

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 6/12/2020

2020 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: 48591
 ASSIGNED
 INSPECTOR: MM

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: Rogers Residence Alterations & Addition

Street Address: 50 Cara Drive
Pearl River, NY. ~~10985~~ 10965

Tax Map Designation:

Section: 69.06 Block: 2 Lot(s): 13
Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the Easterly side of Cara Drive, approximately 0 feet EAST of the intersection of Ablondi Road, in the Town of ORANGETOWN in the hamlet/village of Pearl River.

Acreage of Parcel <u>22,735</u> s.f.	Zoning District <u>R-15</u>
School District <u>Nanuet</u> VPSD	Postal District <u>Pearl River</u>
Ambulance District <u>Pearl River</u>	Fire District <u>Pearl River</u>
Water District <u>Suez</u>	Sewer District <u>Orange town</u>

Project Description: (If additional space required, please attach a narrative summary.)

Renovations of existing 1st Floor living room & kitchen. Proposed second floor addition over existing. Proposed one story garage and living room/kitchen addition. New windows siding & roof.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: June 12 2020 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

Applicant: Richard & Michelle Rogers Phone # 845 920 8254

Address: 50 Cara Drive Pearl River N.Y. 10965
Street Name & Number (Post Office) City State Zip Code

Property Owner: Richard & Michelle Rogers Phone # _____

Address: 50 Cara
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: Louise Male Phone # 845 536 6585

Address: 15 Tyler Place West Nyack N.Y. 10994
Street Name & Number (Post Office) City State Zip Code

Attorney: _____ Phone # _____

Address: _____
Street Name & Number (Post Office) City State Zip Code

Contact Person: Louise Male Phone # 845 536 6585

Address: 15 Tyler Place West Nyack NY 10994
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|---|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input checked="" type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above:

Referral Agencies:

- | | |
|--|--|
| <input type="checkbox"/> RC Highway Department | <input type="checkbox"/> RC Division of Environmental Resources |
| <input type="checkbox"/> RC Drainage Agency | <input type="checkbox"/> RC Dept. of Health |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority | <input type="checkbox"/> Palisades Interstate Park Commission |
| <input type="checkbox"/> Adjacent Municipality _____ | |
| <input type="checkbox"/> Other _____ | |

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area No

Are there streams on the site? If yes, please provide the names. Naurashann Brook

Are there wetlands on the site? If yes, please provide the names and type:

No

Project History:

Has this project ever been reviewed before? ~~No~~ Yes

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

ZBA # 18-59 June 19, 2019 Approved

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

69.06-2-13

APPLICATION REVIEW FORM

AFFIDAVIT

State of New York)
 County of Rockland) SS.:
 Town/Village of Orangeburg)

I, _____ being duly sworn deposes and says that he is the applicant, agent or attorney for applicant, in the matter of the petition before the _____ (board) in the town/village of _____ affecting property located at _____, Rockland County, New York.

That the following are all of the owners of property _____ (distance) from the premises as to which this application is being taken.

SECTION-BLOCK-LOT	NAME	ADDRESS
392489 64.18-2-75	Manhattan Woods	One Ahlmeyer Dr. West Nyack NY 10994
392489 69.06-1-54	Brian Mills	145 Ablondi Rd Pearl River NY 10965
392489 69.06-1-84	Scott Hinkley	150 Ablondi Rd. Pearl River, NY 10965
392489 69.06-2-11	Michael Rubino	46 Cara Drive Pearl River, NY 10965
69.06-2-14	Anthony Pasullo	52 Cara Dr. Pearl River, NY 10965
69.06-2-24	Manhattan Woods	One Ahlmeyer Dr. West Nyack 10994
69.06-1-52	Michael K. Harm	20 Cleveland St. Pearl River, NY 10965
69.06-1-95	Tracey Nelson	141 Ablondi Road Pearl River, NY 10965
69.06-1-85	Marta Russell	144 E. Washington Ave Pearl River NY 10965
69.06-2-12	Richard J. Lenthian	48 Cara Dr. Pearl River NY 10965
69.06-2-15	Robert Smith	54 Cara Dr. Pearl River, NY 10965
69.06-1-53	Michael Romano	26 Cleveland St. Pearl River, NY 10965
69.06-1-83	Frank Taversi	138 Ablondi Road Pearl River, NY 10965
69.06-2-10	Victor M. Trarasco	44 Cara Dr. Pearl River, NY 10965
69.06-2-16	Maria O'Brien	56 Cara Drive Pearl River, NY 10965



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO THE ZONING BOARD OF APPEALS

Date: June 12, 2020

Applicant: Rogers

Address: 50 Cara Dr, Pearl River, NY

RE: Application Made at: same

AMMENDMENT TO ZBA #19-59

Chapter 43, Table 3.12, Column 1.2.3 R-15 District, Group M, Single Family Residence

Column 9 Minimum Side Yard 20' with 14' 9" proposed [PREVIOUS 9' 8"]

Column 10 Minimum Total Side Yard with 41' 3" proposed [PREVIOUS 34' 8"]

2 Variances required

Section: 69.06

Block: 2

Lot: 13

Dear Rogers:

Please be advised that the Building Permit Application, which you submitted on February 25, 2020, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,

Richard Oliver
Deputy Building Inspector

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

Date
CC: Rosanna Sfraga
Liz Decort
Debbie Arbolino

RECEIVED

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE
APPLICATION FOR BUILDING / DEMOLITION PERMIT

TOWN OF ORANGETOWN

TOWN OF ORANGETOWN
BUILDING DEPARTMENT

20 Greenbush Road, Orangeburg, NY 10962

Phone: (845) 359-8410 Fax: (845) 359-8526

FOR OFFICE
USE ONLY

SECTION 6906 BLOCK 2 LOT 13 NAME

ZONE: R-15 6110 OFFICIAL USE ONLY ACREAGE: 0.51
 Inspector: M Date App Received: 2/25/19 Received By: Dem
 Permit No. 48591 Date Issued: _____
 CO No. _____ Date Issued: _____
 Permit Fee: \$3894 Ck# 293 Paid By ROGERS
 GIS Fee: \$20 Ck# 292 Paid By _____
 Stream Maintenance Fee Ck # _____ Paid By _____
 Additional Fee: _____ Ck# _____ Date Paid _____ Paid By _____
 1st 6 mo. Ext.: _____ Ck # _____ Exp. Date: _____ Paid By _____
 2nd 6 mo. Ext.: _____ Ck # _____ Exp. Date: _____ Paid By _____

APPLICANT COMPLETES:

Note: See inside for instructions for completing this application.

PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.

Property Location: 50 Cara Drive, Pearl River, N.Y. 10965
 Section: 6906 Block: 2 Lot: 13
 Property Owner: Richard & Michelle Rogers
 Mailing Address: 50 Cara Drive, Pearl River, N.Y. 10965
 Email: michellemrogers16@gmail.com Phone #: (845) 300-5961
 Lessee (Business Name): _____
 Mailing Address: _____
 Email: _____ Phone #: _____

Type of Business / Use: _____
 Contact Person: Louise Male Relation to Project: Architect
 Email: Hello@MeroldArchitecture.com Phone#: 845 536 6585
 Architect/Engineer: Louise Male, Merold Studio Arch. NYS Lic # 024249
 Address: 103 S. Greenbush Rd. Orangeburg NY Phone#: 845 536 6585
 Builder/General Contractor: _____ RC Lic # _____
 Address: _____ Phone#: _____
 Plumber: _____ RC Lic # _____
 Address: _____ Phone#: _____
 Electrician: _____ RC Lic # _____
 Address: _____ Phone#: _____
 Heat/Cooling: _____ RC Lic#: _____
 Address: _____ Phone#: _____

Existing use of structure or land: One family residence.
 Proposed Project Description: One family residence. 2 car garage, New Kitchen, family room, dining room, New master bedroom on second floor.
 Proposed Square Footage: 1,672 SF. Estimated Construction Value (\$): 209,000

BUILDING DEPARTMENT COMPLETES BELOW

PLANS REVIEWED: _____

PERMIT REFERRED / DENIED FOR:

Ch43 Table 7-12, Columns 1, 2, 3 = R-15 District, Group M, SFR, respectively
Column 9 Side Yd req'd 20' w/ 14' 9" proposed, col 10 Total Side Yd
req'd 50' w/ 41' 3" proposed.

Amendment
2 Variations

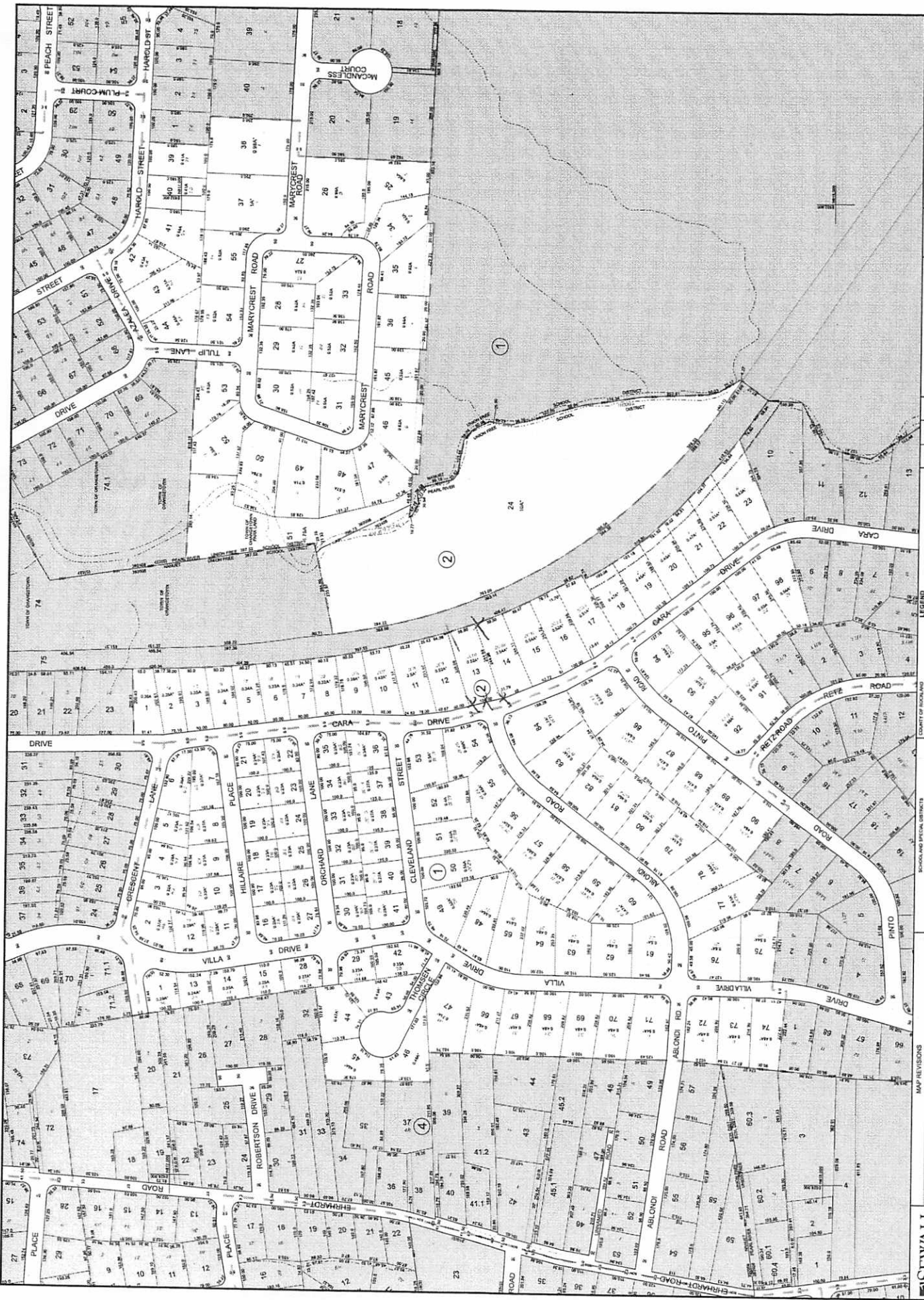
6/5/2020 / 6/3/2020

Rogers 48591



REVISED THROUGH
FEBRUARY 28, 2019
This map was prepared by L.A. SEWELL & ASSOCIATES INC.

