

ZONING BOARD OF APPEALS

Town of Orangetown
20 Greenbush Road
Orangeburg, New York 10962
(914) 359-8410 (ex. 4331)

Date: February 21, 2020

TO: OBAPAE

- Environmental Management and Engineering
- ✓ Rockland County Sewer District #1
- New York State Dept. of Transportation
- Palisades Interstate Park Commission
- Orange and Rockland Utilities
- Orangetown Highway
- Fire Prevention (Performance Standards)

- ✓ Rockland County Drainage
- ✓ Rockland County Health
- ✓ Rockland County Planning
- ✓ Rockland County Highway

Public

Review of Plans: KJ Rock, 11 Goswick Court, Sparkill, NY

Section 77.08 Block 5 Lot 36.4 RG zone

This matter is scheduled for:

Chapter 43, RG District, Section 5.221 (Steps over 16 sq. ft. over 2' above grade, requires a variance) at a new single-family residence.

Please review the information enclosed and provide comments. These comments may be mailed, e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: darbolino@orangetown.com or
- Fax to the Town of Orangetown ZBA @845 359 8526

Zoning Board Meeting Date: April 1, 2020

- () Comments attached
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, April 1, 2020**. **Kindly forward your completed review to this office by April 1, 2020.**

Reviewing Agency _____

Name _____ date: _____

Signature: _____

Thank you, Deborah Arbolino

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: _____

2020 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input checked="" type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input checked="" type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: 49390

ASSIGNED

INSPECTOR: D.M.

Referred from Planning Board: YES / **NO**

If yes provide date of Planning Board meeting: _____

Project Name: 11 Goswick Court - Lot 7 Virginai Homes

Street Address: 11 Goswick Ct
Sparkill, NY 10976

Tax Map Designation:
Section: 77.08 Block: 5 Lot(s): 36.4
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the South West side of Goswick Ct, approximately
300 feet South of the intersection of Williams St, in the
Town of ORANGETOWN in the hamlet/village of Sparkill.

Acreage of Parcel <u>.332</u>	Zoning District <u>RG</u>
School District <u>South Orangetown</u>	Postal District <u>10913</u>
Ambulance District _____	Fire District <u>Sparkill</u>
Water District <u>Suez</u>	Sewer District <u>Orangetown</u>

Project Description: *(If additional space required, please attach a narrative summary.)*
Proposed Single Family Home

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.
Date: _____ Applicant's Signature: _____

APPLICATION REVIEW FORM

Applicant: KJ Rock Builders Phone # 201-206-9569

Address: 572 Route 303 Blauvelt NY 10901
Street Name & Number (Post Office) City State Zip Code

Property Owner: Same Phone # _____

Address: _____
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: Pecora Architecture Phone # 718-490-7410

Address: 418 Thornycroft Ave Staten Island NY 10312
Street Name & Number (Post Office) City State Zip Code

Attorney: Richard Finning Phone # 845-359-0300

Address: 566 Route 303 Blauvelt NY 10913
Street Name & Number (Post Office) City State Zip Code

Contact Person: Richard Ramsay Phone # 201-206-9569

Address: 572 Route 303 Blauvelt NY 10913
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|--|---|
| <input checked="" type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input checked="" type="checkbox"/> County Stream |
| <input type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above:
Route 340, Sparkill Creek

Referral Agencies:

- | | |
|--|--|
| <input type="checkbox"/> RC Highway Department | <input type="checkbox"/> RC Division of Environmental Resources |
| <input checked="" type="checkbox"/> RC Drainage Agency | <input checked="" type="checkbox"/> RC Dept. of Health |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority | <input type="checkbox"/> Palisades Interstate Park Commission |
| <input type="checkbox"/> Adjacent Municipality _____ | |
| <input type="checkbox"/> Other _____ | |

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? NA If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage 0
- 2) Total square footage 4216
- 3) Number of dwelling units 1

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area NO

Are there **streams** on the site? If yes, please provide the names NO

Are there **wetlands** on the site? If yes, please provide the names and type:

NO

Project History:

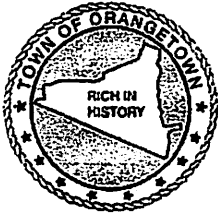
Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

NA

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

77.08-5-36.3 (Subdivision Lot 6)



OFFICE OF BUILDING, ZONING, PLANNING,
 ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
 20 Greenbush Road
 Orangeburg, N.Y. 10962

Jane Slavin, R.A.
 Director

(845)359-8410

Fax: (845) 359-8526

DENIAL TO ZONING BOARD OF APPEALS

Date: January 17, 2020
 Applicant: KJ Rock
 Address: 11 Goswick Ct, Sparkill, NY
 RE: Application Made at: same

Chapter 43....
 Section 5.221 Steps over 16 sf, over 2' above grade, requires a variance.

Section: 77.08 Block: 5 Lot: 36.4

Dear KJ Rock:

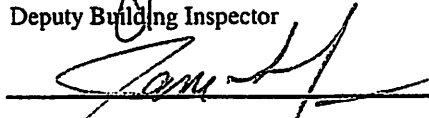
Please be advised that the Building Permit Application, which you submitted on October 3, 2020, has been denied. I have enclosed a Xerox copy of your application, where you will find at the bottom the reason for denial.

In Accordance with Zoning, Chapter 43 Section 10.322 the time to appeal a determination of a Building Inspector or Similar administrative office is thirty (30) days from the filing of such a determination with the Town Clerk.

The Clerk to the Zoning Board of Appeals, Debbie Arbolino, will assist you in the preparation necessary to appear before the board.

Sincerely,


 Richard Oliver
 Deputy Building Inspector


 Signature of Director
 NOTE: PLEASE KEEP FOR YOUR RECORDS
 12-31-18-CCC

1-17-2020
 Date
 CC: Rosanna Sfraga
 Liz Decort
 Debbie Arbolino

**ARCHIVE REVIEW REQ'D - AFTER OBTAINING ZBA APPROVAL,*



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

ARCHITECTURE AND COMMUNITY APPEARANCE BOARD OF REVIEW
REFERRAL LETTER

KJ Rock

Date: January 9, 2019

11 Goswick

Sparkill, NY

sbl 77.08-5-36.4, pmt 49390

Re: _____

Chapter 2, Section 2-4

Requires A.C.A.B.O.R.

Approval

Dear Richard Ramsey:

Please be advised that the Building Permit Application, which you submitted on October 3, 2020, has been denied to appear before the A.C.A.B.O.R.. I have enclosed a copy of your application, where you will find at the bottom the reason for denial.

The Clerk to the A.C.A.B.O.R., Cheryl Coopersmith, can assist you in the preparation necessary to appear before the board. Please contact her 845-359-8410 ext 4330 or ccoopersmith@orangetown.com

Sincerely,

[Handwritten signature] 1/17/2020

Richard Oliver
Deputy Building Inspector

[Handwritten signature]

1-17-2020

Signature of Director

Date

NOTE: PLEASE KEEP FOR YOUR RECORDS
12-31-18-CCC

CC: Rosanna Sfraga
Liz DeCort
Cheryl Coopersmith

** See attached REDUCTION PRIOR TO SUBMITTING FOR APPROVAL. SBL*

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.
 TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.
APPLICATION FOR BUILDING / DEMOLITION PERMIT

TOWN OF ORANGETOWN

20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

ZONE: RG OFFICIAL USE ONLY ACREAGE: 0.33
 Inspector: 17 Date App Received: 10/3/19 Received By: 123
 Permit No. 49390 Date Issued: _____
 CO No. _____ Date Issued: _____
 Permit Fee: \$9492 Ck# 1859 Paid By KJ Rock Builders
 GIS Fee: \$20 Ck# 18120 Paid By _____
 Stream Maintenance Fee Ck# _____ Paid By _____
 Additional Fee: _____ Ck# _____ Date Paid _____ Paid By _____
 1st 6 mo. Ext.: _____ Ck# _____ Exp. Date: _____ Paid By _____
 2nd 6 mo. Ext.: _____ Ck# _____ Exp. Date: _____ Paid By _____

RECEIVED

TOWN OF ORANGETOWN
 BUILDING DEPARTMENT

APPLICANT COMPLETES:

Note: See inside for instructions for completing this application.
PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.

Property Location: 11 Goswick Court, Sparkill NY
 Section: 77.08 Block: 5 Lot: 36.4
 Property Owner: KJ Rock Builders
 Mailing Address: 572 Route 303 Blauvelt NY
 Email: KJRockBuilders@gmail.com Phone #: 201-206-9569
 Lessee (Business Name): _____
 Mailing Address: _____
 Email: _____ Phone #: _____
 Type of Business / Use: _____
 Contact Person: Richard Ramsay Relation to Project: _____
 Email: KJ Rock Builders@gmail.com Phone#: 201-206-9569
 Architect/Engineer: Matthew B. Pecora NYS Lic # 036853
 Address: 418 Thomycroft Ave. Staten Island NY 10312 Phone#: 718-490-7410
 Builder/General Contractor: KJ Rock Builders RC Lic # _____
 Address: 572 Route 303 Blauvelt NY 10913 Phone#: 201-206-9569
 Plumber: VS Plumbing Technique RC Lic # P-1499
 Address: 56 Prairie Ave. Suffern NY 10901 Phone#: 973-493-1239
 Electrician: Lightning Electric RC Lic # E-00414
 Address: 243 West Nyack Rd. West Nyack NY Phone#: 845-721-6287
 Heat/Cooling: George D. Ingalls DBA Fire + Ice Heating RC Lic#: P-1122
 Address: 167 Chestnut Oval Orangeburg NY 10962 Phone#: 845-398-0155
 Existing use of structure or land: Vacant
 Proposed Project Description: 2 Story and Cellar, 1 Family Residence
 Proposed Square Footage: 4216 Estimated Construction Value (\$): 520,000

BUILDING DEPARTMENT COMPLETES BELOW

PLANS REVIEWED: _____
 PERMIT REFERRED / DENIED FOR:
* Chapter 2, Section 2-4, requires ACBOM approval.
* Chapter 43 Section 5.221 Steps are 16" or 18" above grade requires variance.

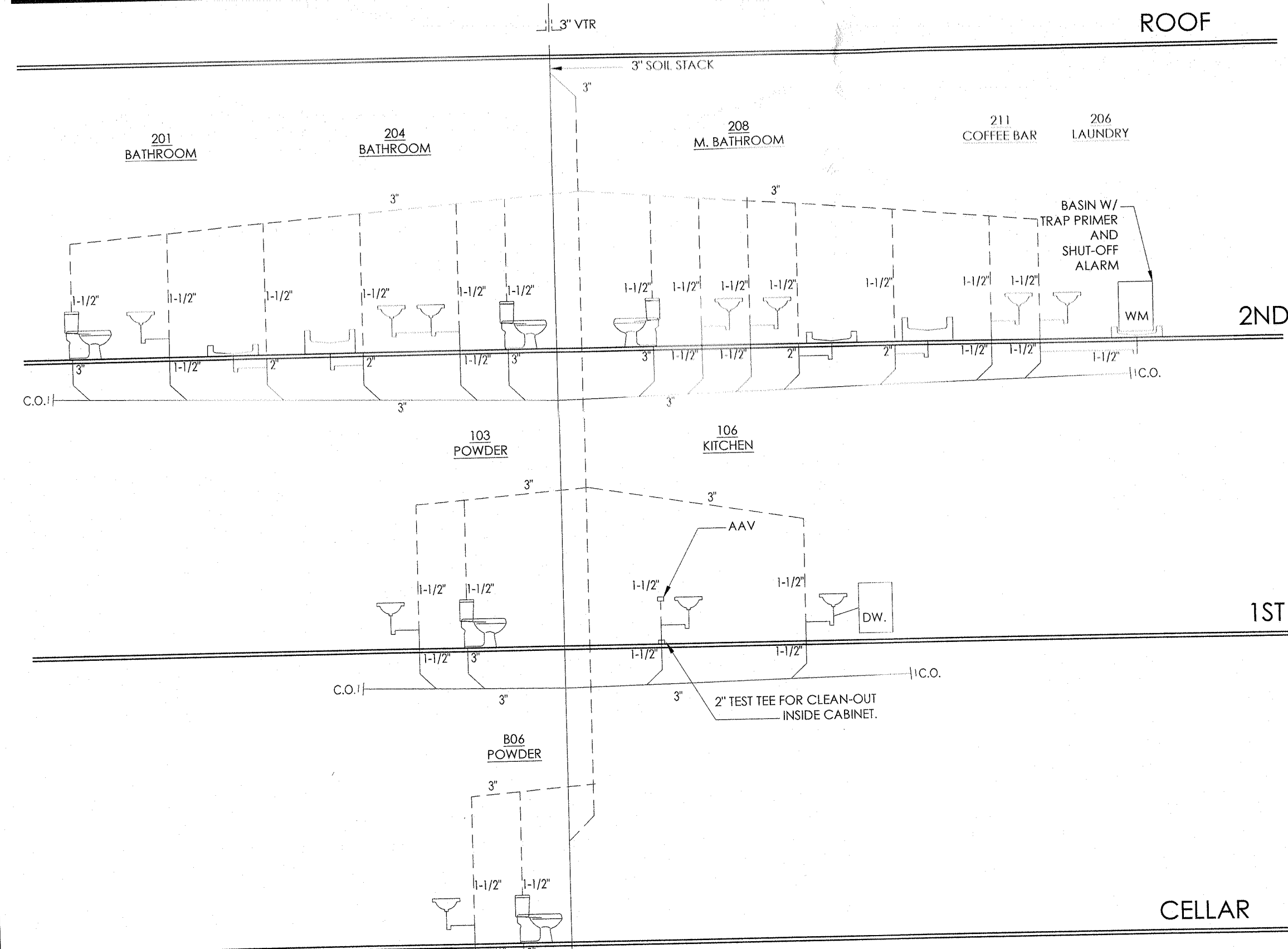
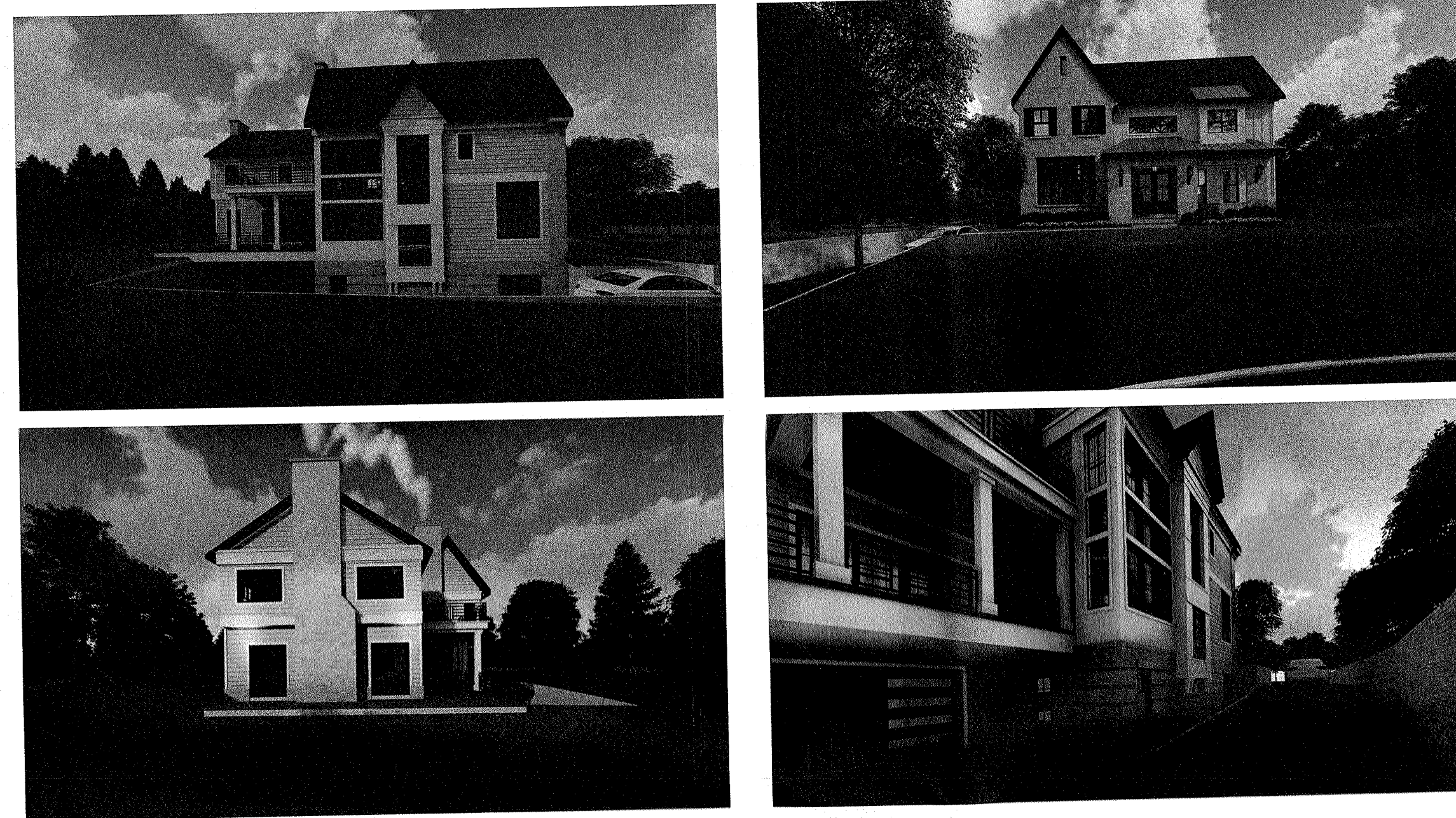
Jan 17 2020

FOR OFFICE USE ONLY SECTION 77.08 BLOCK 5 LOT 36.4 NAME KJ Rock Builders PERMIT# 49390

PROPOSED NEW CONSTRUCTION FOR: THE RUGGIERO FAMILY

13 GOSWICK COURT
SPARKILL, NY 10976

CONCEPTUAL RENDERING (FOR ILLUSTRATIVE PURPOSES ONLY)



- NOTES:
- FINAL PLUMBING SCHEMATIC AS PER LICENSED NJ PLUMBER
 - ALL WORK TO BE PERFORMED AND SYSTEM TO BE DESIGNED IN COMPLIANCE WITH THE CURRENT PLUMBING CODE.
 - UNLESS OTHERWISE NOTED, PLUMBING FIXTURES SELECTED BY OWNER
 - ALL SANITARY LINES 1/4" - 1'-0" MAX.
 - CONNECT DRAIN TO EXISTING MUNICIPAL SEWER SYSTEM, GC TO COORDINATE.
 - SCH. 40 PVC FOR ALL SEWERS AND VENTS
 - THICK RIGID COPPER WATER SUPPLY
 - PROVIDE RECIRCULATING LINE
 - ALL TRAPS SHALL BE P-TYPE, NOT S-TYPE.

1 PLUMBING RISER DIAGRAM
SCALE: N.T.S.

PROJECT NOTES

- GENERAL CONTRACTOR SHALL:
- PERFORM ALL WORK IN CONFORMANCE TO THE LATEST ADOPTED EDITIONS OF THE NEW YORK UNIFORM CONSTRUCTION AND LOCAL CODES AND AGENCIES HAVING JURISDICTION.
 - THE CONTRACTOR SHALL FILE, OBTAIN AND PAY FOR, FOR FULL REIMBURSEMENT BY OWNER, ALL NECESSARY PERMITS, FEES, INSPECTIONS, APPROVALS AND ANY APPLICABLE SALES TAXES.
 - GUARANTEE ALL MATERIAL, WORK OR EQUIPMENT ALTERED OR FURNISHED UNDER THIS CONTRACT, FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE INSTALLATIONS.
 - BE RESPONSIBLE FOR COORDINATING ALL WORK INCLUDED IN THE ENTIRE PROJECT
 - COMPLETE ALL WORK IN A WORKMANLIKE MANNER; WORK WILL NOT CAUSE ANY DIMINUTION OF EXISTING STRUCTURAL STRENGTH, SYSTEM CAPACITY OR MECHANICAL VENTILATION BELOW THAT WHICH CURRENTLY EXISTS. ALL REPLACEMENT FIXTURES, EQUIPMENT OR APPLIANCES WILL NOT INCREASE LOADS ON EXISTING SYSTEMS.
 - COORDINATE WITH OWNER THE REMOVAL/RELOCATION OF EXISTING PLANTINGS, TO GAIN ACCESS TO THE STRUCTURE WHERE NECESSARY, BEFORE WORK. RESTORE ALL EXISTING EXTERIOR CONDITIONS OF STRUCTURE, INCLUDING ALL LANDSCAPED AND GRASSED AREAS, TO PRE-CONSTRUCTION CONDITIONS U.N.O.
 - PATCH, REPAIR AND RESTORE TO PRE-CONSTRUCTION CONDITIONS, WITH MATERIALS AND FINISHES TO MATCH EXISTING U.N.O. ALL AREAS OF THE STRUCTURE THAT HAVE BEEN DISTURBED DUE TO WORK ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT. THIS WORK INCLUDES ALL EXISTING WALLS AND CEILINGS OF PLASTER AND/OR GYPSUM BOARD THAT HAVE CRACKED OR HAVE BEEN DAMAGED DURING CONSTRUCTION AND ANY AREAS WHERE NEW CONSTRUCTION ALIGNS OR MEETS WITH EXISTING CONSTRUCTION.
 - ENSURE ALL CONSTRUCTION EQUIPMENT AND MATERIALS BE STORED AND PLACED SO AS NOT TO ENDANGER INHABITANTS, THE PUBLIC, THE WORKERS, OR ADJOINING PROPERTY FOR THE DURATION OF THE CONSTRUCTION PROJECT.
 - MAINTAIN AT ALL TIMES DURING REMODELING, REQUIRED EXITS, EXISTING STRUCTURAL ELEMENTS, FIRE PROTECTION DEVICES AND SANITARY SAFEGUARDS AT ALL ALTERATIONS, REPAIRS OR ADDITIONS TO ANY BUILDING OR STRUCTURE.
 - PROVIDE PRIMING AND FINISH PAINTING AND/OR STAINING ON ALL EXTERIOR AND INTERIOR AREAS OF NEW CONSTRUCTION, INCLUDING WALLS, CEILINGS, CASEWORK, BRICK COLUMNS, CHIMNEY AND TRIM AS PART OF BASE BID. PAINT ALL WALLS EGGSHELL AND ALL TRIM SEMI-GLOSS. OWNER TO SELECT COLOR U.N.O.
 - ENSURE THAT ALL ITEMS OF CONSTRUCTION SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - AT THE TERMINATION OF THE WORK, SUBMIT TO THE OWNER A MANUAL OF ALL NECESSARY WARRANTIES, INSTRUCTIONS, MAINTENANCE MANUALS, INSTRUCTIONS FOR CARE AND MAINTENANCE OF SURFACES AND EQUIPMENT. CONTENTS SHALL INCLUDE MANUFACTURERS AND INSTALLERS NAMES, ADDRESSES AND PHONE NUMBERS AND INSTRUCTIONS FOR INSTALLATION, START-UP, OPERATION, MAINTENANCE, PARTS LIST AND DATA SHEETS. THE CONTRACTOR SHALL FURNISH ALL LITERATURE OF THE MANUFACTURER, RELATING TO EQUIPMENT, INCLUDING MOTORS OR OTHER MANUFACTURER'S EQUIPMENT; ALSO CUTS, WIRING DIAGRAMS, INSTRUCTIONS, AND ALL OTHER INFORMATION THAT WOULD BE USEFUL TO THE OWNER FOR THE OPERATION AND MAINTENANCE OF SAME.
 - FILE FOR, OBTAIN, AND FORWARD TO THE OWNER THE "C.O." (CERTIFICATE OF OCCUPANCY), AND ALL OTHER PERMITS AND CERTIFICATES OF INSPECTION AT THE COMPLETION OF THE PROJECT.

DIMENSION NOTES

- GENERAL CONTRACTOR SHALL:
- SCALING DRAWINGS:** CONTRACTOR SHALL NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS AND DISCREPANCIES OR UNCLEAR INFORMATION SHALL BE PRESENTED TO THE ARCHITECT FOR CLARIFICATION. CONTRACTOR SHALL FIX AT HIS EXPENSE. ANY ERRORS DONE DUE TO ASSUMPTIONS THAT LEAD UP TO CONFLICTING SITUATIONS WITH THE INTENT OF THE PROJECT. LARGER SCALE DETAILS ALWAYS TAKE PRECEDENCE OVER SMALLER SCALED DETAILS AND PLANS.
 - INTERIOR DIMENSIONS:** INTERIOR DIMENSION STRINGS (INTERIOR PARTITIONS AND DOORS) ARE MEASURED FROM ONE OR MORE OF THE FOLLOWING:
A) FINISH FACE OF G.W.B.
B) CENTERLINE OF NOTED BUILDING ELEMENTS (CORRIDOR, CEILING RIDGE, DOOR & WINDOW OPENINGS, WALLS, ETC.)
 - EXTERIOR WALL DIMENSIONS:** ALL EXTERIOR STUD FACES ARE ALIGNED WITH THE FACE OF CEMENT PARGING AT FOUNDATION, UNLESS NOTED OTHERWISE.
 - CONFIRMATION OF DIMENSIONS PROVIDED:** ALL DIMENSIONS AND CONDITIONS SHOWN AND ASSUMED ON THESE DOCUMENTS MUST BE VERIFIED AT THE SITE BY THE GENERAL CONTRACTOR AND/OR VENDORS PRIOR TO ORDERING ANY MATERIAL OR DOING ANY WORK AND BE RESPONSIBLE FOR SAME. ANY DISCREPANCIES OR ERRORS IN THE DOCUMENTS MUST BE REPORTED TO THE ARCHITECT AT ONCE. NO CHANGE IN PLANS, DETAILS OR DIMENSIONS IS ALLOWABLE WITHOUT THE CONSENT OF THE ARCHITECT.
 - VERIFICATION OF EXISTING DIMENSIONS AND CONDITIONS:** THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY MAJOR DISCREPANCIES PRIOR TO STARTING WORK. ALL NEW WORK CAN BE MODIFIED BY FIELD CONDITIONS. CONSULT WITH ARCHITECT PRIOR TO MODIFICATIONS.
 - PLUS/MINUS DIMENSIONS (+/-) OR (+):** ARE FLEXIBLE DIMENSIONS REQUIRING CLOSE ATTENTION TO ALIGNMENTS OR MATCHING EXISTING ADJACENT CONDITIONS. CONTRACTOR MUST CLOSELY EXAMINE THE DIMENSION STRING AND STRATEGY IN ORDER TO DETERMINE THE INTENT OF THIS DIMENSION RELATIVE TO THOSE AROUND IT. THIS DIMENSION IS ONLY PROVIDED AS A VERIFICATION AND FOR CONTRACTORS USE IN DETERMINING SIZES FOR COST ESTIMATING PURPOSES.
 - INTER-FLOOR ALIGNMENTS:** WHEN ELEMENTS ARE DIMENSIONED IN RELATION TO CONSTRUCTION ELEMENTS ON THE FLOOR OR FLOORS ABOVE AND/OR BELOW, THE CONTRACTOR MUST VERIFY ALIGNMENTS ARE TRANSLATED ON THE EXTERIOR AND INTERIOR OF THE STRUCTURE, UNLESS NOTED OTHERWISE.

ABBREVIATIONS

ABV.	ABOVE	EA.	EACH	OPP.	OPPOSITE
ACT.	ACOUSTIC CEILING TILE	EQ.	EQUAL	RM.	ROOM
AFF.	ABOVE FINISH FLOOR	EXIST.	EXISTING	R.O.	ROUGH OPENING
APPROX.	APPROXIMATE	EXT.	EXTERIOR	SCHED.	SCHEDULE
ARCH.	ARCHITECT	FIN.	FINISH	SF	SQUARE FOOT
BLW.	BELOW	FLR.	FLOOR	SIM.	SIMILAR
BOT.	BOTTOM	G.C.	GENERAL CONTRACTOR	SPECS.	SPECIFICATIONS
CL	CENTERLINE	GWB	GYPSUM WALL BOARD	SS	STAINLESS STEEL
CLOS.	CLOSET	INSUL.	INSULATION	T.O.	TRIMMED OPENING
CLG.	CEILING	LAV.	LAVATORY	TYP.	TYPICAL
DIA.	DIAMETER	MFR.	MANUFACTURER	U.O./N	UNLESS OTHERWISE NOTED
DIM.	DIMENSION	MTD.	MOUNTED	V.I.F.	VERIFY IN FIELD

PROJECT DESCRIPTION

THE PROPOSED WORK IS FOR 2 STORY 1 FAMILY DWELLING. WORK TO INCLUDE STRUCTURE, INTERIOR AND EXTERIOR WALLS, ELECTRICAL AND PLUMBING.

