBMISSION	

REVISIONS:	DESCRIPTION:
07-08-20	1 ZNA Submittal Foundation

PROJECT:
 Renovations & Additions
 Rogers Residence
 80 OAKA DRIVE
 PELHUM RIVER, NY 10888

DWG. TITLE:
 PROPOSED
 FLOOR PLAN
 Basement & Foundation

A-1.0

Symbol Legend

- Existing structure to remain
- Existing structure to be removed
- Non-Load bearing partitions to be removed, repair, replace existing walls, finishes etc. as required.
- New Construction -

Typical Foundation Wall - 10" wide CMU or poured in place concrete foundation wall on 2'-0" wide x12" deep poured in place concrete footing. See A-1.0 for locations.

Typical Exterior Wall - One layer 1/2" gypsum wallboard at interior on 2x6 wood studs at 16" o.c. Provide R-21 Fiberglas batt insulation or better.

Exterior finish - Vinyl siding to match existing over building wrap over 1/2" th. exterior grade plywood sheathing.

Typical Interior Wall - One layer 1/2" G.W.B. each side of 2x4 wood studs at 16" o.c.

Bathrooms to have 1/2" thick moisture resistant sheet rock. Cement wallboard at tiled walls. All exposed surfaces to be taped and speckled with (3) coats and sanded smooth for paint.

Garage - 1/2" th. Firecode G.W.B. at interior walls and ceiling of Garage.

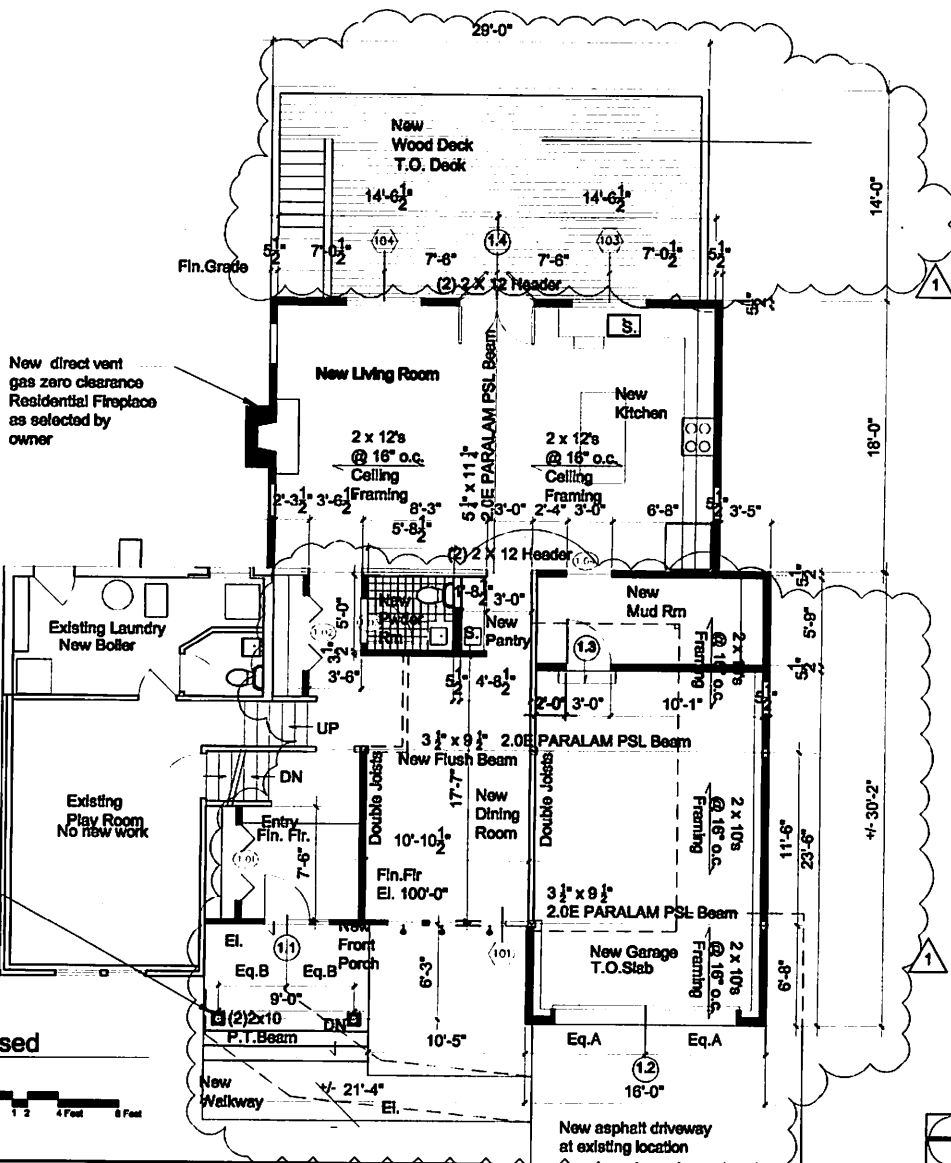
General Notes

- CONFIRM all layouts with architect before starting work.
- Confirm all light fixture and receptacle outlets with owner before installation.

