

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: \_\_\_\_\_

### 2020 LAND USE BOARD APPLICATION

*Please check all that apply:*

<input checked="" type="checkbox"/> <u>Planning Board</u>	<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> <u>Zoning Board of Appeals</u>		<input checked="" type="checkbox"/> <u>Historical Board</u>
		<input type="checkbox"/> <u>Architectural Board</u>
<input checked="" type="checkbox"/> <u>Subdivision</u>		<input type="checkbox"/> Consultation
<input type="checkbox"/> <u>Number of Lots</u>		<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> <u>Site Plan</u>		<input type="checkbox"/> Preliminary
<input type="checkbox"/> <u>Conditional Use</u>		<input type="checkbox"/> Final
		<input type="checkbox"/> Interpretation
<input type="checkbox"/> <u>Special Permit</u>		
<input type="checkbox"/> <u>Variance</u>		
<input type="checkbox"/> <u>Performance Standards Review</u>		
<input type="checkbox"/> <u>Use Variance</u>		
<input type="checkbox"/> <u>Other (specify): _____</u>		

**PERMIT#:** \_\_\_\_\_  
**ASSIGNED** \_\_\_\_\_  
**INSPECTOR:** \_\_\_\_\_

Referred from Planning Board: YES / NO  
If yes provide date of Planning Board meeting: \_\_\_\_\_

Project Name: BERGSON/GLUCKSTERN RESIDENCE

Street Address: WOODS RD PALISADES, NY

Tax Map Designation:  
Section: 78.18 Block: 1 Lot(s): 3.1-2  
Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

Directional Location:  
On the \_\_\_\_\_ side of \_\_\_\_\_, approximately \_\_\_\_\_ feet \_\_\_\_\_ of the intersection of \_\_\_\_\_, in the Town of ORANGETOWN in the hamlet/village of \_\_\_\_\_.

Acreage of Parcel <u>130,700 SF</u>	Zoning District <u>R-80</u>
School District <u>SO. O TOWN</u>	Postal District <u>PALISADES</u>
Ambulance District <u>SO. O TOWN</u>	Fire District <u>PALISADES</u>
Water District <u>SUEZ</u>	Sewer District <u>O TOWN</u>

Project Description: (If additional space required, please attach a narrative summary.)  
NEW HOUSE - 6000 S.F.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.  
Date: 6.20.20 Applicant's Signature: Walter C. Auler

APPLICATION REVIEW FORM

Applicant: WALTER AURELL Phone # 845 729 6975

Address: 171 KINGS HWY ORANGETBURG NY  
Street Name & Number (Post Office) City State Zip Code  
10962

Property Owner: SIMON BERGSON Phone # 845 359-5551

Address: 56 WOODS RD FAHSADES  
Street Name & Number (Post Office) City State Zip Code

Engineer/Architect/Surveyor: WALTER AURELL Phone # \_\_\_\_\_

Address: JAY GREENWELL 845 357 0830  
Street Name & Number (Post Office) City State Zip Code  
85 LAFAYETTE AVE.  
SUFFERN, NY 10901

Attorney: \_\_\_\_\_ Phone # \_\_\_\_\_

Address: \_\_\_\_\_  
Street Name & Number (Post Office) City State Zip Code

Contact Person: WALTER AURELL Phone # \_\_\_\_\_

Address: SEE ABOVE  
Street Name & Number (Post Office) City State Zip Code

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of:  
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- State or County Road
- Long Path
- Municipal Boundary
- State or County Park
- County Stream
- County Facility

List name(s) of facility checked above:  
\_\_\_\_\_  
\_\_\_\_\_

Referral Agencies:

- RC Highway Department
- RC Drainage Agency
- NYS Dept. of Transportation
- NYS Thruway Authority
- Adjacent Municipality \_\_\_\_\_
- Other \_\_\_\_\_
- RC Division of Environmental Resources
- RC Dept. of Health
- NYS Dept. of Environmental Conservation
- Palisades Interstate Park Commission

**APPLICATION REVIEW FORM**

**FILL IN WHERE APPLICABLE.**

**( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )**

**If subdivision:**

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

**If site plan:**

- 1) Existing square footage 130,700 NET
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