ENFORCING BUILDING CODES

- BUILDING CODE:** INTERNATIONAL RESIDENTIAL CODE - NY ED. 2015 OBTAINED FROM: INTERNATIONAL CODE COUNCIL, INC 2017 UNIFORM CODE SUPPLEMENT
- MECHANICAL CODE:** INTERNATIONAL MECHANICAL CODE - NY ED. 2015 OBTAINED FROM INTERNATIONAL CODE COUNCIL
- ELECTRICAL CODE:** NATIONAL ELECTRICAL CODE, - NY ED. 2015 OBTAINED FROM INTERNATIONAL CODE COUNCIL.
- PLUMBING CODE:** NATIONAL STANDARD PLUMBING CODE, 2015 OBTAINED FROM INTERNATIONAL CODE COUNCIL.
- FUEL GAS CODE:** INTERNATIONAL FUEL GAS CODE, 2015 OBTAINED FROM INTERNATIONAL CODE COUNCIL
- ENERGY CONSERVATION CODE:** INTERNATIONAL ENERGY CONSERVATION CODE, 2015 OBTAINED FROM INTERNATIONAL CODE COUNCIL

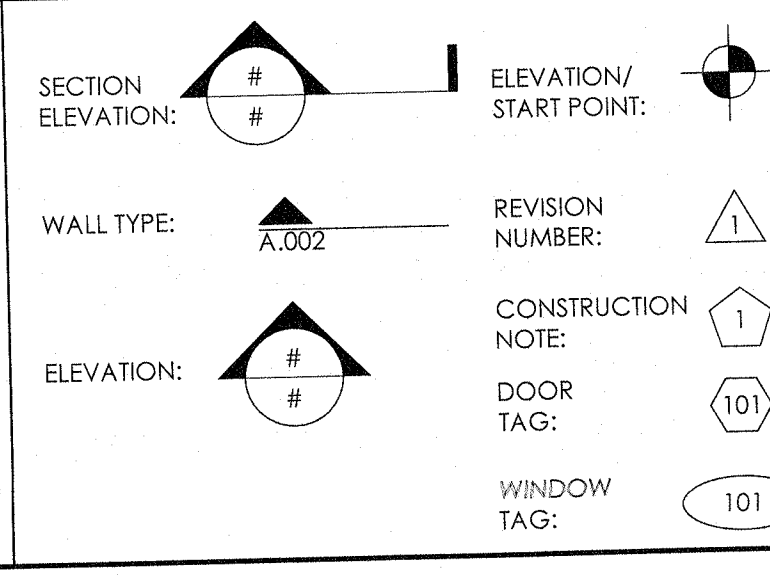
WALL PARTITION LEGEND

NUMBER	MATERIAL	DIAGRAM
A-001	NON-RATED - WOOD STUD PARTITION WALL 4-1/2" G.W.B WALL NEW 2X4 WOOD STUD INTERIOR WALL @ 16" O.C. W/ 1/2" G.W.B EA. SIDE, TAPED SPACKLED PRIMED AND PAINTED WITH TWO COATS OF FINISH PAINT. AT KITCHEN AREAS, PROVIDE BLOCKING BETWEEN STUDS TO FACILITATE INSTALLATION OF CABINETS. AT WET LOCATIONS, USE MOISTURE RESISTANT G.W.B. AT BASEMENTS USE P.T. STUDS AND M.R. G.W.B. AT SHOWER AREAS, USE FIBER CEMENT BOARD. ALL INTERIOR WALLS ARE A-001 UNLESS OTHERWISE NOTED.	
A-002	1 HR RATED - WOOD STUD PARTITION WALL 4-3/4" G.W.B WALL NEW 2X4 WOOD STUD INTERIOR WALL @ 16" O.C. W/ 5/8" TYPE "X" G.W.B EA. SIDE, TAPED SPACKLED PRIMED AND PAINTED WITH TWO COATS OF FINISH PAINT. AT KITCHEN AREAS, PROVIDE BLOCKING BETWEEN STUDS TO FACILITATE INSTALLATION OF CABINETS. AT WET LOCATIONS, USE M.R. G.W.B. AT SHOWER AREAS, USE FIBER CEMENT BOARD.	
A-003	NON-RATED - WOOD PLUMBING / CHASE WALL 2-5/8" G.W.B WALL PROVIDE 2X6 WALL STUDS, SPACED 16" O.C., W/ 5/8" MOLD TOUGH G.W.B. SPACKLE AND TAPE SEAMS. PRIME AND PROVIDE TWO FINISH COATS OF PAINT. AT SHOWER AREAS, USE FIBER CEMENT BOARD. AT BASEMENTS USE P.T. STUDS AND M.R. G.W.B. INSULATE @ PIPES.	
8-001	BASEMENT PERIMETER FURRED WALL PLACE A .6 MIL VAPOR BARRIER OVER INTERIOR FACE OF CONCRETE WALL. SET PRESSURE TREATED DOUBLE PLATE 1/2" FROM FACE OF WALL. REVIEW WALL FOR EVENNESS PRIOR TO SETTING PLATE. PROVIDE 2X4 P.T. WALL STUDS, SPACED 24" O.C., KRAFT FACED R-15 BATT INSULATION W/ 5/8" MOLD TOUGH G.W.B. SPACKLE AND TAPE SEAMS. PRIME AND PROVIDE TWO FINISH COATS OF PAINT.	

SQUARE FOOTAGE AND VOLUME CALC.

	PROPOSED	TOTAL
SQUARE FOOTAGE		
CELLAR	1,206	1206
GARAGE	865	865
COVERED DECK	198	198
DECK	292	292
BALCONY	190	190
FIRST FLOOR	2,074	2074
SECOND FLOOR	1,944	1944
TOTAL S.F.	6,769	6,769
VOLUME		
CELLAR	10,854	10854
GARAGE	8,131	8131
FIRST FLOOR	20,947	20947
SECOND FLOOR	17,690	17690
TOTAL VOLUME	57,622	57,622

DRAWING KEYS

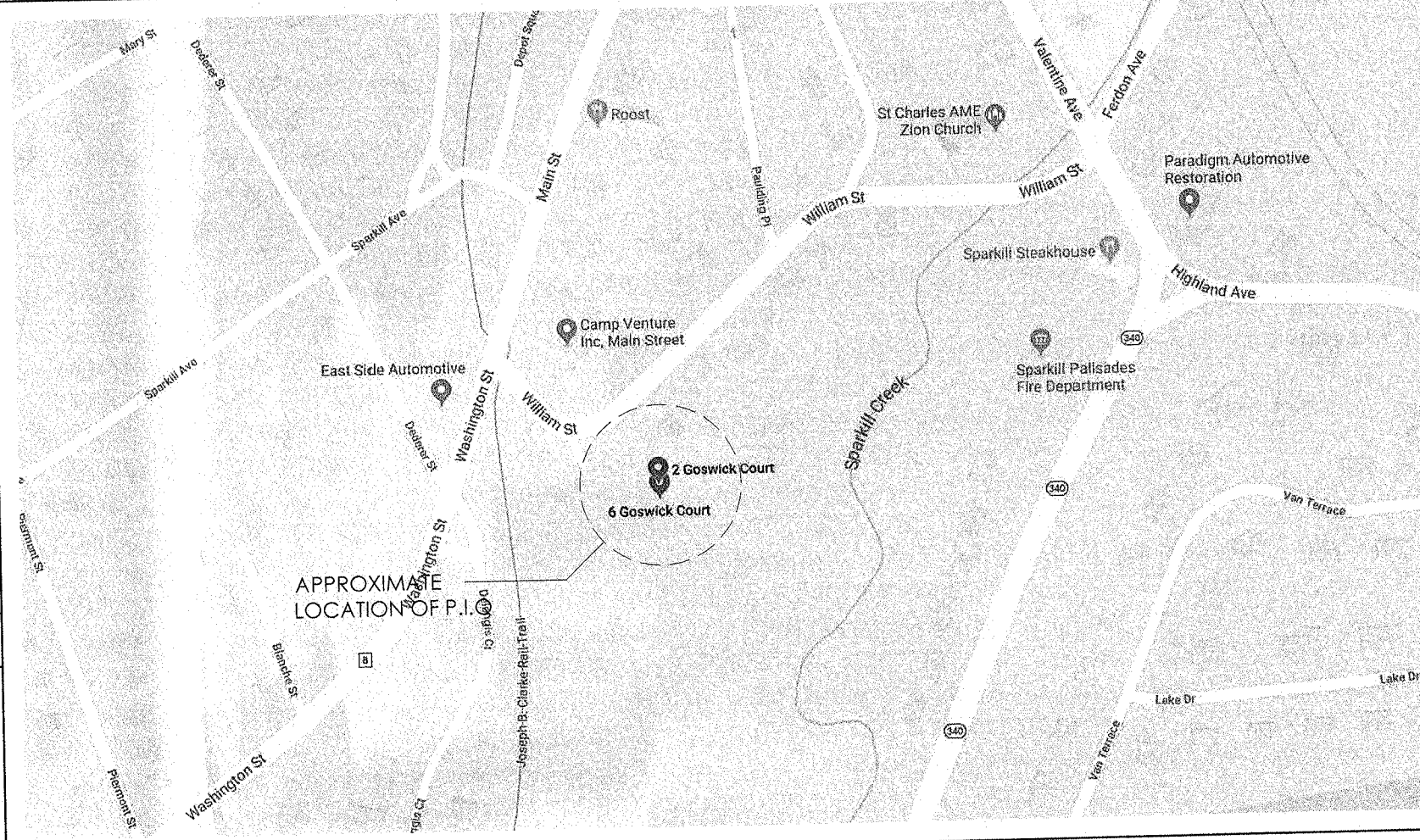


ZONING INFORMATION

ZONE: RG - Q BLOCK: 77-08-5-36.4 LOT: 7 BUILDING USE GROUP: R-5 CONSTRUCTION TYPE: TYPE V-B STORIES: 2 AREA: 2,074 SF

****SEE ENGINEER'S DRAWINGS FOR ALL SITE PLAN, ZONING, & GRADING INFORMATION****

KEY MAP



MEP NOTES

- HVAC SYSTEM:**
HVAC SYSTEM SHALL BE MODIFIED / PROVIDED ON A DESIGN-BUILD BASIS. WORK SHALL INCLUDE DESIGN, FURNISHING AND INSTALLATION OF HVAC SYSTEM, AS REQUIRED FOR A COMPLETE AND PROPER INSTALLATION.
- MECHANICAL DESIGN DRAWINGS AND SHOP DRAWINGS SHALL BE PROVIDED FOR ARCHITECT'S REVIEW / APPROVAL.
- ALL VENTS SHALL BE HIDDEN FROM THE FRONT OF THE STRUCTURE.
- ELECTRICAL SYSTEM & EMERGENCY ELECTRICAL SYSTEMS:**
ELECTRICAL SYSTEM AND EMERGENCY ELECTRICAL SYSTEMS SHALL BE PROVIDED ON A DESIGN-BUILD BASIS. WORK SHALL INCLUDE DESIGN, FURNISHING AND INSTALLATION OF AN ELECTRICAL SYSTEM, AS REQUIRED FOR A COMPLETE AND PROPER INSTALLATION. PROVIDE ELECTRIC POWER RISER DIAGRAM(S) AND PANEL SCHEDULE(S) FOR ARCHITECT'S REVIEW AND APPROVAL. PROVIDE FIRE ALARM DIAGRAM(S)/DRAWING(S) IN ACCORDANCE WITH THE CURRENT IBC AND CODES HAVING JURISDICTION.

DRAWING LIST

DWG NO.	DESCRIPTION	LATEST REVISION
A.000	KEY MAP, TITLE, NOTES, PRD	JUNE 17, 2019
A.200	CONSTRUCTION PLAN: FOUNDATION	JUNE 17, 2019
A.200.1	CONSTRUCTION & FRAMING PLAN: CELLAR	JUNE 17, 2019
A.201	CONSTRUCTION & FRAMING PLAN: FIRST	JUNE 17, 2019
A.202	CONSTRUCTION & FRAMING PLAN: SECOND	JUNE 17, 2019
A.203	CONSTRUCTION & FRAMING PLAN: ROOF	JUNE 17, 2019
A.300	REFLECTED CEILING AND POWER PLANS	JUNE 17, 2019
A.400	BUILDING SECTION	JUNE 17, 2019
A.500	EXTERIOR ELEVATIONS	JUNE 17, 2019
A.600	DETAILS	JUNE 17, 2019
A.700	SCHEDULES: WINDOW & DOOR	JUNE 17, 2019
A.800	SPECIFICATIONS & RESCHECK	JUNE 17, 2019
A.900	ENERGY CODE SPECS.	JUNE 17, 2019

CONSTRUCTION SYMBOLS

---	CONSTRUCTION ABOVE	■	FIRE RATED WALL
---	PROPERTY LINE	▨	STUD/ROUGHING
---	EXISTING PARTITION TO BE REMOVED	▩	BLOCKING
---	EXISTING PARTITION TO REMAIN	▧	FINISH WOOD
▨	NEW WALL CONSTRUCTION	▩	PLYWOOD
▧	STEEL	▩	PLASTIC LAMINATE ON PLYWOOD FACEBRICK
▩	CONCRETE BLOCK	▩	BATT INSULATION

CIVIL ENGINEER
DJ EGARIAN & ASSOCIATES, INC.
NJ LIC. NO: 24GE02622900

DESIGNED BY

PLAN ARCHITECTURE
125 PATERSON AVE, Second Floor
Little Falls, NJ 07424
dan@plnarc.com
T: 973-837-8399

ARCHITECT ON RECORD

PECORA ARCHITECTURE
418 THORNHROFT AVE
STATEN ISLAND, NY 10312
Matt@Pecoraarch.com 718-490-7410

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF NEW YORK AS SIGNIFIED BY MY HAND AND SEAL.

REVISIONS:

NO.	DESCRIPTION	YEAR/MO/DA

PROJECT: PROPOSED NEW HOUSE FOR
THE RUGGIERO FAMILY
11 GOSWICK COURT
SPARKILL, NY 10976

FLOOR OR FLOORS (IF APPLICABLE):

TITLE
KEY MAP, TITLE, NOTES, PRD

SEAL & SIGNATURE

DATE: JUNE 17, 2019
PROJECT NO.: 18-1004
SCALE: AS NOTED
DWG. BY: JLD/JP
CHK BY: MP
DWG NO.:
A.000

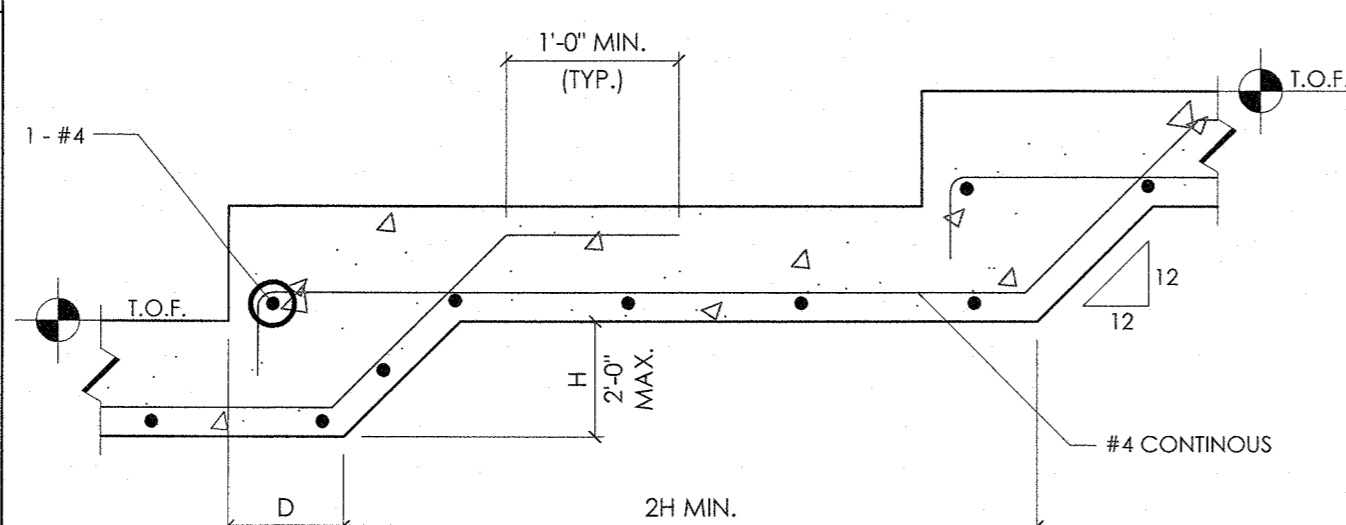
STRUCTURAL NOTES

WOOD FRAMING:

- ALL FRAMING LUMBER SHALL BE DOUGLAS FIR NO.2 OR BETTER MEETING THE ALLOWABLE STRESS REQ'S OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION. USE THE FOLLOWING SPECIFICATIONS, UNLESS NOTED OTHERWISE.
- ALL LUMBER: DOUGLAS FIR NO.2 OR BETTER CAPABLE OF DEVELOPING THE FOLLOWING MINIMUM ALLOWABLE STRESSES:
 2x4: Fb (SINGLE) = 1,350, Fb (REPETITIVE) = 1,552, Ft = 862 psi, Fc LL = 1,552 psi
 2x6: Fb (SINGLE) = 1,170, Fb (REPETITIVE) = 1,345, Ft = 747 psi, Fc LL = 1,485 psi
 2x8: Fb (SINGLE) = 1,080, Fb (REPETITIVE) = 1,242, Ft = 690 psi, Fc LL = 1,418 psi
 2x10: Fb (SINGLE) = 990, Fb (REPETITIVE) = 1,138, Ft = 632 psi, Fc LL = 1,350 psi
 2x12: Fb (SINGLE) = 900, Fb (REPETITIVE) = 1,035, Ft = 575 psi, Fc LL = 1,350 psi
- LVL MICROLAM (ML) OR EQ: E = 2,000 KSI, Fb = 3,000 PSI
 ANTHONY POWER BEAM (APB) OR EQ: E = 2,100 KSI
 PSL PARALLAM: E = 2,000 KSI, Fb = 2,900 PSI
- HEADERS: (2) 2X10 U.N.O.
- JAMBS: FOR ALL HEADERS (2)2X10 OR LESS, (1) JACK STUD AND (1) FULL HEIGHT STUD SHALL BE PROVIDED, SIZE OF STUD TO BE 2X. TO MATCH WIDTH OF WALL, U.N.O.; FOR ALL HEADERS (2)2X10 OR GREATER, (2) JACK STUDS AND (1) FULL HEIGHT STUD SHALL BE PROVIDED, SIZE OF STUD TO BE 2X, TO MATCH WIDTH OF WALL, U.N.O.

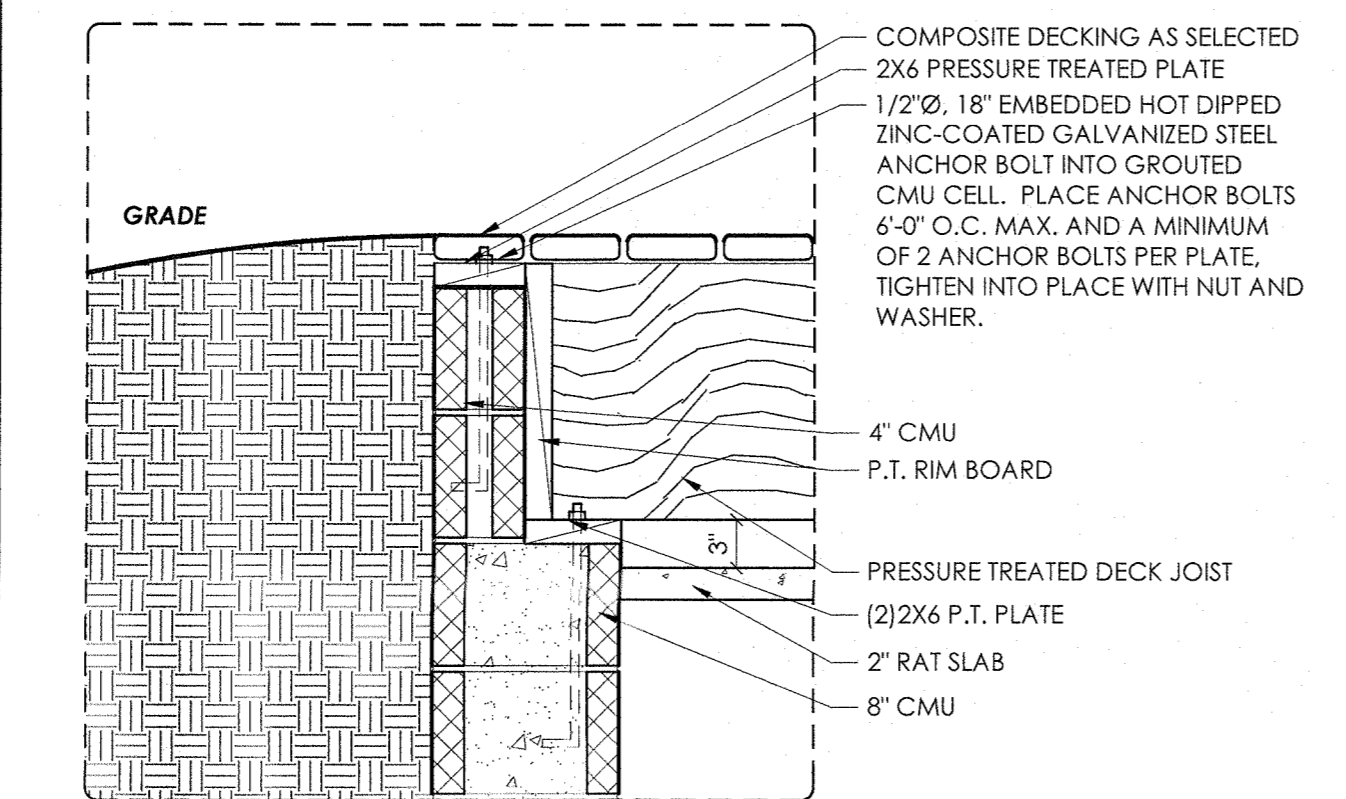
- ALL SHEATHING SHALL BE APA RATED CDX GRADE DOUGLAS FIR PLYWOOD OR BETTER.
- ALL ENGINEERED LUMBER - TJS, ML'S, APB'S & GL'S ETC... SHALL BE MANUFACTURED BY TRUS JOIST WEYERHAEUSER OR EQUAL. INSTALL ALL ENGINEERED LUMBER PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE BRIDGING BETWEEN ALL FLOOR JOISTS AT < 8'-0" O.C. BRIDGING SHOULD BE 2X8 OR LARGER CROSS BRACING. PARALLAM BEAMS SHALL BE KEPT DRY THROUGH DURATION OF CONSTRUCTION.
- PARALLAMS MAY BE PURCHASED FOR THE FULL WIDTH SPECIFIED ON DRAWINGS OR BE FASTENED TOGETHER AS FOLLOWS:
 9'-1/2" AND 11'-7/8" MEMBERS - 2 ROWS OF 16D NAILS AT 12" O.C. STAGGERED TOP AND BOTTOM.
 14', 16', 18" MEMBERS - 3 ROWS OF 16D NAILS AT 12" O.C., STAGGERED TOP AND BOTTOM.
- PROVIDE BEARING PLATES AND ANCHOR BOLTS, STUDS, OR WALL ANCHORS FOR ALL WALL BEARING BEAMS.
- INSTALLATION AND FASTENING OF ALL WOOD MEMBERS SHALL MEET THE LATEST STANDARDS OF THE RESIDENTIAL IBC OF N.J., THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, THE AMERICAN PLYWOOD ASSOCIATION AND THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION. JOIST HANGERS SHALL BE MANUFACTURED BY "SIMPSON" OR EQUAL, AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. ALL CONNECTIONS ARE TO BE MADE WITH FRAMING ANGLES.
- PROVIDE DOUBLE MEMBERS AROUND OPENINGS MORE THAN 16" WIDE.
- PROVIDE A MINIMUM OF TWO MEMBERS UNDER ALL PARALLEL PARTITIONS.
- PROVIDE TEMPORARY AND PERMANENT BRACING FOR FRAMING, INCLUDING TRUSSES, TO HOLD IT SECURELY IN POSITION AT ALL TIMES.
- USE SIMPSON TOP MOUNTED HANGERS FOR ALL WOOD APPLICATIONS.
- ALL SPECIALTY ANCHORS AND FASTENERS ARE TO BE MANUFACTURED BY THE HILTI CORPORATION OR APPROVED EQUAL, AND ARE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS, INCLUDING TORQUE, EMBEDMENT, LENGTH, ETC.
- LAP AND SPIKE ENDS OF RAFTERS OR JOISTS. ANCHOR ALL FRAMING TO WALLS NOT MORE THAN 4'-0" O.C., INCLUDING RAFTERS AND JOISTS PARALLEL TO WALLS.
- WOOD STUD BEARING WALLS NOT FACED WITH PLYWOOD SHALL BE BRACED WITH SOLID BLOCKING AT INTERVALS NOT EXCEEDING 4 TIMES THE LENGTH OF THE STUD FOR 2X4 STUDS AND .25 TIMES THE LENGTH OF THE STUD FOR 2X6 STUDS. ALL WOOD STUDS MUST RUN CONTINUOUS FROM FLOOR TO CEILING.
- ALL BUILT-UP COLUMNS MUST BE NAILED IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" SECTION 15.3.3.
- ALL ROOF RAFTERS SHALL BE SECURED TO BEARING POINTS W/ 1-SIMPSON H2 SEISMIC AND HURRICANE ANCHORS PER RAFTER, APPLIED TO THE OUTSIDE FACE OF WALL. ALL CONVENTIONALLY FRAMED ROOFS ARE TO HAVE 2X6 COLLAR TIES AT 32" O.C. PLACED ONE-THIRD THE DISTANCE DOWN FROM THE RIDGE.
- WOOD SILL PLATES ARE TO BE ANCHORED TO THE FOUNDATION WALL USING 1/2" DIA. X 18" LONG ANCHOR BOLTS SPACED AT A MAX. OF 6 FEET ON CENTER, UNLESS NOTED OTHERWISE ON DRAWINGS. ANCHOR BOLTS ARE TO BE LOCATED WITHIN 12" FROM THE ENDS OF EACH PLATE SECTION, INCLUDING ALL OPENINGS. PROVIDE SIMPSON TITAN HD BOLTS WHERE EMBEDDED ANCHORS DO NOT MEET THE ABOVE CRITERIA OR TO REPLACE MISALIGNED EMBEDDED ANCHORS.
- ALL WOOD FRAMING MUST BE FASTENED IN ACCORDANCE TO THE FASTENER SCHEDULE FOR STRUCTURAL MEMBERS (TABLE R602.3(1) IRC) OR APPA WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO-FAMILY DWELLINGS (WFCM) NAILING SCHEDULE (TABLE 3.1), WHICHEVER IS MORE RESTRICTIVE.
- CONTRACTOR MUST PROVIDE CONTINUOUS LOAD PATH FROM THE RAFTERS DOWN TO THE FOUNDATION INCLUDING, BUT NOT LIMITED TO, HURRICANE TIES FROM RAFTER TO STUDS, SIMPSON MST STRAPS FOR FLOOR-TO-FLOOR TIES AND A MINIMUM OF 1/2" WOOD STRUCTURAL PANEL SHEATHING NAILED ON THE EXTERIOR OF THE WOOD STUDS AND SILL PLATE.

- FOUNDATION:
 A. G.C. SHALL LOCATE FOUNDATION WALL AS NECESSARY FOR ALIGNMENT OF NEW AND EXISTING FINISHED EXTERIOR SURFACES.
 B. ALL FOUNDATION WALLS TO BE 12" THICK ON 24"W X 12"D SPREAD FOOTINGS, UNLESS OTHERWISE NOTED.
 C. BOTTOM OF ALL NEW FOOTINGS TO BE AT 3'-6" BELOW GRADE, MIN.
 D. TIE AND KEY ALL NEW FOUNDATIONS AND FOOTINGS TO EXISTING FOUNDATION WALLS. WHERE NECESSARY, STEP DOWN TO MEET EXISTING FOOTING @ 1:2. RISE:RUN. TIE AND KEY AS NC, USING #4 REBAR X 2'-0" @ 16" O.C. VERT. DRILLED INTO EXISTING FOUNDATION WALLS.
 E. AT FOUNDATION WALL SILL, PROVIDE 1/2"x18" HEADED ANCHOR BOLTS @ 4'-0" O.C. TO 1'-0" FROM EACH CORNER AND MIN. (2) PER SILL PIECE. SET SILL LEVEL AND SECURE TO TOP OF FOUNDATION WALL ON BED OF SEALANT OR INSULATION.
 F. UNDER ALL 4X4 POSTS OR LARGER, PROVIDE SOLID ENGINEERED ML LUMBER BLOCKING BETWEEN BOTTOM OF POST AND FOUNDATION SILL. FILL CELLS OF CMU WALLS WITH SOLID 3000 PSI CONCRETE GROUT, 12" EACH SIDE OF POST CENTERLINE AND 3'-0" DEEP MIN. U.N.O.
 G. FOUNDATIONS AND FOOTINGS ARE DESIGNED WITH AN ASSUMED SOIL BEARING CAPACITY OF 2,000 P/SF, G.C. TO VERIFY AND NOTIFY ARCHITECT IF LESS.
- BASEMENT SLAB:
 4" CONC. SLAB (4,000 PSI) W/ 2.1x2.1x6x6 W/F ON 6 MIL. VAPOR BARRIER ON 6" COMPACTED GRAVEL BASE ON UNDISTURBED SOIL (4,000 PSF) SEPARATE SLAB FROM END WALL W/ 1/2" FIBER FORM BOARD AND SEALANT.