Finishes

- First Floor Hardwood floor to be Wide Plank flooring, random length, 5" wide white oak plain sawn select grade tongue and groove, blind nailed. Do not use lengths less than 24"
- Second floor finish to be carpet as selected by owner.
- Baseboard Moulding - Colonial style 4 1/2" H. Primed finger jointed

Front porch columns (2)- INTEX CRE1012 -10" SQ. x 144" column wrap kit. Recessed panel 4 sides Full W/B" Base, 6" Cap & WM164 Trfm.



1 Main Floor - Proposed
 A-1.1 Scale: 1/8" = 1'-0"

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07-02-19	VARIANCE GRANTED
05-15-20	BUILDING PERMIT SUBMISSION
08-06-20	ZONING SUBMISSION

REVISIONS:

DATE:	DESCRIPTION:
07-09-20	1 ZBA Submission Revision

PROJECT:
 Revonvations & Additions
 Rogers Residence
 50 CARA DRIVE
 PEARL RIVER, NY 10965

DWG. TITLE:
PROPOSED FLOOR PLAN
 First Floor

DATE:
JOB NO.:
DRAWN: LM
DWG. NO.:

A-1.1

Symbol Legend

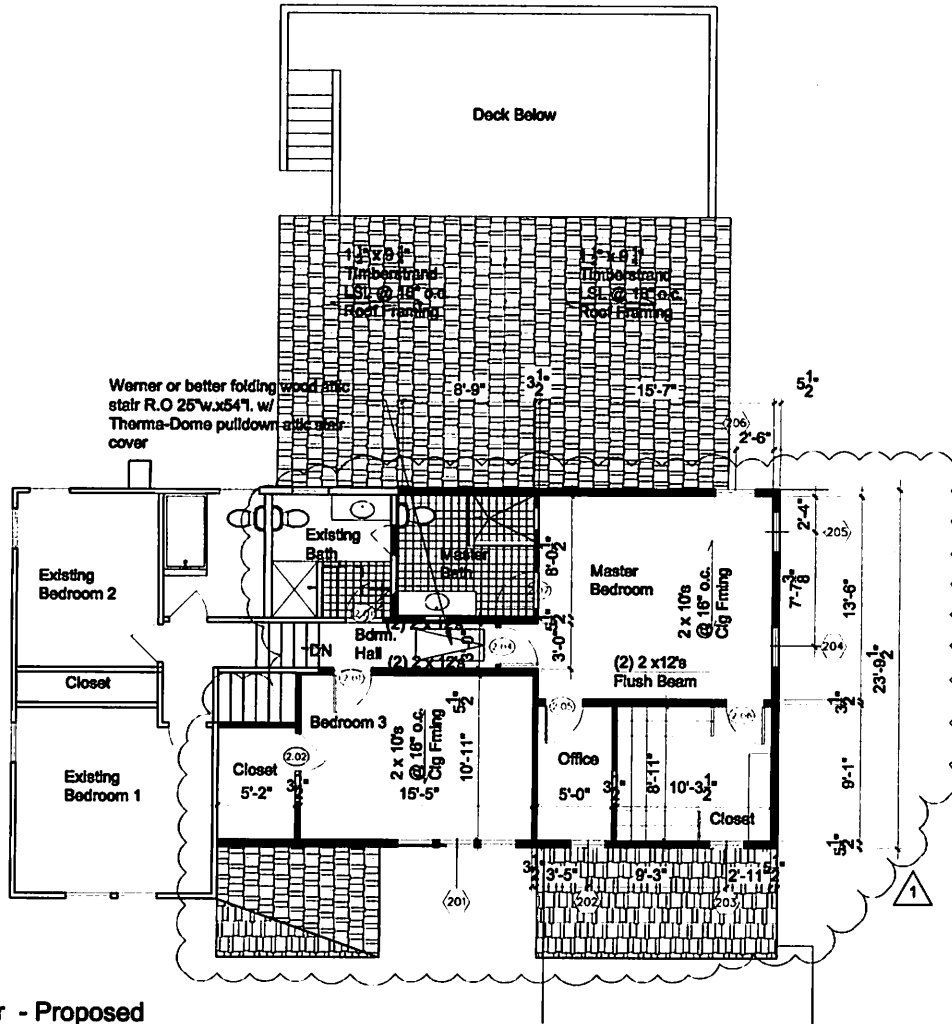
- Existing structure to remain
- - - Existing structure to be removed
- Non-Load bearing partitions to be removed, repair, replace existing walls, finishes etc. as required.
- ▨ New Construction -
 - Typical Foundation Wall - 10" wide poured in place concrete foundation wall on 2'-0" wide x12" deep poured in place concrete footing. See A-1.0 for locations.
 - Typical Exterior Wall - One layer ½" gypsum wallboard at interior on 2x6 wood studs at 16" o.c. Provide R-21Fiberglas batt insulation or better. Exterior finish - Vinyl siding to match existing over building wrap over ¾" th. exterior grade plywood sheathing.
 - Typical Interior Wall - One layer ½" G.W.B. each side of 2x4 wood studs at 16" o.c.
 - Garage - ½" thk. Firecode G.W.B. at interior walls and ceiling of Garage. CONFIRM all layouts with architect before starting work.