69.06



SEWALL
 L.A. SEWELL & ASSOCIATES INC.
 1105 BROADWAY, SUITE 100
 WASHINGTON, D.C. 20004
 TEL: 202-261-1100

DATE	REVISIONS BY	REVISIONS	MAP REVISIONS	WETLANDS	UNSHADDED AREAS	SCHOOL AND SPECIAL DISTRICTS	BOUNDARY OF LOCALITY	PROPERTY	ADDITIONAL NOTES
03/27/18	APR	REVISION 2					CLARIFICATION	ADDITIONAL NOTES	ADDITIONAL NOTES
03/27/18	APR	REVISION 1					CLARIFICATION	ADDITIONAL NOTES	ADDITIONAL NOTES
02/28/19	APR	REVISION 1					CLARIFICATION	ADDITIONAL NOTES	ADDITIONAL NOTES

LEGEND

	UNSHADDED AREA 1
	UNSHADDED AREA 2
	UNSHADDED AREA 3
	UNSHADDED AREA 4
	WETLAND
	SCHOOL DISTRICT
	SPECIAL DISTRICT
	BOUNDARY OF LOCALITY
	PROPERTY
	ROAD
	EASEMENT
	UTILITY

DECISION

SIDE YARD AND TOTAL SIDE YARD VARIANCES APPROVED

To: Louise Male (Rogers)
103 South Greenbush Road
Orangeburg, New York 10962

ZBA #19-59
Date: June 19, 2019
Permit #48591

FROM: ZONING BOARD OF APPEALS: Town of Orangetown

ZBA#19-59: Application of Richard and Michele Rogers for variances from Zoning Code (Chapter 43) of the Town of Orangetown Code, R-15 District, Group M, Section 3.12, Columns 9 (Side Yard: 20' required, 9.8' proposed) and 10 (Total Side Yard: 50' required, 34.8' proposed) for an addition to an existing single-family residence. The premises are located at 50 Cara Drive, Pearl River, New York and is identified on the Orangetown Tax Map as Section 69.06, Block 2, Lot 13 in the R-15 zoning district.

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meeting held on Wednesday, June 19, 2019 at which time the Board made the determination hereinafter set forth.

Louise Male, Architect, Richard and Michele Rogers appeared and testified.

The following documents were presented:

1. Architectural plans labeled "Renovations & Additions Rogers Residence" signed and sealed by Louise Male, Architect, dated 02/22/2019 with the latest revision date of 04/16/2019. (10 pages)
2. A letter dated June 7, 2019 from the Rockland County Health Center for Environmental Health signed by Elizabeth Mello, P.E., Senior Public Health Engineer.
3. A letter dated May 17, 2019 from Rockland County Sewer District No.1 signed by Joseph LaFiandra, Engineer II.
4. A letter dated June 18, 2019 from the Rockland County Department of Planning signed by Douglas J. Schuetz, Acting Commissioner of Planning.

Mr. Sullivan, Chairman, made a motion to open the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

On advice of Dennis Michaels, Deputy Town Attorney, counsel to the Zoning Board of Appeals, Mr. Sullivan moved for a Board determination that the foregoing application is a Type II action exempt from the State Environmental Quality Review Act (SEQRA), pursuant to SEQRA Regulations §617.5 (c) (11), (12), (16) and/or (17); which does not require SEQRA environmental review. The motion was seconded by Ms. Castelli and carried as follows: Mr. Bosco, aye; Ms. Salomon, aye; Mr. Sullivan, aye; Mr. Quinn, aye; Mr. Feroldi, aye; and Ms. Castelli, aye.

Michele Rogers testified that they purchased the house fifteen years ago, when there were two of them; that presently they have three kids and love the neighborhood, the house, the church but they need more space; and that it is hard to find a house in Orangetown with the Nanuet School system and they want to keep the kids in their schools.

TOWN CLERK'S OFFICE

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TOWN OF ORANGETOWN

Louise Male, Architect testified that Richard and Michele both leave for work very early in the morning and they would like the cars to be in a garage; that this is the most sensible place for the garage; that they did look into a detached garage in rear but the property does have a steep drop off and this location is more aesthetically pleasing .

Richard Rogers testified that the property in the rear of the house has a steep drop off and he neighbors are about 20 or 25 feet away from the property line; that they bumped out into the front yard after the Fed Ex truck drove into their house; that Tony and Michele already did an addition; that this house is part of Apple Orchard Estates and many of the houses in the neighborhood have constructed additions already.

Public Comment:

No public comment

The Board members made personal inspections of the premises the week before the meeting and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of New York was received.

Mr. Sullivan made a motion to close the Public Hearing which motion was seconded by Ms. Castelli and carried unanimously.

FINDINGS OF FACT AND CONCLUSIONS:

After personal observation of the property, hearing all the testimony and reviewing all the documents submitted, the Board found and concluded that the benefits to the applicant if the variance(s) are granted outweigh the detriment (if any) to the health, safety and welfare of the neighborhood or community by such grant, for the following reasons:

1. The requested side yard and total side yard variances will not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties. Similar additions have been constructed in the neighborhood.
2. The requested side yard and total side yard variances will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district. Similar additions have been constructed in the neighborhood.
3. The benefits sought by the applicant cannot be achieved by other means feasible for the applicant to pursue other than by obtaining a variance.

TOWN CLERK'S OFFICE
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TOWN OF ORANGETOWN

4. The requested side yard and total side yard variances, although somewhat substantial, afford benefits to the applicant that are not outweighed by the detriment, if any, to the health, safety and welfare of the surrounding neighborhood or nearby community. Similar additions have been constructed in the neighborhood.
5. The applicant purchased the property subject to Orangetown's Zoning Code (Chapter 43) and is proposing a new addition and/or improvements, so the alleged difficulty was self-created, which consideration was relevant to the decision of the Board of Appeals, but did not, by itself, preclude the granting of the area variances.

DECISION: In view of the foregoing and the testimony and documents presented, the Board RESOLVED that the application for the requested side yard and total side yard variances are APPROVED; and FURTHER RESOLVED, that such decision and the vote thereon shall become effective and be deemed rendered on the date of adoption by the Board of the minutes of which they are a part.

General Conditions:

(i) The approval of any variance or Special Permit is granted by the Board in accordance with and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.

(ii) Any approval of a variance or Special Permit by the Board is limited to the specific variance or Special Permit requested but only to the extent such approval is granted herein and subject to those conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.

(iii) The Board gives no approval of any building plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to any variances being requested.

(iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance or Special Permit granted herein is subject to any conditions, the building department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning and Planning Administration and Enforcement which legally permits such occupancy.

TOWN OF ORANGETOWN
2019 JUL -2 P 1:10
TOWN CLERK'S OFFICE


(v) Any foregoing variance or Special Permit will lapse if any contemplated construction of the project or any use for which the variance or Special Permit is granted is not substantially implemented within one year of the date of filing of this decision or that of any other board of the Town of Orangetown granting any required final approval to such project, whichever is later, but in any event within two years of the filing of this decision. Merely obtaining a Building Permit with respect to construction or a Certificate of Occupancy with respect to use does not constitute "substantial implementation" for the purposes hereof.

The foregoing resolution to approve the application for the requested side yard and total side yard variances are APPROVED; was presented and moved by Mr. Quinn, seconded by Ms. Castelli and carried as follows: Mr. Bosco, aye; Mr. Quinn, aye; Mr. Sullivan, aye; Ms. Salomon, aye; and Ms. Castelli, aye.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

DATED: June 19, 2019

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN

By 
Deborah Arbolino
Administrative Aide

DISTRIBUTION:

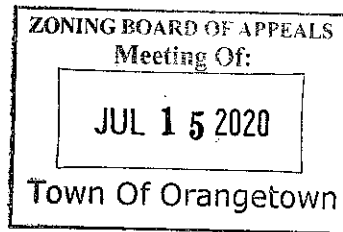
APPLICANT
ZBA MEMBERS
SUPERVISOR
TOWN BOARD MEMBERS
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OBZPAE
BUILDING INSPECTOR-M.M.

TOWN CLERK
HIGHWAY DEPARTMENT
ASSESSOR
DEPT. of ENVIRONMENTAL
MGMT. and ENGINEERING
FILE,ZBA, PB
CHAIRMAN, ZBA, PB, ACABOR

TOWN OF ORANGETOWN
2019 JUL -2 P 1:10
TOWN CLERK'S OFFICE

Drawing List

- T-1.0 Bulk regulations table, property information & drawing list
- EX-1.1 Existing & Demolition Floor Plans
Basement & First Floor.
- EX-1.2 Existing & Demolition Floor Plans
Second Floor & Roof.
- EX-2.0 Existing Elevations
- A-1.0 Proposed Plan -
Foundation & Basement
- A-1.1 Proposed Plan - First Floor
- A-1.2 Proposed Plan -
Upper & Second Floor
- A-1.3 Proposed Roof Plan
- A-2.0 Proposed Elevations
West & South Exterior Elevations
- A-2.1 Proposed Elevations
East & North Exterior Elevations