**If special permit**, list special permit use and what the property will be used for.

\_\_\_\_\_  
\_\_\_\_\_

**Environmental Constraints:**

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area NO

Are there streams on the site? If yes, please provide the names. NO

Are there wetlands on the site? If yes, please provide the names and type:

YES - FEDERAL, MARKED ON SITE PLAN

**Project History:**

Has this project ever been reviewed before? No

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

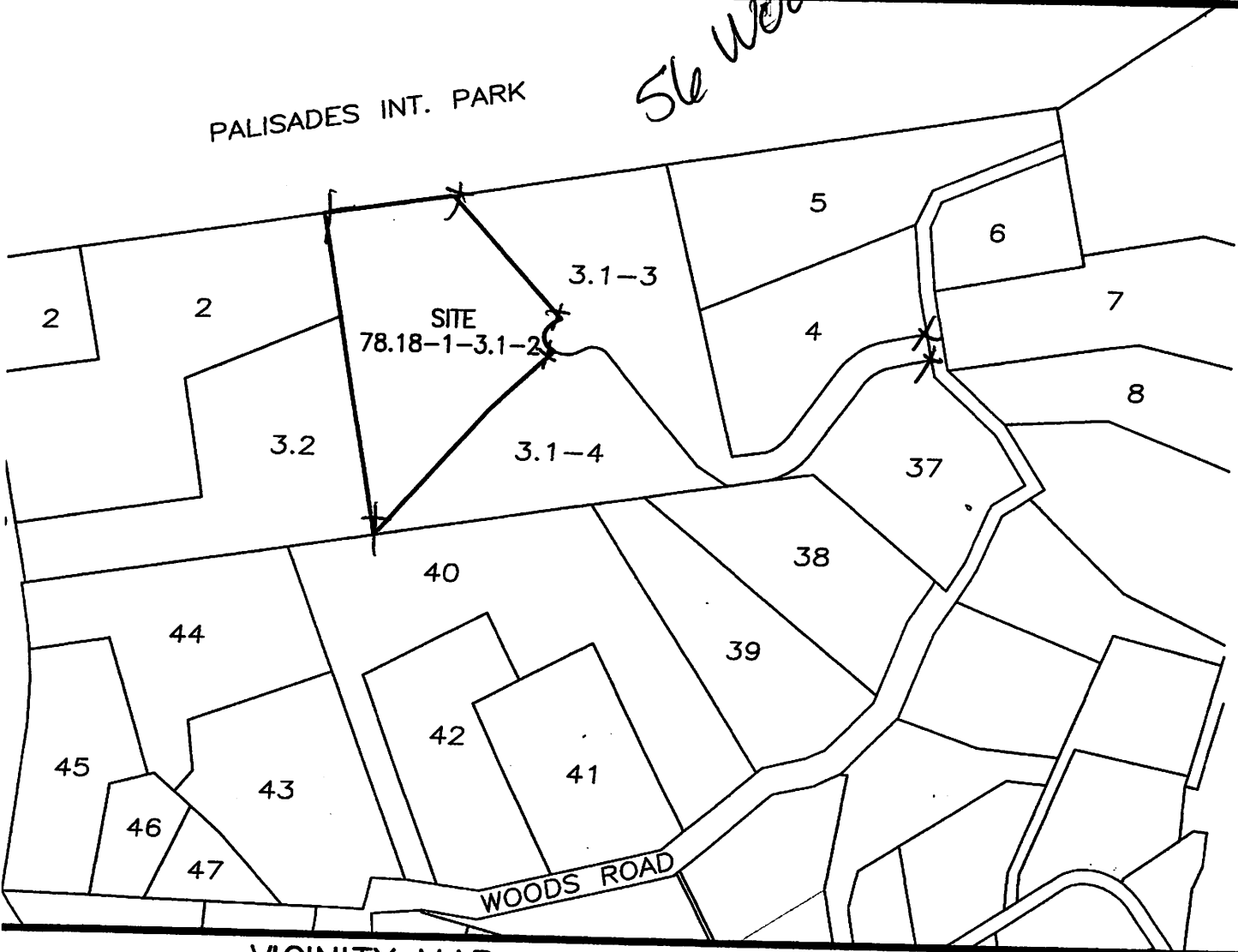
\_\_\_\_\_  
\_\_\_\_\_

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

78.18-1-3.1-1 (NOT A BUILDING LOT)  
78.18-1-3.2 (NOT PART OF SUBDIVISION)  
78.18-1-3.1-3  
78.18-1-3.1-4

*56 Woods Rd*

PALISADES INT. PARK



**VICINITY MAP**

1"=300'±

SHINGTON REALTY LLC

YORK 10964

NY

SLA ON 4/10/14

VE SERVICE, SHALL BE INSTALLED UNDERGROUND.