General Notes

- CONFIRM all layouts with architect before starting work.
- Confirm all light fixture and receptacle outlets with owner before installation.

Finishes

- First Floor Hardwood floor to be Wide Plank flooring, random length, 5" wide white oak plain sawn select grade tongue and groove, blind nailed. Do not use lengths less than 24"
- Second floor finish to be carpet as selected by owner.
- Baseboard Moulding - Colonial style 4 ½" H. Primed finger jointed



1
A-1.2
Second Floor - Proposed
Scale: ¼" = 1'-0"



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05-15-20	BUILDING PERMIT SUBMISSION
06-06-20	ZONING SUBMISSION

REVISIONS:	
DATE:	DESCRIPTION:
07-09-20	1 ZBA Submission Revision

PROJECT:
Revonations & Additions
Rogers Residence
50 CARA DRIVE
PEARL RIVER, NY 10966

DWG. TITLE:
PROPOSED FLOOR PLAN
Second Floor

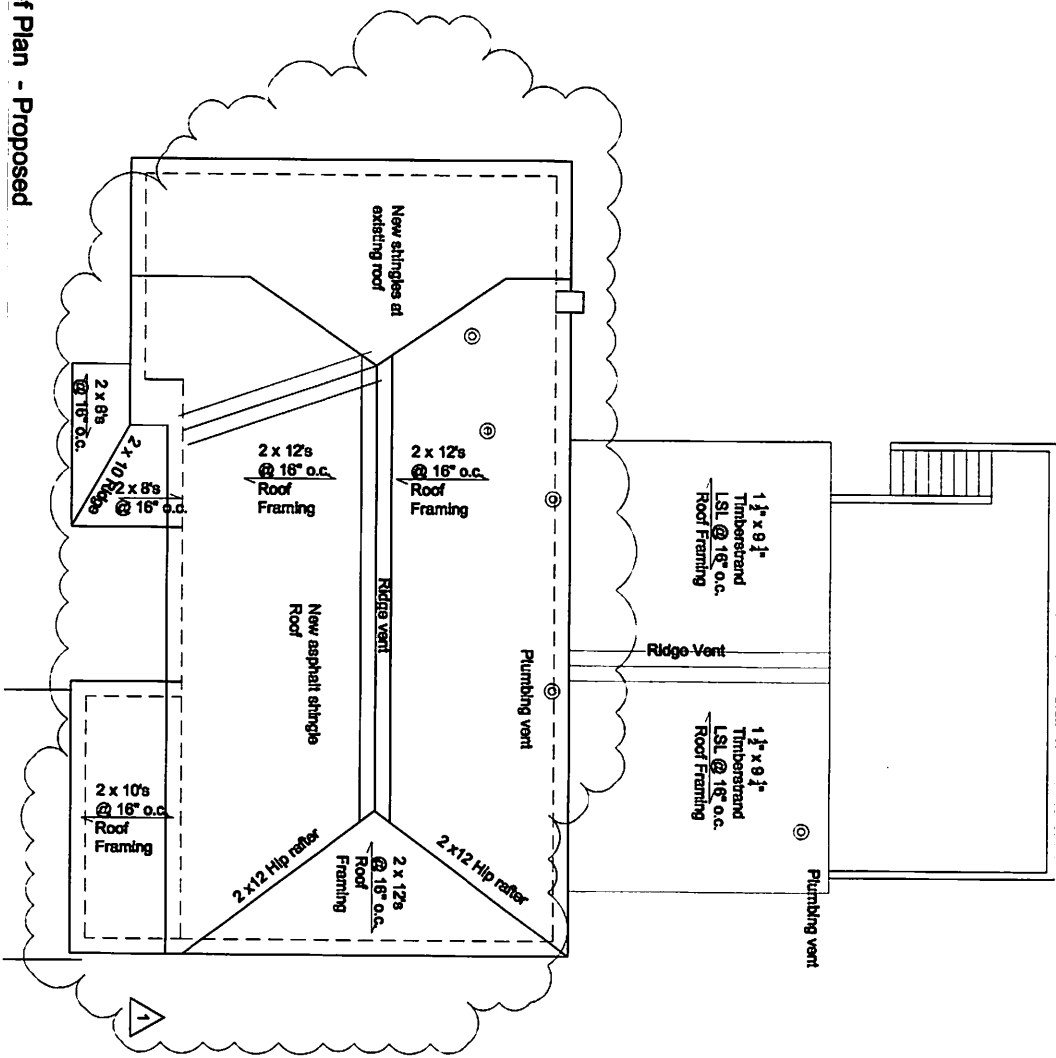
DATE:
JOB NO:
DRAWN: LM
DWG. NO.