Zoning Board Town of Orangetown, NY June 06, 2020

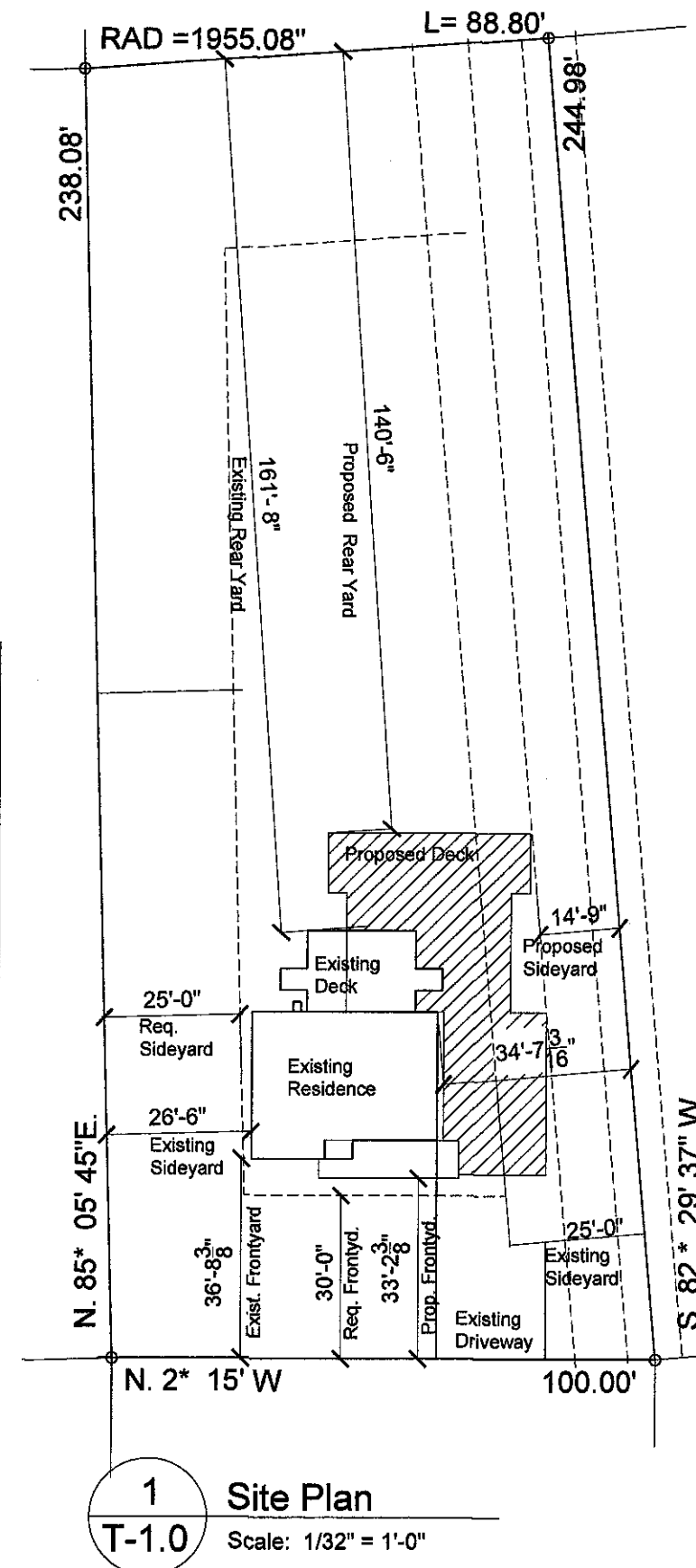
Property Information

50 Cara Drive	Section	6906
Pearl River, NY	Block	2
10965	Lot	13
	Zone	R-15

Bulk Regulations Table

Minimum	Required	Existing	Proposed
Lot Area	15,000 S.F.	22,735 S.F.	No change
Lot Width	100'-0"	100'-0"	No change
Street Frontage	75'-0"	100'-0"	No change
Front Yard	30'-0"	36.7'	33'-2 ³ / ₈ "
Side Yard	20'-0"	25'-0"	14'-9"
Total Side Yard	50'-0"	51'-6"	41'-3"
Rear Yard	35'-0"	159'-11"	140'-6"
Building Height 12" per ft. of distance from lot line	36'-0"	22'-11"	26'-10"
Maximum F.A.R.	20%	8.2%	15%

All information for table taken from a certified survey dated November 29, 2019 prepared by:
Jay A. Greenwell, PLS, LLC Surveying - Land Planning
85 Lafayette Avenue, Suffern, NY 10901
Ph: (845) 357 - 0830



1 Site Plan
T-1.0 Scale: 1/32" = 1'-0"

SHADED AREA SHOWS PROPOSED ADDITIONS

Merola Studio Architecture
15 Tyler Place
West Nyack, NY 10994
Tel: (845) 357-0830
www.merolastudio.com

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ISSUE:	
DATE:	ISSUE:
02-22-19	BUILDING PERMIT SUBMISSION
07-02-19	VARIANCE GRANTED
05-15-20	BUILDING PERMIT SUBMISSION
06-06-20	ZONING SUBMISSION

REVISIONS:	
DATE:	DESCRIPTION:

PROJECT:
Revonvations & Additions
Rogers Residence
50 CARA DRIVE
PEARL RIVER, NY 10965

DWG. TITLE:
Property Information
Bulk Table

DATE:	
JOB NO:	
DRAWN:	LM
DWG. NO.	



T1.0

Symbol Legend

- Existing structure to remain
 - - - Existing structure to be removed.
- Non-Load bearing partitions to be removed. repair, replace existing walls, finishes etc. as required - see proposed plans.
 At area of renovations - walls and ceilings, radiators, heating ducts to be removed and capped.
 All electrical outlets, wiring, light fixtures to be removed back to panel.

Merola Studio
Architecture

15 Tyler Place
West Nyack, NY

TEL: 845-638-6900

help@merolastudio.com

REGISTERED ARCHITECT
STATE LICENSE



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ISSUE:

DATE:	ISSUE:
02-22-19	BUILDING PERMIT SUBMISSION
07-02-19	VARIANCE GRANTED
05-15-20	BUILDING PERMIT SUBMISSION
06-06-20	ZONING SUBMISSION

REVISIONS:

DATE:	DESCRIPTION:

PROJECT:

Revonvations & Additions
Rogers Residence
50 CARA DRIVE
PEARL RIVER, NY 10965

DWG. TITLE:

EXISTING & DEMOLITION
FLOOR PLANS
Basement & First Floor

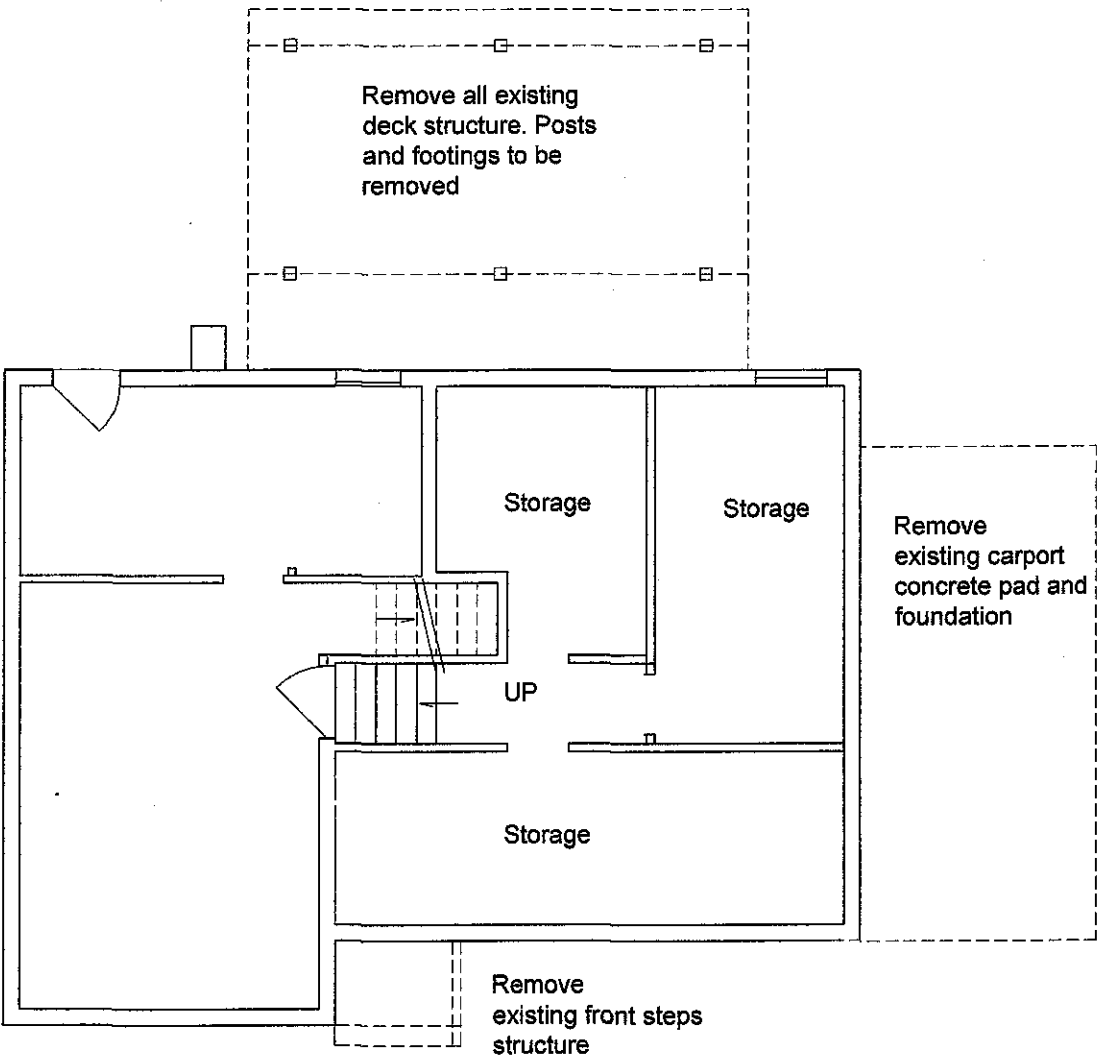
DATE:

JOB NO:

DRAWN: LM

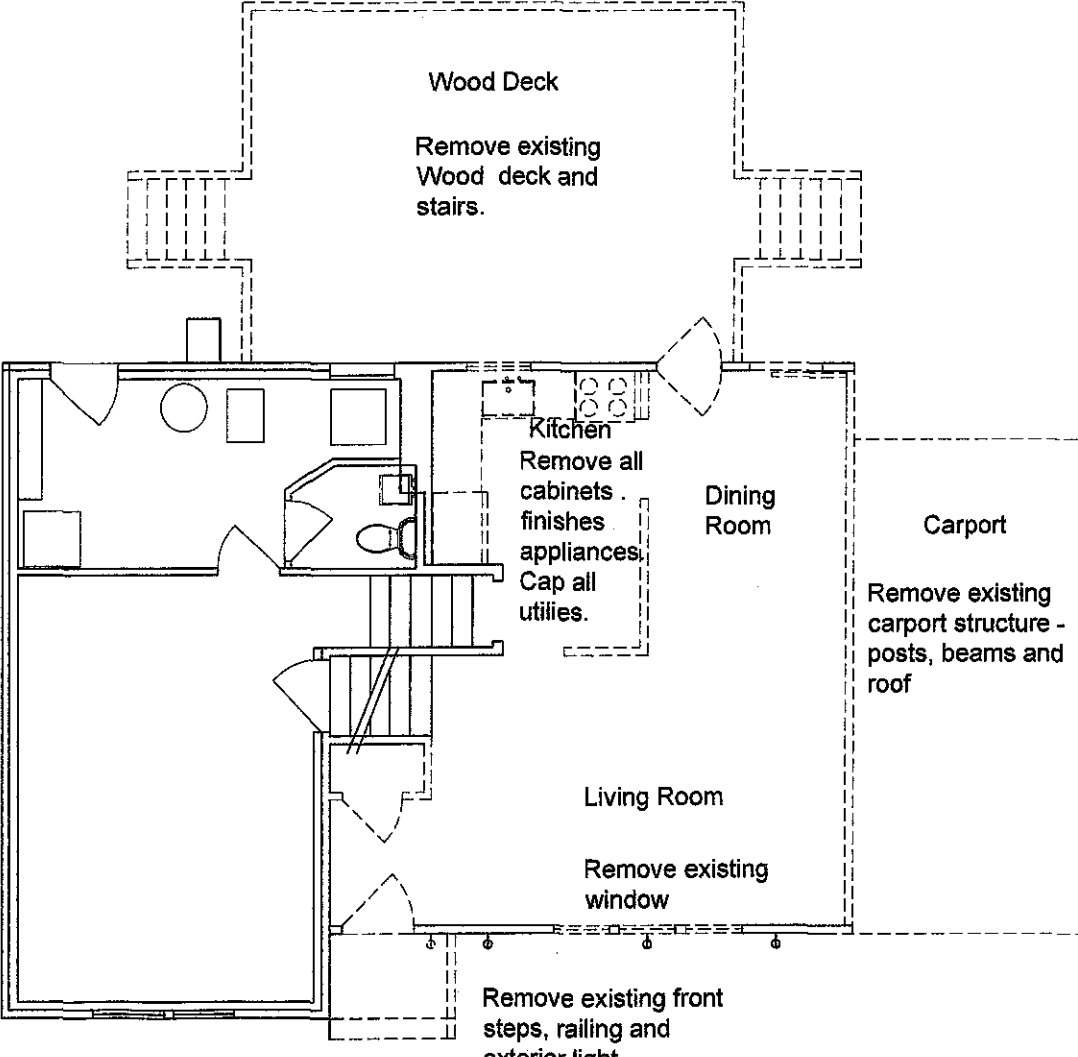
DWG. NO.