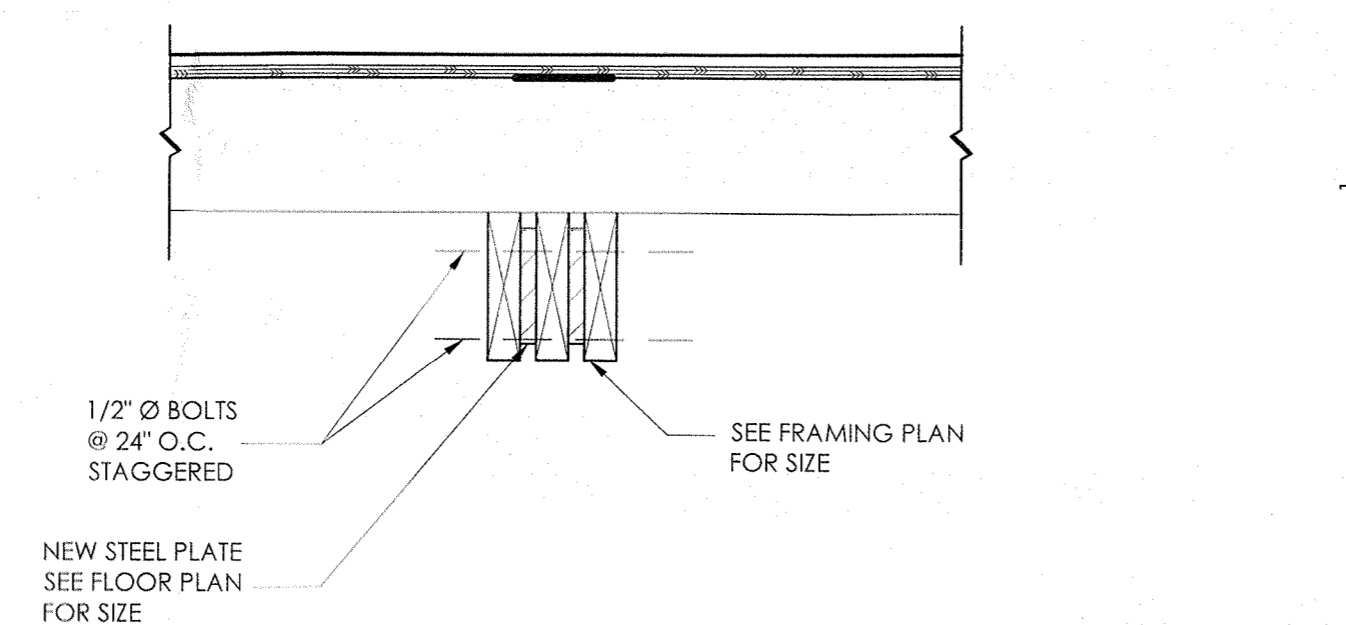
2 TYP. STEPPED FOOTING DETAIL

SCALE: 1"=1'-0" NOTE: SEE PLANS AND ELEVATIONS FOR STEP LOCATIONS



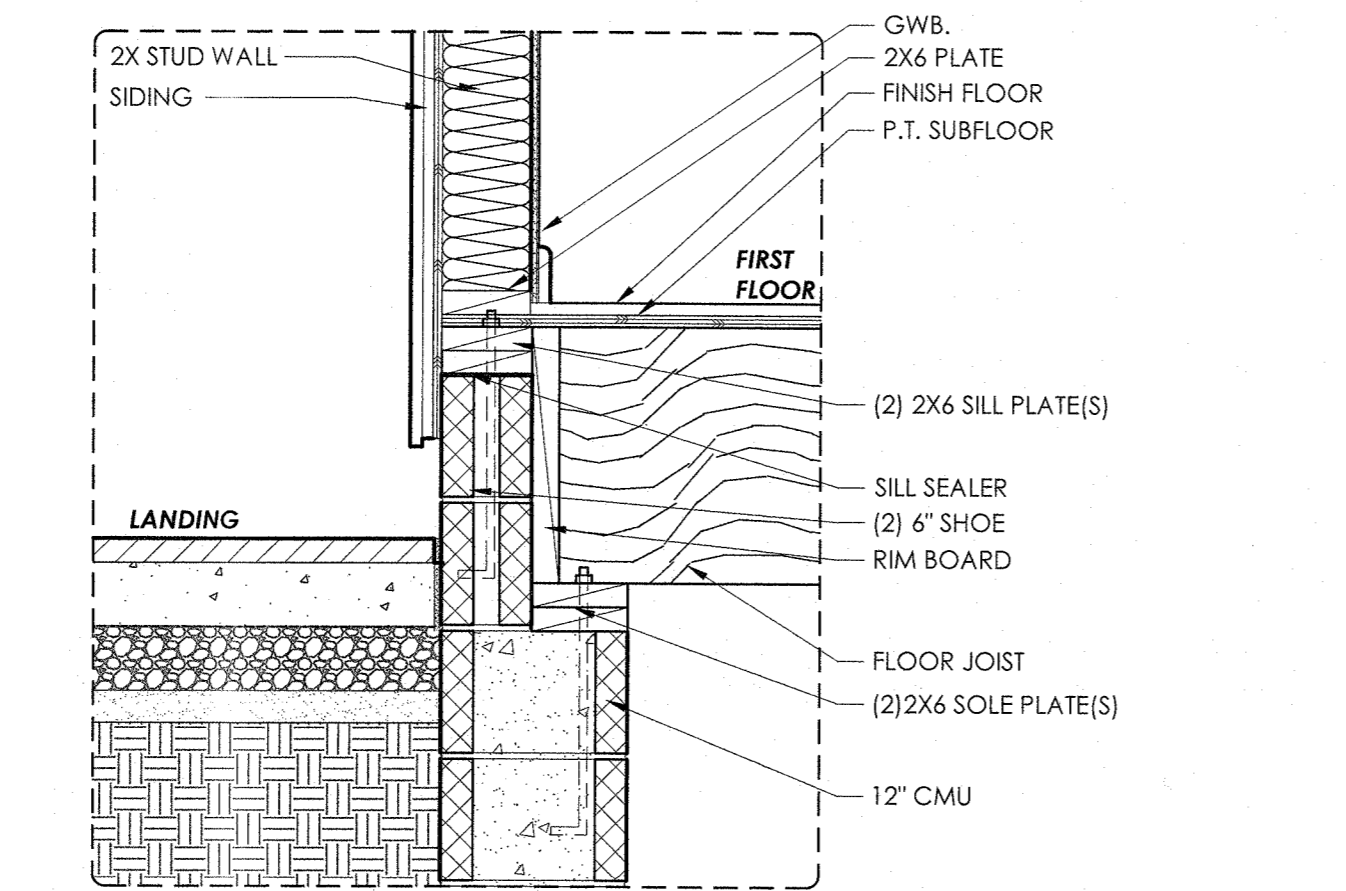
3 TYPICAL DETAIL AT LOUNGE DECK

SCALE: 1"=1'-0"



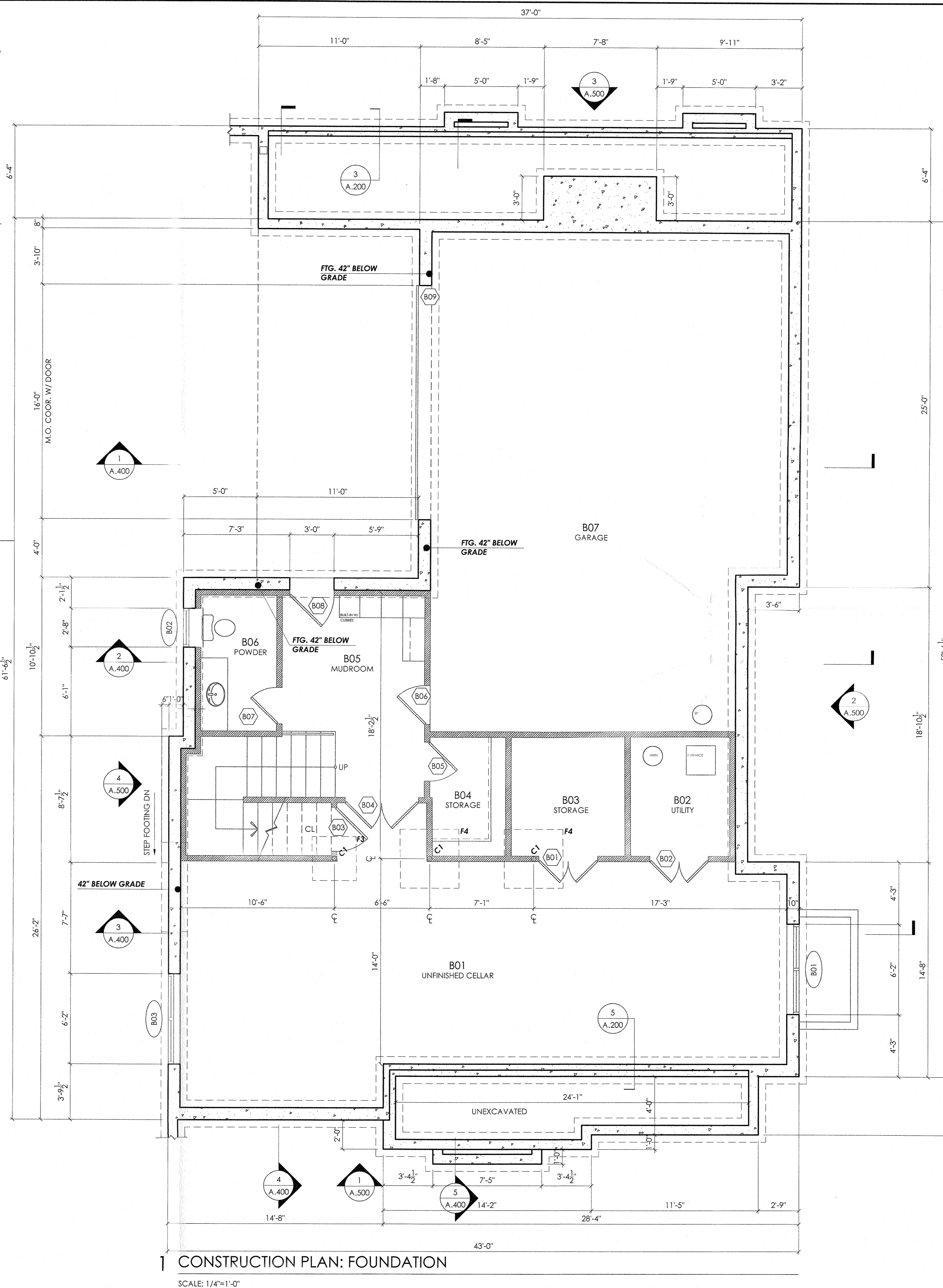
4 FLITCH BEAM DETAIL

SCALE: 1"=1'-0"



5 TYPICAL SHOE DETAIL

SCALE: 1"=1'-0"



1 CONSTRUCTION PLAN: FOUNDATION

SCALE: 1/4"=1'-0"

FOUNDATION INFO.

FOUNDATION WALL	
@ CELLAR	10" THICK
@ GARAGE	10" THICK
@ PORCH & TERRACE	8" THICK
@ MASONRY STAIR	8" THICK

ELEVATION DATUMS	
B.O. FOOTING	
@ CELLAR	-11'-7"
@ GARAGE	42" BELOW GRADE
@ PORCH & TERRACE	42" BELOW GRADE
T.O. F.W.	
	-17' 3/4"
T.O. F.W. SHOE BLOCK	
	-3' 3/4"

FOOTING SCHEDULE			
NO.	LxW	THICK	REINFORCEMENT

F-2.5	30"x30"	12"	(3) #5, BOTTOM, E.W.
F-3.0	36"x36"	12"	(4) #5, BOTTOM, E.W.
F-3.5	42"x42"	12"	(5) #5, BOTTOM, E.W.
F-4.0	48"x48"	12"	(5) #5, BOTTOM, E.W.
F-4.5	54"x54"	12"	(6) #5, BOTTOM, E.W.
F-5.0	60"x60"	12"	(6) #5, BOTTOM, E.W.
F-5.5	66"x66"	12"	(7) #5, BOTTOM, E.W.
F-6.0	72"x72"	12"	(7) #5, BOTTOM, E.W.
F-6.5	78"x78"	12"	(8) #5, BOTTOM, E.W.
F-7.0	84"x84"	12"	(8) #5, BOTTOM, E.W.

STRUCTURAL LOADS

LEVEL	LIVE	DEAD	TOTAL
CELLAR	OG	OG	OG
1ST FL	40 PSF	20 PSF	60 PSF
2ND FL	40 PSF	20 PSF	60 PSF
ROOF	30 PSF	20 PSF	50 PSF
WIND SPEED	114 MPH		

COLUMN SCHEDULE

NO.	DESCRIPTION
C-1	4" DIA LALLY COLUMN

NOTES

- SEE A.200 FOR ALL STRUCTURAL NOTES.
- ALL POST TO BE CONTINUOUS (OR ADD BLOCKING) AND TO SUPPORTED ON THE BEAM BELOW OR ON THE FOUNDATION BELOW (TYP)
- PROVIDE FULL DEPTH BLOCKING BETWEEN POST UP AND POST DOWN (TYP)
- HEADERS: (2)2x10 MIN. U.O.N
- ALL BEAM TO BEAM CONNECTION W/ USP OR SIMPSON CONNECTOR, FOR FULL CAPACITY. (TYP)
- ALL PSL BEAMS TO BE SUPPORTED ON PSL POST FOR FULL WIDTH BEARING. NOT ALL POSTS SHOWN ON PLANS.
- ASSUMED SOIL CAPACITY: 2,000 PSF, FIELD VERIFY.

PECORA ARCHITECTURE
 418 THORNYCROFT AVE
 STATEN ISLAND, NY 10312

Matt@Pecoraarch.com 718-490-7410
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NO.	DESCRIPTION	YEAR.MO.DA
PROJECT: PROPOSED NEW HOUSE FOR THE RUGGERO FAMILY 11 GOSWICK COURT SPARKILL, NY 10876		

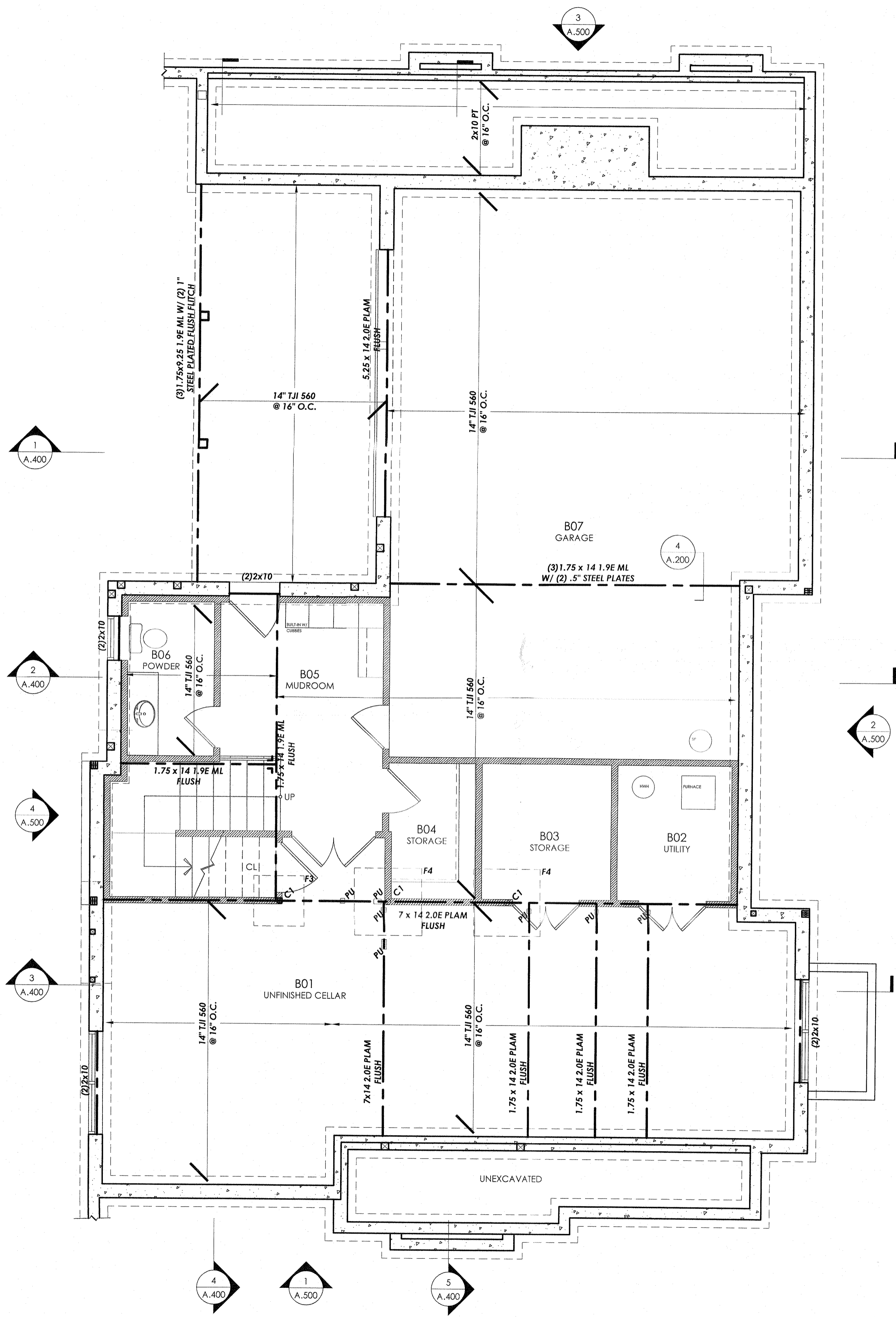
FLOOR OR FLOORS (IF APPLICABLE):

FOUNDATION CONSTRUCTION PLAN

SEAL & SIGNATURE: [Professional Seal] DATE: JUNE 17, 2019
 PROJECT NO.: 18-1004 SCALE: AS NOTED
 DWG. BY: JLD/JF
 CHK. BY: MP
 DWG NO.:
 MATTHEW PECORA, A.I.A. **A.200**

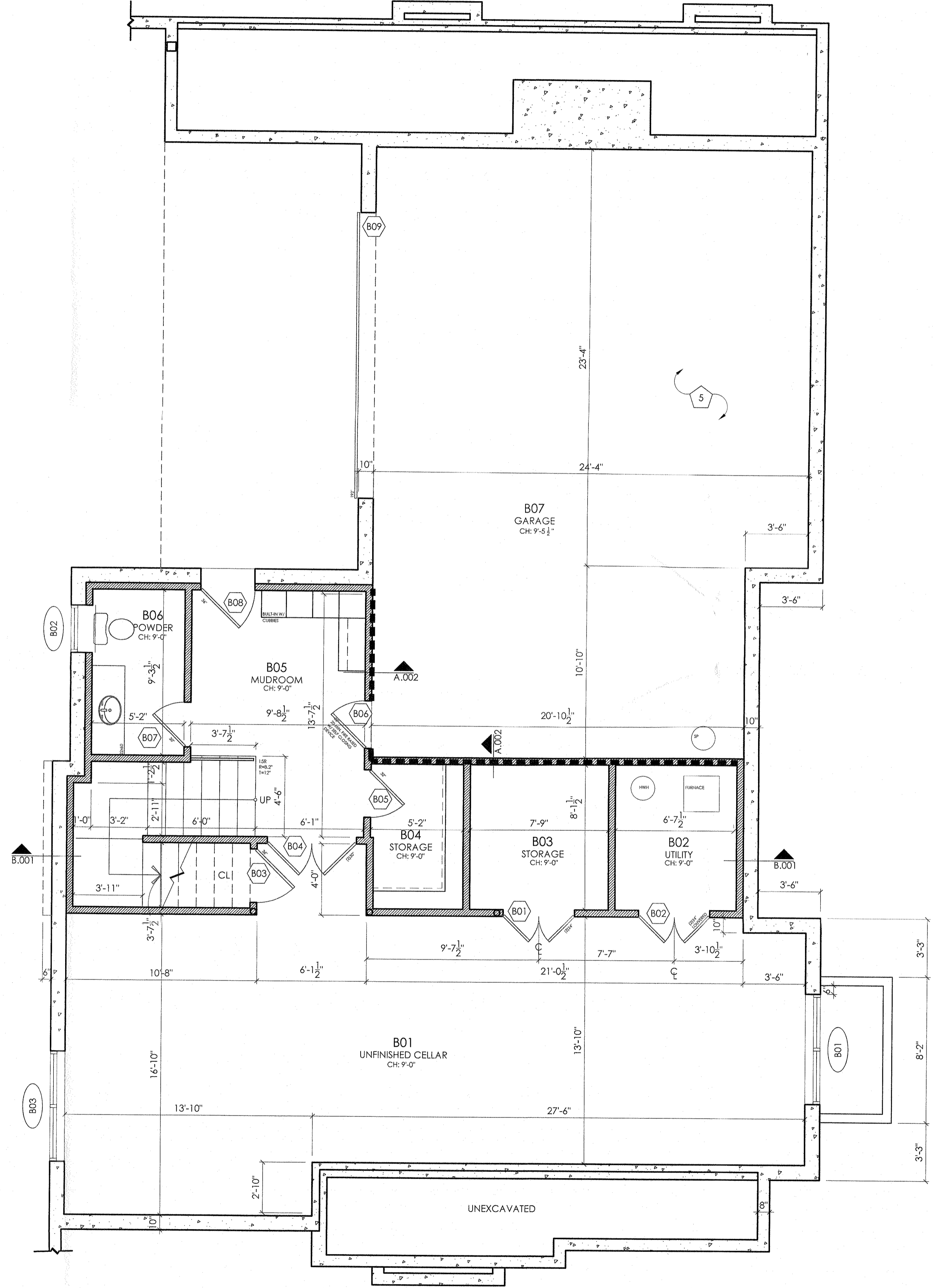
NOTES

1. SEE A.200 FOR ALL STRUCTURAL NOTES.



2 FRAMING PLAN: CELLAR

SCALE: 1/4"=1'-0"



1 CONSTRUCTION PLAN: CELLAR

SCALE: 1/4"=1'-0"

CONSTRUCTION LEGEND

- 1 DIRECT VENT GAS FIRE PLACE TO BE SELECTED BY OWNER. GC TO INSTALL AS PER MANUFACTURERS INSTRUCTIONS.
- 2 WOOD BURNING GAS IGNITED FIREPLACE TO BE SELECTED BY OWNER. GC TO INSTALL AS PER MANUFACTURERS INSTRUCTIONS.
- 3 CUSTOM SHOWER WITH TEMPERED GLASS DOOR.
- 4 WASHER AND DRYER, OWNER TO SELECT. NEW WASHER MACHINE TO BE SET IN DRAINAGE BASIN WITH EMERGENCY SHUT OFF VALVE AND TRAP PRIMER. PROVIDE 4" DIA. EXHAUST FOR DRYER.
- 5 GC TO INSTALL (2) TWO LAYERS OF 5/8" TYPE "X" GWB AT THE UNDERSIDE OF GARAGE CEILING TO MAINTAIN A (1) ONE HOUR FIRE SEPARATION.
- 6 36" HIGH COMPOSITE RAILING SYSTEM TO BE SELECTED BY OWNER.
- 7 MASONRY STAIR W/ LIMESTONE TREADS.
- 8 BRICK VENEER TO BE SELECTED BY OWNER.
- 9 LINE OF FLOOR BELOW.
- 10 STRUCTURAL COLUMN WRAPPED IN AZEK TRIM. SEE DETAIL ON SHEET A.400.
- 11 SHINGLES TO BE SELECTED BY OWNER.
- 12 STANDING SEAM METAL ROOFING OVER 30# FELT @ 12" O.C.. COLOR TO BE SELECTED BY OWNER.
- 13 EXTEND CHIMNEY 2'-0" ABOVE PROP. RIDGE. CHIMNEY TOPPER W/ BACK DRAFT STOPPER
- 14 COMPOSITE DECKING TO BE SELECTED BY OWNER.
- 15 WATERPROOF VINYL MEMBRANE SYSTEM BY DURADECK OR EQUAL. PITCHED TOWARDS DRAIN.
- 16 5" CONT. ALUM. GUTTER WITH 4" ALUMINUM DOWNSPOUTS. OWNER TO SELECT FINISH.
- 17 FLOOR DRAIN TO INTERNAL COLUMN DRAIN.
- 18 8" WIDE MASONRY WALL
- 19 CRICKET

-ALL INTERIOR WALLS TO BE TYPE A-001. U.N.O. SEE WALL PARTITION SCHEDULE ON A.000 FOR WALL ASSEMBLIES.
 -SEE SHEET A.700 FOR DOOR AND WINDOW SCH.
 -SEE TYP. STAIR AND RAIL DETAIL 2 ON SH. A.600
 -SEE TYP. WALL SECTIONS ON SHEET A.600.
 -APPLIANCES TO BE SELECTED BY OWNER.
 -PLUMBING FIXTURES TO BE SELECTED BY OWNER.
 -FINISHES TO BE SELECTED BY OWNER.
 -CABINERY AND COUNTERTOPS TO BE SELECTED BY OWNER.
 -SHELVING SYSTEMS TO BE SELECTED BY OWNER.
 -ALL INTERIOR STAIRS TO BE STAINED OAK TREAD W/ PAINT GRADE PINE RISER, W/ CONTINUOUS WOOD HAND RAIL, SPACE HAND RAIL 1-1/2" FROM WALL. COLOR TO BE SELECTED BY OWNER.-ALL GUARD RAILS TO BE 36" A.F.F.

ELEVATION DATUMS

GARAGE	-10'-7"
BASEMENT	-10'-3 1/2"
FIRST	0'-0"
SECOND	11'-4"
T.O. MAIN RIDGE	31'-11"

PECORA ARCHITECTURE
 418 THORNYCROFT AVE
 STATEN ISLAND, NY 10312
 Matt@Pecoraarch.com 718-490-7410

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REVISIONS:

NO.	DESCRIPTION	YEAR.MO.DA

PROJECT: PROPOSED NEW HOUSE FOR:
THE RUGGIERO FAMILY
 11 GOSWICK COURT
 SPARKILL, NY 10976

FLOOR OR FLOORS (IF APPLICABLE):
CELLAR
 CONSTRUCTION & FRAMING PLAN

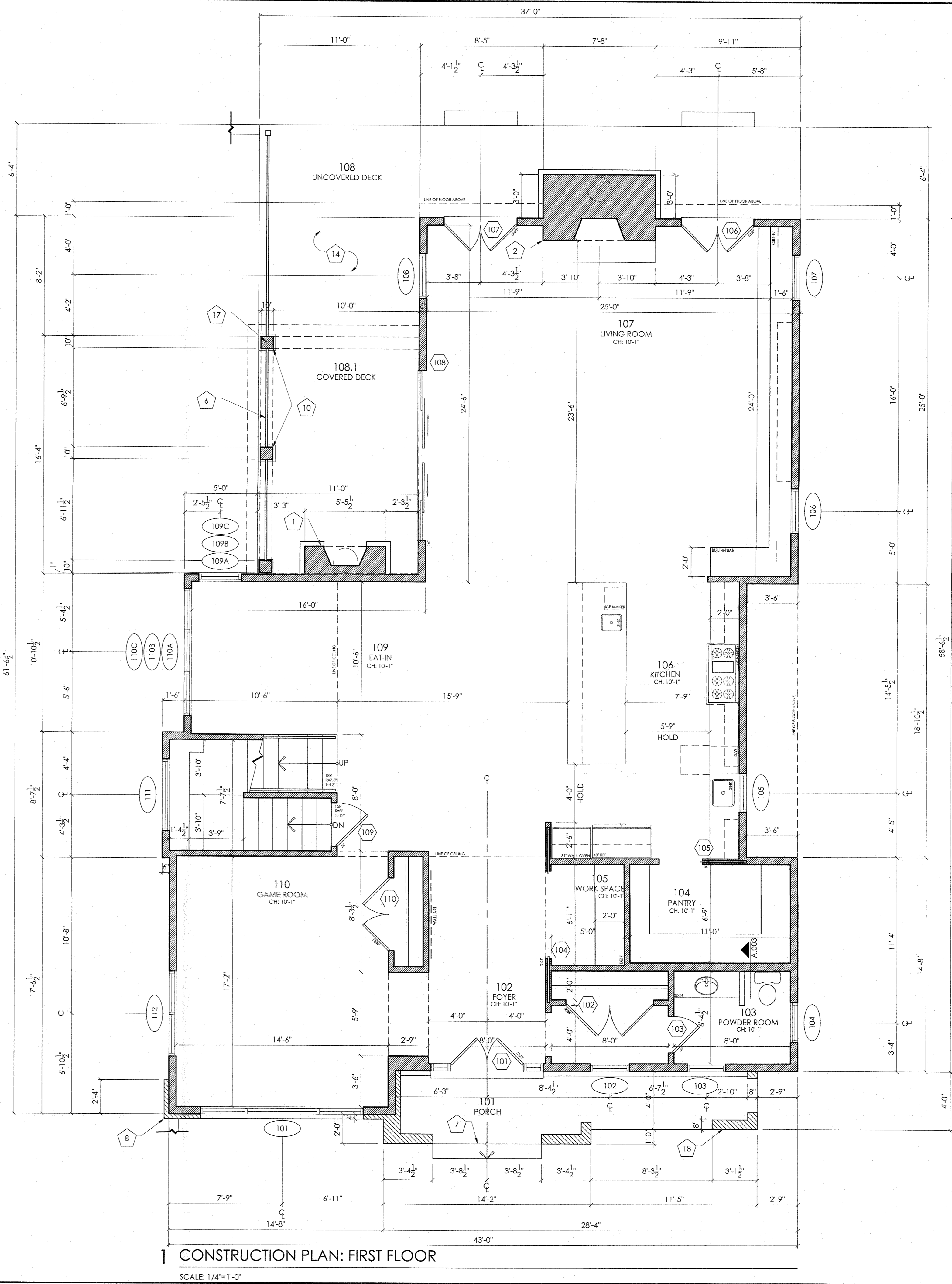
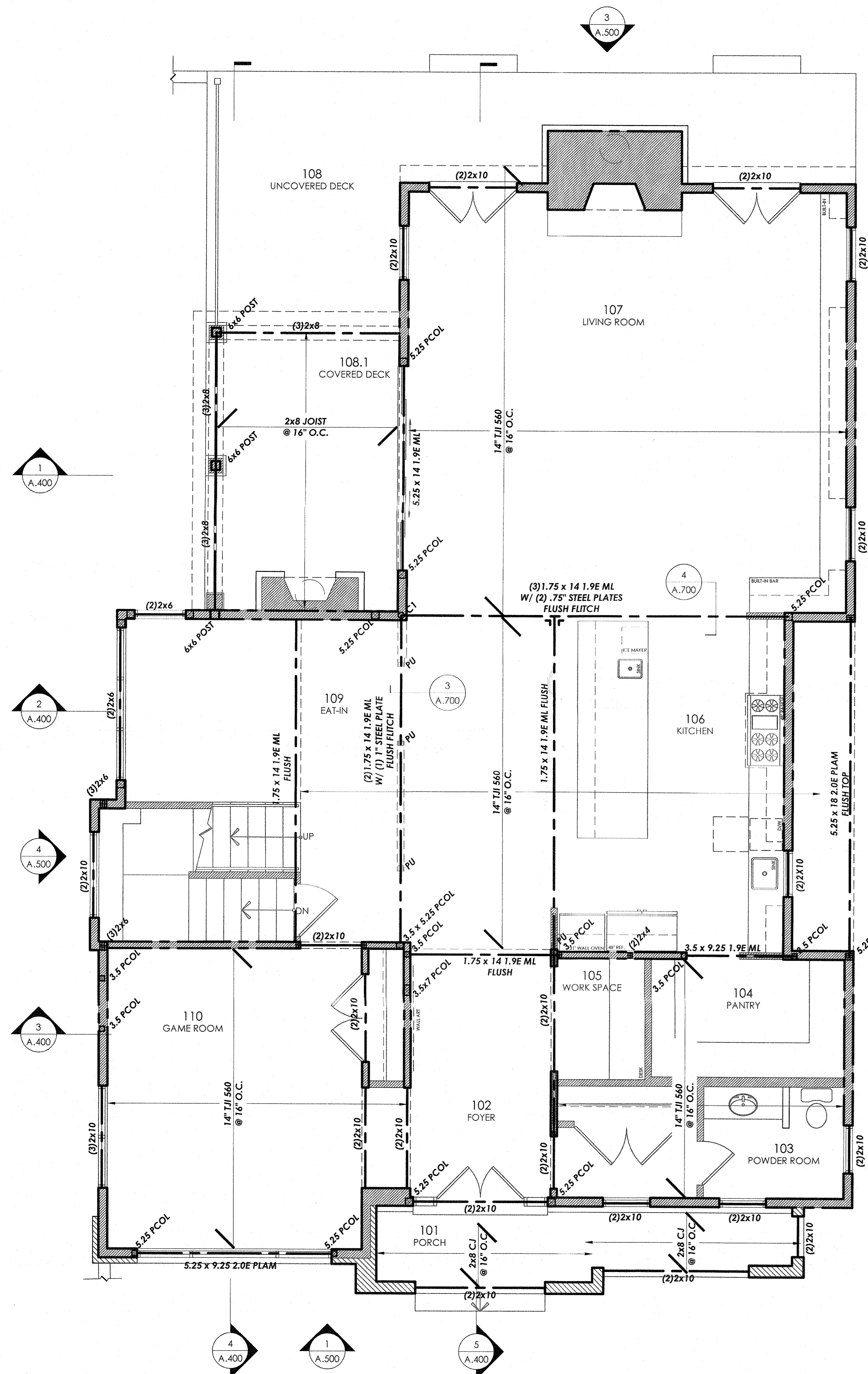
SEAL & SIGNATURE:

DATE: JUNE 17, 2019
 PROJECT NO.: 18-1004
 SCALE: AS NOTED
 DWS. BY: JLD/JIP
 CHK. BY: MP
 DWG NO.: A.200.1

MATTHEW PECORA, A.I.A.