A-1.2

1
A-1.3

Roof Plan - Proposed

Scale: 1/8" = 1'-0"



A-1.3

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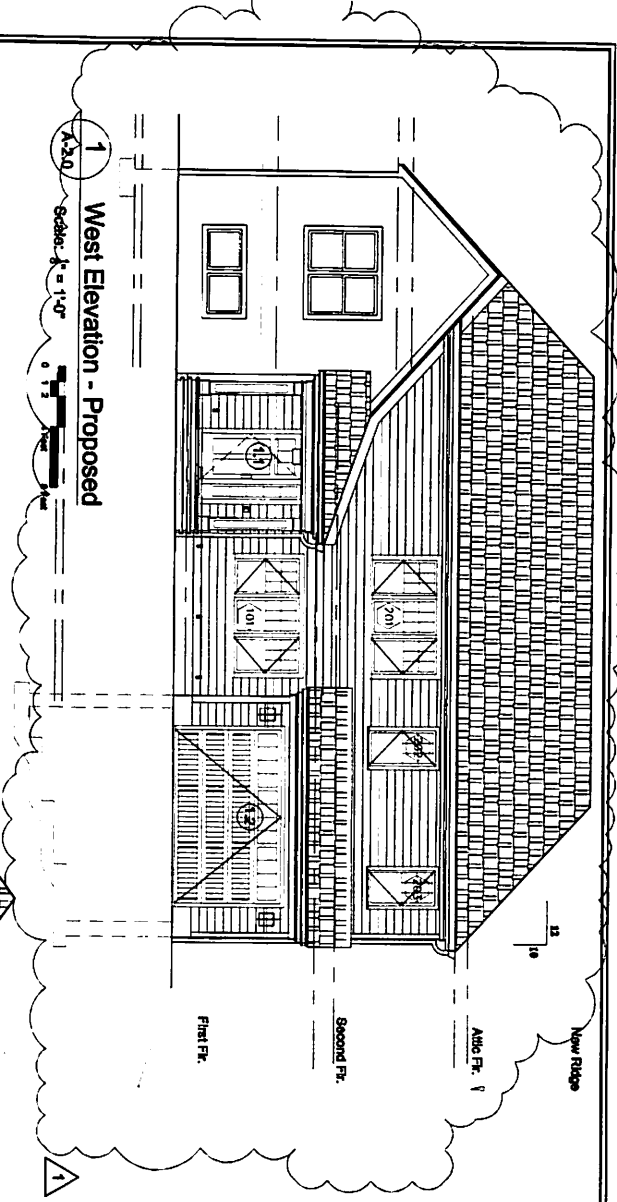
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02-22-19	07-09-20	ZNA Submission Revision
07-02-19		ZNA Submission
05-15-20		ZNA Submission
06-06-20		ZNA Submission

ISSUE:	DATE:	DESCRIPTION:
02-22-19	07-09-20	ZNA Submission Revision
07-02-19		ZNA Submission
05-15-20		ZNA Submission
06-06-20		ZNA Submission

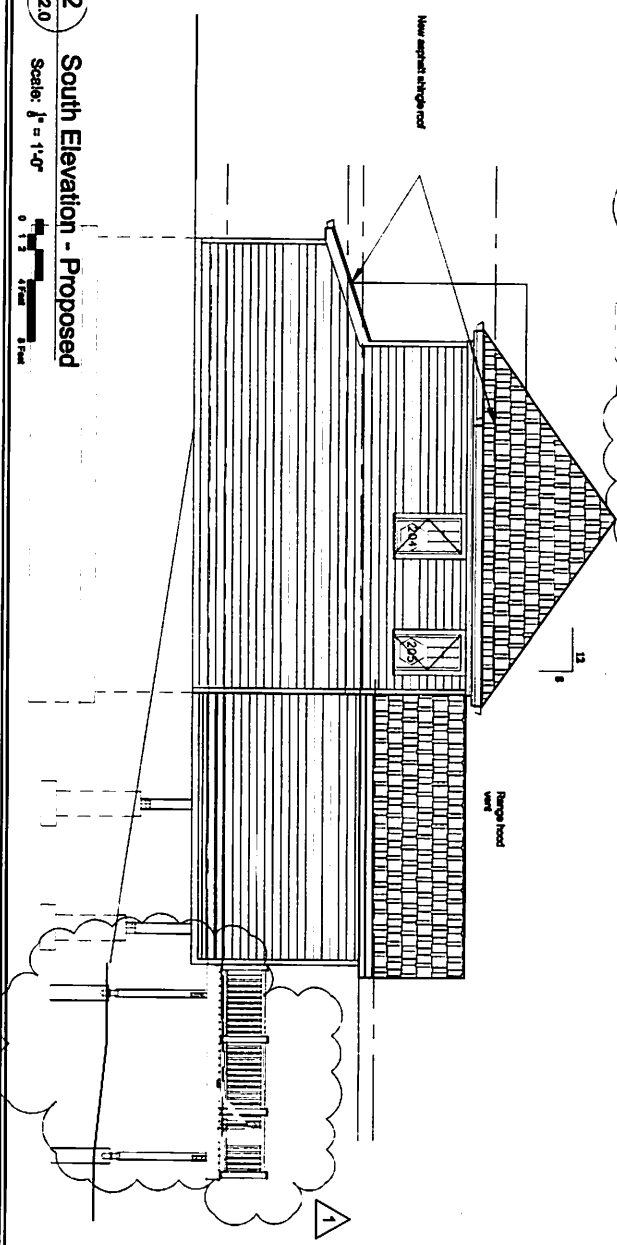
PROJECT:
Revolutions & Additions
Regans Residence
50 OAKA DRIVE
PEARL RIVER, NY 10986