EX-1.1



1
EX-1.1
Basement Plan
Existing and Demolition Plan

Scale: 1/8" = 1'-0"



2
EX-1.1
First Floor Plan
Existing and Demolition Plan

Scale: 1/8" = 1'-0"



Symbol Legend

———— Existing structure to remain

----- Existing structure to be removed.

Non-Load bearing partitions to be removed. repair, replace existing walls, finishes etc. as required - see proposed plans.

At area of renovations - walls and ceilings, radiators, heating ducts to be removed and capped.

All electrical outlets, wiring, light fixtures to be removed back to panel.

**Merola Studio
Architecture**

15 Tyler Place
West Nyack, NY
10994-5585
http://www.merolastudio.com

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ISSUE:

DATE:	ISSUE:
02-22-19	BUILDING PERMIT SUBMISSION
07-02-19	VARIANCE GRANTED
05-15-20	BUILDING PERMIT SUBMISSION
06-06-20	ZONING SUBMISSION

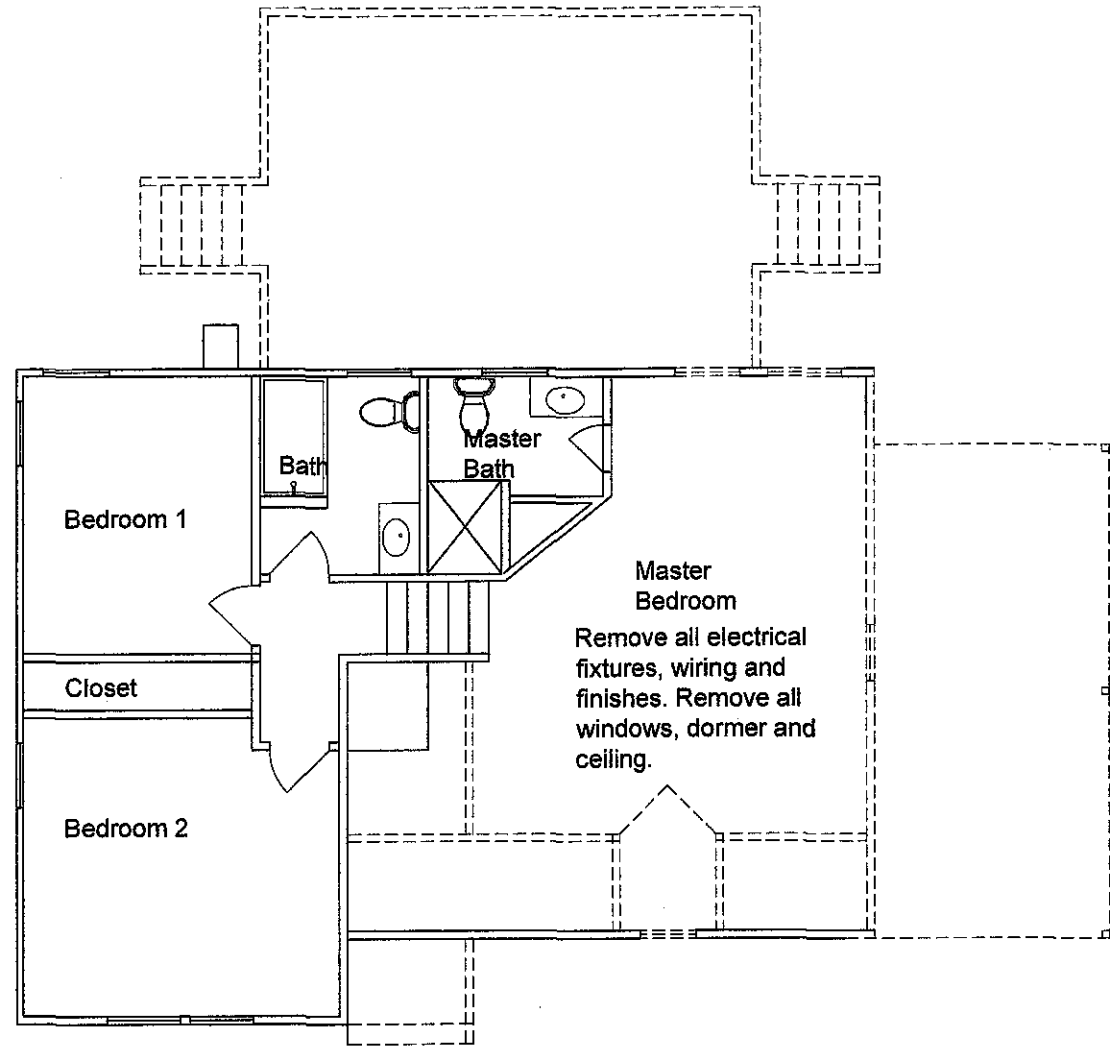
REVISIONS:

DATE:	DESCRIPTION:
10-24-19	CLIENT REVIEW

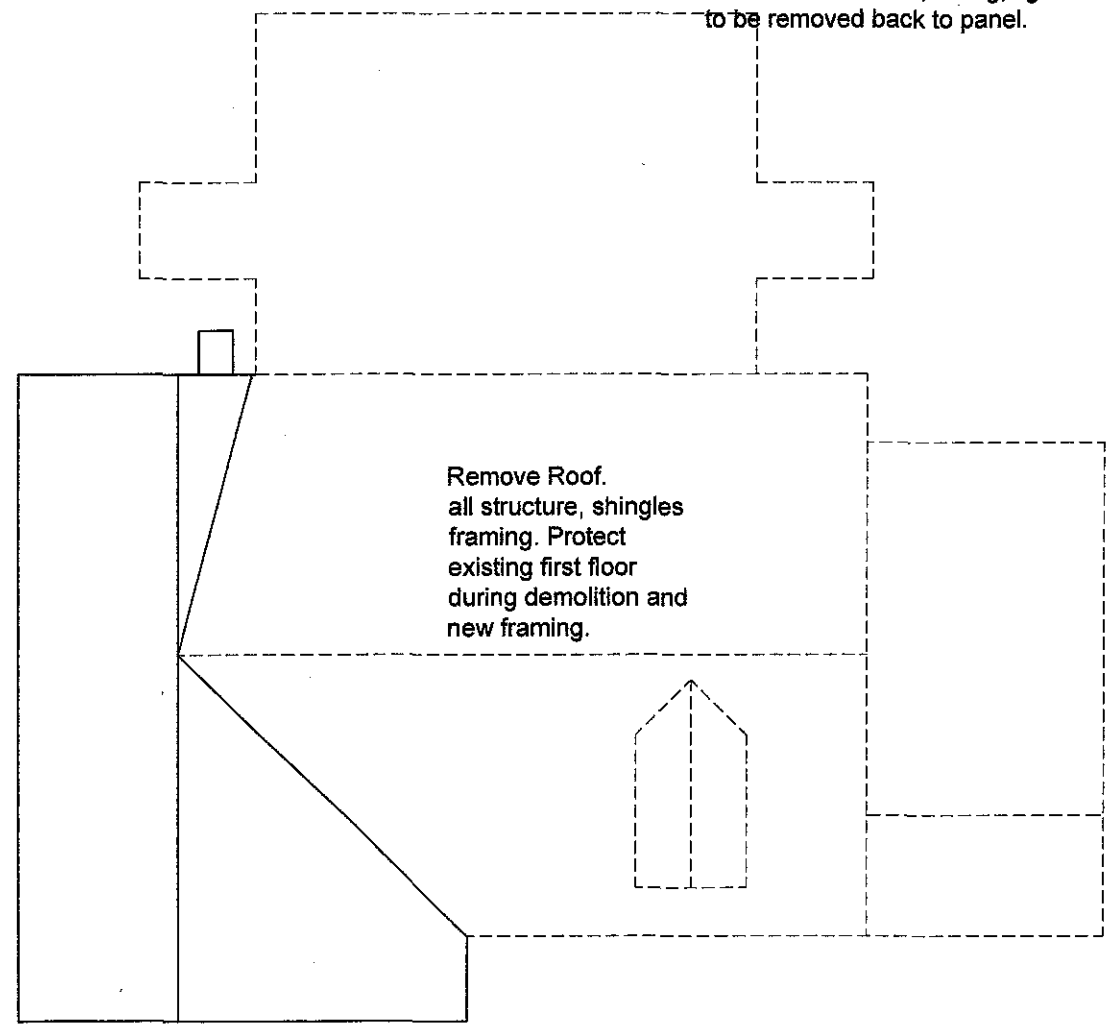
PROJECT:
 Revonvations & Additions
 Rogers Residence
 50 CARA DRIVE
 PEARL RIVER, NY 10965

DWG. TITLE:
 EXISTING & PROPOSED
 FLOOR PLANS
 Second Floor & Roof Plan

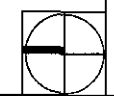
DATE:	
JOB NO.:	
DRAWN:	LM
DWG. NO.:	



1
 EX-1.2
**Second Floor Plan
 Existing and Demolition Plan**
 Scale: 1/8" = 1'-0"



2
 EX-1.2
**Roof Plan
 Existing and Demolition Plan**
 Scale: 1/8" = 1'-0"



EX-1.2

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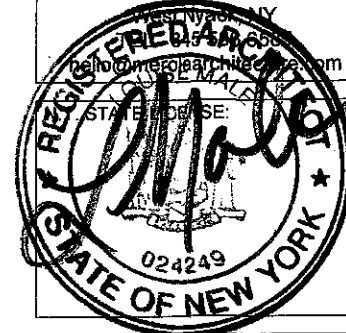
15 Tyler Place