) AFFECTED BY CONSTRUCTION OF THIS SITE PLAN SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE PRIOR TO THE

IE PLANS HAVE BEEN APPROVED BY ACABOR.

THE AREA OF THE PROPOSED STORMWATER STORAGE AREA ESTIMATED BY LEHMAN & GETZ, P.C.

SIGNATED FOR LAWN SHALL BE LIMED AND FERTILIZED PRIOR TO SEEDING.

BY THE ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING (DEME).

ENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES &  
T BE HELD WITH THE TOWN OF ORANGETOWN DEME, SUPT. OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING &  
IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.



**SEWELL**  
 Surveyors  
 10000 W. U.S. Highway 1, Suite 200  
 Palm Beach Gardens, FL 33418  
 Phone: 561-955-1100  
 Fax: 561-955-1101  
 www.sewell-surveyors.com

**DATE REVISIONS**

NO.	DATE	DESCRIPTION
1	02/28/19	ISSUED THROUGH

**PROPOSED AND EXISTING UTILITIES**

Water Mains, Sewer Mains, Gas Mains, Electric Mains, Telephone Mains, Cable TV Mains, Storm Sewers, Easements, etc.

**LEGEND**

Symbol	Description
(Solid line)	Proposed Right-of-Way
(Dashed line)	Proposed Easement
(Dotted line)	Proposed Utility
(Thin solid line)	Proposed Boundary
(Thick solid line)	Proposed Road
(Thin dashed line)	Proposed Easement
(Dotted line)	Proposed Utility
(Thin solid line)	Proposed Boundary
(Thick solid line)	Proposed Road

**TABLE**

TABLE	TABLE	TABLE	TABLE
7813	7814	7815	7816
7817	7818	7819	7820
7821	7822	7823	7824
7825	7826	7827	7828

**ISSUED THROUGH**  
**FEBRUARY 28, 2019**



**TOWN OF ORANGETOWN**  
 271 West  
 Atlantic Avenue, Suite 200  
 Palm Beach Gardens, FL 33418

7818

# BERGSON - GLUCKSTERN RESIDENCE

## Historical Areas Board of Review (HABR)

Town of Orangetown Building Department  
20 Greenbush Road, Orangeburg, New York 10962

PROPERTY ADDRESS: WOODS ROAD Section/Block/Lot: 78.18/1/3.1-2

1. Provide a narrative summary explaining the project and including any facts pertaining to this project which applicant feels would be of interest to the Board;
2. Architectural Plans;
3. It is preferable to the HABR if the Architect would appear at the meeting with the Applicant.
4. Please bring SAMPLES of building materials to the meeting.
5. Materials checklist: (please provide the brand name, type, style, model and color numbers):

	COLOR	MATERIAL	MANUFACTURER
Roof:	DOVE GREY	METAL	ENGLERT
Siding:	NATURAL WOOD	WOOD	THERMORY
Decorative Siding:	NATURAL WOOD	WOOD	THERMORY
Soffits & Fascia:	NATURAL WOOD	WOOD	THERMORY
Gutters & Leaders:	DOVE GREY	METAL	TO MATCH ROOF SEE PHOTO
Windows:	WOOD MAHOG.	WOOD	ZOLA
Trim:	NATURAL WOOD	WOOD	THERMORY
Shutters:	NO SHUTTERS	N/A	
Front Door:	MATCHES WINDOWS	WOOD	ZOLA
Back Door:	SAME		
Garage Door(s):	NO GARAGE	N/A	
Other Door(s):			
Lighting:	COPPER	COPPER / GLASS	BEGA
Lighting:			
Stone or Rock being used on Structure:	GREY / BLUE	BLUESTONE	
Stone or Rock being used on walkway(s):	SAME	BLUESTONE	
SPIRAL STAIR Other:	GREY	POWDER COAT FIN.	KEUKA STUDIOS
	SEE PHOTO		