DRG. TITLE:
PROPOSED FLOOR PLAN
Roof

DATE:	BY:	CHK:	APP:



1
West Elevation - Proposed
Scale: 1/8" = 1'-0"
0 1 2 3 4 5 Feet



2
South Elevation - Proposed
Scale: 1/8" = 1'-0"
0 1 2 3 4 5 Feet

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06-06-20 ZONING SUBMISSION		

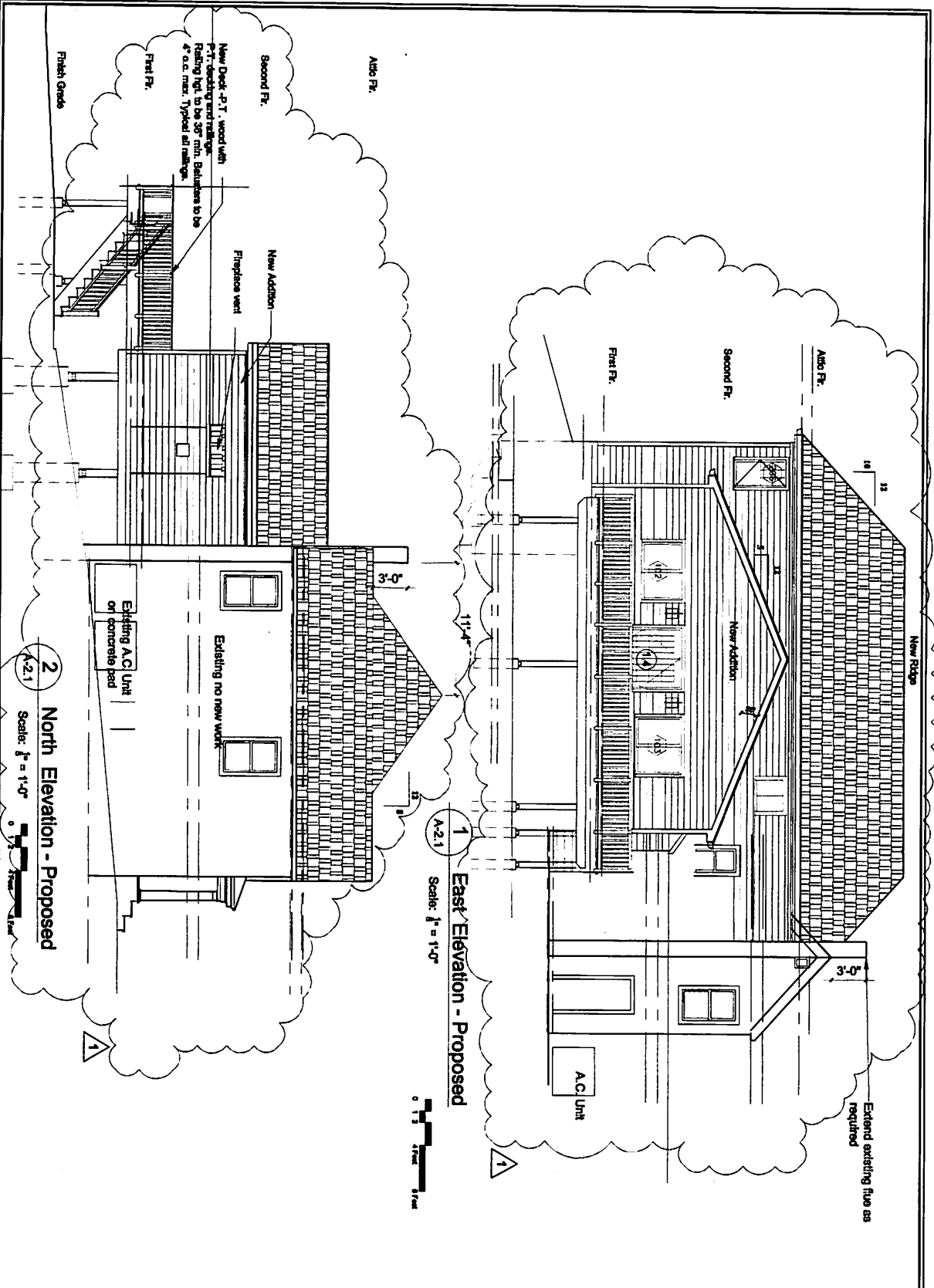
REVISIONS:	DATE:	DESCRIPTION:
1	07-06-20	ZNA Submission Revision