Pearl River, NY

10965

tel: 845.351.1111

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DATE:	ISSUE:
02-22-19	BUILDING PERMIT SUBMISSION
07-02-19	VARIENCE GRANTED
05-15-20	BUILDING PERMIT SUBMISSION
06-06-20	ZONING SUBMISSION

REVISIONS:

DATE:	DESCRIPTION:

PROJECT:

Revonvations & Additions
Rogers Residence

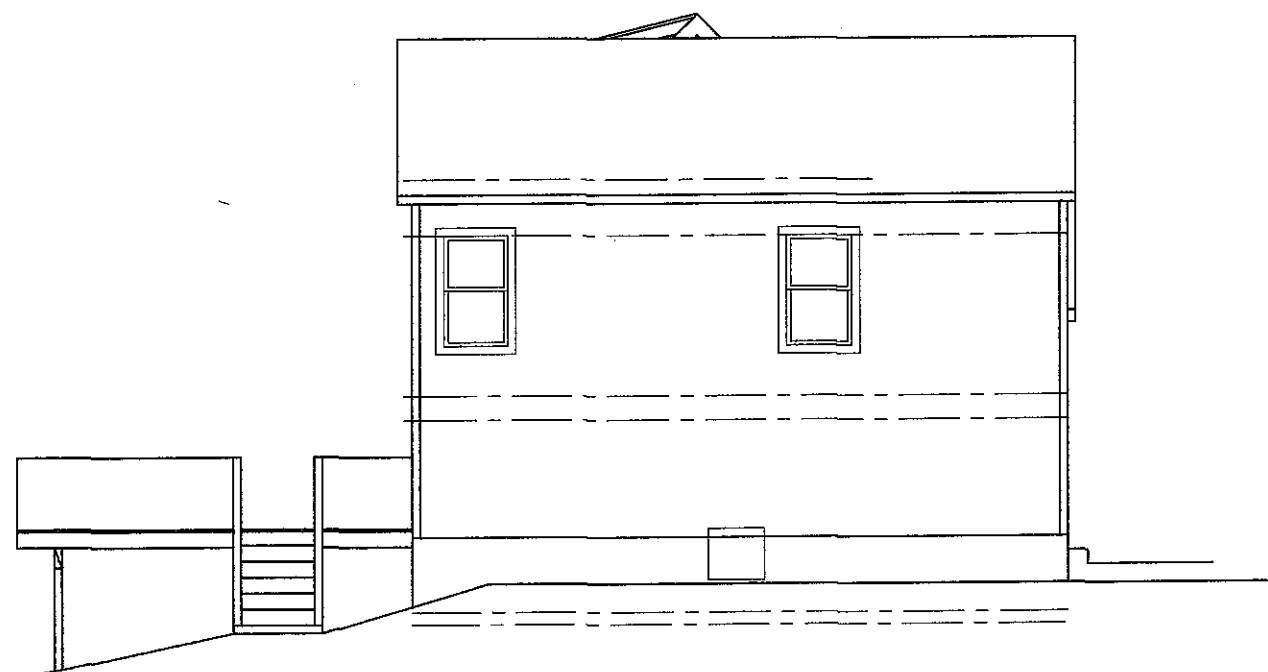
50 CARA DRIVE
PEARL RIVER, NY 10965

DWG. TITLE:

EXISTING
ELEVATIONS
North, West, East & South

DATE:	
JOB NO.:	
DRAWN:	LM
DWG. NO.:	

EX-2.0



2 North Elevation - Existing

EX-2.0

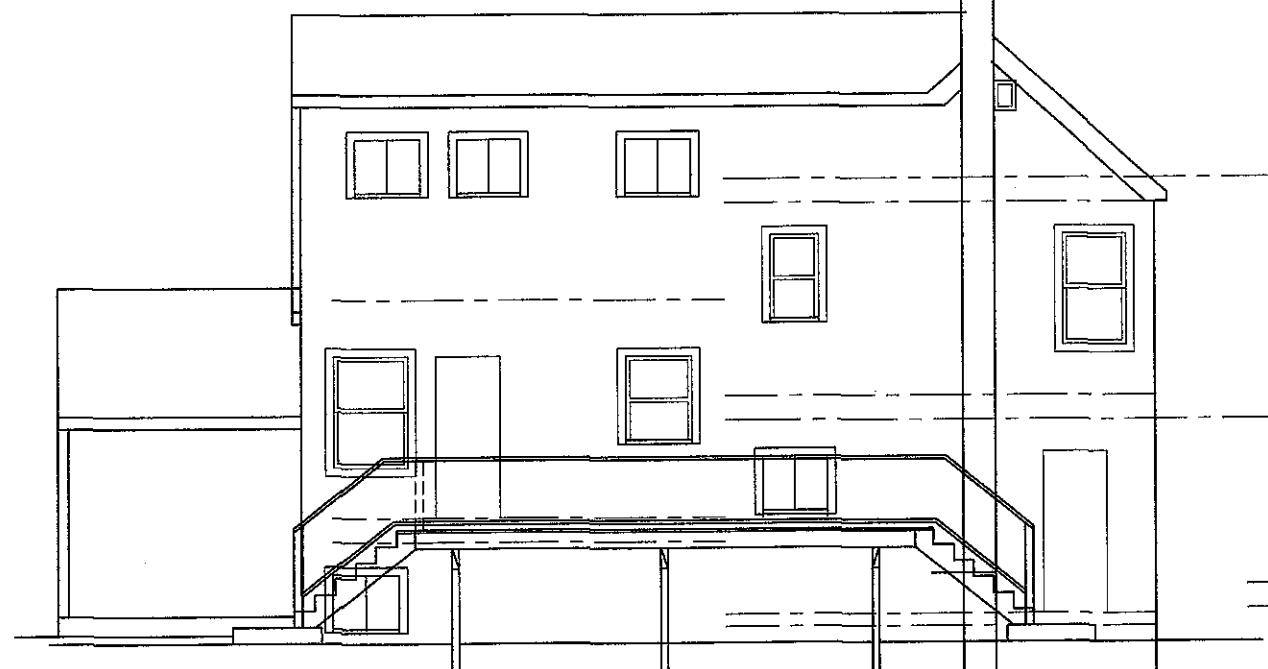
Scale: 1/8" = 1'-0"



1 West Elevation - Existing

EX-2.0

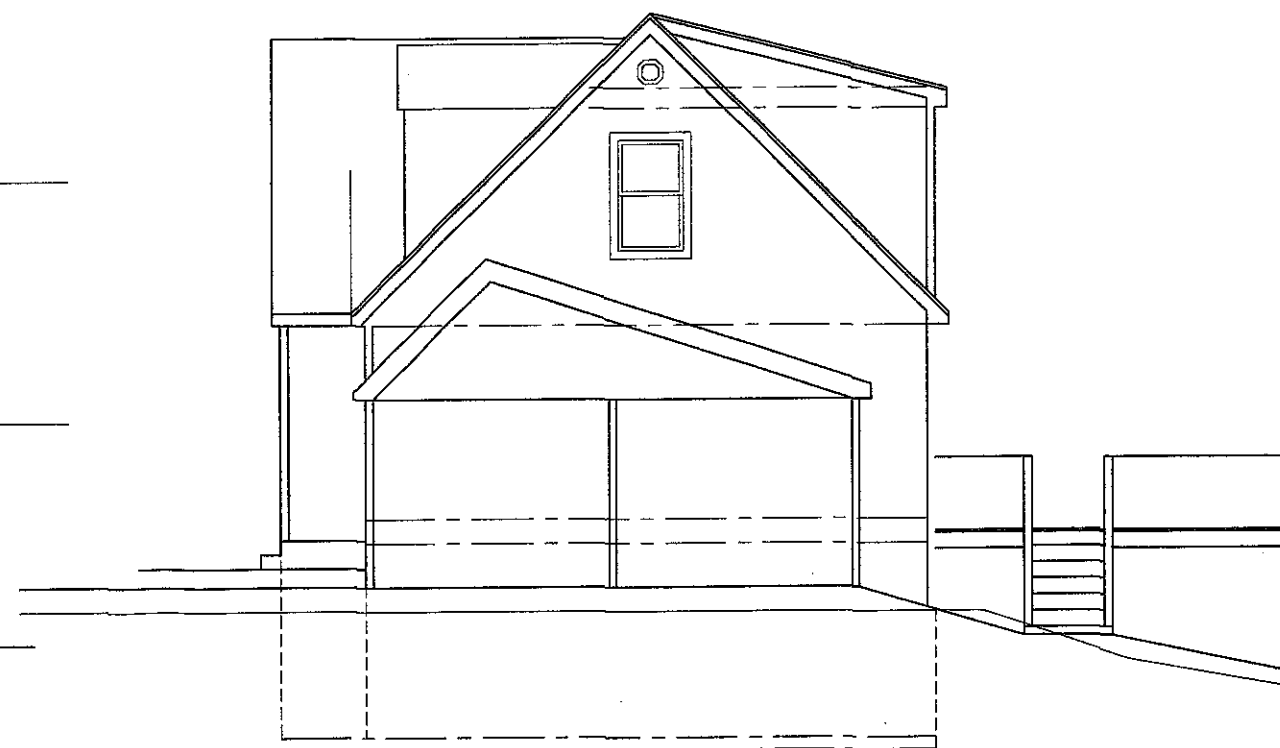
Scale: 1/8" = 1'-0"



4 East Elevation - Existing

EX-2.0

Scale: 1/8" = 1'-0"



3 South Elevation - Existing

EX-2.0

Scale: 1/8" = 1'-0"