# NYS RESIDENTIAL CODE REQUIREMENTS

## 1. FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS

- A. LANDINGS OF FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 1 1/2" INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL NOT BE MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. WHERE EXTERIOR LANDINGS OR FLOORS SERVING THE REQUIRED EGRESS DOOR ARE NOT AT GRADE, THEY SHALL BE PROVIDED WITH ACCESS TO GRADE BY MEANS OF A RAMP IN ACCORDANCE WITH SECTION R311.8 OR A STAIRWAY IN ACCORDANCE WITH SECTION R311.7.
- B. DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7 3/4" BELOW THE TOP OF THRESHOLD. EXCEPTION: A TOP LANDING IS NOT REQUIRED WHERE A STAIRWAY OF NOT MORE THAN TWO RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THAT THE DOOR DOES NOT SWING OVER LANDING.
- C. STORM AND SCREEN DOORS SHALL BE PERMITTED TO SWING OVER EXTERIOR STAIRS AND LANDINGS.

H. FILL IN FOUNDATION WITH CLEAN COARSE SAND IN THE NEW SLAB AREAS. USE WATER AND MECHANICAL TAMPER TO COMPRESS SAND BEFORE POURING SLAB FOUNDATION TO BE BACKFILLED WITH COARSE SAND.

## 5. FIREBLOCKING

- A. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
- B. FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONSTRUCTION IN THE FOLLOWING LOCATIONS:
- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:  
VERTICALLY AT THE CEILING AND FLOOR LEVELS.  
HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
  - AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
  - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
  - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
  - FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES. SEE SECTION R1003.19.

## 2. WINDOW FALL PROTECTION/WINDOW SILLS

- A. IN DWELLING UNITS WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR AND GREATER THAN 72" ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:
- OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4" DIAMETER SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
  - OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
  - OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2 WINDOW CONTROL DEVICES. REFER TO WINDOW SCHEDULE.

## 6. ADDITIONAL NYS RESIDENTIAL CODE REQUIREMENTS - REFER TO ROOF DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

- A. UNDERLAYMENT FOR ROOFS OF 4/12 OR GREATER SHALL BE APPLIED SHINGLE FASHION, PARALLEL TO AND STARTING AT THE EAVE, LAPPED 2", FASTENED SUFFICIENTLY TO HOLD IN PLACE. END LAPS SHALL BE OFFSET BY 6".
- B. ICE PROTECTION SHALL CONSIST OF AN ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYERS OF SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND EXTEND FROM THE EAVES EDGE TO A POINT AT LEAST 48" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. REFER TO ROOF DETAILS FOR ADDITIONAL INFORMATION.
- C. UNDERLAYMENT IN HIGH WIND ZONES (130 MPH) SHALL IN ADDITION HAVE FASTENERS APPLIED ALONG THE OVERLAP, NO FURTHER APART THAN 36" O.C.
- D. BASE OF FLASHING SHALL BE EITHER CORROSION-RESISTANT METAL OF MINIMUM NOMINAL .019" THICKNESS OF MINERAL SURFACE ROLL WEIGHING A MINIMUM OF 77 POUNDS PER 100 SQUARE FEET.
- E. CAP FLASHING SHALL BE CORROSION-RESISTANT METAL OF MINIMUM NOMINAL THICKNESS OF .019.
- F. VALLEY LINING SHALL BE ONE PLY OF SMOOTH ROLL ROOFING COMPLYING WITH ASTM D 224 TYPE 11 OR TYPE 111 AT LEAST 36" IN WIDTH.
- G. CRICKETS SHALL BE INSTALLED ON THE RIDGE SIDE OF ANY CHIMNEY GREATER THAN 30". SIDEWALL FLASHING AGAINST A VERTICAL GREATER THAN 30". SIDEWALL FLASHING AGAINST A VERTICAL SIDE SHALL BE BY THE STEP FLASHING METHOD.