NOTES

1. SEE A.200 FOR ALL STRUCTURAL NOTES.



CONSTRUCTION LEGEND

- 1 DIRECT VENT GAS FIRE PLACE TO BE SELECTED BY OWNER. GC TO INSTALL AS PER MANUFACTURER'S INSTRUCTIONS.
- 2 WOOD BURNING GAS IGNITED FIREPLACE TO BE SELECTED BY OWNER. GC TO INSTALL AS PER MANUFACTURER'S INSTRUCTIONS.
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ELEVATION DATUMS

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BASEMENT	-10'-3 1/2"
FIRST	0'-0"
SECOND	11'-4"
T.O. MAIN RIDGE	31'-1 1/2"

PECORA ARCHITECTURE
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 STATEN ISLAND, NY 10312
 Matt@Pecoraarch.com 718-490-7410

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REVISIONS:

NO.	DESCRIPTION	YEAR, MO, DA

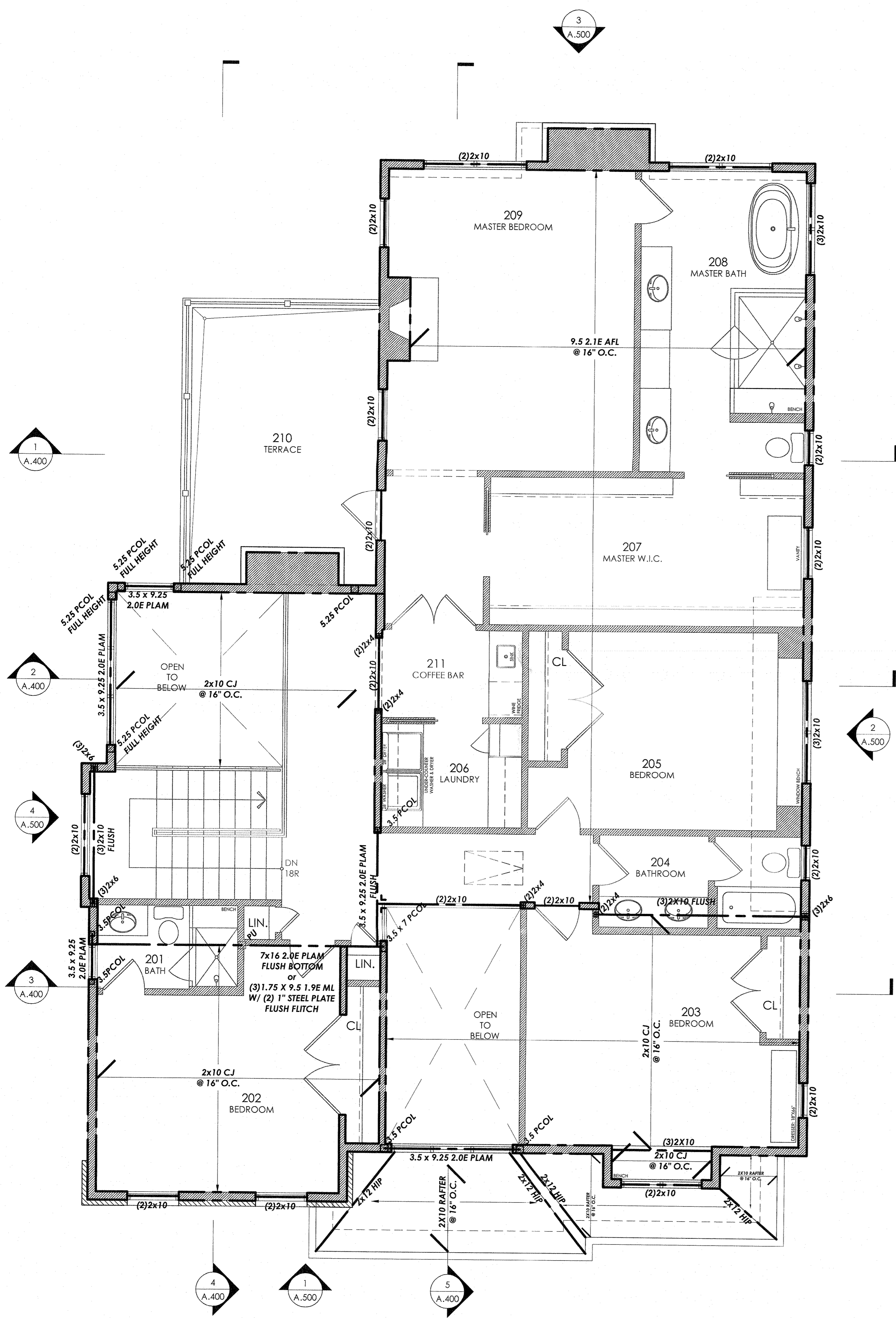
PROJECT: PROPOSED NEW HOUSE FOR
THE RUGGIERO FAMILY
 11 GOSWICK COURT
 SPARKILL, NY 10976

FLOOR OR FLOORS (IF APPLICABLE):
FIRST FLOOR
 CONSTRUCTION & FRAMING PLAN

SEAL & SIGNATURE: REGISTERED ARCHITECT, STATE OF NEW YORK, MATTW PEÇORA, A.I.A.

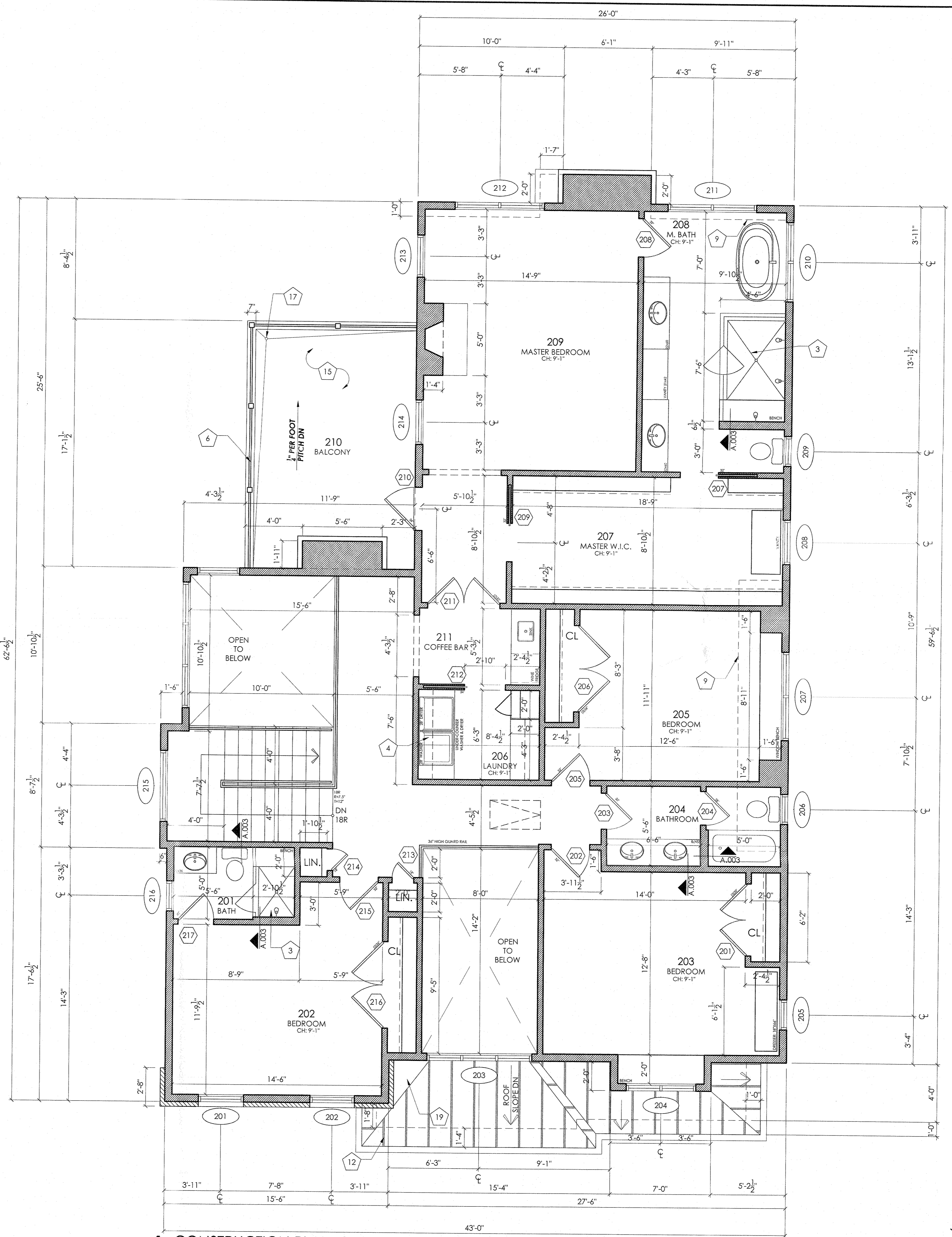
DATE: JUNE 17, 2019
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 SCALE: AS NOTED
 DWG. BY: JLD/JJP
 CHK. BY: MP
 DWG. NO.: A.201

NOTES
 1. SEE A.200 FOR ALL STRUCTURAL NOTES.



2 FRAMING PLAN: SECOND FLOOR

SCALE: 1/4"=1'-0"



1 CONSTRUCTION PLAN: SECOND FLOOR

SCALE: 1/4"=1'-0"

CONSTRUCTION LEGEND

- 1 DIRECT VENT GAS FIRE PLACE TO BE SELECTED BY OWNER. GC TO INSTALL AS PER MANUFACTURERS INSTRUCTIONS.
- 2 WOOD BURNING GAS IGNITED FIREPLACE TO BE SELECTED BY OWNER. GC TO INSTALL AS PER MANUFACTURER'S INSTRUCTIONS.
- 3 CUSTOM SHOWER WITH TEMPERED GLASS DOOR.
- 4 WASHER AND DRYER. OWNER TO SELECT. NEW WASHER MACHINE TO BE SET IN DRAINAGE BASIN WITH EMERGENCY SHUT OFF VALVE AND TRAP PRIMER. PROVIDE 4" DIA. EXHAUST FOR DRYER.
- 5 GC TO INSTALL (2) TWO LAYERS OF 5/8" TYPE "X" GWB AT THE UNDERSIDE OF GARAGE CEILING TO MAINTAIN A (1) ONE HOUR FIRE SEPARATION.
- 6 36" HIGH COMPOSITE RAILING SYSTEM TO BE SELECTED BY OWNER.
- 7 MASONRY STAIR W/ LIMESTONE TREADS.
- 8 BRICK VENEER TO BE SELECTED BY OWNER.
- 9 LINE OF FLOOR BELOW.
- 10 STRUCTURAL COLUMN WRAPPED IN AZEK TRIM. SEE DETAIL ON SHEET A.400.
- 11 SHINGLES TO BE SELECTED BY OWNER.
- 12 STANDING SEAM METAL ROOFING OVER 30# FELT @ 12" O.C., COLOR TO BE SELECTED BY OWNER.
- 13 EXTEND CHIMNEY 2'-0" ABOVE PROP. RIDGE. CHIMNEY TOPPER W/ BACK DRAFT STOPPER.
- 14 COMPOSITE DECKING TO BE SELECTED BY OWNER.
- 15 WATERPROOF VINYL MEMBRANE SYSTEM BY DURADECK OR EQUAL. PITCHED TOWARDS DRAIN.
- 16 5" CONT. ALUM. GUTTER WITH 4" ALUMINUM DOWNSPOUTS. OWNER TO SELECT FINISH.
- 17 FLOOR DRAIN TO INTERNAL COLUMN DRAIN.
- 18 8" WIDE MASONRY WALL
- 19 CRICKET

-ALL INTERIOR WALLS TO BE TYPE A-001, U.N.O. SEE WALL PARTITION SCHEDULE ON A.000 FOR WALL ASSEMBLIES.
 -SEE SHEET A.700 FOR DOOR AND WINDOW SCH.
 -SEE TYP. STAIR AND RAIL DETAIL 2 ON SH. A.600
 -SEE TYP WALL SECTIONS ON SHEET A.600
 -APPLIANCES TO BE SELECTED BY OWNER.
 -PLUMBING FIXTURES TO BE SELECTED BY OWNER.
 -FINISHES TO BE SELECTED BY OWNER.
 -CABINERY AND COUNTERTOPS TO BE SELECTED BY OWNER.
 -SHELVING SYSTEMS TO BE SELECTED BY OWNER.
 -ALL INTERIOR STAIRS TO BE STAINED OAK TREAD W/ PAINT GRADE PINE RISER, W/ CONTINUOUS WOOD HAND RAIL, SPACE HANDRAIL 1-1/2" FROM WALL. COLOR TO BE SELECTED BY OWNER.-ALL GUARD RAILS TO BE 36" A.F.F.

ELEVATION DATUMS

GARAGE	-10'-7"
BASEMENT	-10'-3 1/2"
FIRST	0'-0"
SECOND	11'-4"
T.O. MAIN RIDGE	31'-11"

PECORA ARCHITECTURE
 418 THORNycROFT AVE
 STATEN ISLAND, NY 10312
 Matt@Pecoraarch.com 718-490-7410

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DAILY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF NEW YORK AS SIGNIFIED BY MY HAND AND SEAL.

REVISIONS:

NO.	DESCRIPTION	YEAR/MO/DA

PROJECT: PROPOSED NEW HOUSE FOR
THE RUGGIERO FAMILY
 11 GOSWICK COURT
 SPARKILL, NY 10976

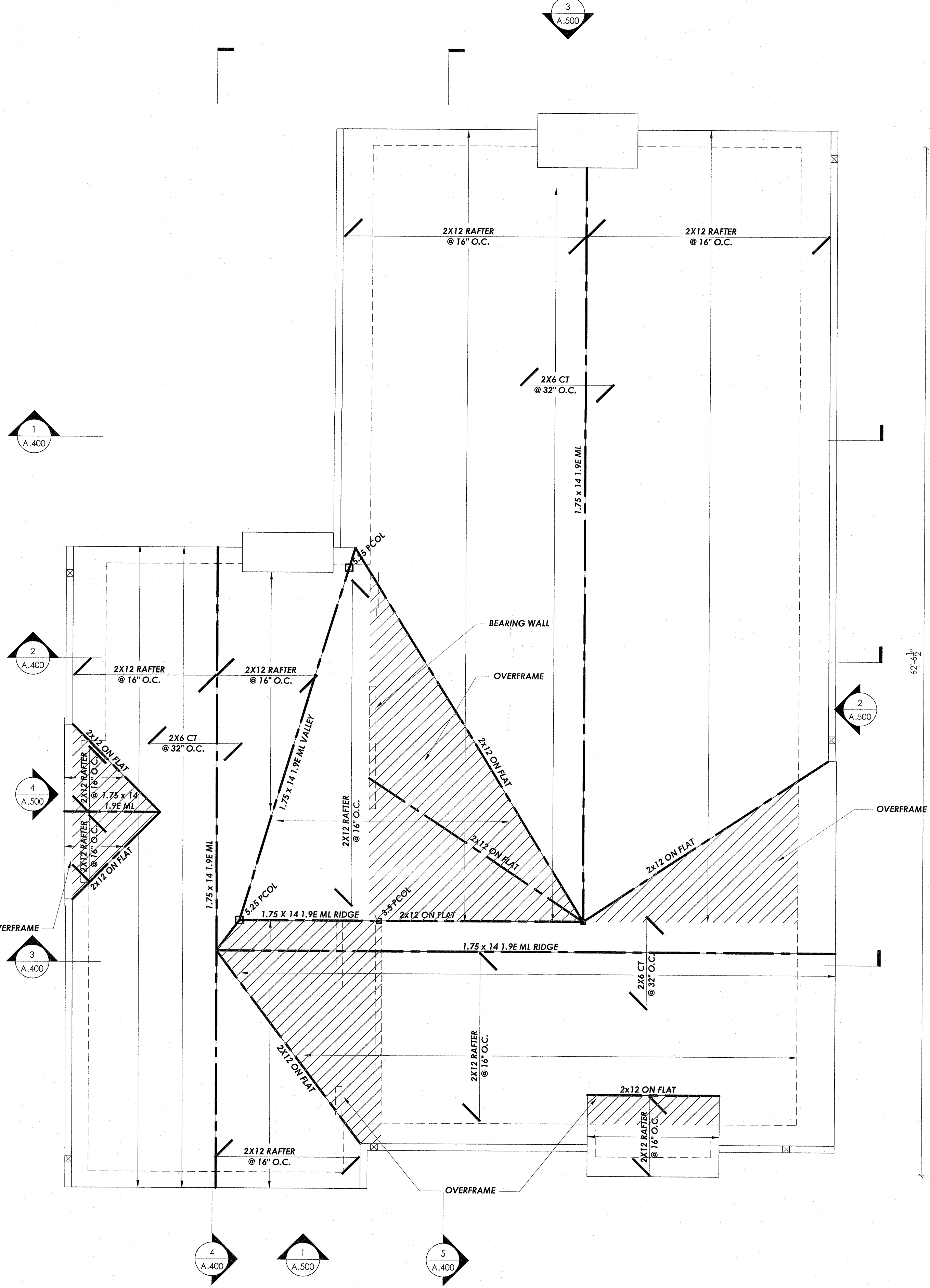
SECOND FLOOR
 CONSTRUCTION & FRAMING PLAN

SEAL & SIGNATURE:

DATE: JUNE 17, 2019
 PROJECT NO.: 18-1004
 SCALE: AS NOTED
 DWG BY: JLD/JR
 CHK BY: MP
 DWG NO.: A.202

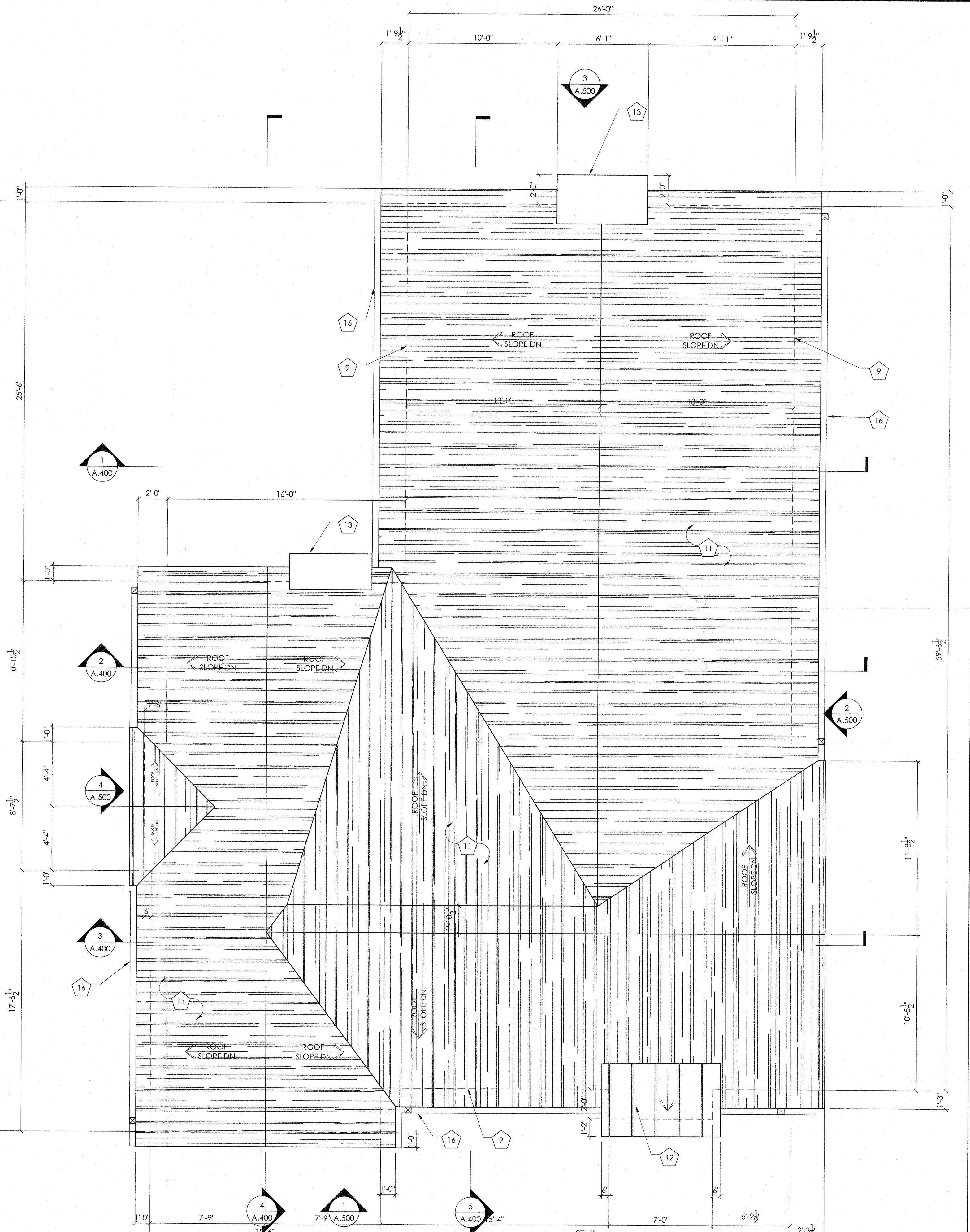
NOTES

1. SEE A.200 FOR ALL STRUCTURAL NOTES.



2 FRAMING PLAN: ROOF

SCALE: 1/4"=1'-0"



1 CONSTRUCTION PLAN: ROOF

SCALE: 1/4"=1'-0"

CONSTRUCTION LEGEND

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PECORA ARCHITECTURE
 418 THORNYCROFT AVE
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 Matt@Pecoraarch.com 718-490-7410
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REVISIONS:

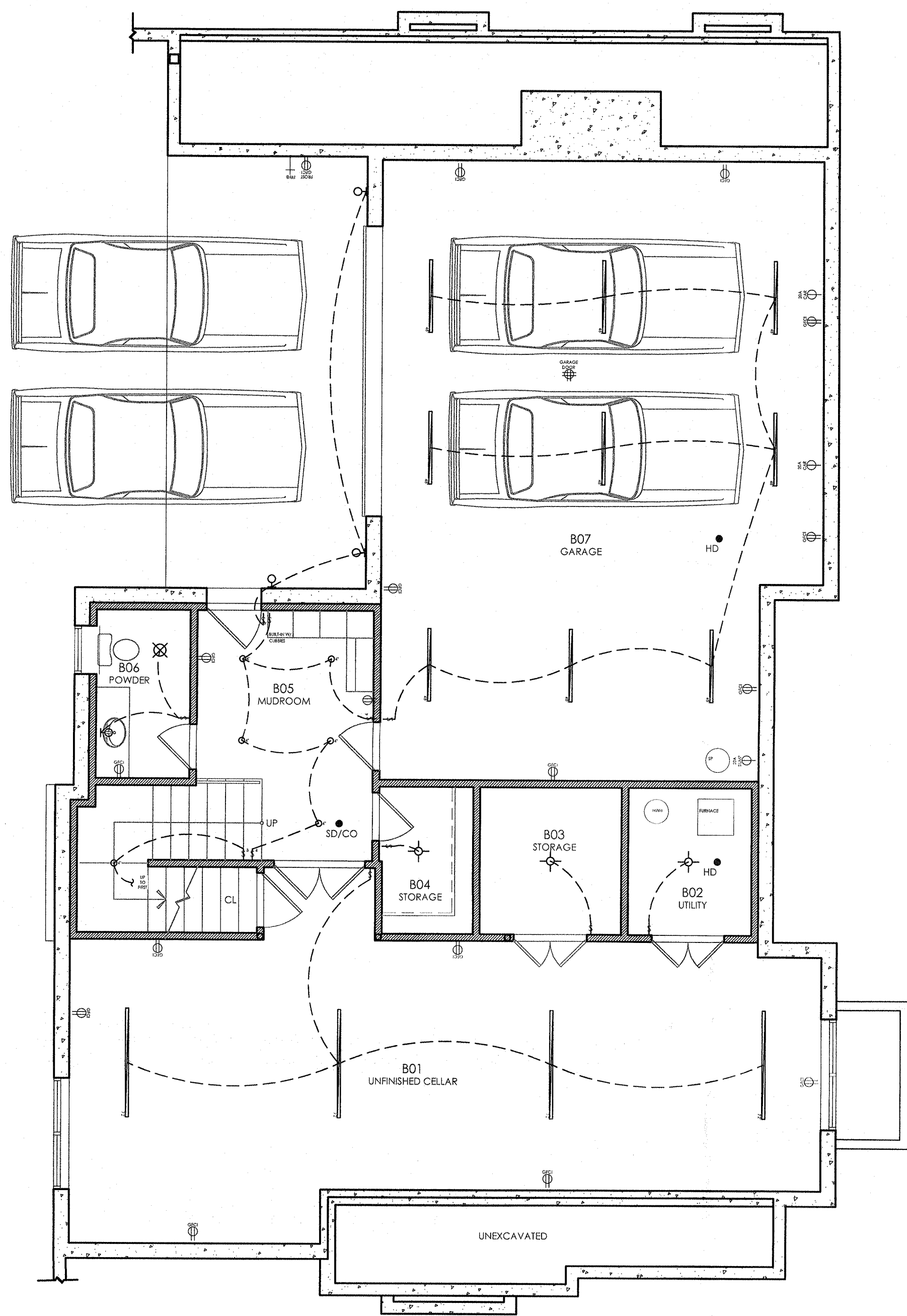
NO.	DESCRIPTION	YEAR/MO/DA

PROJECT: PROPOSED NEW HOUSE FOR
THE RUGGIERO FAMILY
 11 GOSWICK COURT
 SPARKILL, NY 10976

ROOF
 CONSTRUCTION & FRAMING PLAN

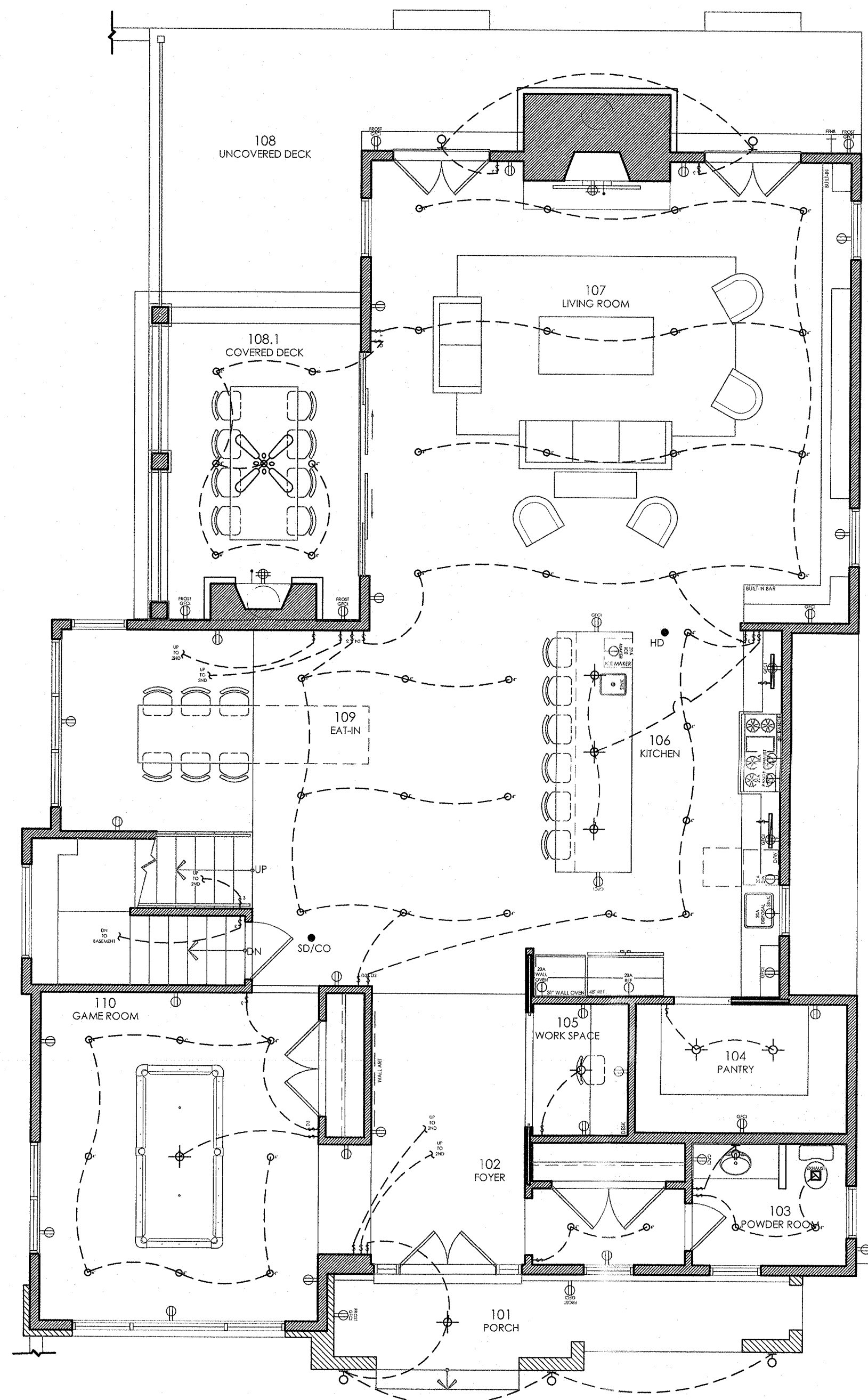
SEAL & SIGNATURE: DATE: JUNE 17, 2019
 PROJECT NO.: 18-1004
 SCALE: AS NOTED
 DWG. BY: JLD/JFP
 CHK. BY: MP
 DWG. NO.: A.203

MATTHEW PECORA, A.I.A.