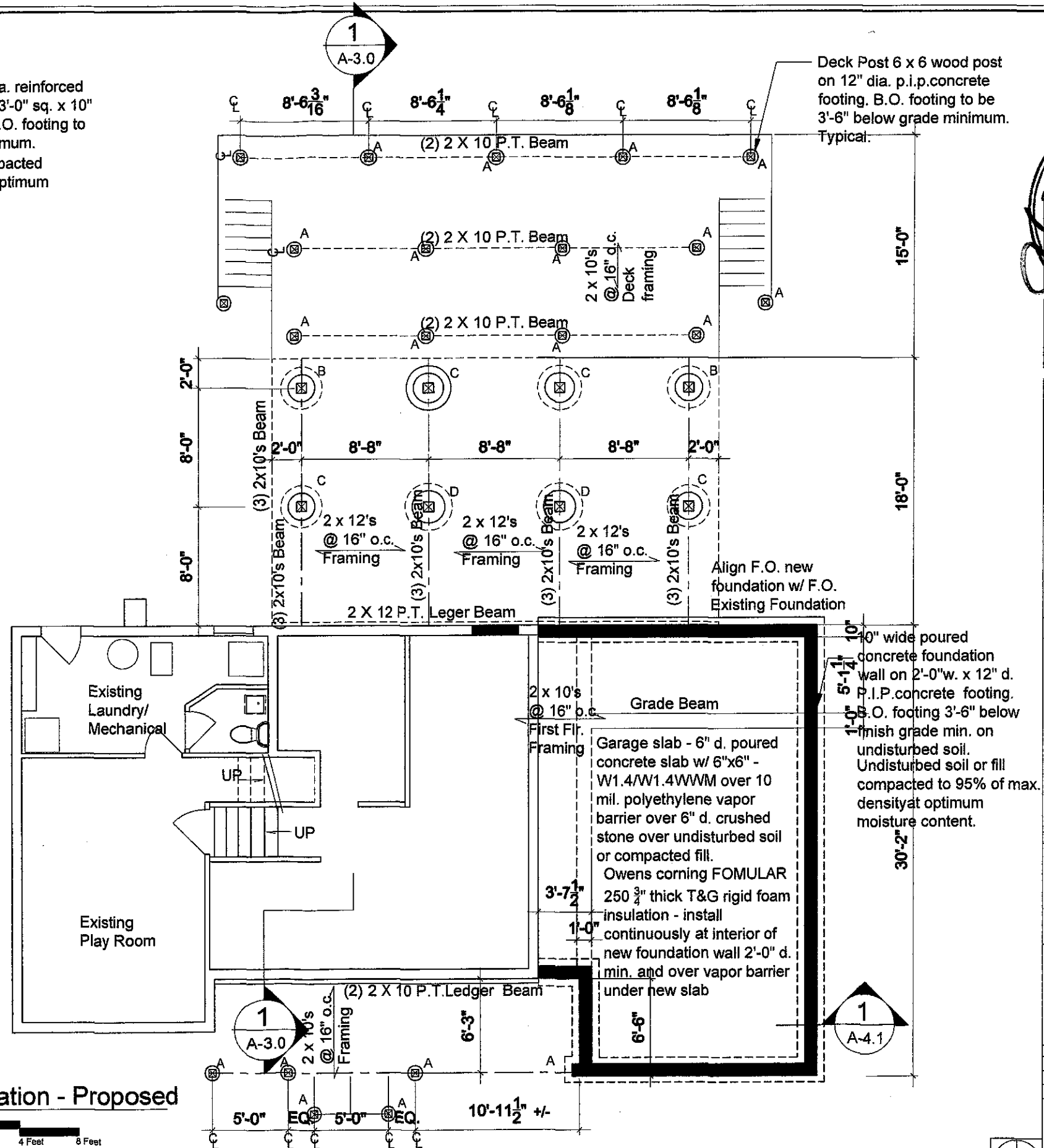
Post Footing Legend

- TYPE A - 12" Diameter. 6 x 6 wood post on 12" dia. p.i.p. concrete footing. B.O. footing to be 3'-6" below grade minimum.
- TYPE B - 20" Diameter. 8 x 8 wood post on 20" dia. reinforced p.i.p. concrete footing on 2'-8" sq. x 10" deep reinforced footing B.O. footing to be 4'-0" below grade minimum.
- TYPE C - 24" Diameter. 8 x 8 wood post on 22" dia. reinforced p.i.p. concrete footing on 2'-10" sq. x 10" deep reinforced footing B.O. footing to be 4'-0" below grade minimum.
- TYPE D - 28" Diameter. 8 x 8 wood post on 24" dia. reinforced p.i.p. concrete footing on 3'-0" sq. x 10" deep reinforced footing B.O. footing to be 4'-0" below grade minimum. Undisturbed soil or fill compacted to 95% of max. density at optimum moisture content.

Symbol Legend

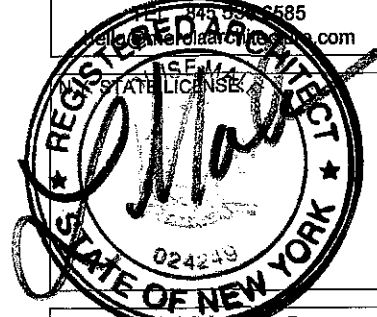
- Existing structure to remain
 - Existing structure to be removed
 - Non-Load bearing partitions to be removed. repair, replace existing walls, finishes etc. as required.
 - New Construction - Typical Foundation Wall - 10" wide CMU or poured in place concrete foundation wall on 2'-0" wide x 12" deep poured in place concrete footing. See A-1.0 for locations.
- CONFIRM all layouts with owner before starting work.

1
A-1.0
Basement/Foundation - Proposed
Scale: $\frac{1}{8}" = 1'-0"$



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10994-5585



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07-02-19	VARIANCE GRANTED
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06-06-20	ZONING SUBMISSION

REVISIONS:	
DATE:	DESCRIPTION:

PROJECT:
**Revonvations & Additions
Rogers Residence**
50 CARA DRIVE
PEARL RIVER, NY 10965

DWG. TITLE:
**PROPOSED
FLOOR PLAN
Basement & Foundation**

DATE:	
JOB NO:	
DRAWN:	LM
DWG. NO.	

A-1.0

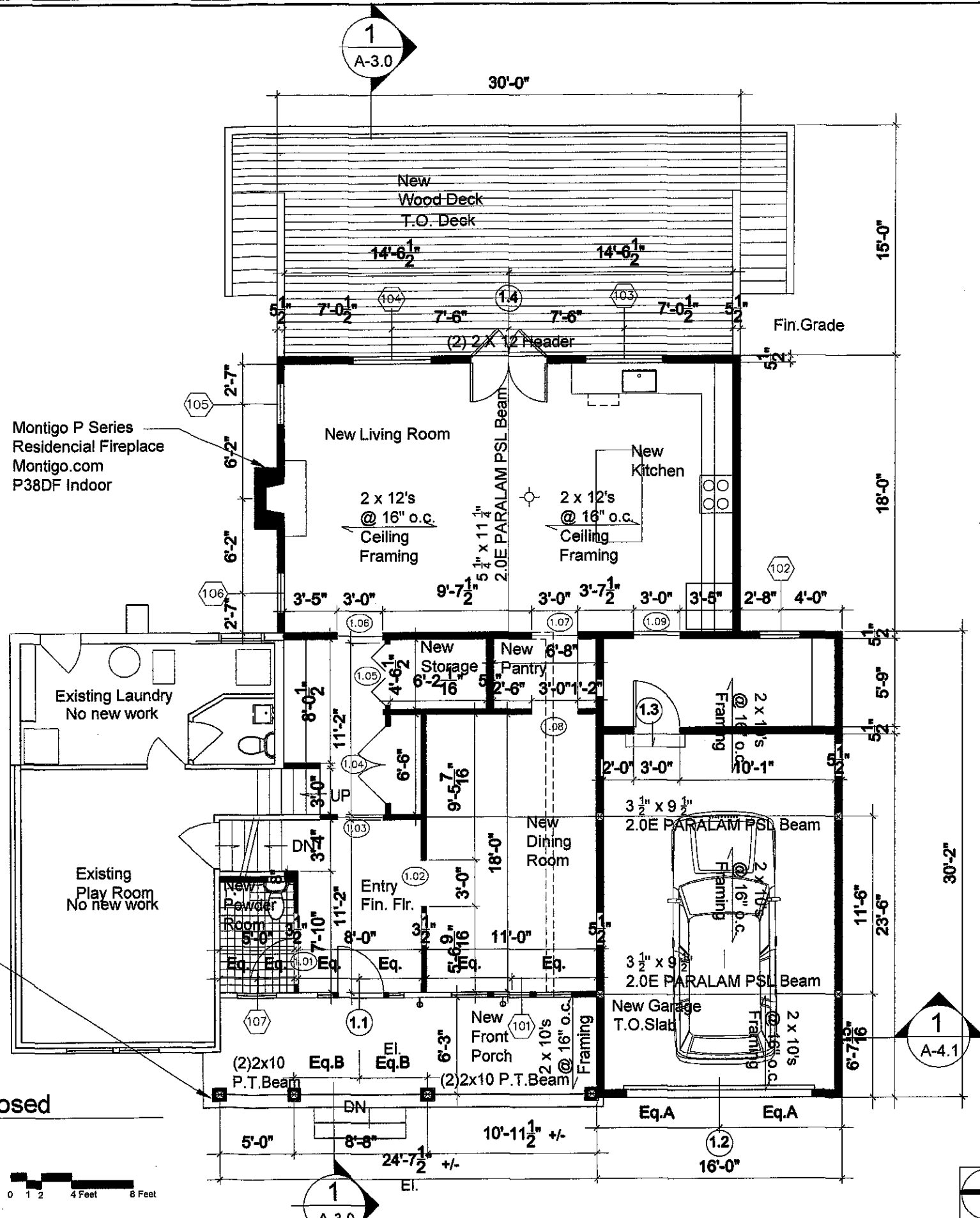
Symbol Legend

- Existing structure to remain
- Existing structure to be removed
- Non-Load bearing partitions to be removed. repair, replace existing walls, finishes etc. as required.
- New Construction -
Typical Foundation Wall - 10" wide CMU or poured in place concrete foundation wall on 2'-0" wide x12" deep poured in place concrete footing. See A-1. 0 for locations.
- Typical Exterior Wall** - One layer $\frac{1}{2}$ " gypsum wallboard at interior on 2x6 wood studs at 16" o.c. Provide R- 21Fiberglas batt insulation or better.
Exterior finish - Vinyl siding to match existing over building wrap over $\frac{3}{4}$ " th. exterior grade plywood sheathing.
- Typical Interior Wall** - One layer $\frac{1}{2}$ " G.W.B. each side of 2x4 wood studs at 16" o.c.
- Garage** - $\frac{5}{8}$ " thk. Firecode G.W.B. at interior walls and ceiling of Garage.
CONFIRM all layouts with architect before starting work.

Front porch columns (4)- INTEX CRE1012 -10" SQ. x 144" column wrap kit. Recessed panel 4 sides Full, W/9" Base, 6" Cap & WM164 Trim.