## 3. STAIR AND TREADS AND RISERS

- A. RISER STATE AMENDMENT R311.7.5.1: THE RISER HEIGHT SHALL BE NOT MORE THAN 8 1/4" INCHES. THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE NOSING OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM THE VERTICAL.
- B. TREAD STATE AMENDMENT R311.7.5.2: THE TREAD DEPTH SHALL BE NOT LESS THAN 9". THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREADS LEADING DEGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

## 4. WALL CONSTRUCTION

- A. DRILLING AND NOTCHING OF EXTERIOR WALLS AND BEARING PARTITIONS SHALL COMPLY WITH SECTION R602.6. DRILLING AND NOTCHING OF TOP PLATE SHALL COMPLY WITH SECTION R602.6.1.
- B. PROVIDE FIRE BLOCKING AS PER SECTION R602.8.
- C. ALL HEADERS, TRIMMERS AND BEAMS RUNNING PARALLEL TO AND UNDER PARTITIONS SHALL BE DOUBLED.
- D. FIRE BRICK IN CHIMNEY WILL BE BONED WITH A FULL HEADER AT EVERY SEVENTH COURSE.
- E. 5/8" X 12" OR 14" (DOUBLE PLATE) ANCHOR BOLTS PLACED EVERY 3' O.C. WITH 3" SQUARE BEARING PLATE (WASHER) UNDER NUT FOR ALL FOUNDATIONS WITH FLOOR JOISTS ABOVE.
- F. FOR ALL FOUNDATIONS, THERE WILL BE AN ANCHOR BOLT NO MORE THAN 12" FROM THE END OF A 2X8 PT SILL PLATE BOARD.

# CODE DATA

## GENERAL CODE INFORMATION

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA: TABLE R301.2 (1)

GROUND SNOW LOAD: 30 COUNTY OF ROCKLAND TOWN OF PALISADES

WIND SPEED: 100

SEISMIC DESIGN CRITERIA: CATEGORY C (ONE AND TWO FAMILY DWELLINGS ARE EXEMPT)

WEATHERING: SEVERE

FROST LINE DEPTH: 3'-6" DEPTH

TERMITE: MODERATE TO HEAVY

ICE BARRIER UNDERLAYMENT REQUIRED: PROVIDED

FLOOD HAZARDS: REFER TO SITE PLAN AND STRUCTURAL DRAWINGS FOR FLOOD VENTS AND BREAKAWAY PANELS.

# GENERAL NOTES:

ALL WORK TO BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE EDITION OF THE RESIDENTIAL CODE OF NEW YORK STATE WITH NEW YORK'S SUPPLEMENTS AS AMENDED TO DATE, NEW YORK STATE MODEL ENERGY CODE AS AMENDED TO DATE AND ALL GOVERNMENT AUTHORITIES, LAWS, BY-LAWS, OR ORDINANCES, AND REGULATIONS HAVING JURISDICTION OVER THE PERFORMANCE OF THE WORK.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND SHALL IMMEDIATELY NOTIFY THE ARCHITECTS OF ANY DISCREPANCIES.

THE CONTRACTOR SHALL REVIEW THE DRAWINGS AND NOTES WITH ALL SEPARATE CONTRACTORS (PLUMBING, ELECTRICAL) AND TRADES AND SHALL BE RESPONSIBLE FOR COORDINATING THE WORK AMONG THE SEPARATE CONTRACTORS AND TRADES SO THAT INSTALLATION BY ONE SHALL NOT INTERFERE WITH THE WORK OF OTHERS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE VARIOUS SEPARATE CONTRACTORS AND VARIOUS TRADES OF WORK REQUIRED DUE TO WORK WITH OTHER CONTRACTOR'S AND OR TRADES NOT SPECIFICALLY MENTIONED ON THE DRAWINGS.

PLUMBING AND ELECTRICAL CONTRACTORS TO BE LICENSED IN THE TOWN OF PALISADES, NEW YORK.

DO NOT SCALE DRAWINGS, NUMERICAL VALUES GOVERN.