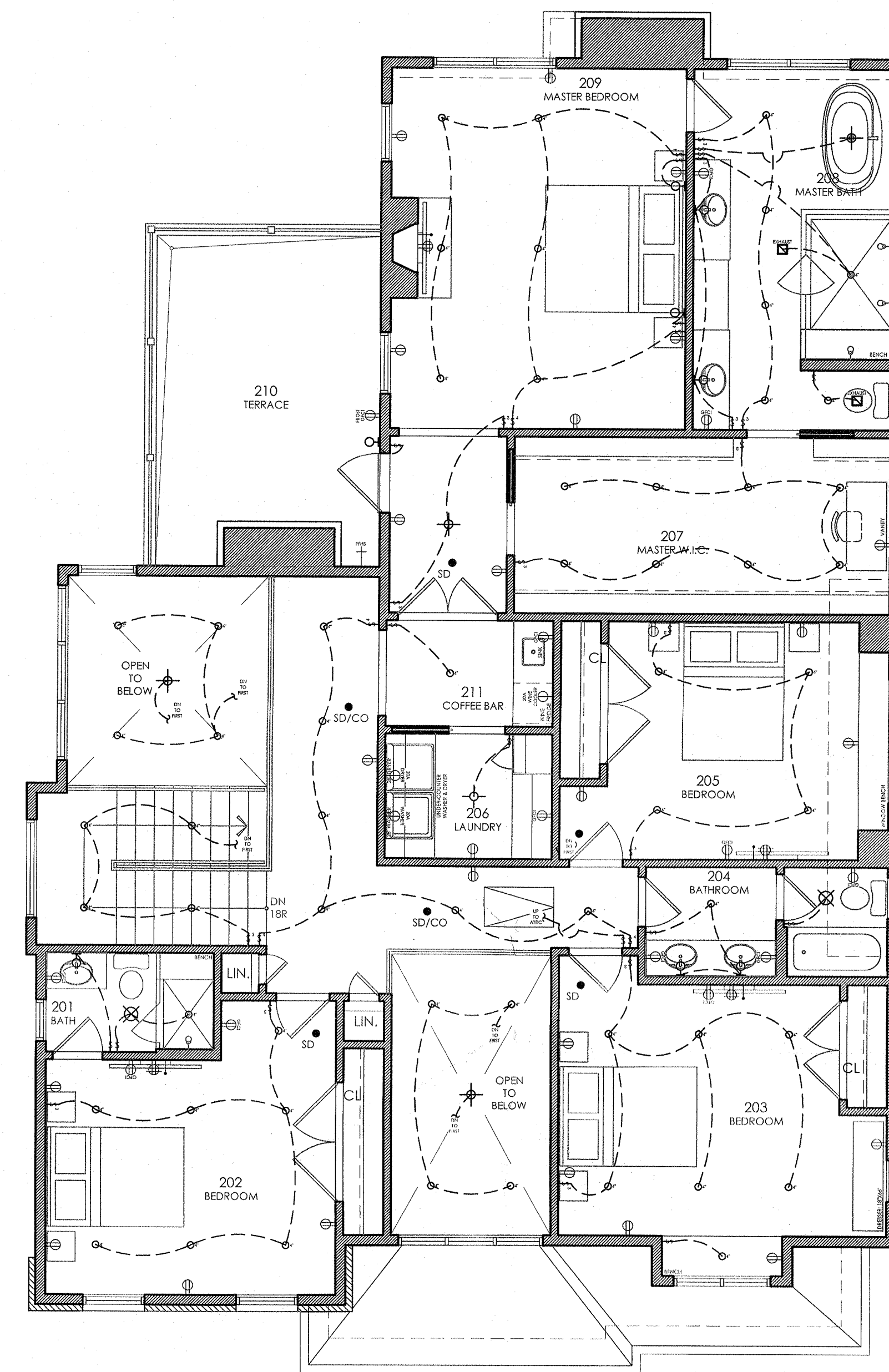
1 REFLECTED CEILING PLAN: BASEMENT

SCALE: 3/16"=1'-0"



2 REFLECTED CEILING PLAN: FIRST FLOOR

SCALE: 3/16"=1'-0"



3 REFLECTED CEILING PLAN: SECOND FLOOR

SCALE: 3/16"=1'-0"

ELECTRICAL SYMBOLS

- SYMBOLS:
- SWITCH
 - SWITCH - 3 WAY
 - SWITCH - DIMMER
 - SWITCH-LIGHT AND FAN COMBO
 - DEDICATED CIRCUIT
 - DUPLEX RECEPTACLE
 - QUADPLEX RECEPTACLE
 - FLOOR MOUNTED RECEPTACLE
 - DOG HOUSE RECEPTACLE
 - 3 - WIRE 220V RECEPTACLE
 - TELEPHONE
 - DATA
 - TELEPHONE/DATA
 - CABLE
 - CH COUNTER HEIGHT
 - CV CENTRAL VAC
 - FV FLOOR VENT
 - GFCI GROUND FAULT CIRCUIT INTERRUPT
 - HD HEAT DETECTOR
 - U/C LOCATE UNDER CABINET
 - SD HARDWIRED SMOKE DETECTOR W/ BATTERY BACK-UP
 - CO HARDWIRED CARBON MONOXIDE DETECTOR W/ BATTERY BACK-UP
 - HD HARDWIRED THERMAL DETECTOR W/ BATTERY BACK-UP
 - FLUORESCENT
 - RECESSED
 - RECESSED WALL WASHER
 - WALL-MOUNTED/SCONCE
 - OCCUPANCY SENSOR
 - CEILING MOUNTED
 - PENDANT
 - EXTERIOR FLOOD LIGHTING
 - EXHAUST FAN / LIGHT COMBO
 - EXHAUST FAN
 - PINHOLE
 - PINHOLE UNDER COUNTER
 - VACUUM OUTLET
 - CEILING FAN
 - CEILING FAN W/ LIGHTS

SMOKE DETECTOR AND CARBON MONOXIDE ALARM COMPLIANCE

- IN BUILDINGS OF USE GROUP R-3, R-4, AND R-5 AND IN DWELLING UNITS OF USE GROUP R-2, SMOKE DETECTORS TO BE PRESENT ON EACH LEVEL OF THE RESIDENCE AND LOCATED IN ACCORDANCE WITH NFPA 72. SMOKE DETECTORS SHOULD BE OUTSIDE EACH SEPARATE SLEEPING AREA IN IMMEDIATE VICINITY OF THE BEDROOMS AND LOCATED ON OR NEAR THE CEILING. CARBON MONOXIDE ALARMS TO BE PRESENT OUTSIDE EACH SEPARATE SLEEPING AREA AND INSTALLED PER NFPA 720. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ALL DEVICES ARE TO BE SIEMENS.
- PROVIDE INTERCONNECTED SMOKE DETECTORS & CARBON MONOXIDE WITH EMERGENCY BATTERY BACK-UP AS INDICATED ON PLANS AND/OR REQUIRED BY CODE.
- SMOKE DETECTOR ALARMS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS EVEN IF NOT SHOWN ON DRAWINGS:
 - ONE IN THE BASEMENT
 - ONE IN THE COMMON AREA OF THE FIRST FLOOR
 - ONE IN THE COMMON AREA OF THE SECOND FLOOR
- CARBON MONOXIDE ALARMS ARE TO BE PROVIDED IN THE IMMEDIATE VICINITY OF ALL SLEEPING ROOMS IN BUILDINGS, CLASSIFIED UNDER USE GROUPS AS I-1, R-1, R-2, R-3, R-4 AND R-5 WHICH CONTAIN FUEL BURNING APPLIANCES OR HAVE ATTACHED GARAGES.
- HEAT DETECTORS ARE TO BE PROVIDED IN THE VICINITY OF MECHANICAL EQUIPMENT ROOMS.
- 5-23-6.23 ADDITIONS
- WHENEVER AN ADDITION IS MADE TO A DETACHED SINGLE FAMILY DWELLING OF GROUP R-3 OR R-5, SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:
 - IF THE CUMULATIVE AREA OF ALL FLOORS OR THE ADDITION(S) IS 25 PERCENT OR MORE OF THE FLOOR AREA OF THE LARGEST FLOOR OF THE EXISTING BUILDING, SMOKE ALARMS SHALL BE INSTALLED THROUGHOUT THE ADDITION AND THE EXISTING BUILDING.
 - IF THE CUMULATIVE AREA OF ALL FLOORS OF THE ADDITION(S) IS FIVE PERCENT OR MORE, BUT LESS THAN 25

PERCENT, OF THE FLOOR AREA OF THE LARGEST FLOOR OF THE EXISTING BUILDING, HARDWIRED, INTERCONNECTED SMOKE ALARMS WITH BATTERY BACK-UP MEETING THE REQUIREMENTS OF NFPA 72 SHALL BE INSTALLED AND MAINTAINED IN EACH STORY IN THE DWELLING UNIT, INCLUDING BASEMENTS.

ELECTRICAL NOTES

- G.C. TO INCLUDE ALL LABOR AND MATERIAL FOR LIGHT FIXTURES SPECIFIED, U.N.O.
- G.C. TO REVIEW & VERIFY ALL LOCATIONS OF PHONE JACKS AND CATV. PORTS WITH OWNER PRIOR TO ROUGHING. VERIFY THAT ALL PHONE AND CABLE JACKS ARE IN WORKING CONDITION.
- ALL FIXTURES TO BE LIGHTLOUER, U.N.O. ALL SWITCHES, JACKS AND OUTLET PLATES, ETC. TO BE LUTRON U.N.O. SEE SPECIFICATIONS.
- FOR FIXTURES WITH MANUFACTURER LISTED AS "BY OWNER," GC IS TO PROVIDE LABOR AND MATERIALS REQUIRED FOR INSTALLATION ONLY. OWNER OR OTHERS SHALL PROVIDE THESE FIXTURES.
- EXISTING ELECTRICAL PANEL TO REMAIN. ELECTRICAL CONTRACTOR TO VERIFY ADEQUACY AND REPLACE OR UPGRADE AS REQUIRED.
- GFI OUTLETS TO BE INSTALLED AS REQUIRED BY CODE, EVEN IF NOT INDICATED ON PLANS. AREAS REQUIRING GFI OUTLETS ARE AS FOLLOWS:
 - BATHROOM RECEPTACLES
 - RESIDENTIAL GARAGE DISPOSAL RECEPTACLES
 - OUTDOOR RECEPTACLES
 - RECEPTACLES IN UNFINISHED BASEMENTS & CRAWL SPACES
 - RECEPTACLES WITHIN SIX FEET OF A SHOWER, TUB, KITCHEN OR BAR SINK.
 - RECEPTACLES IN LAUNDRY AREAS
- ELECTRICAL CONTRACTOR TO COORDINATE NEW CIRCUIT LAYOUT WITH LAYOUT OF EXISTING ELEC. PANEL.
- ALL WORK MUST COMPLY WITH THE NATIONAL ELECTRICAL CODE AND THE NY ED. 2015 STATE CODE AND THE PROVISION OF THE NFPA 70, CHAPTER 35.
- CONTRACTOR TO FURNISH AND INSTALL BOXES, FITTING, DEVICES AND MANUFACTURER ACCESSORIES, ADAPTERS AND ALL OTHER MATERIALS AND EQUIPMENT REQUIRED FOR A COMPLETE ELECTRICAL INSTALLATION.
- ALL MATERIALS REQUIRED FOR THE JOB MUST BE UL LISTED.
- CONTRACTOR TO VERIFY ADEQUACY OF EXISTING SERVICE AND REPLACE AS REQUIRED.
- WHERE MORE THAN ONE SWITCH OCCURS AT IN THE SAME LOCATION, G.C. TO INSTALL SWITCHES IN GANG BOX UNDER A SINGLE COVER PLATE.
- CONSULT WITH CONTRACTORS FURNISHING HVAC EQUIPMENT TO VERIFY LOADS AND SECURE.
- VERIFY FINAL LOCATION OF TELEPHONE AND CABLE HOOKUPS WITH OWNER PRIOR TO COMMENCING WORK.
- MAKE ALL FINAL CONNECTIONS TO ALL CONTROLS, OWNER SUPPLIED EQUIPMENT, MECHANICAL AND PLUMBING EQUIPMENT AS REQUIRED.
- SHOWER LIGHT FIXTURES MUST BE LABELED APPROVED FOR WET LOCATION USE.
- 50% OF ALL LIGHT FIXTURES MUST BE ENERGY EFFICIENT.
- FIXTURES IN CLOSETS TO BE SHATTER-PROOF, TYP.
- ELECTRICAL CONTRACTOR TO PROVIDE ARC-FAULT CIRCUIT-INTERRUPTER (AFCI) OUTLETS IN ALL ROOMS EXCEPT BATHROOMS, UNFINISHED BASEMENTS, GARAGES, AND OUTDOORS. PROTECTION CAN COME FROM WITHER AN AFCI BREAKER OR AN AFCI RECEPTACLE INSTALLED IN THE FIRST OUTLET BOX ON A BRANCH CIRCUIT.
- EACH VEHICLE SPACE IN GARAGE TO HAVE (1) GFCI-PROTECTED RECEPTACLE. ALL CIRCUITS SERVING RECEPTACLES IN THE GARAGE CAN SERVE NO OTHER INDOOR OR OUTDOOR LOCATIONS.
- ALL SWITCH LOCATIONS ARE REQUIRED TO HAVE A NEUTRAL (GROUNDED CONDUCTOR) IN THE BOX.



718-490-7410

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REVISIONS:

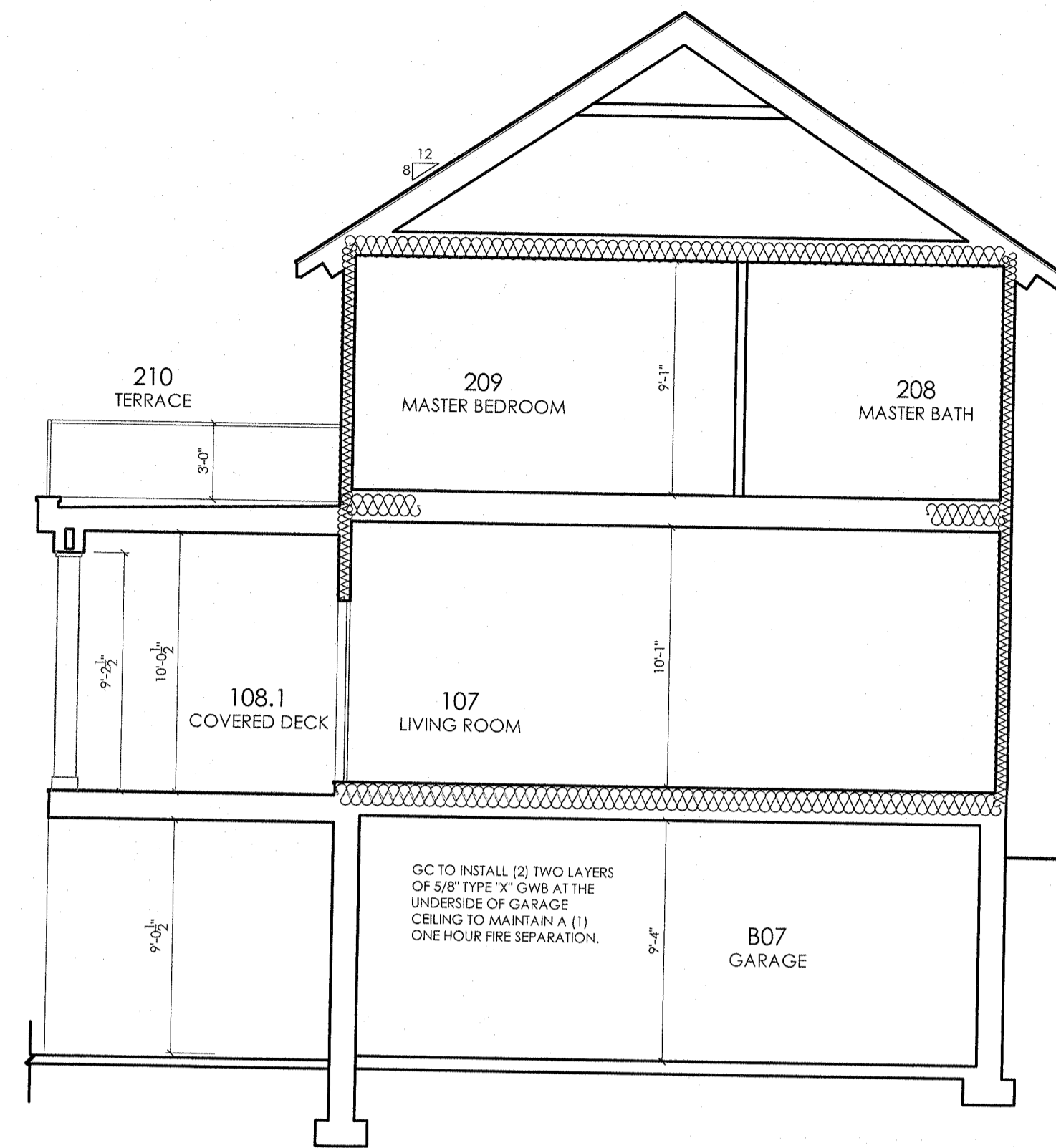
NO.	DESCRIPTION	YEAR/MO/DA

PROJECT: PROPOSED NEW HOUSE FOR THE RUGGERIO FAMILY, 11 GOSWICK COURT, SPARKILL, NY 10976

FLOOR OR FLOORS (IF APPLICABLE): CELLAR - ATTIC, REFLECTED POWER & CEILING PLANS

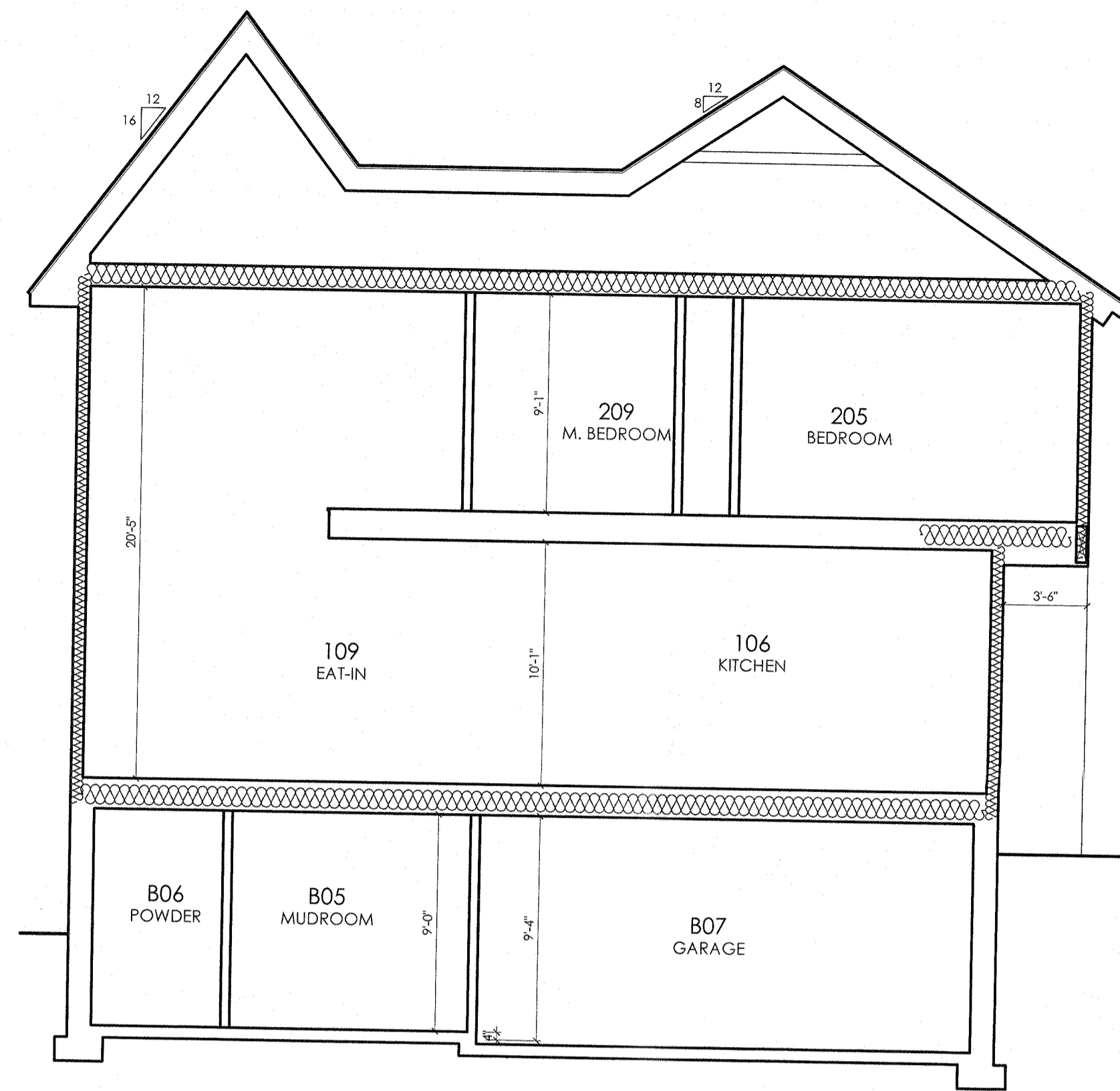
SEAL & SIGNATURE: REGISTERED ARCHITECT, STATE OF NEW YORK, MATTHEW PECORA, A.I.A.

DATE: JUNE 17, 2019
 PROJECT NO.: 18-1004
 SCALE: AS NOTED
 DWG. BY: JLD/JFP
 CHK. BY: MF
 DWG. NO.: A.300



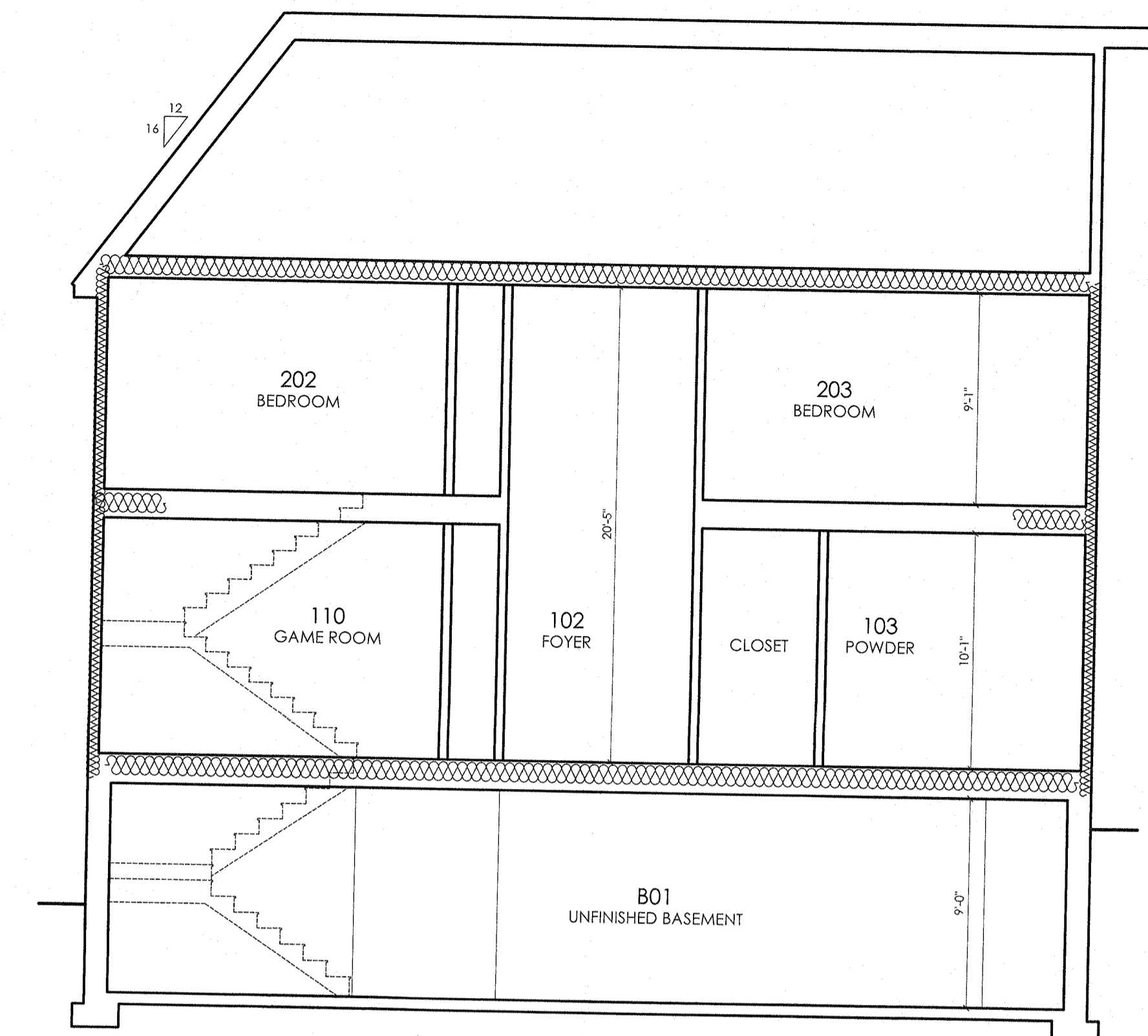
1 DIAGRAMMATIC SECTION

SCALE: 3/16" = 1'-0"



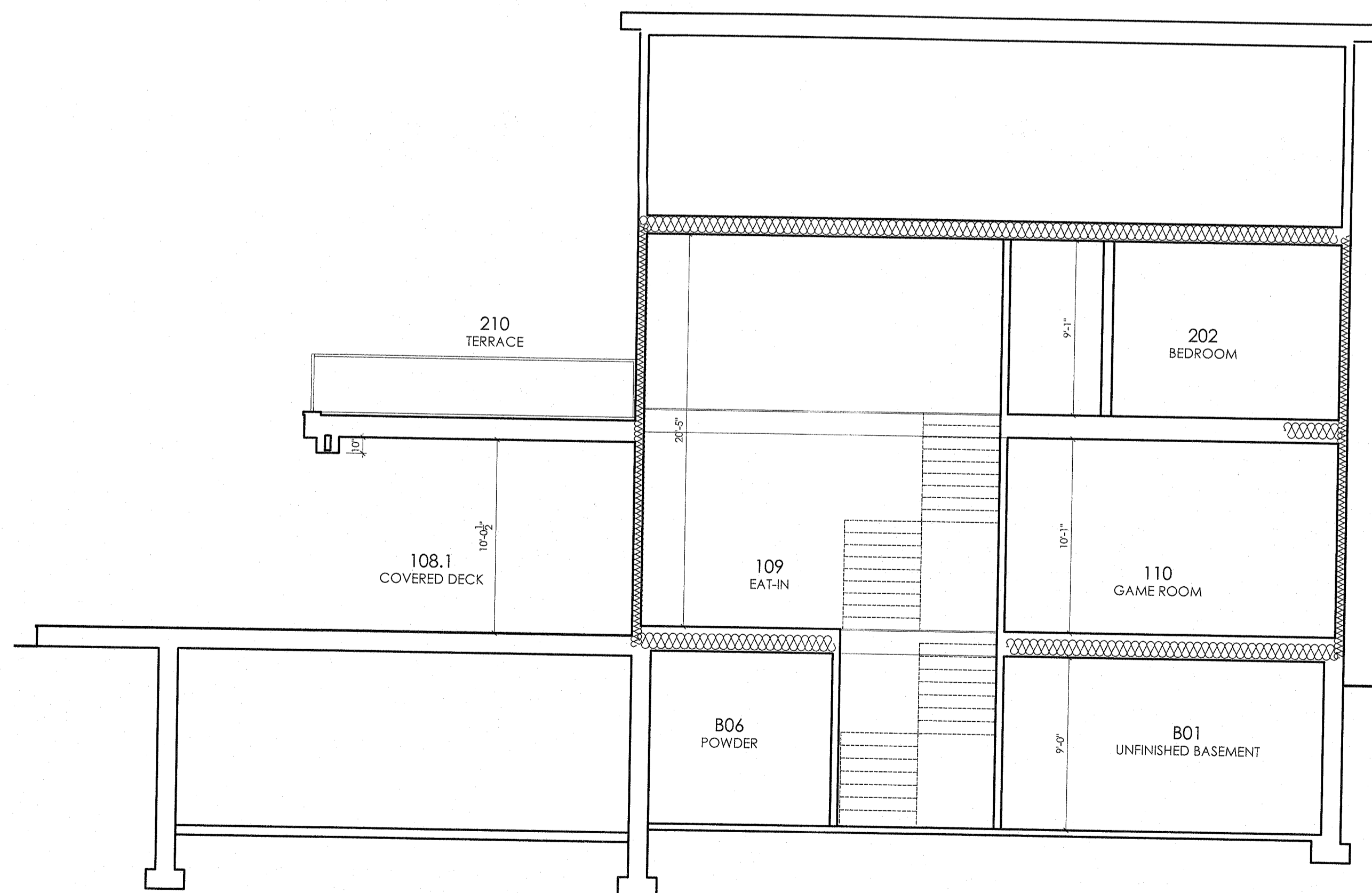
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SCALE: 3/16" = 1'-0"



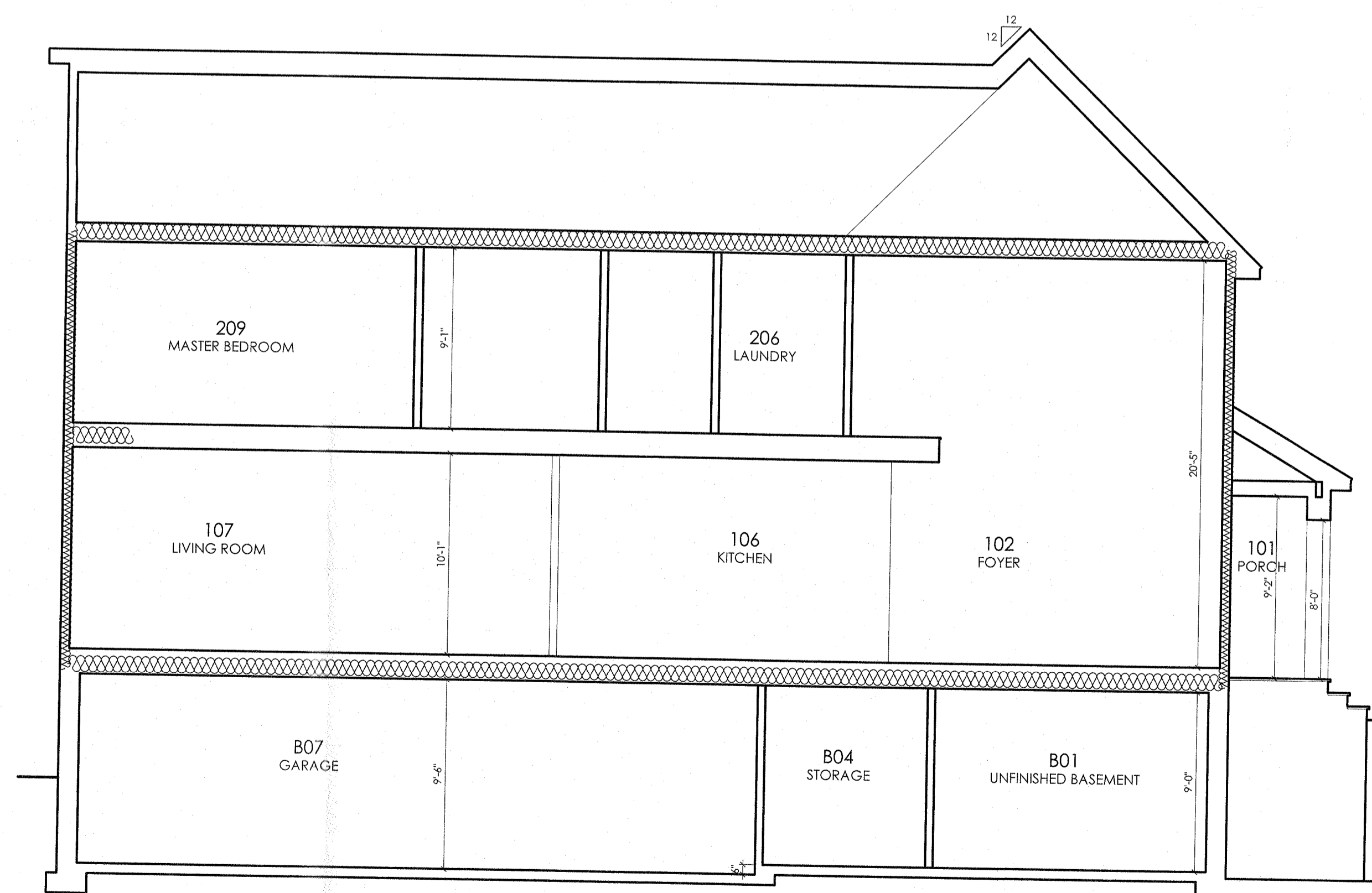
3 DIAGRAMMATIC SECTION

SCALE: 3/16" = 1'-0"