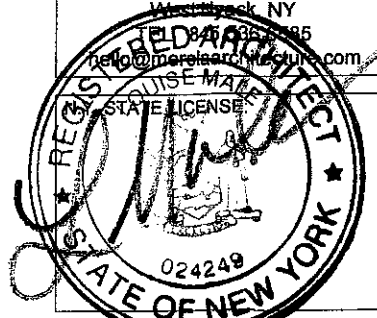
1 Main Floor - Proposed

Scale: $\frac{1}{8}$ " = 1'-0"



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15 Tyler Place
West Nyack, NY 10994-1885
tel: 845.338.1111
info@merolastudio.com



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07-02-19	VARIANCE GRANTED
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06-06-20	ZONING SUBMISSION

REVISIONS:	
DATE:	DESCRIPTION:





PROJECT:
**Revonvations & Additions
Rogers Residence**
50 CARA DRIVE
PEARL RIVER, NY 10965

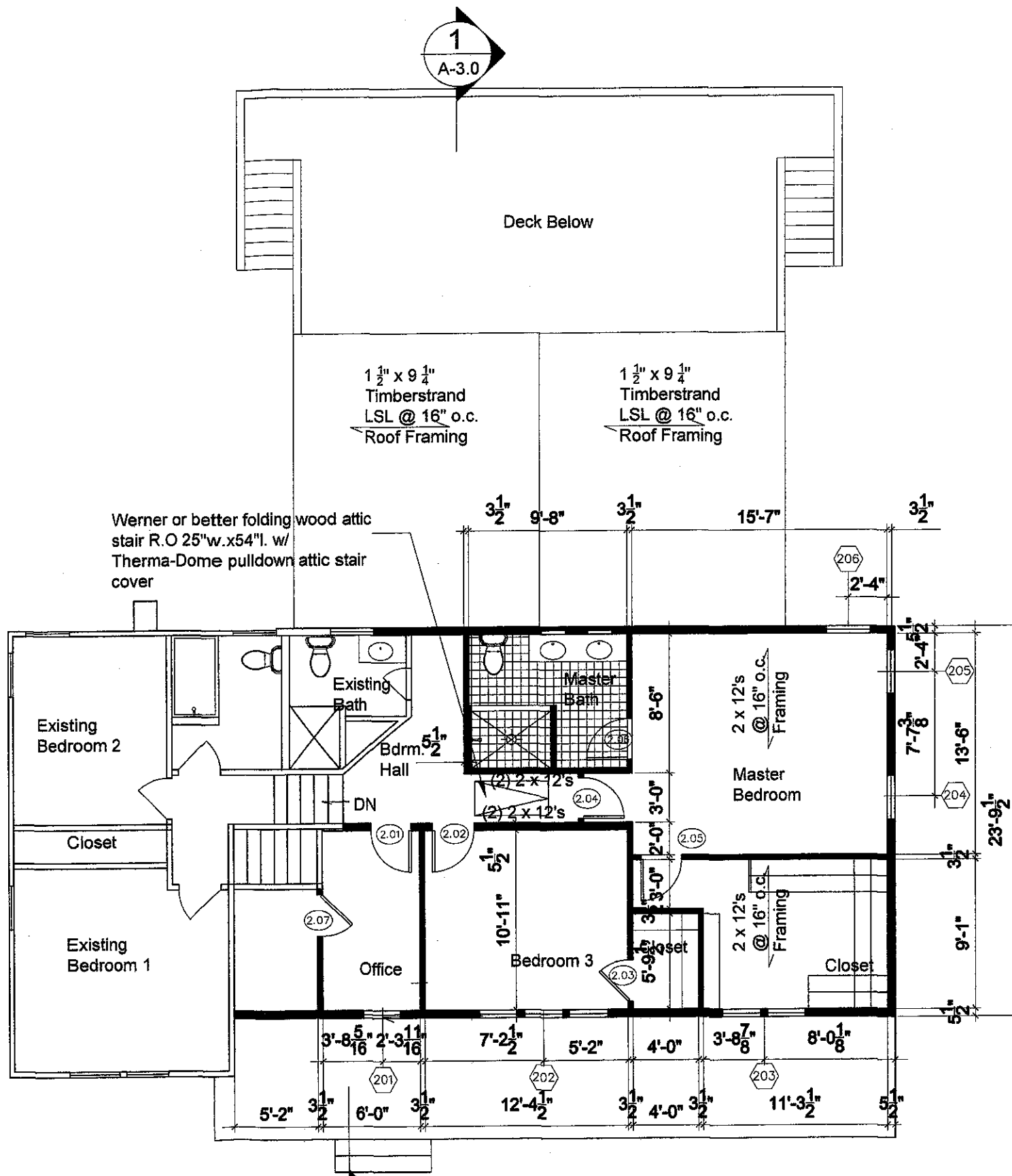
DWG. TITLE:
**PROPOSED
FLOOR PLAN**
First Floor

DATE:	
JOB NO.:	
DRAWN: LM	
DWG. NO.	

A-1.1

Symbol Legend

-  Existing structure to remain
-  Existing structure to be removed
-  Non-Load bearing partitions to be removed. repair, replace existing walls, finishes etc. as required.
-  New Construction -
- Typical Foundation Wall** - 10" wide poured in place concrete foundation wall on 2'-0" wide x12" deep poured in place concrete footing. See A-1. 0 for locations.
- Typical Exterior Wall** - One layer $\frac{1}{2}$ " gypsum wallboard at interior on 2x6 wood studs at 16" o.c. Provide R- 21Fiberglas batt insulation or better. Exterior finish - Vinyl siding to match existing over building wrap over $\frac{3}{4}$ " th. exterior grade plywood sheathing.
- Typical Interior Wall** - One layer $\frac{1}{2}$ " G.W.B. each side of 2x4 wood studs at 16" o.c.
- Garage** - $\frac{5}{8}$ " thk. Firecode G.W.B. at interior walls and ceiling of Garage. CONFIRM all layouts with architect before starting work.



1 Second Floor - Proposed
 A-1.2 Scale: $\frac{1}{8}$ " = 1'-0"



Merola Studio Architecture
 15 Tyler Place
 West Nyack, NY
 TEL: 845-536-6585
 hello@merolastudio.com



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PROJECT:
 Revonvations & Additions
 Rogers Residence
 50 CARA DRIVE
 PEARL RIVER, NY 10965

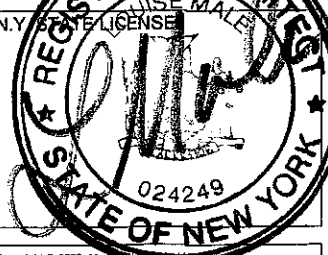
DWG. TITLE:
 PROPOSED FLOOR PLAN
 Second Floor

DATE:	
JOB NO.:	
DRAWN: LM	
DWG. NO.	

A-1.2

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06-06-20	ZONING SUBMISSION

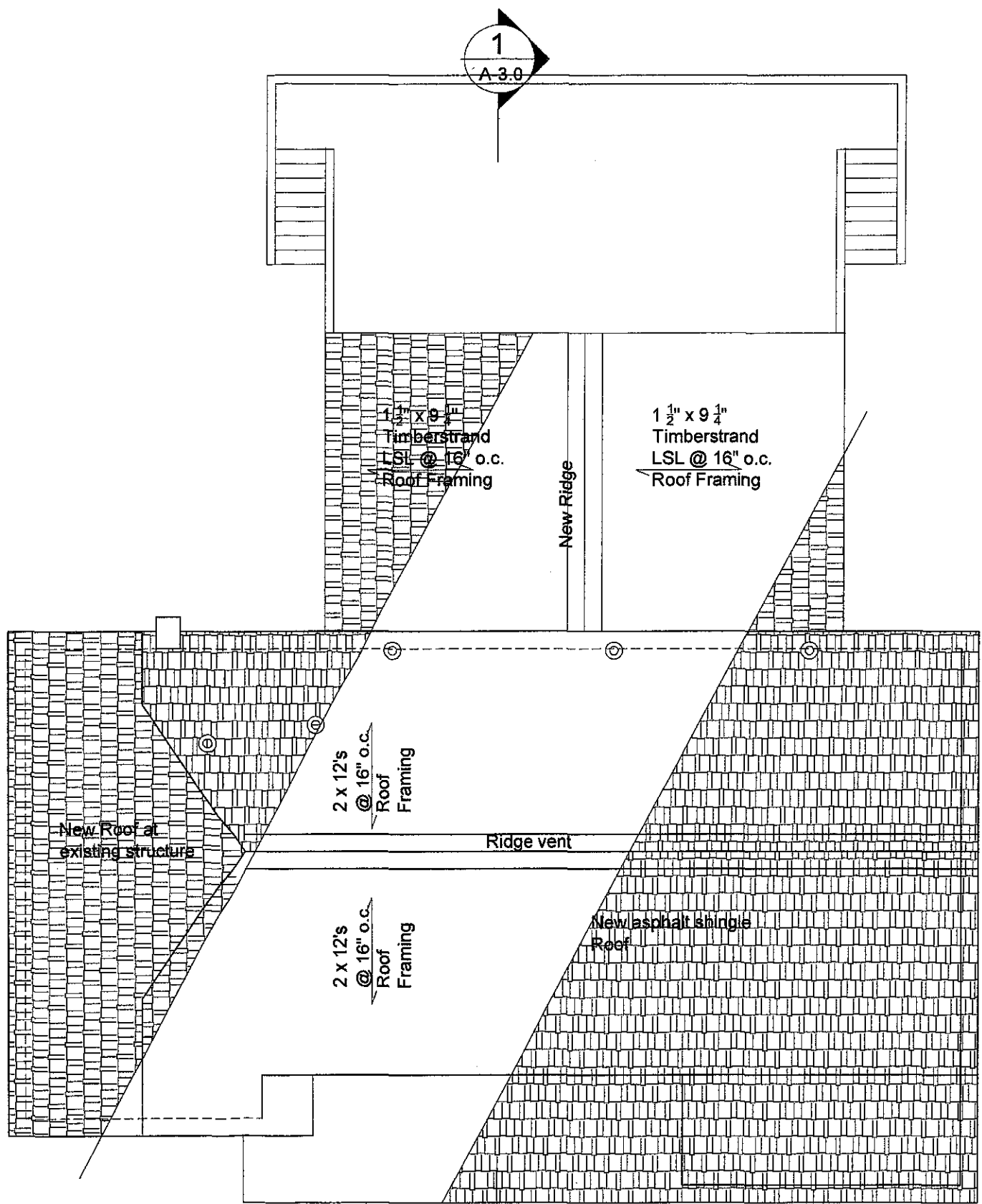
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**Revonvations & Additions
Rogers Residence**
50 CARA DRIVE
PEARL RIVER, NY 10965

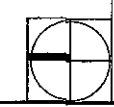
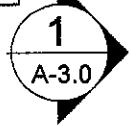
DWG. TITLE:
**PROPOSED
FLOOR PLAN**
Roof

DATE:
JOB NO:
DRAWN: LM
DWG. NO.