PROJECT:
 Renovations & Additions
 Rogers Residence
 60 CAVA DRIVE
 PEARL RIVER, NY 10985

DWG. TITLE:
 PROPOSED
 ELEVATIONS
 West & South Elevations

DATE:	DESIGN:	DRAWN:	CHECK:

A2.0



Extend existing fire as required

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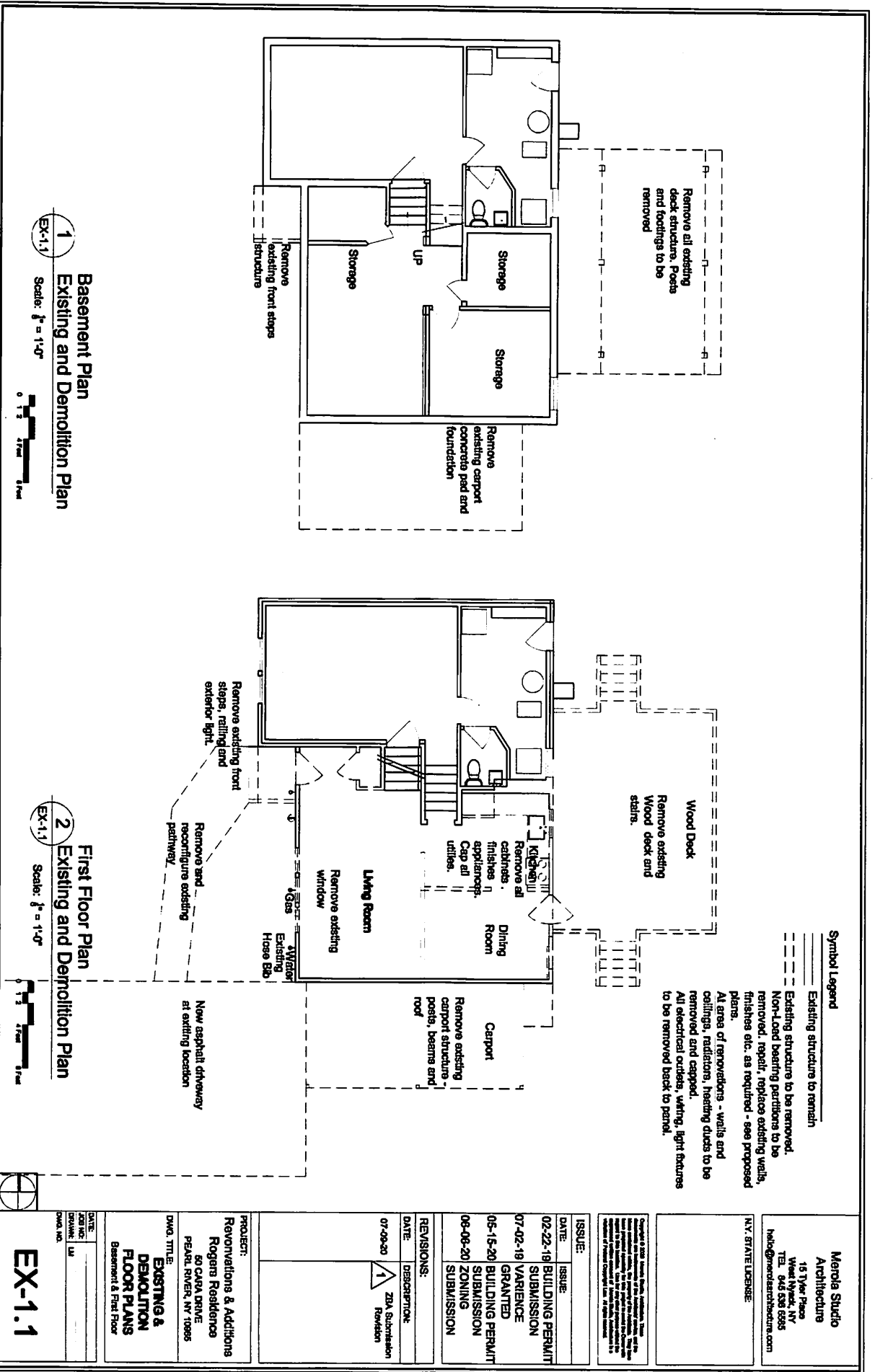
REVISIONS:	DATE:	DESCRIPTION:
1	07-09-20	ZSA Submission Revision