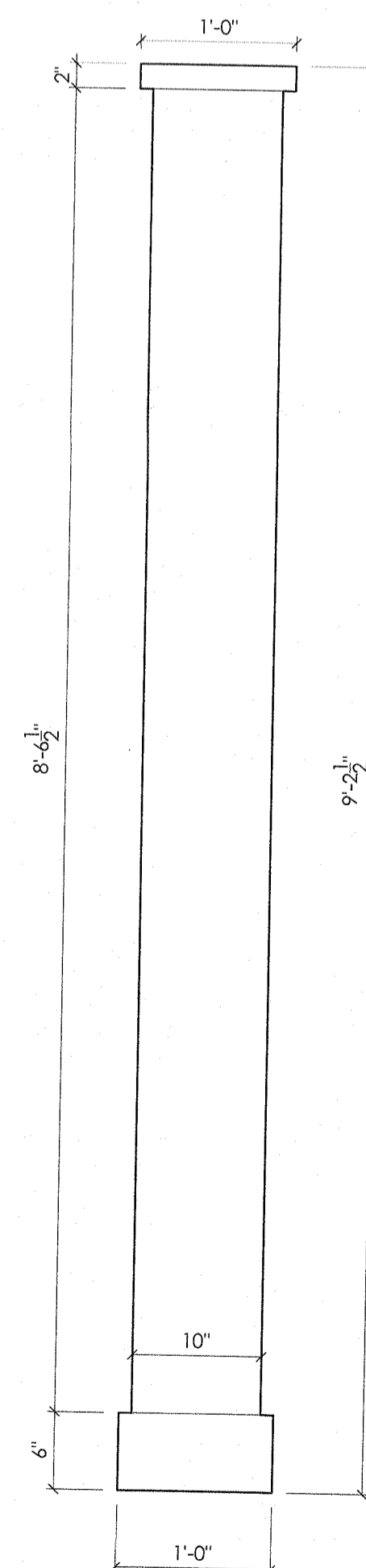
4 DIAGRAMMATIC SECTION

SCALE: 3/16" = 1'-0"



5 DIAGRAMMATIC SECTION

SCALE: 3/16" = 1'-0"



6 COLUMN DETAIL

SCALE: 1" = 1'-0"

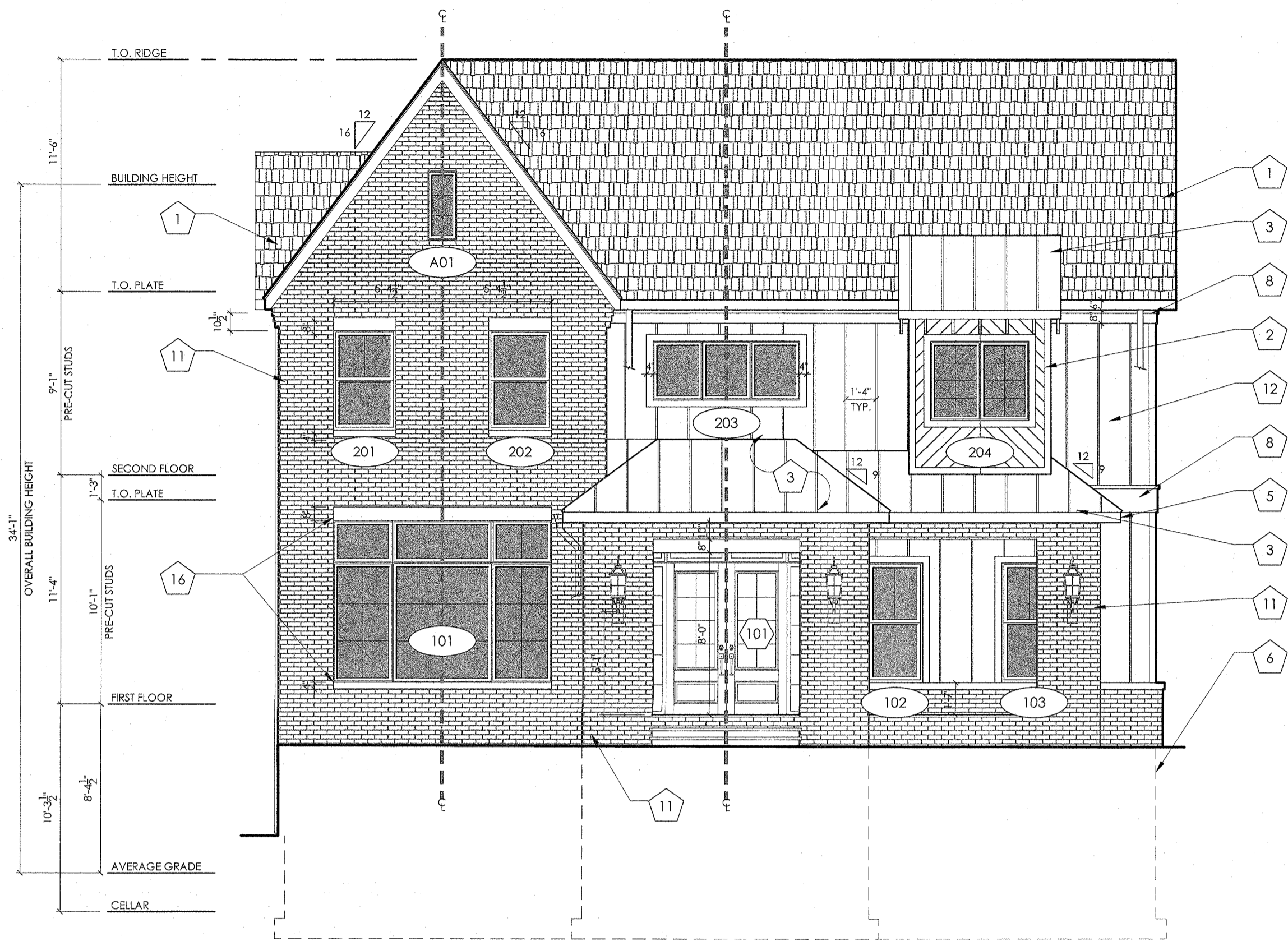


Matt@Pecoraarch.com 718-490-7410
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NO.	DESCRIPTION	YEAR, MO, DA
PROJECT: PROPOSED NEW HOUSE FOR THE RUGGERO FAMILY 11 GOSWICK COURT SPARKILL, NY 10976		
FLOOR OR FLOORS (IF APPLICABLE):		

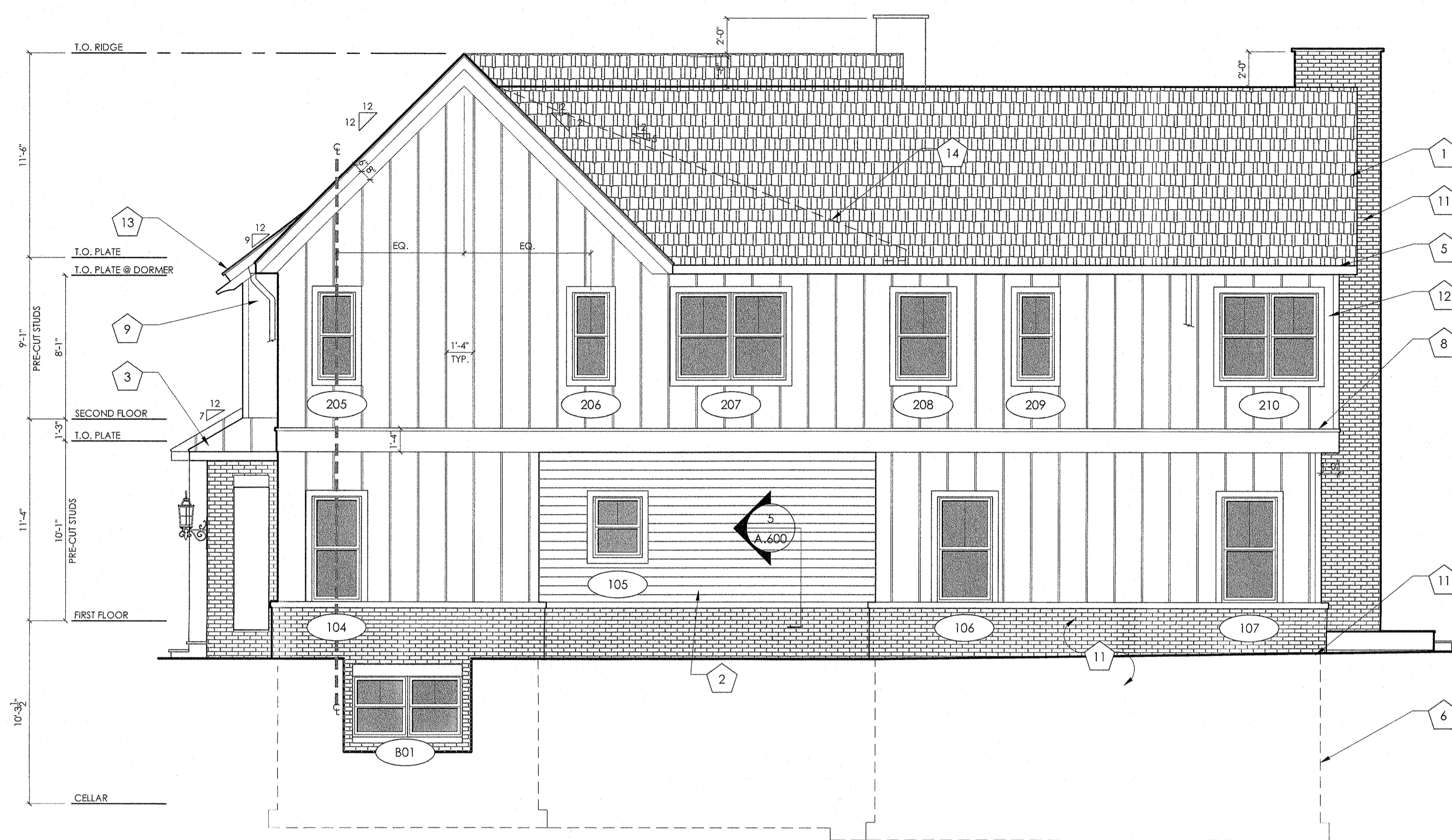
DIAGRAMMATIC SECTIONS

SEAL & SIGNATURE: [Signature] REGISTERED ARCHITECT STATE OF NEW YORK
 DATE: JUNE 17, 2019
 PROJECT NO.: 18-1004
 SCALE: AS NOTED
 DWG. BY: JLD/JIP
 CHK. BY: MP
 DWG. NO.:
 A.400
 MATTHEW PECORA, A.I.A.



1 FRONT ELEVATION

SCALE: 3/16"=1'-0"



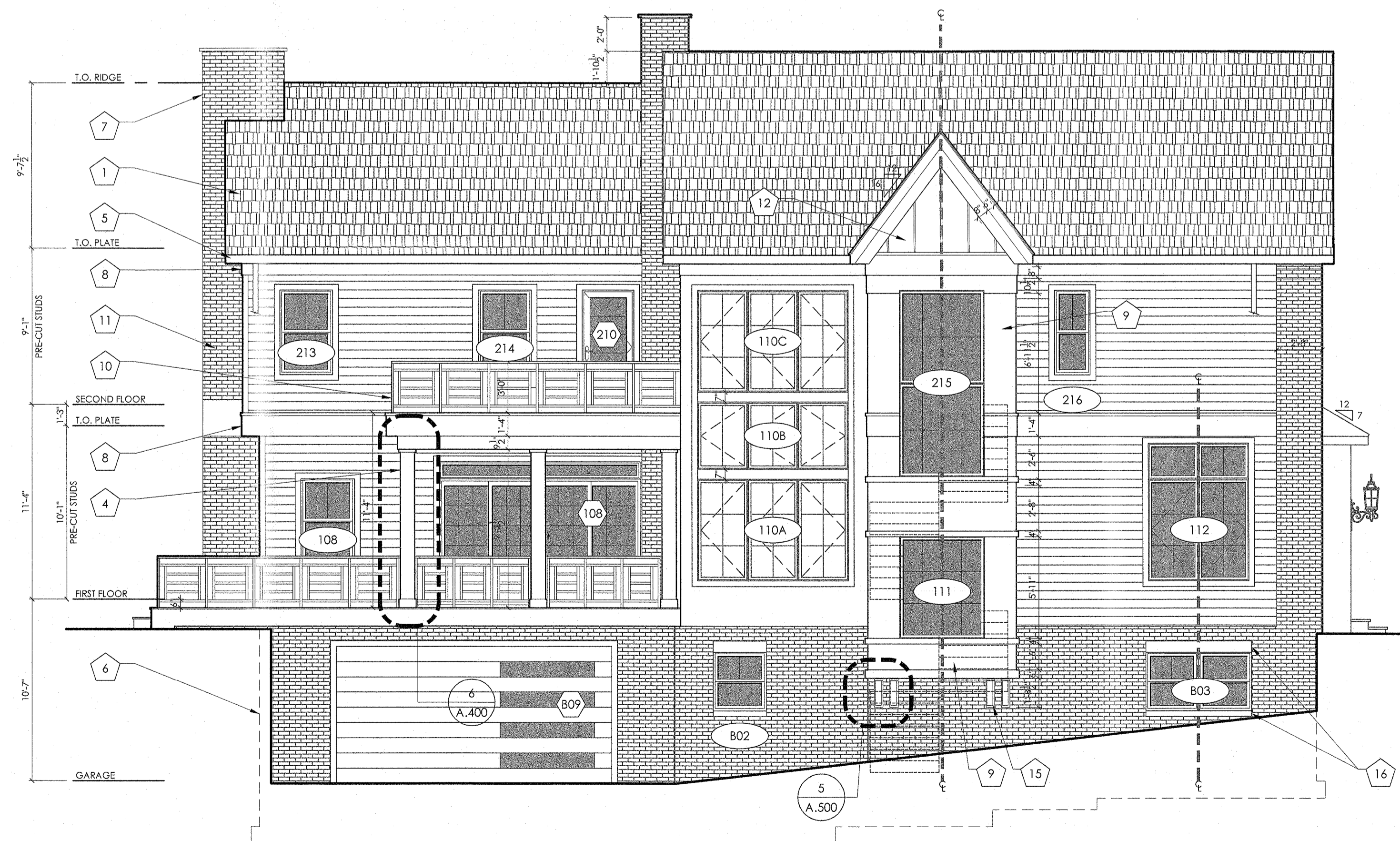
2 RIGHT ELEVATION

SCALE: 3/16"=1'-0"



3 REAR ELEVATION

SCALE: 3/16"=1'-0"

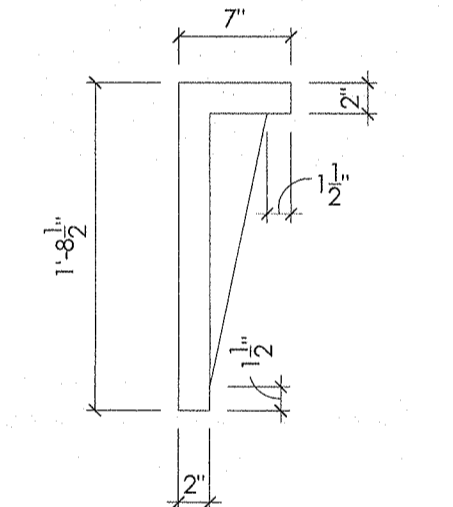
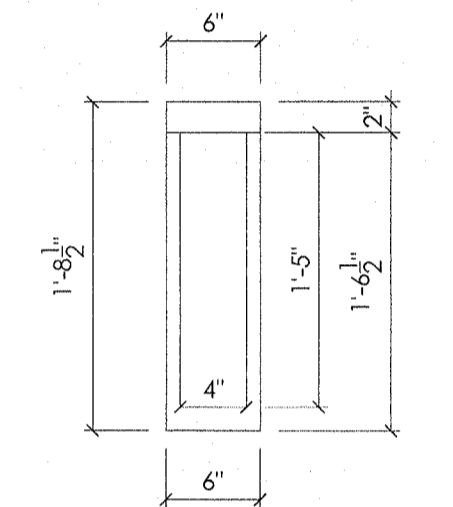


4 LEFT ELEVATION

SCALE: 3/16"=1'-0"

ELEVATION LEGEND

- 1 SHINGLES TO BE SELECTED BY OWNER.
- 2 SIDING TO BE SELECTED BY OWNER
- 3 STANDING SEAM METAL ROOFING OVER 30# FELT @ 12" O.C., COLOR TO BE SELECTED BY OWNER.
- 4 STRUCTURAL COLUMN AS SELECTED. SEE DETAIL ON A.400.
- 5 5" CONT. ALUM. GUTTER WITH 4" ALUMINUM DOWNSPOUTS. OWNER TO SELECT FINISH.
- 6 LINE OF FOOTING.
- 7 EXTEND EXISTING CHIMNEY 2'-0" ABOVE PROPOSED RIDGE.
- 8 AZEK TRIM
- 9 AZEK PANEL
- 10 HANDRAIL AS SELECTED BY OWNER. SET MIN. 36" ABOVE FINISH SURFACE.
- 11 BRICK TO BE SELECTED BY OWNER.
- 12 BOARD & BATTEN.
- 13 RAFTER TAIL.
- 14 ROOF BEYOND.
- 15 DECORATIVE BRACKET, AS SELECTED.
- 16 PRECAST LIMESTONE HEADER & SILL.



5 BRACKET DETAIL

SCALE: 1"=1'-0"

PECORA ARCHITECTURE
 418 THORNCREFT AVE
 STATEN ISLAND, NY 10312

Matt@Pecoraarch.com 718-490-7410
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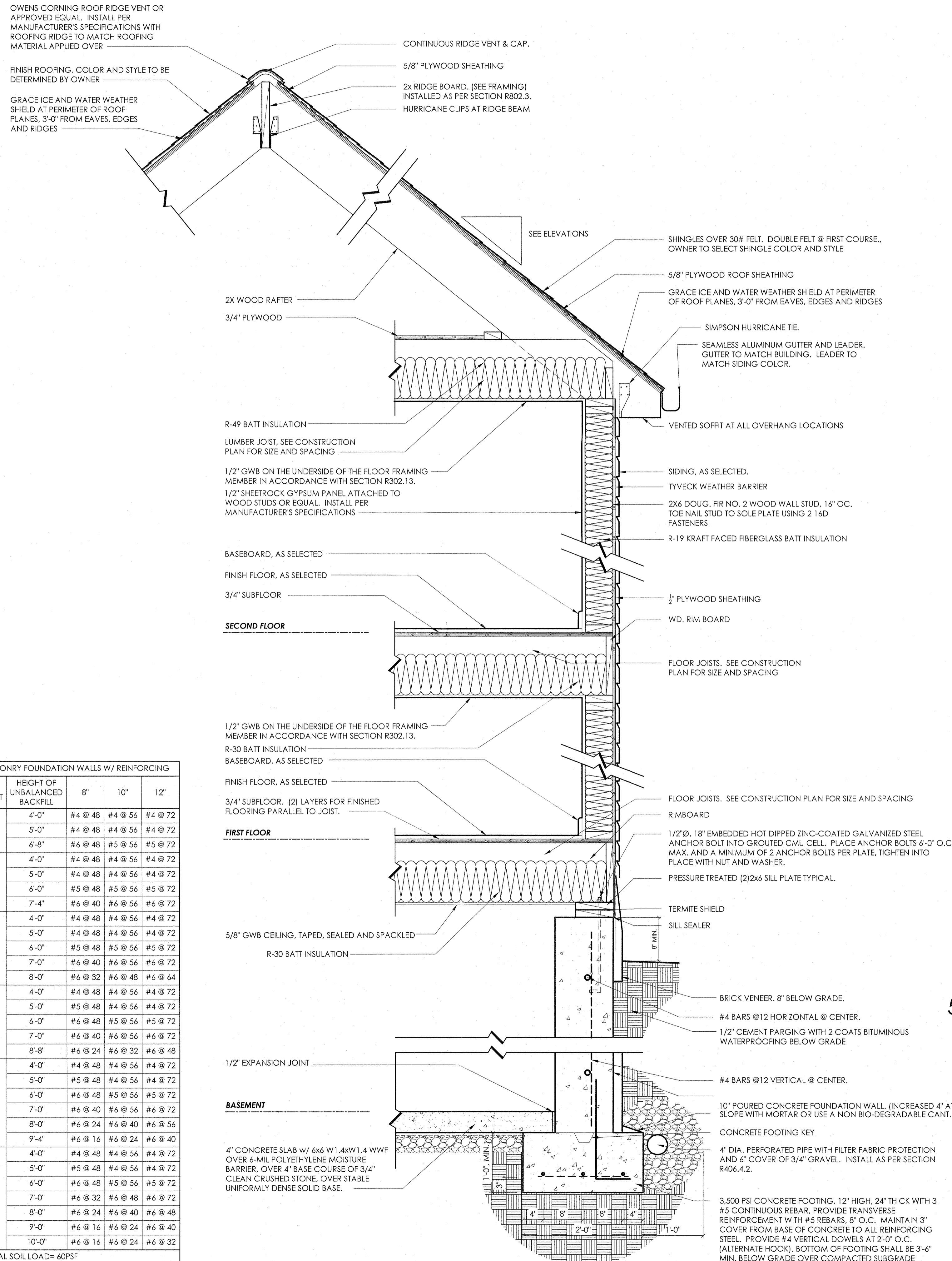
REVISIONS:

NO.	DESCRIPTION	YEAR MO. DA.

PROJECT: PROPOSED NEW HOUSE FOR
THE RUGGIERO FAMILY
 11 GOSWICK COURT
 SPARKILL, NY 10976

FLOOR OR FLOORS (IF APPLICABLE):
 EXTERIOR ELEVATIONS

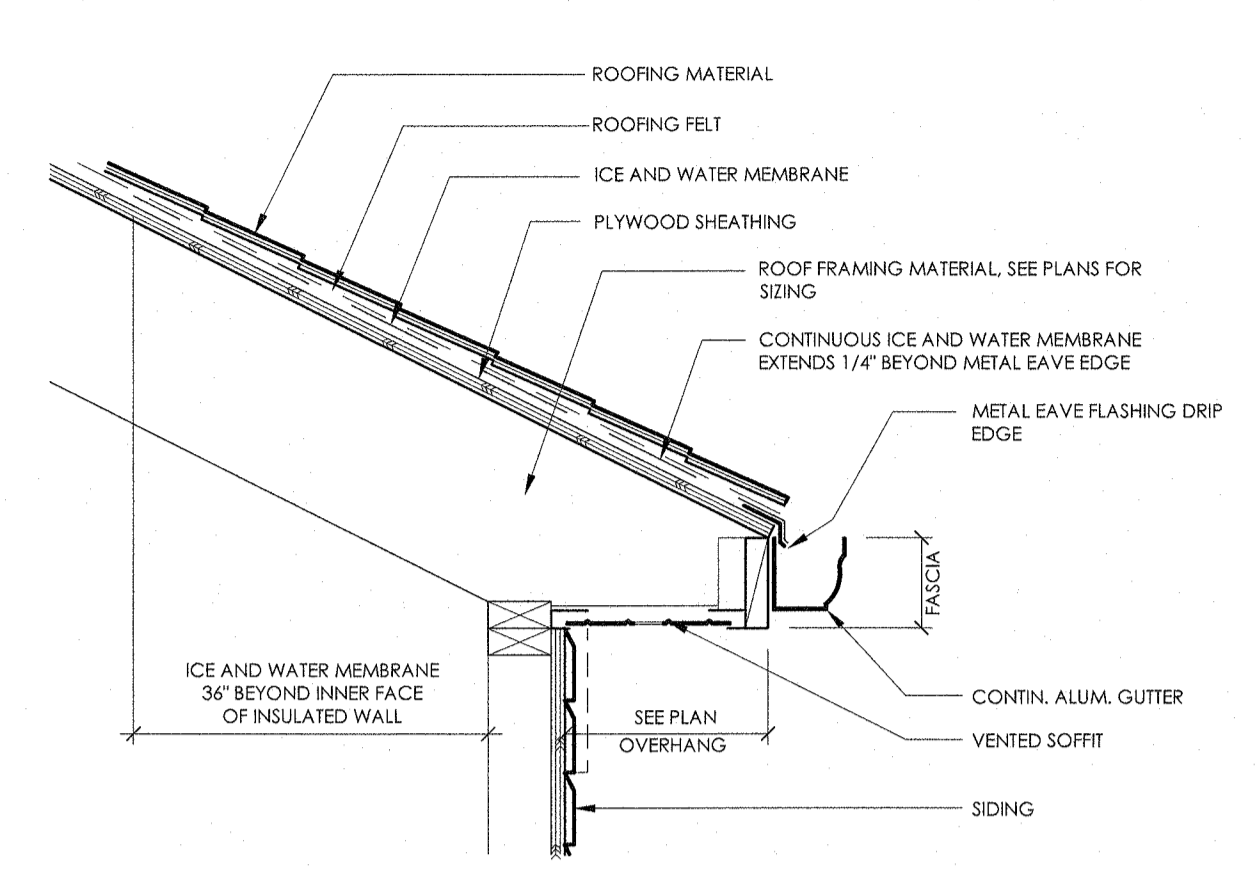
SEAL & SIGNATURE: DATE: JUNE 17, 2019
 PROJECT NO.: 18-1004
 SCALE: AS NOTED
 DWG. BY: JLD/JIP
 CHK. BY: MF
 DWG. NO.: A.500



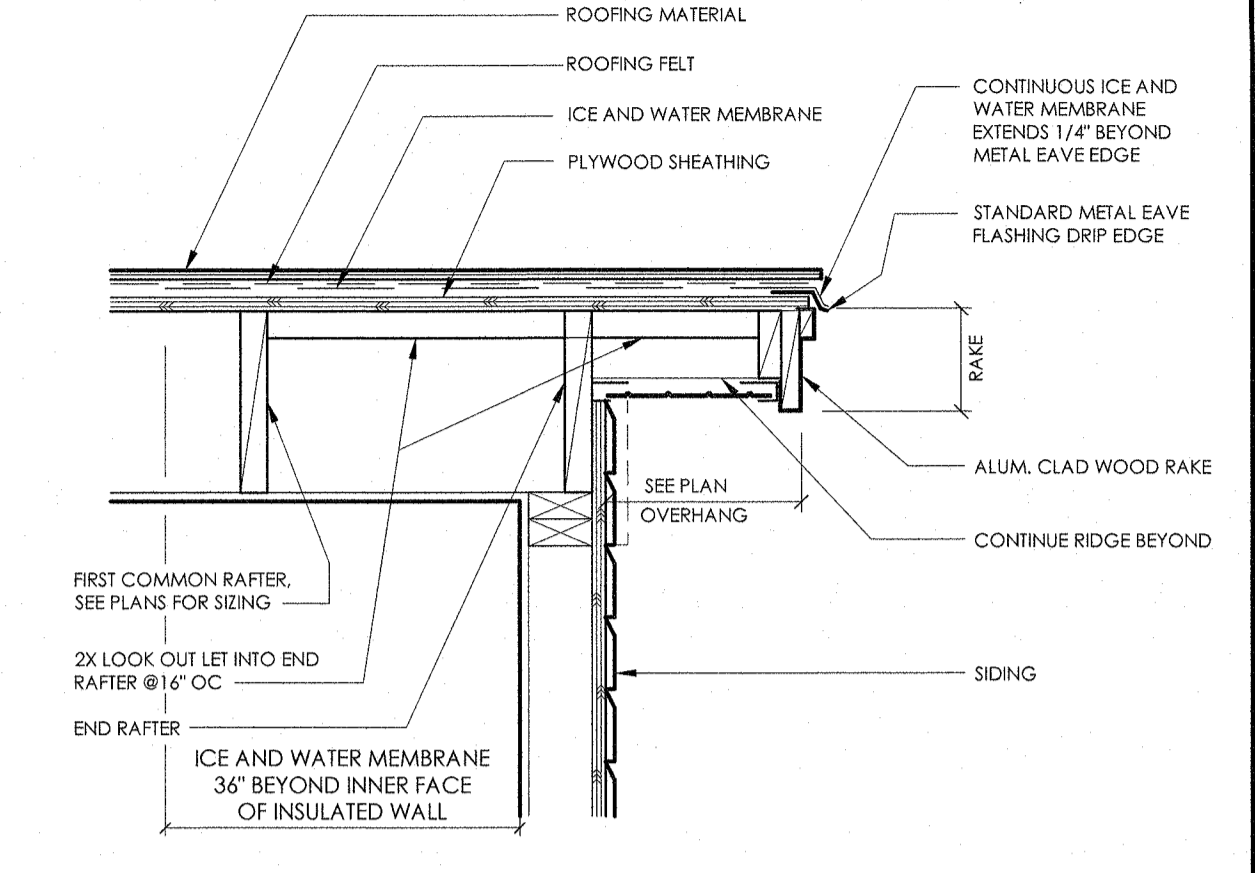
MASONRY FOUNDATION WALLS W/ REINFORCING				
WALL HEIGHT	HEIGHT OF UNBALANCED BACKFILL	8"	10"	12"
6'-8"	4'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	5'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	6'-8"	#6 @ 48	#5 @ 56	#5 @ 72
7'-4"	4'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	5'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	6'-0"	#5 @ 48	#5 @ 56	#5 @ 72
8'-0"	4'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	5'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	6'-0"	#5 @ 48	#5 @ 56	#5 @ 72
8'-8"	4'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	5'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	6'-0"	#5 @ 48	#5 @ 56	#5 @ 72
9'-4"	4'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	5'-0"	#5 @ 48	#4 @ 56	#4 @ 72
	6'-0"	#6 @ 48	#5 @ 56	#5 @ 72
10'-0"	4'-0"	#4 @ 48	#4 @ 56	#4 @ 72
	5'-0"	#5 @ 48	#4 @ 56	#4 @ 72
	6'-0"	#6 @ 48	#5 @ 56	#5 @ 72