A-1.3



1 Roof Plan - Proposed
A-1.3 Scale: 1/8" = 1'-0"



Merola Studio
Architecture
15 Tyler Place
West Nyack, NY
Tel: 845.334.9511
http://merolaarchitecture.com
hello@merolaarchitecture.com

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06-06-20	ZONING SUBMISSION

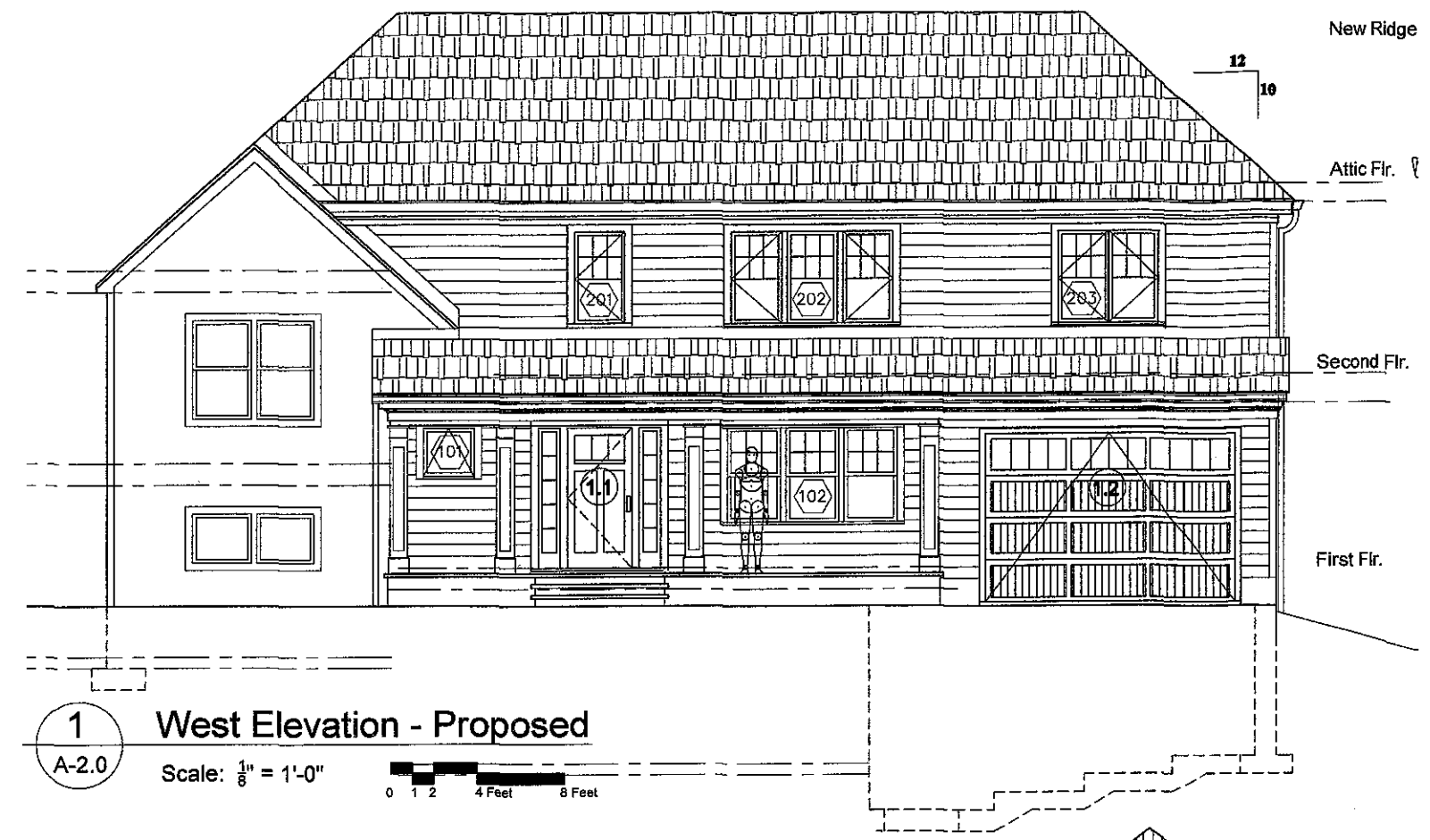
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**Revonvations & Additions
Rogers Residence**
50 CARA DRIVE
PEARL RIVER, NY 10965

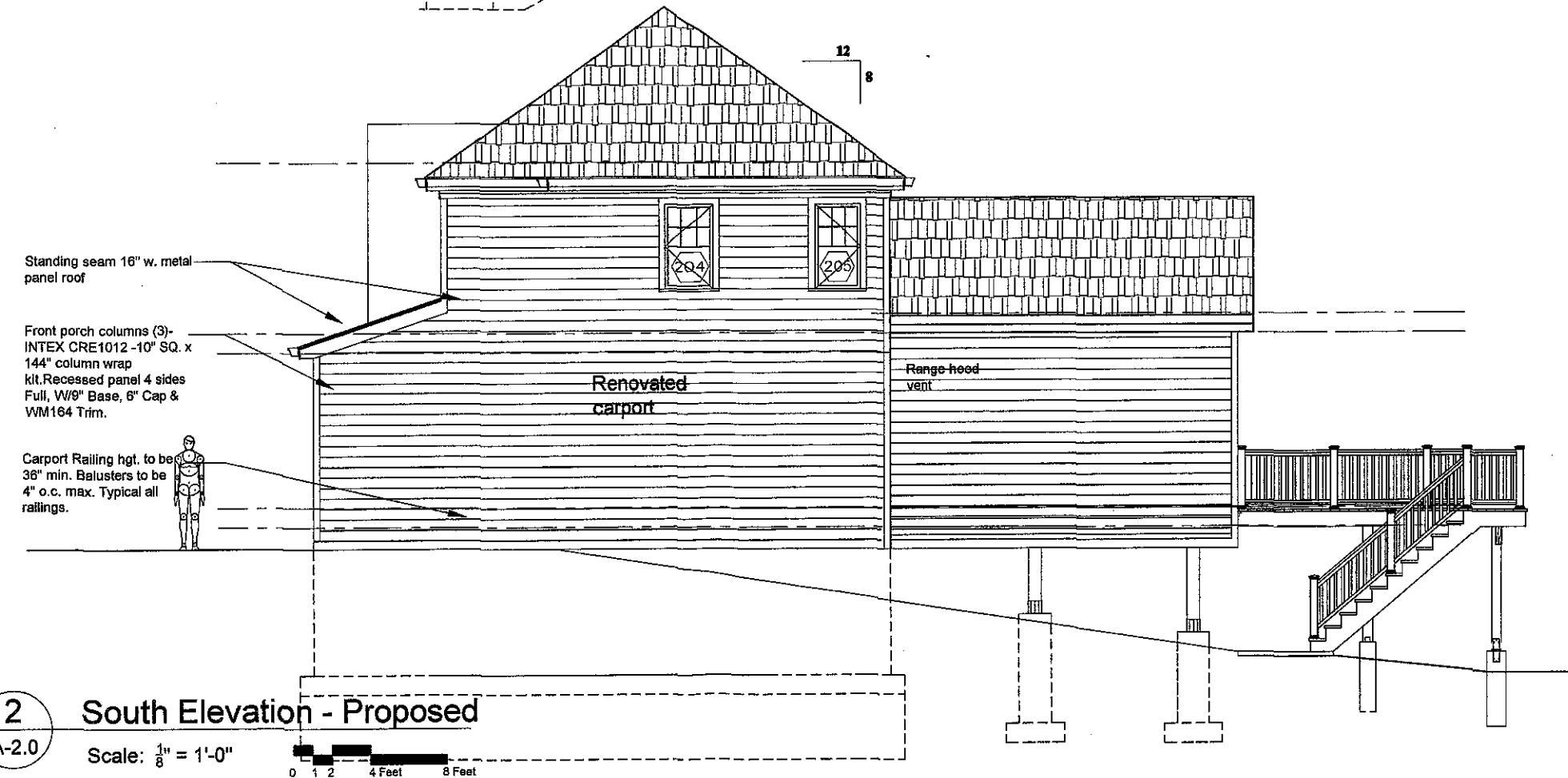
DWG. TITLE:
**PROPOSED
ELEVATIONS**
West & South Elevations

DATE:	
JOB NO.:	
DRAWN:	LM
DWG. NO.:	

A2.0



1 West Elevation - Proposed
A-2.0 Scale: $\frac{1}{8}'' = 1'-0''$

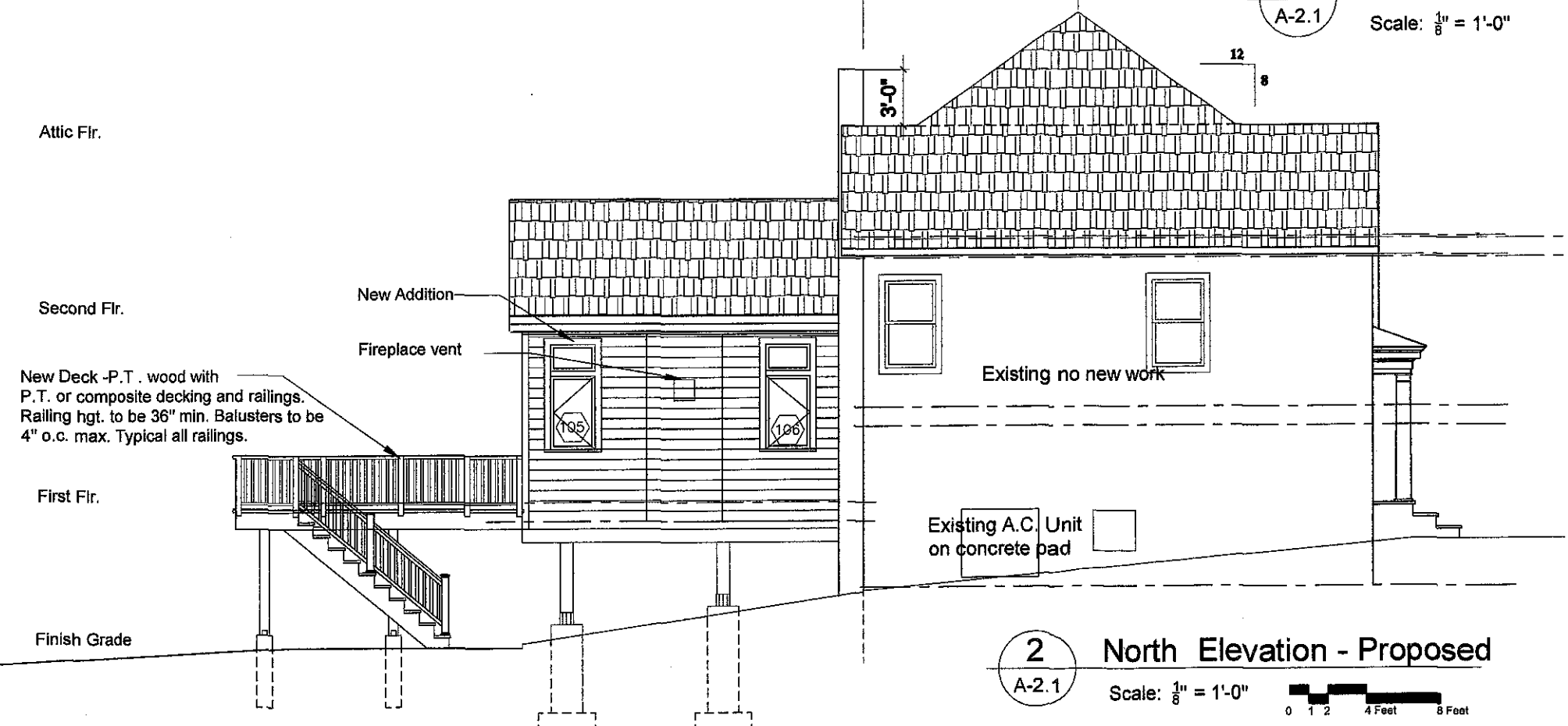


2 South Elevation - Proposed
A-2.0 Scale: $\frac{1}{8}'' = 1'-0''$



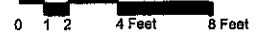
1 East Elevation - Proposed

A-2.1 Scale: $\frac{1}{8}'' = 1'-0''$



2 North Elevation - Proposed

A-2.1 Scale: $\frac{1}{8}'' = 1'-0''$



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15 Tyler Place
West Nyack, NY

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Rogers Residence
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PEARL RIVER, NY 10965

DWG. TITLE:
PROPOSED
ELEVATIONS
East and North Elevations

DATE: _____
JOB NO: _____
DRAWN: LM
DWG. NO: _____

A2.1