PROJECT:
 Renovations & Additions
 Rogers Residence
 80 CAROL DRIVE
 PEARL RIVER, NY 10965

DWG. TITLE:
PROPOSED ELEVATIONS
 East and North Elevations

DATE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:

A2.1



1
Basement Plan
Existing and Demolition Plan
Scale: 1/8" = 1'-0"



2
First Floor Plan
Existing and Demolition Plan
Scale: 1/8" = 1'-0"



Symbol Legend

- Existing structure to remain
- - - Existing structure to be removed.
- Non-Load bearing partitions to be removed, repair, replace existing walls, finishes etc. as required - see proposed plans.
- All areas of renovations - walls and ceilings, radiators, heating ducts to be removed and capped.
- All electrical outlets, wiring, light fixtures to be removed back to panel.

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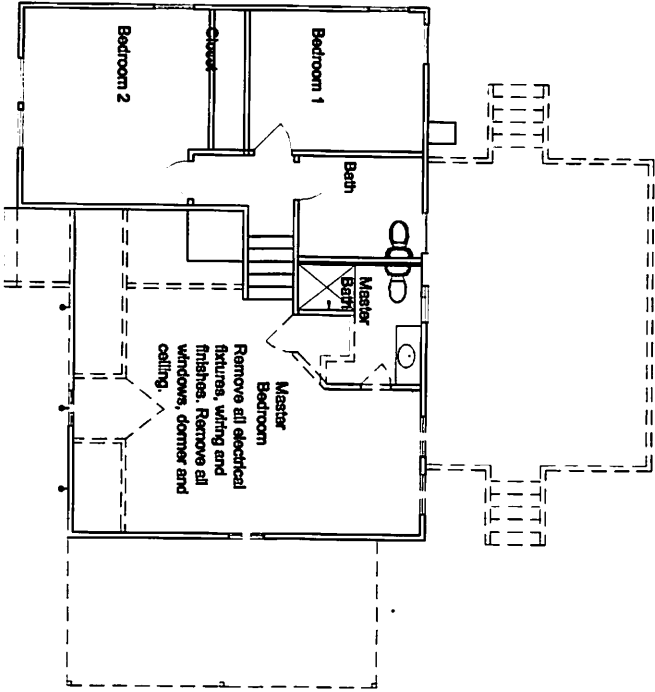
DATE	DESCRIPTION
07-09-20	ZDA Submission

PROJECT:
Renovations & Additions
Rogers Residence
50 CAVA DRIVE
PSARU RIVER, NY 10985

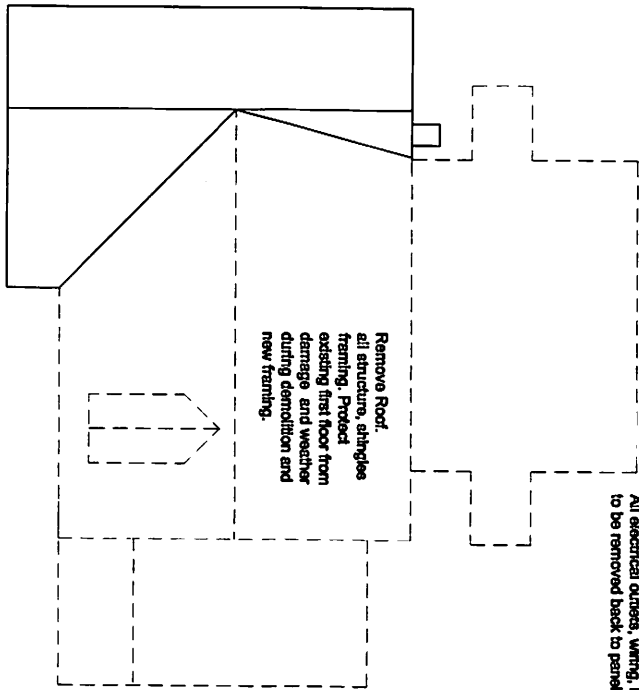
DWG. TITLE:
EXISTING & DEMOLITION FLOOR PLANS
Basement & First Floor

DATE:
AGENCY: LA
OWNER: [Redacted]
DWG. NO.:

EX-1.1



1
Second Floor Plan
Existing and Demolition Plan
 Scale: 1" = 1'-0"



2
Roof Plan
Existing and Demolition Plan
 Scale: 1" = 1'-0"

Symbol Legend

- Existing structure to remain
- - - Existing structure to be removed.
- - - Non-load bearing partitions to be removed, repair, replace existing walls, finishes etc. as required - see proposed plans.
- - - All areas of renovations - walls and ceilings, radiators, heating ducts to be removed and capped.
- - - All electrical outlets, wiring, light fixtures to be removed back to panel.