LATERAL SOIL LOAD= 60PSF

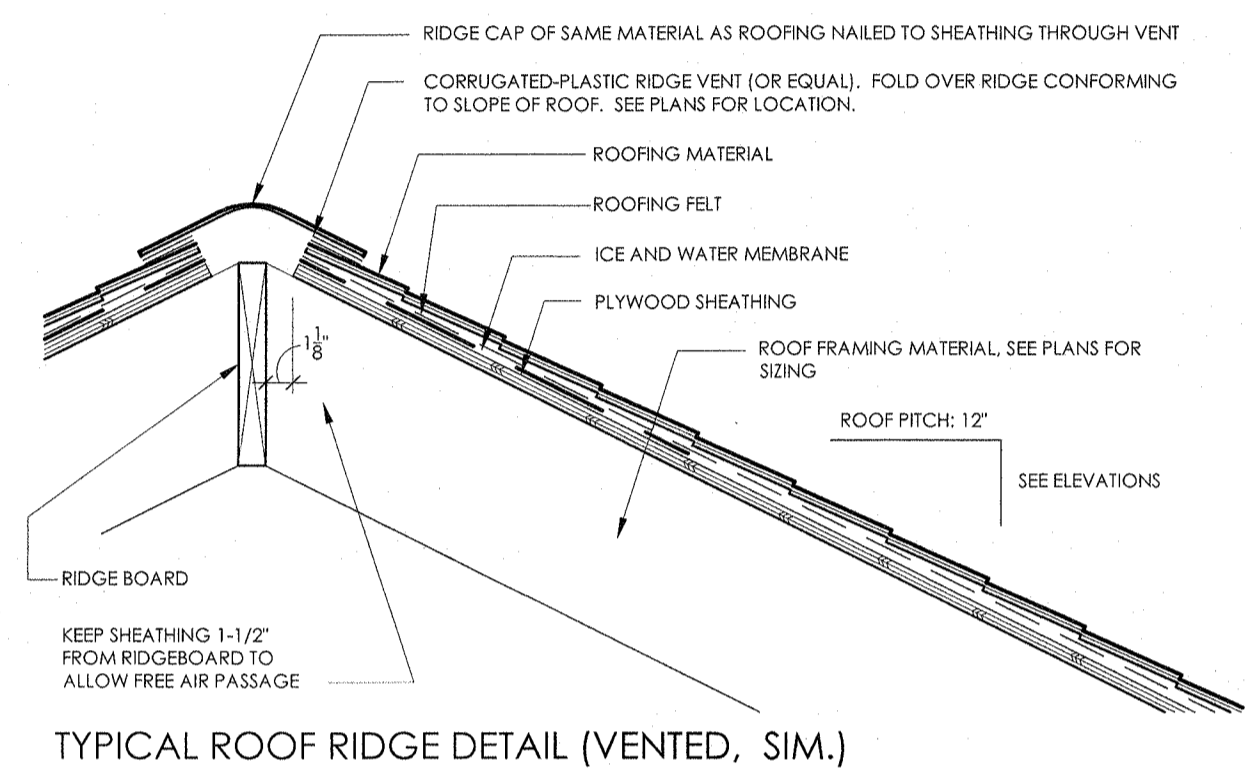
1 TYPICAL WALL SECTION DETAIL
SCALE: 1"=1'-0"



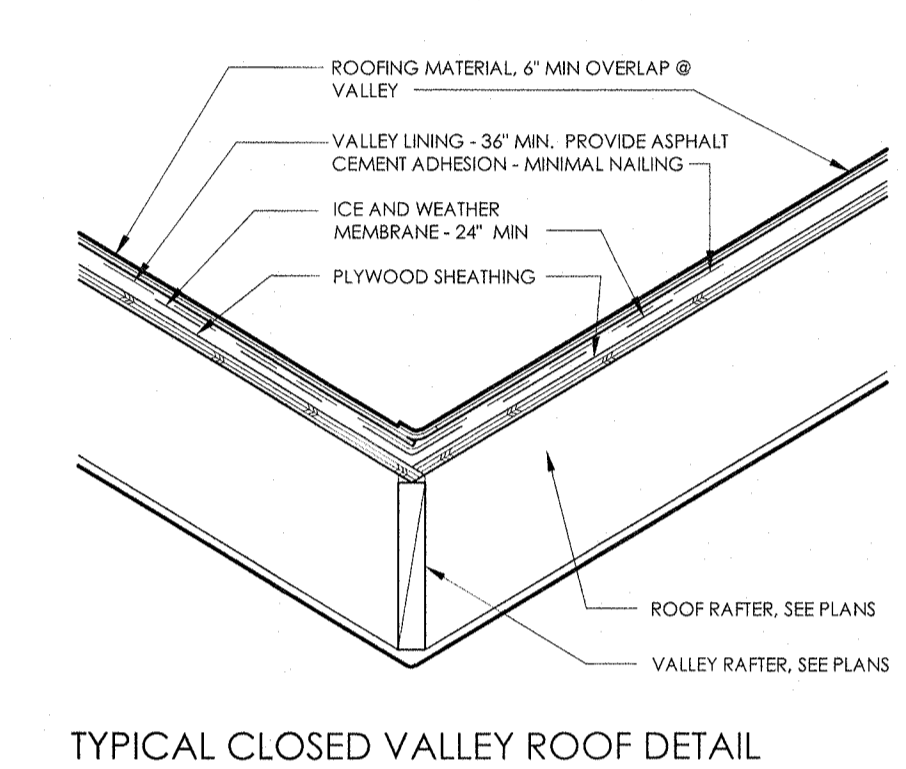
TYPICAL VENTED DETAIL



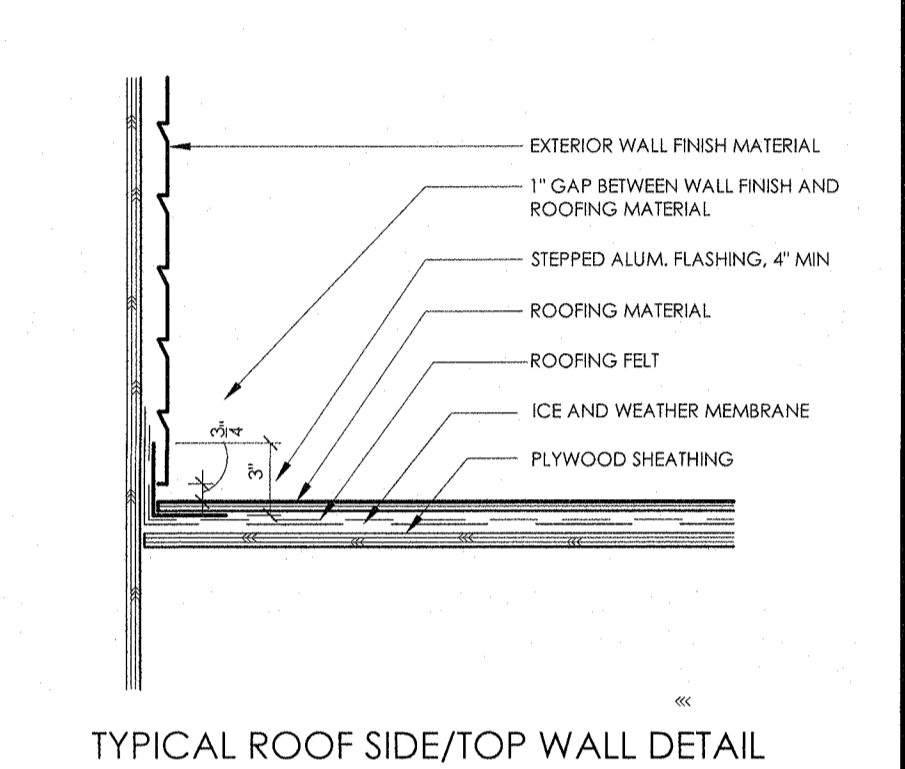
TYPICAL ROOF RAKE DETAIL



TYPICAL ROOF RIDGE DETAIL (VENTED, SIM.)



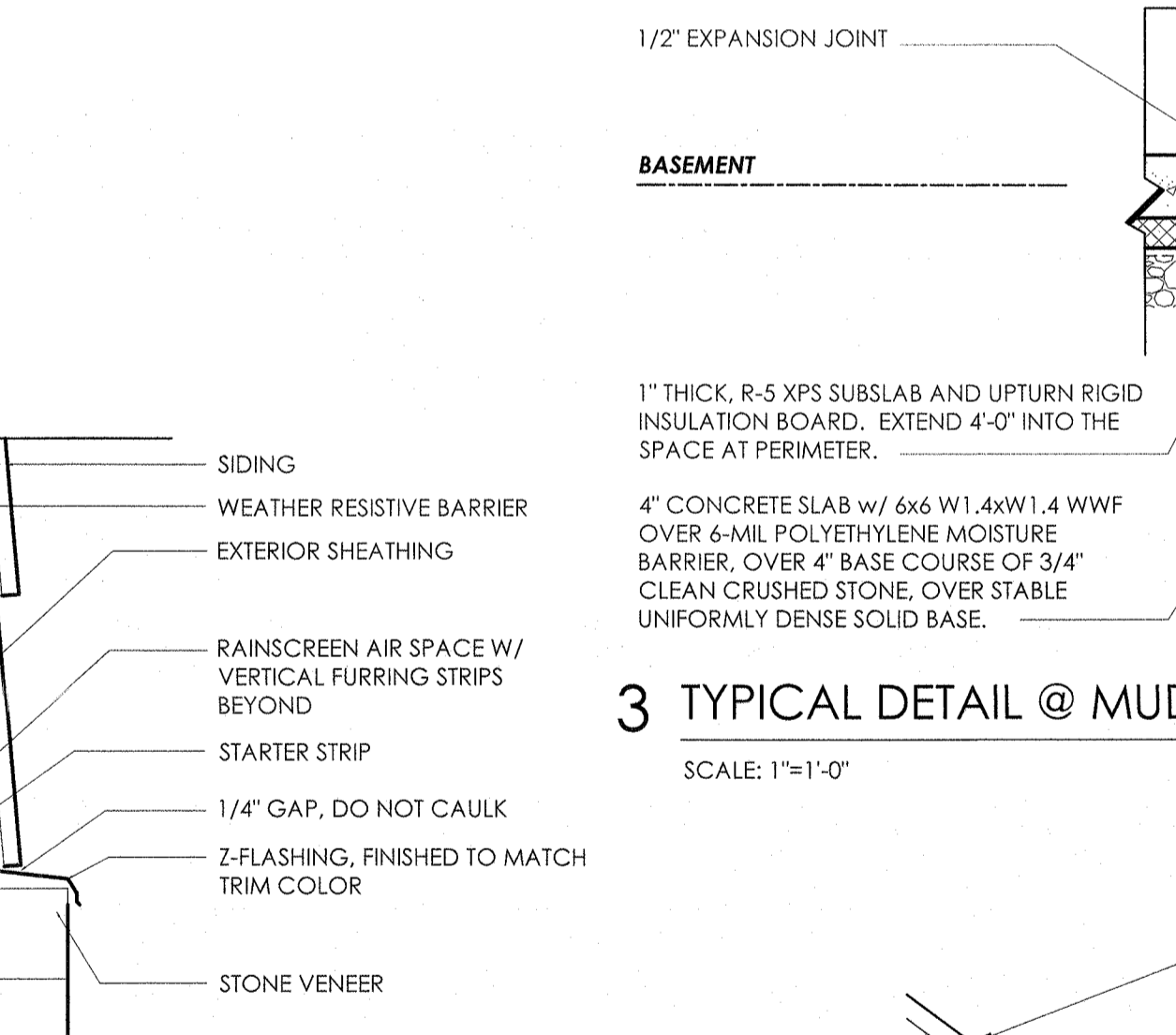
TYPICAL CLOSED VALLEY ROOF DETAIL



TYPICAL ROOF SIDE/TOP WALL DETAIL

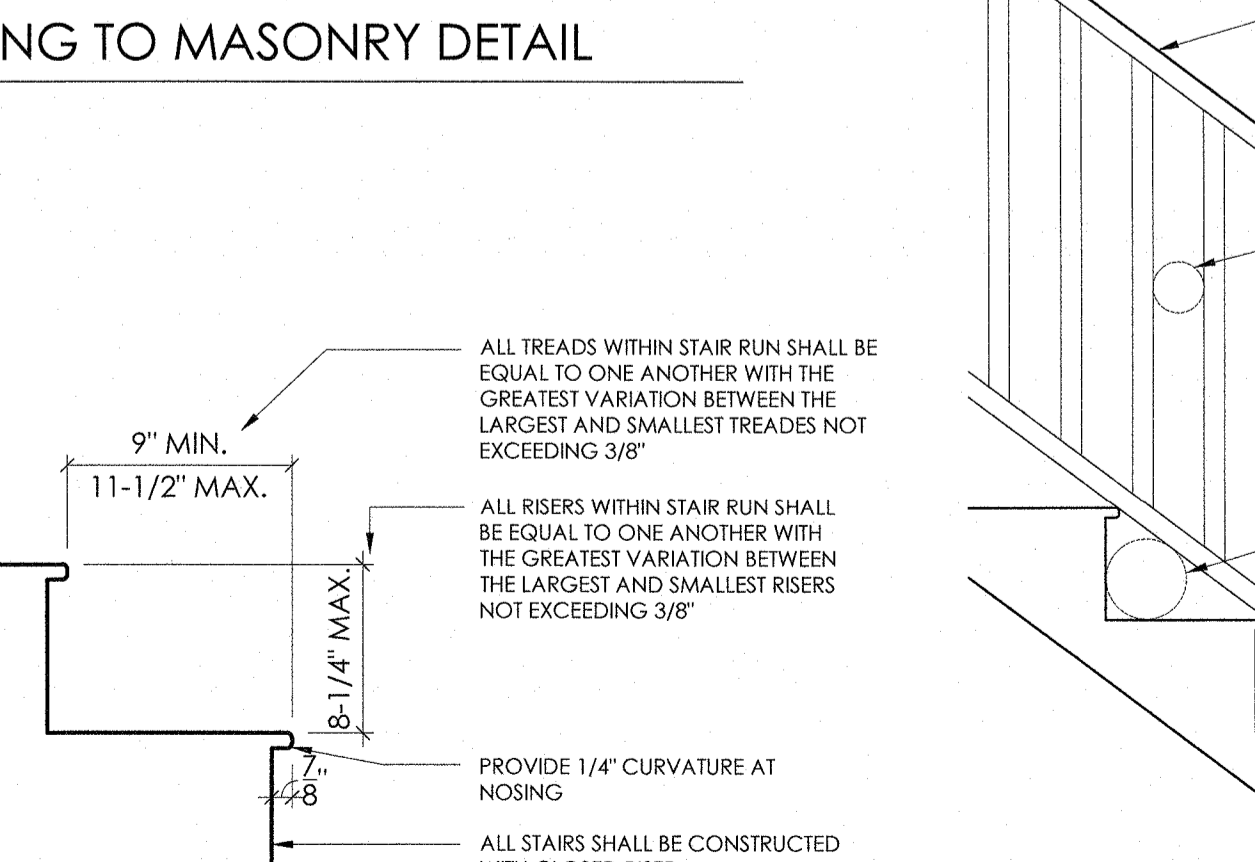
4 TYPICAL ROOF DETAILS

SCALE: N.T.S. NOTE: DIMENSIONS AND STANDARDS DEPICTED ARE MINIMUM STANDARDS OF PRACTICE. IN ALL INSTANCES, MANUFACTURER'S INSTALLATION SPECIFICATIONS AND REQUIREMENTS SHALL SUPERCEDE THIS DETAIL.



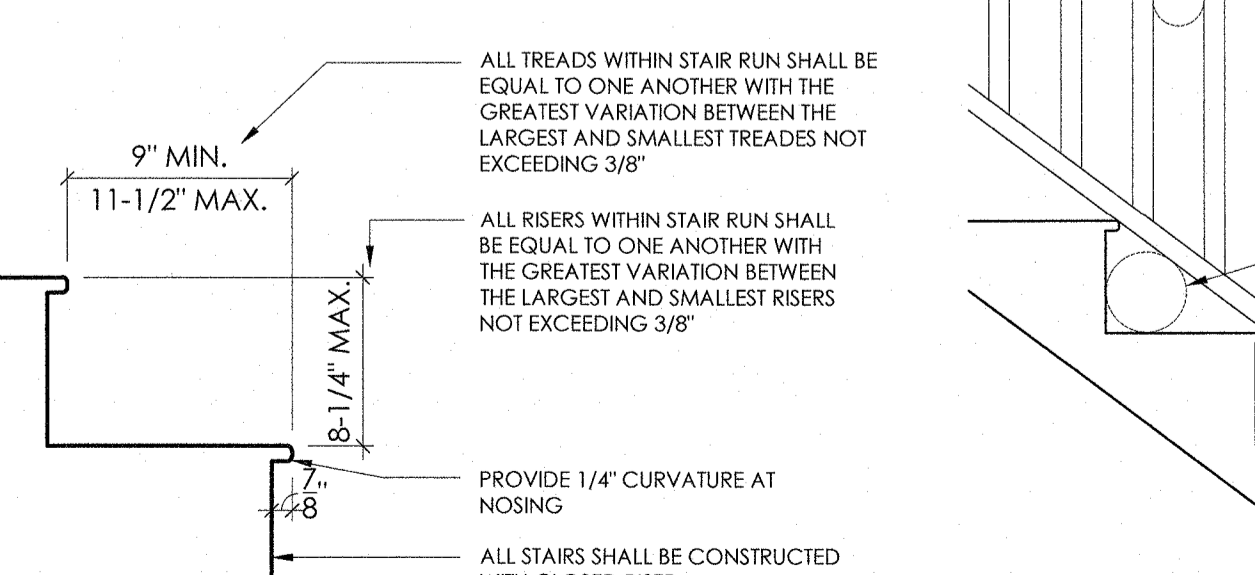
3 TYPICAL DETAIL @ MUDROOM

SCALE: 1"=1'-0"



5 TYPICAL SIDING TO MASONRY DETAIL

SCALE: 1"=1'-0"



2 STAIR DETAILS

SCALE: 1/4"=1'-0"

PECORA ARCHITECTURE
418 THORNYCROFT AVE
STATEN ISLAND, NY 10312

Matt@Pecoraarch.com 718-490-7410

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF NEW YORK, AS SIGNIFIED BY MY HAND AND SEAL.

REVISIONS:

NO.	DESCRIPTION	YEAR, MO, DA

PROJECT: PROPOSED NEW HOUSE FOR THE RUGGIERO FAMILY
11 GOSWICK COURT
SPARKILL, NY 10976

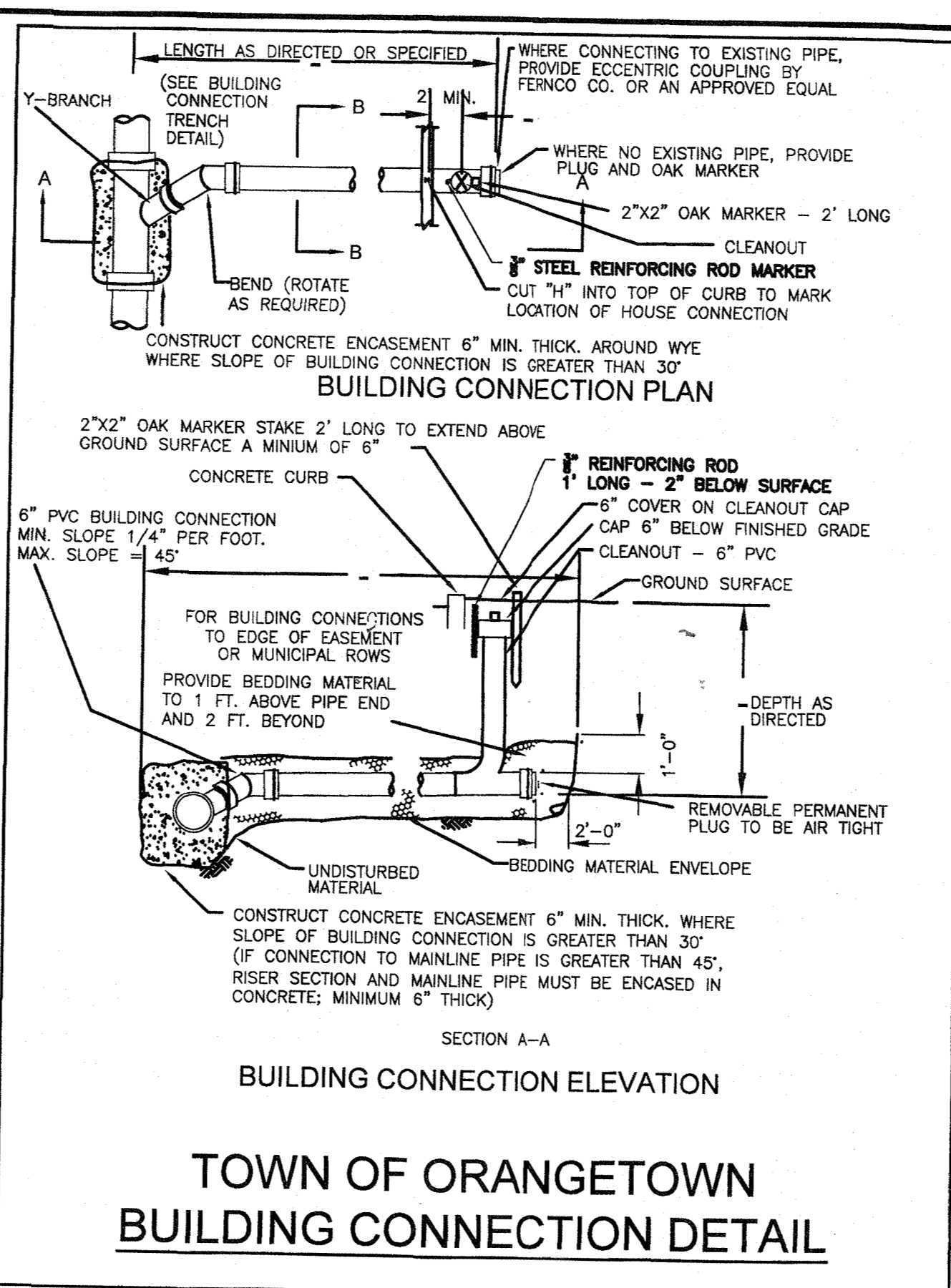
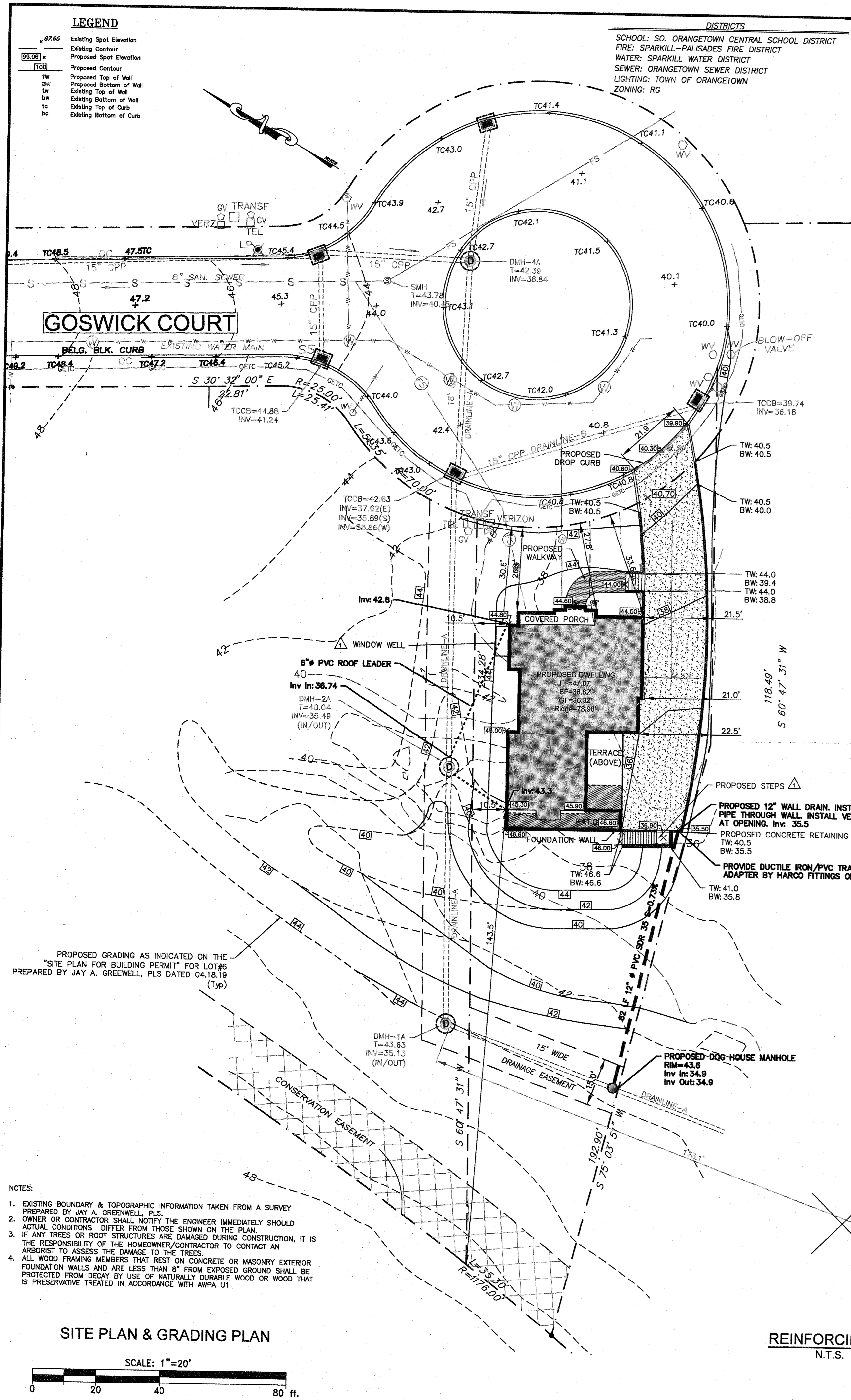
FLOOR OR FLOORS (IF APPLICABLE):

DETAILS

SEAL & SIGNATURE: REGISTERED ARCHITECT STATE OF NEW YORK

DATE: JUNE 17, 2019
PROJECT NO.: 18-1004
SCALE: AS NOTED
DWG. BY: JLD/JF
CHK. BY: MP
DWG. NO.:

A.600



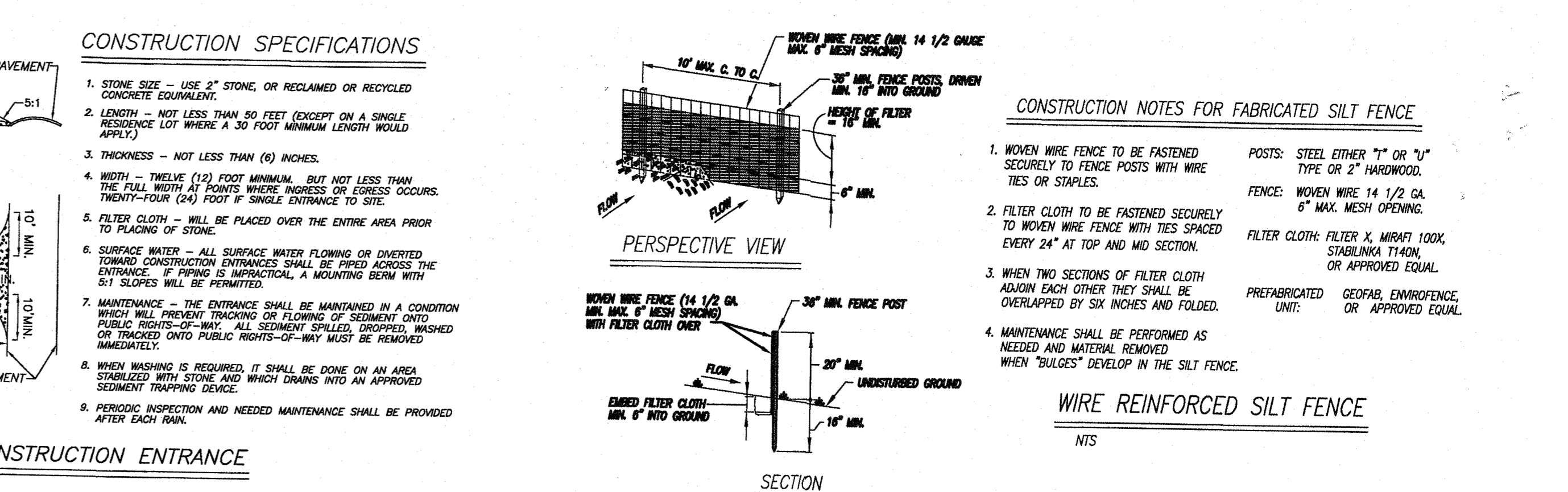
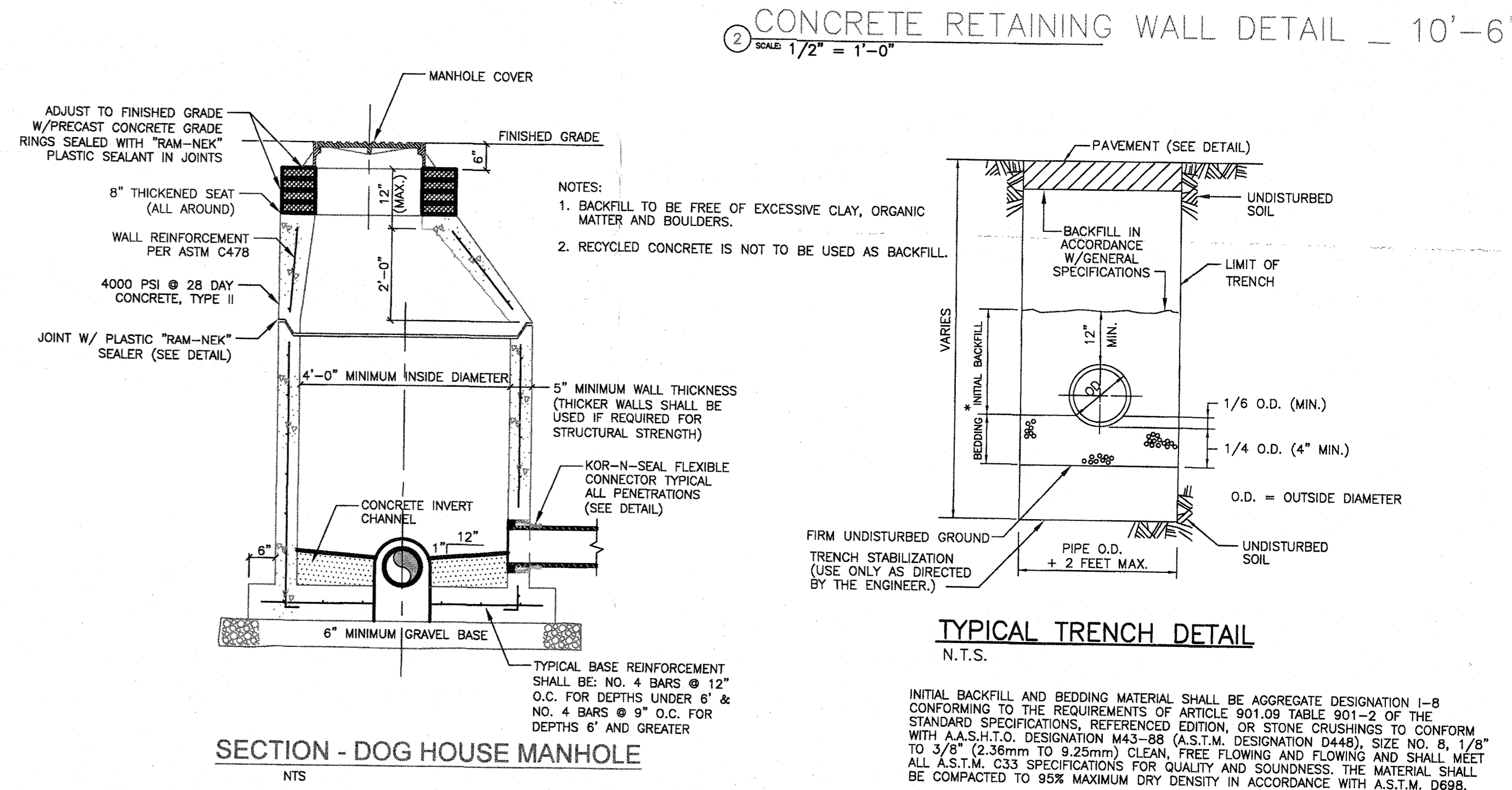
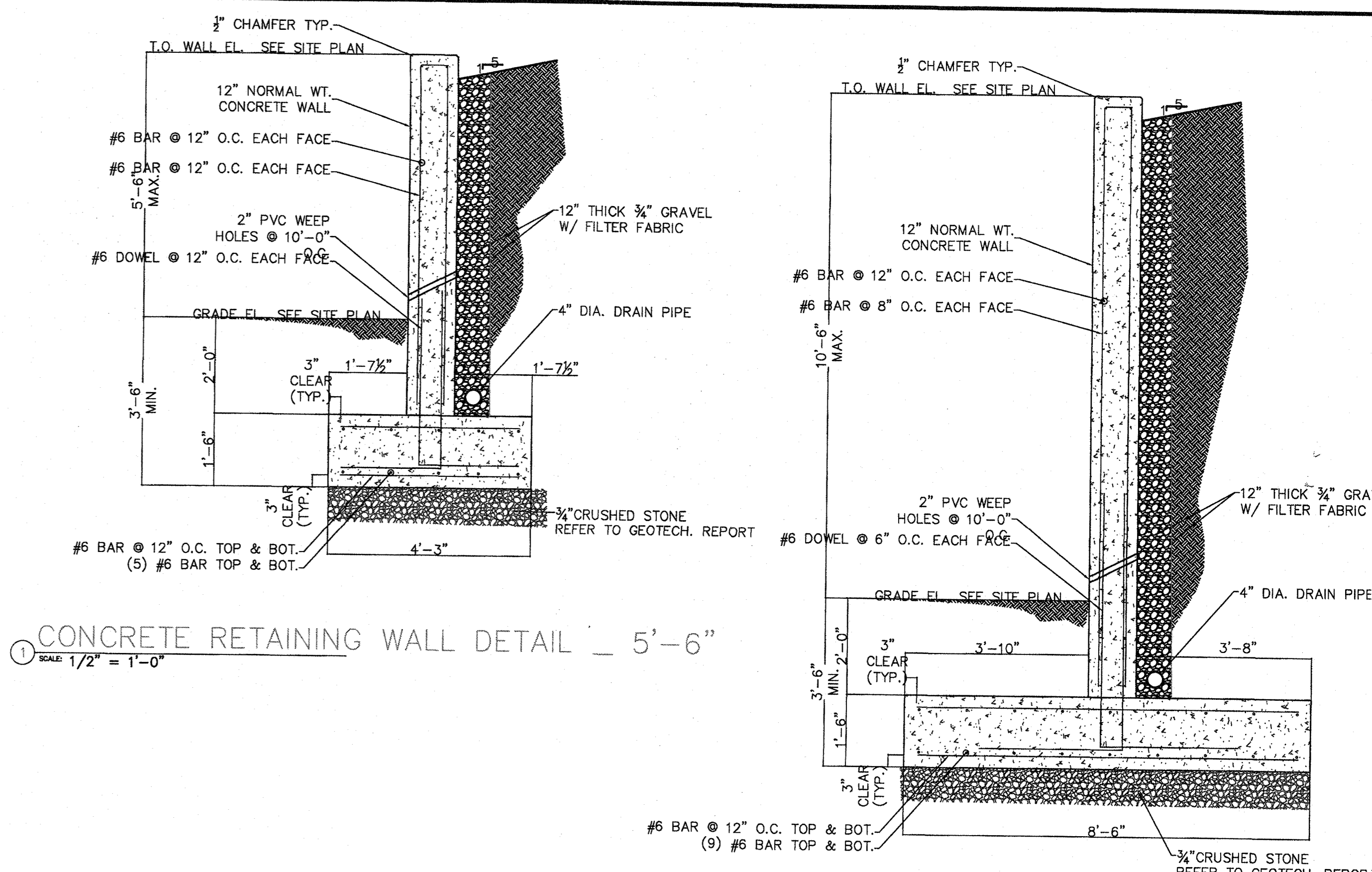
ZONING DATA

Zone: RG Use Group: Q
Tax Lot 77.08-5-36.4 (Lot 7)
Owner: Ruggiero

	REQUIRED	PROPOSED	Variance Req'd
Minimum Lot Area	10,000	14,447	No
Minimum Street Frontage	75'	84.82'	No
Minimum Lot Width	75'	75.02'	No
Minimum Front Yard	25'	26.4'	No
Minimum Side Yard	10'	10.5'	No
Total Side Yards	30'	31.5'	No
Minimum Rear Yard	25'	143.5'	No
Maximum Building Height	35' 2-1/2"	33' 10-3/4"	No

LOT COVERAGE CALCULATIONS

Item	Area (sq ft)	Prop. Grade
TOTAL LOT AREA (SF)	14,447	44.5
House/Covered Porch	2,093	44.8
Driveway	2,140	45.3
Front Walk	146	45.9
Front Covered Porch	108	45.9
Covered Terrace	198	45.9
Terrace	274	45.9
Driveway Steps	82	45.9
Overhang	78	45.9
Average		45.13



NOTES:
1. EXISTING BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM A SURVEY PREPARED BY JAY A. GREENWELL, PLS.
2. OWNER OR CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SHOULD ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN.
3. IF ANY TREES OR ROOT STRUCTURES ARE DAMAGED DURING CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE HOMEOWNER/CONTRACTOR TO CONTACT AN ARBORIST TO ASSESS THE DAMAGE TO THE TREES.
4. ALL WOOD FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATION WALLS AND ARE LESS THAN 8" FROM EXPOSED GROUND SHALL BE PROTECTED FROM DECAY BY USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA 11.

ADDED WINDOW WELL AND STEPS

07.24.19	DJE	DESIGNER: DJE
		DRAWN BY: DJE
		CHECK BY: DJE
		DATE: 06.14.19
		SCALE: 1" = 20'
		PROJECT NO.: 19115

DAVID J. EGARIAN, P.E.

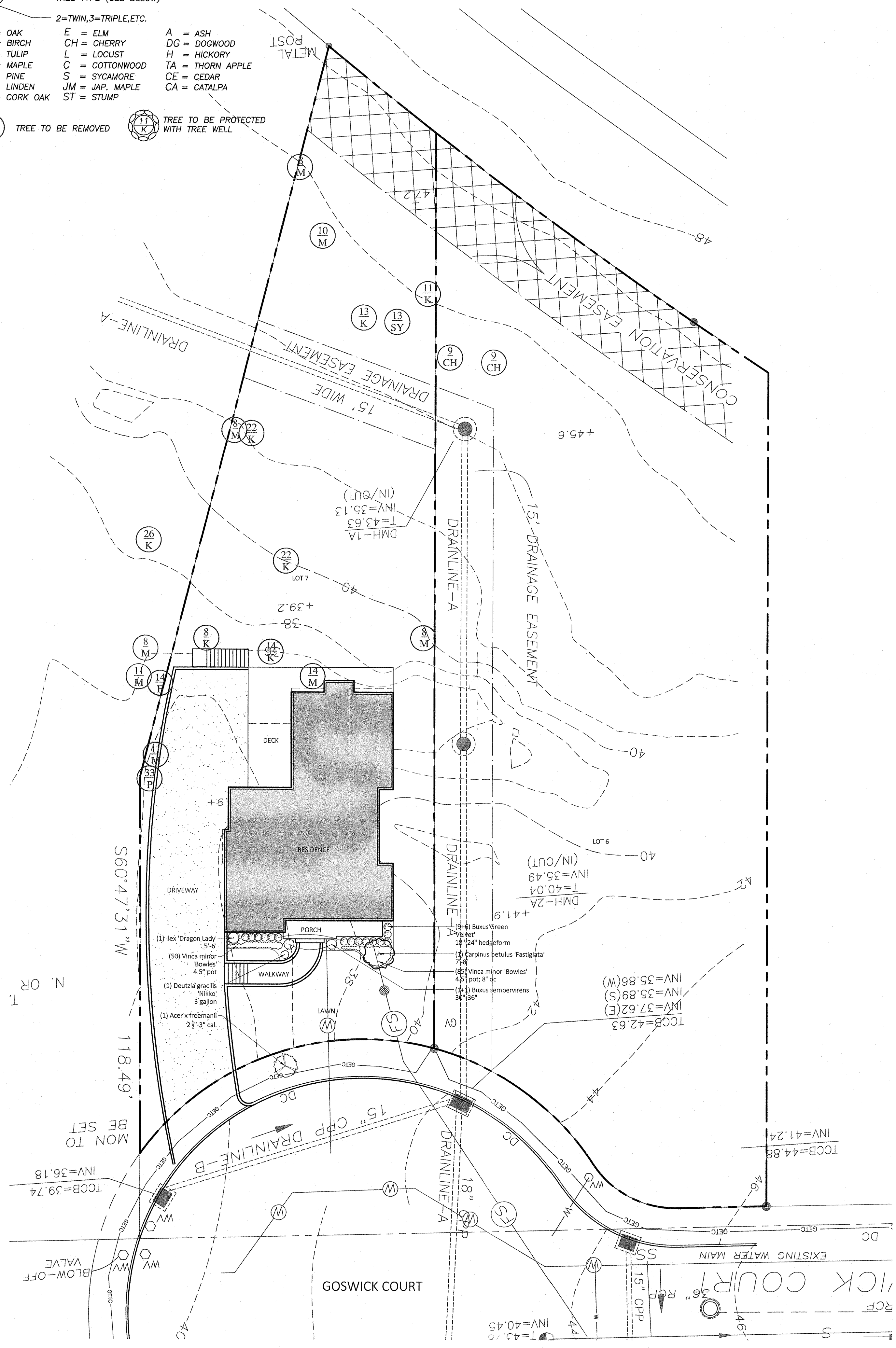
DJ EGARIAN & ASSOCIATES Inc.
Civil/Mechanical/Environmental Engineering Services

SITE PLAN & GRADING PLAN FOR THE RUGGIERO RESIDENCE
11 GOSWICK COURT
DRAWING NO: 1

TREE LEGEND

- 8" CALIPER IN INCHES
- 8M TREE TYPE (SEE BELOW)
- 2=TWIN, 3=TRIPLE, ETC.
- K = OAK
- B = BIRCH
- T = TULIP
- M = MAPLE
- P = PINE
- LI = LINDEN
- CK = CORK OAK
- E = ELM
- CH = CHERRY
- L = LOCUST
- C = COTTONWOOD
- S = SYCAMORE
- JM = JAP. MAPLE
- ST = STUMP
- A = ASH
- DG = DOGWOOD
- H = HICKORY
- TA = THORN APPLE
- CE = CEDAR
- CA = CATALPA

- 8 M TREE TO BE REMOVED
- 8 M TREE TO BE PROTECTED WITH TREE WELL



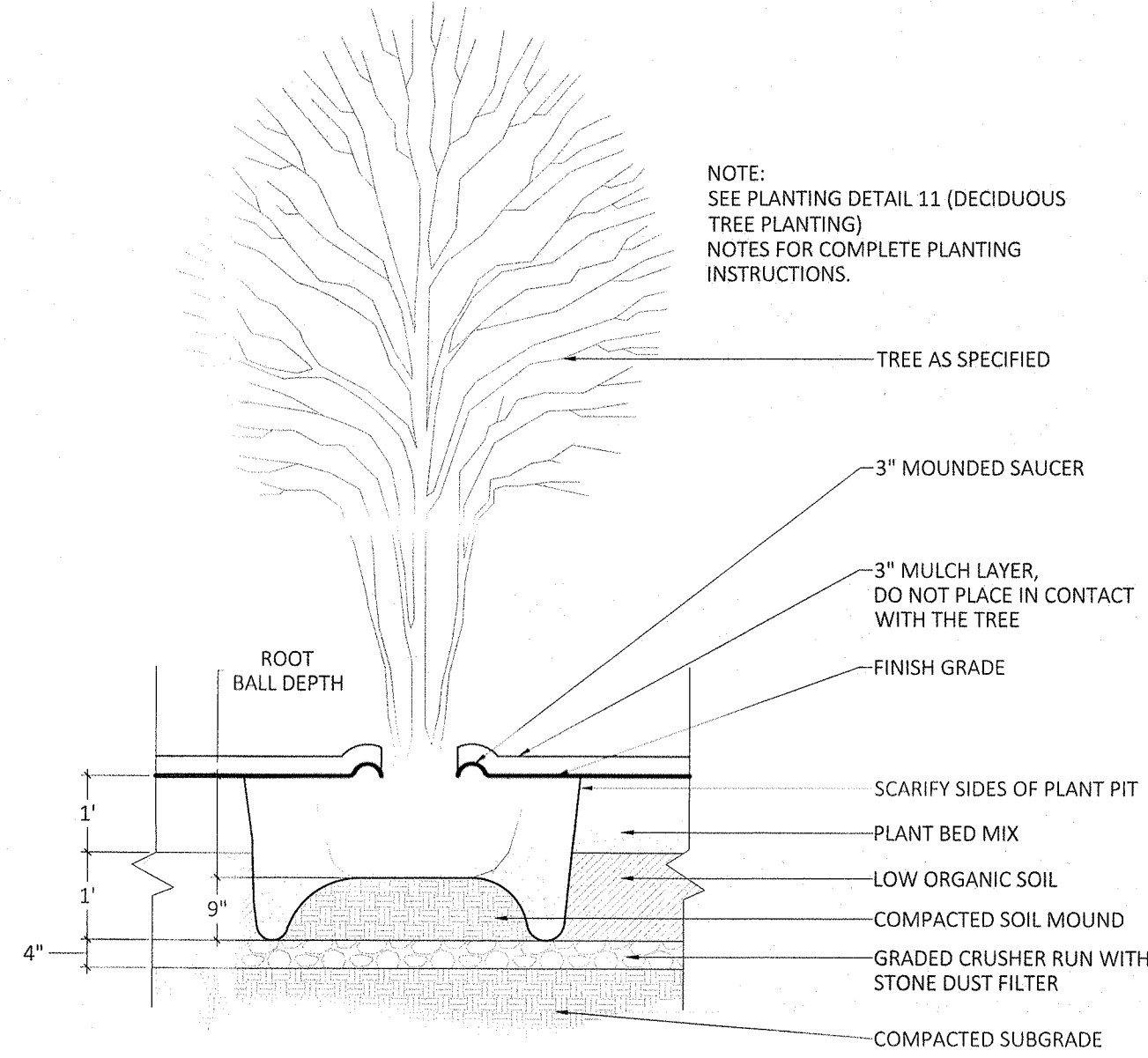
PLANT SCHEDULE

QTY	BOTANICAL NAME	COMMON NAME	CALIPER / HEIGHT	BALL/CONTAINER	NOTES
TREES					
1	<i>Carpinus betulus 'Fastigiata'</i>	Fastigiata Hornbeam	7'-8'	B&B	Pest and disease free, nursery grown, well formed.
1	<i>Ilex x aquipernyi 'Dragon Lady'</i>	Dragon Lady Holly	4.5'-5'	B&B	Pest and disease free, nursery grown, well formed.
1	<i>Acer x freemanii</i>	Freeman Maple	2 1/2-3" cal	B&B	Pest and disease free, nursery grown, well formed.
SHRUBS					
15	<i>Buxus 'Green Velvet'</i>	Green Velvet Boxwood	18"-24"	B&B	Pest and disease free, nursery grown, well formed.
2	<i>Buxus sempervirens</i>	Boxwood	30"-36"	B&B	Pest and disease free, nursery grown, well formed.
1	<i>Deutzia gracilis 'Nikko'</i>	Slender Deutzia	-	3 gallon	Pest and disease free, nursery grown, well formed.
GROUNDCOVER					
135	<i>Vinca minor 'Bowles'</i>	Periwinkle	-	4.5" pot	Pest and disease free, nursery grown, well formed.

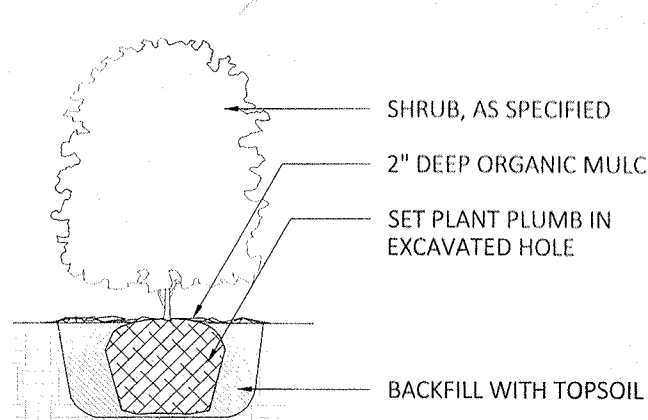
ALL PLANTS SHALL CONFORM TO ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK - LATEST EDITION

PLANTING DETAILS

DECIDUOUS TREE PLANTING DETAIL



SHRUB PLANTING DETAIL



NOTES:

- FOR B & B PLANT MATERIAL, REMOVE ALL TWINE AND ROLL BACK BURLAP FROM TOP 1/2 OF BALL. IF ANY MATERIALS USED TO BIND THE ROOTBALL ARE NON-BIODEGRADABLE, REMOVE COMPLETELY INCLUDING WIRE BASKET.
- FOR CONTAINER GROWN PLANT MATERIAL, REMOVE CONTAINER, TO HELP PREVENT LOOSENING OF SOIL AND SCARIFY BALL TO HELP PREVENT GIRDLING ROOTS.
- SATURATE SOIL WITHIN SIX (6) HOURS OF PLANTING, AND WATER AS NECESSARY UNTIL IRRIGATION INSTALLED.
- NO MULCH OR SOIL SHOULD BE PLACED AGAINST THE PLANT'S TRUNK.

GENERAL NOTES

- SURVEY PROVIDED BY KJ ROCK BUILDERS, 572 NY 303, BLAUVELT, NY 10913.
- YOST DESIGN LLC TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE SURVEY. IF THE CONTRACTOR DETERMINES INACCURACIES ON SITE, THE CONTRACTOR SHALL ALERT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION OF ANY PART OF THE DESIGN AFFECTED BY THE PERCEIVED INACCURACY.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. THE CONTRACTOR TAKES FULL RESPONSIBILITY FOR ANY UTILITIES DAMAGED DUE TO NOT VERIFYING UTILITY LOCATIONS, AND WILL REPAIR ANY DAMAGE AT THE CONTRACTORS OWN EXPENSE.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR CONSTRUCTION ACTIVITIES AS REQUIRED BY THE LOCAL MUNICIPALITY, STATE AND FEDERAL REGULATIONS. ALL PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF THE WORK ASSOCIATED WITH THE PERMIT. THE CONTRACTOR SHALL ABIDE BY ALL RULES AND REGULATIONS SET FORTH BY THE PERMITS REQUIRED FOR CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL AT ALL TIMES KEEP THE CONSTRUCTION SITE IN AN ORDERLY CONDITION, STORE MATERIALS IN A PRE-DETERMINED LOCATION, MINIMIZE SITE DISTURBANCE, AND REMOVE ALL DEBRIS AND EXCESS MATERIAL FROM THE SITE.
- THE CONTRACTOR SHALL MAINTAIN ANY EROSION CONTROL MEASURES UTILIZED ON SITE.
- THESE PLANS ARE FOR APPROVAL PURPOSES ONLY. NO CONSTRUCTION MAY BEGIN PRIOR TO OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
- FINAL PLANS ARE SUBJECT TO REQUIREMENTS OF TOWN OF ORANGETOWN ENGINEERING DEPT, STATE REGULATORY REQUIREMENTS, D.O.T. AND ANY OTHER COMMENTS OR REQUIREMENTS OF LOCAL STATE AND/OR OTHER GOVERNMENTAL AGENCIES WITH JURISDICTION OVER THIS PROPERTY.
- SURVEY DATA, INCLUDING BOUNDARY LINES, TOPOGRAPHY, BUILDING LOCATIONS, UTILITIES, ETC. HAVE BEEN TAKEN FROM MAPPING PROVIDED TO YOST DESIGN, LLC BY OUTSIDE PARTIES WHICH MAY INCLUDE: LAND SURVEYORS, ARCHITECTS, SOIL SCIENTISTS, PROFESSIONAL ENGINEERS OR OTHER INDIVIDUALS WITH SPECIFIC INFORMATION PERTAINING TO THIS PROJECT. ADDITIONALLY, INFORMATION MAY HAVE BEEN COMPILED FROM SITE OBSERVATIONS AND/OR INFORMATION PROVIDED DIRECTLY BY THE PROPERTY OWNER. THIS DRAWING IS INTENDED FOR OVERVIEW REFERENCE PURPOSES OF LANDSCAPE FEATURES ONLY. IT MAY NOT DEPICT EXACT EXISTING CONDITIONS AND DOES NOT CONTAIN ADEQUATE INFORMATION FOR CONSTRUCTION PURPOSES.
- THE DATA SET THAT THIS INFORMATION REPRESENTS HAS BEEN PROVIDED TO YOST DESIGN, LLC FOR THE EXPLICIT PURPOSE OF DEVELOPING THESE PLANS AND PERFORMING THE WORK ASSOCIATED WITH THIS PROJECT. IT MAY NOT BE USED FOR ANY OTHER REASON WITHOUT THE EXPRESS CONSENT OF THE INDIVIDUALS WHO HAVE PREPARED THIS DATA. YOST DESIGN, LLC TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE DATA WHICH HAS BEEN PROVIDED.
- PLEASE REFER TO THE APPROPRIATE DRAWINGS CONTAINED IN THE CONSTRUCTION DOCUMENT SET FOR SPECIFIC INFORMATION NEEDED TO EXECUTE THIS DESIGN.
- IN ADDITION TO INFORMATION ON THIS SHEET, CONSULT DRAWINGS PREPARED BY THE SITE ENGINEER FOR ADDITIONAL INFORMATION RELATED TO SITE PREPARATION, DRAINAGE, UNDERGROUND UTILITIES AND OTHER SITE SPECIFIC INFORMATION. THIS PROJECT MAY INCLUDE SURFACE AND SUB-SURFACE STRUCTURES RELATING TO DRAINAGE, AND/OR SITE UTILITIES. IT WILL BE NECESSARY TO COORDINATE WITH PLANS PREPARED BY THE SITE ENGINEER FOR INFORMATION REQUIRED TO PROTECT, INSTALL, WORK WITH AND/OR MAINTAIN THESE SYSTEMS.
- ANY STRUCTURAL WORK, UTILITY WORK, ARCHITECTURAL WORK OR DRAINAGE WORK SHALL BE UNDER THE DIRECTION AND AUTHORITY OF THE RESPECTIVE PROFESSIONALS DESIGNING AND COORDINATING THOSE ASPECTS OF THE PROJECT. ANY IMAGERY, DRAWINGS OR REPRESENTATIONS OF THESE ELEMENTS ON THE LANDSCAPE PLANS ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION.

PLANT IMAGES

TREES



Acer x freemanii Carpinus betulus 'Fastigiata' Ilex x 'Dragon Lady'

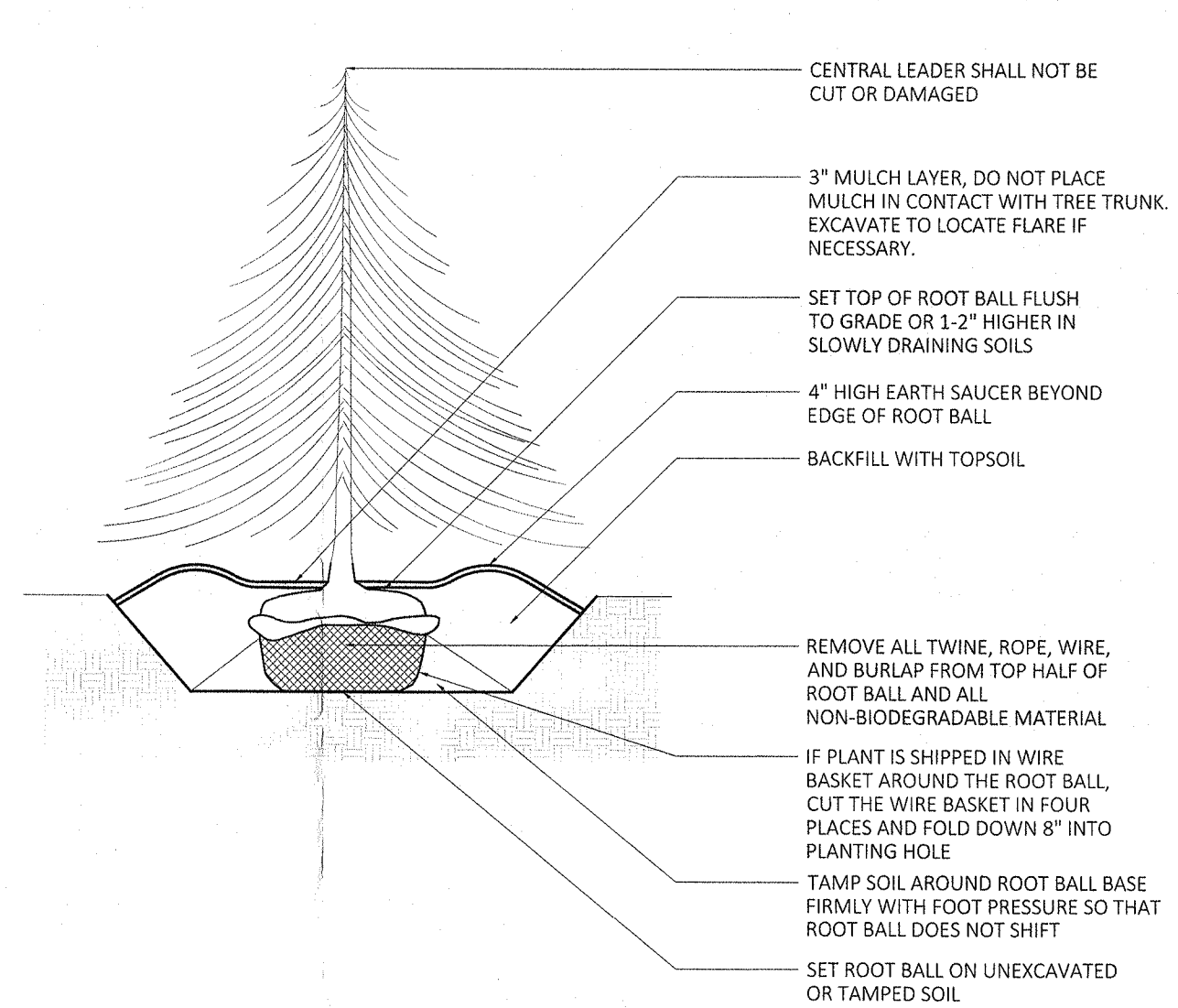
SHRUBS



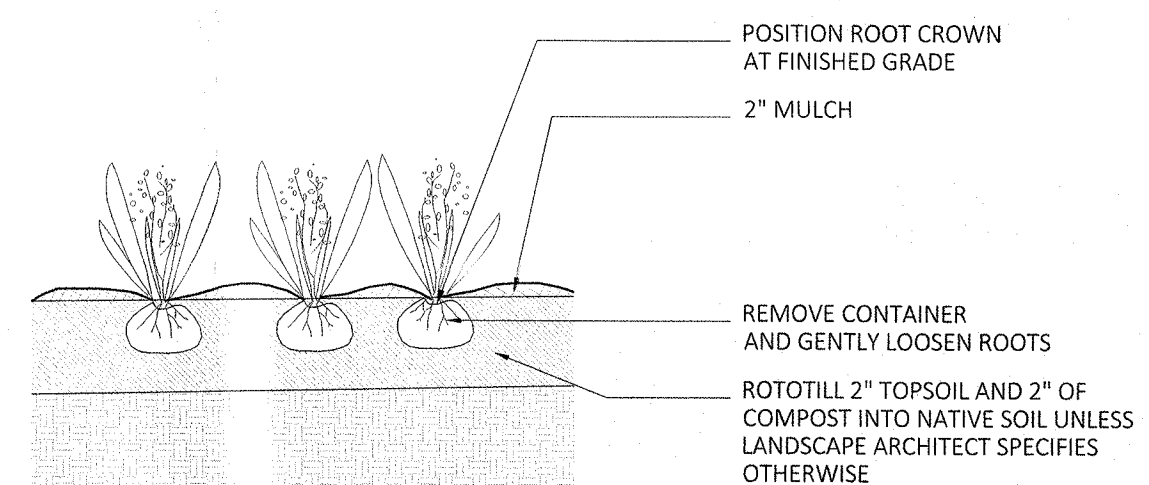
Buxus 'Green Velvet' Deutzia gracilis 'Nikko' Vinca minor 'Bowles'

GROUNDCOVER

CONIFER PLANTING DETAIL



HERBACEOUS PLANTING DETAIL



GENERAL LANDSCAPE NOTES

- AVOID DISRUPTION TO ROOT AREAS OF EXISTING TREES TO REMAIN. FOLLOW GUIDELINES ON DETAIL PAGE FOR SPECIFIC TREE PROTECTION INSTRUCTIONS.
- WHERE EXISTING TOPSOIL IS INSUFFICIENT, PROVIDE CLEAN TOPSOIL FREE OF SOD, ROCKS OR OTHER FOREIGN MATERIAL TO DEPTHS AS STATED ABOVE.
- ALL AREAS NOT REQUIRING GRADING AND/OR OTHER SITE WORK SHALL BE LEFT UNDISTURBED. CONTRACTOR SHALL STAY OUT OF THESE AREAS AND PRESERVE THE EXISTING PLANTINGS.
- CONTRACTOR SHALL PROTECT EXISTING TREES DURING CONSTRUCTION. UNDER NO CIRCUMSTANCES SHALL SUPPLIES OR MATERIALS BE STORED OR STOCKPILED AGAINST THE TRUNK OF EXISTING TREES OR AGAINST SHRUBS OR HEDGES.
- BLENDSMOOTHLY ALL TRANSITIONS FROM EXISTING TO PROPOSED CONTOURS.
- ALL PLANTING BEDS SHALL BE MULCHED TO A 4" DEPTH OR AS OTHERWISE NOTED ON PLAN.
- CONTRACTOR IS RESPONSIBLE TO CARRY OUT WORK IN AN EFFICIENT AND WORKMANLIKE MANNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.



TO SCALE WHEN PLOTTED ON 24x36
PROGRESS SET NOT FOR CONSTRUCTION

YOST DESIGN
LANDSCAPE ARCHITECTURE
178 elizabeth st
peart river, ny 10965
p 845.365.4595 | f 914.361.4473
yostdesign.com

SURVEYOR:

LOT 7 | VIRGINIA HOMES
GOSWICK COURT, TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

DATE: MAY 13, 2019
DRAWN BY: BMY
JOB NO: 100117
SCALE: 1/16" = 1'-0"
FILENAME: 2019-0513_LOT 7

REVISIONS:

By the M Yost ASLA | Registered Landscape Architect

CONCEPTUAL PLAN

SHEET NO.

CP-101

SHEET 1 of 1