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06-08-20	ZONING SUBMISSION	

REVISIONS:	DATE:	DESCRIPTION:
1	07-09-20	ZBA Submittal Revision

PROJECT:
 Renovations & Additions
 Rogers Residence
 50 CARA DRIVE
 PEARL RIVER, NY 10985

DWG. TITLE:
EXISTING & PROPOSED FLOOR PLANS
 Second Floor & Roof Plan

DATE:	BY:	CHKD. BY:
	LM	

EX-1.2

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07-09-20	▲ ZBA Submission Revision

PROJECT:

Renovations & Additions
 Rogers Residence
 50 CARA DRIVE
 PEARL RIVER, NY 10965

DWG. TITLE:

EXISTING ELEVATIONS
 North, West, East & South

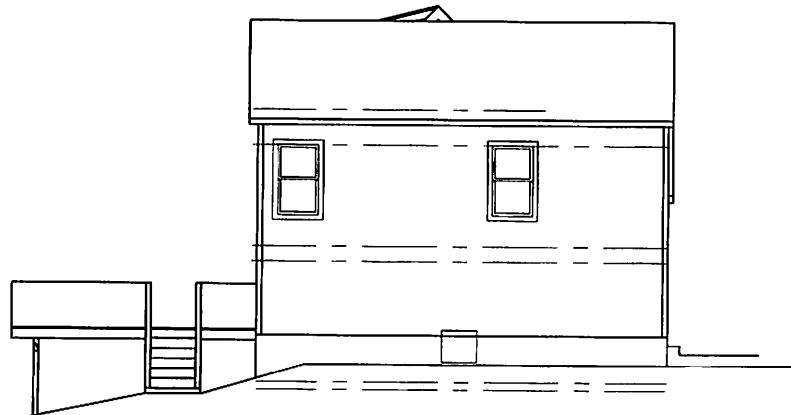
DATE:

JOB NO.:

DRAWING: LM

DWG. NO.

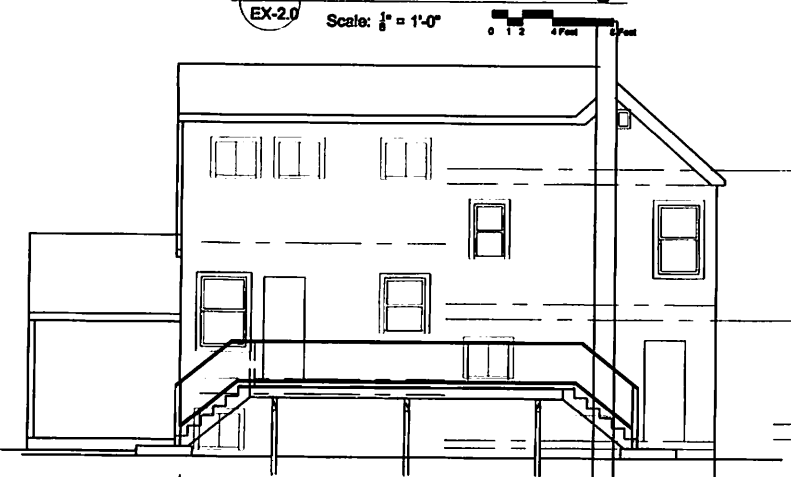
EX-2.0



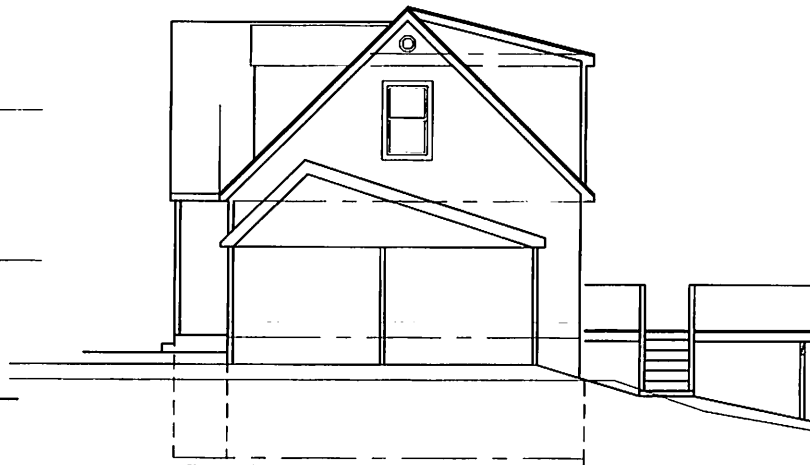
2 North Elevation - Existing
 EX-2.0 Scale: $\frac{1}{8}'' = 1'-0''$
 0 1 2 4 Feet 8 Feet



1 West Elevation - Existing
 EX-2.0 Scale: $\frac{1}{8}'' = 1'-0''$
 0 1 2 4 Feet 8 Feet



4 East Elevation - Existing
 EX-2.0 Scale: $\frac{1}{8}'' = 1'-0''$
 0 1 2 4 Feet 8 Feet



3 South Elevation - Existing
 EX-2.0 Scale: $\frac{1}{8}'' = 1'-0''$
 0 1 2 4 Feet 8 Feet