# PROJECT

# Bergson/Gluckstern Residence

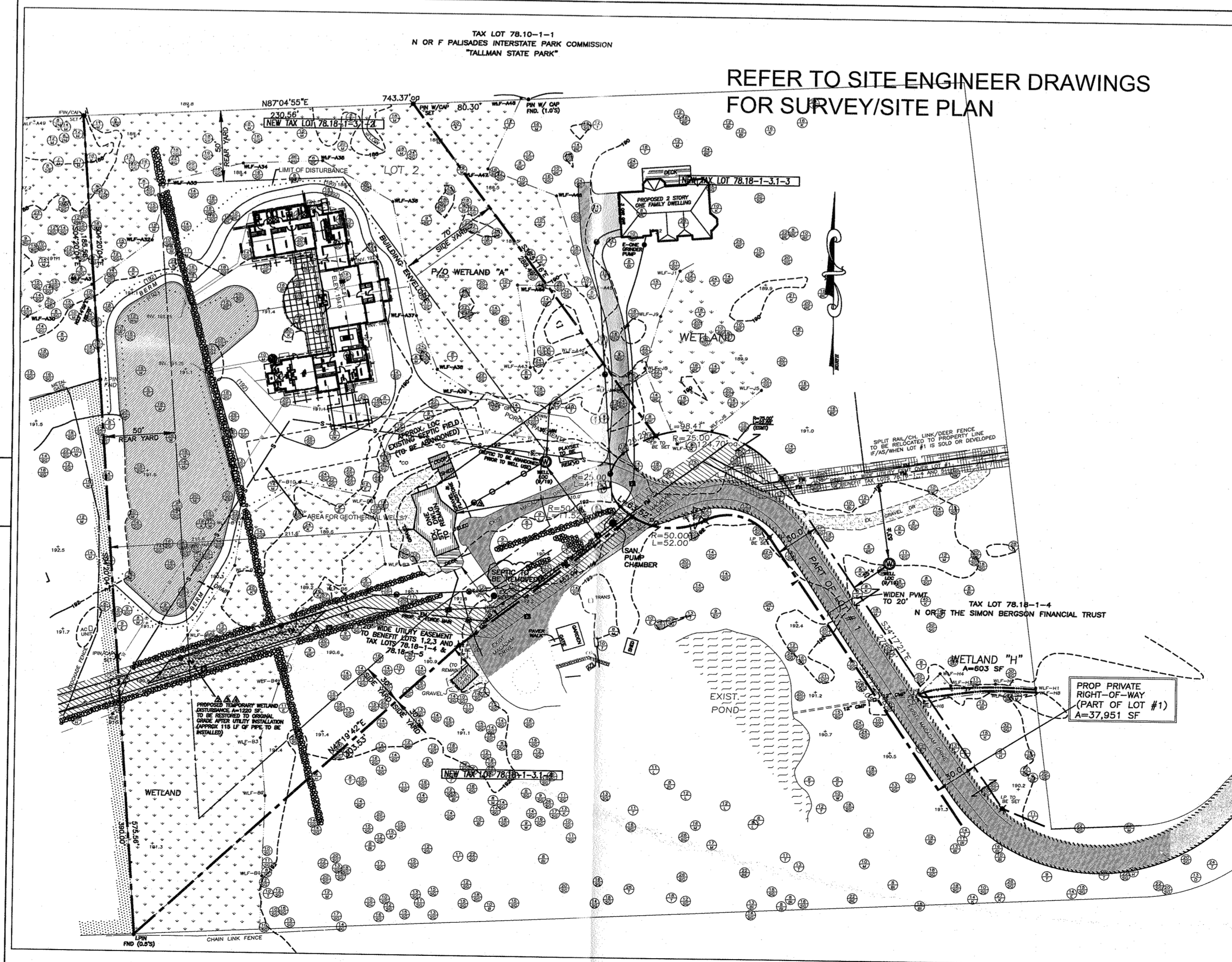
Woods Road  
Palisades, New York

# ARCHITECT

**COLGAN  
PERRY  
LAWLER  
AURELL  
ARCHITECTS**

171 KING'S HIGHWAY,  
ORANGEBURG,  
NEW YORK 10962  
TEL 845.680.6670

# SITE PLAN



# DRAWING LIST

## ARCHITECTURAL DRAWINGS

- |    |                                   |      |            |
|----|-----------------------------------|------|------------|
| C1 | COVER SHEET - SITE PLAN AND NOTES | DATE | 09-07-2020 |
| A1 | MAIN FLOOR PLAN                   |      |            |
| A2 | EXTERIOR ELEVATIONS 1,2,3         |      |            |
| A3 | EXTERIOR ELEVATIONS 4,5,6,7,8     |      |            |

# RELEASE

PERMIT, PLANNING AND HISTORIC BOARD SUBMISSION 09-07-2020

# LEGEND

- EXTERIOR ELEVATIONS RE: A4 + A4.1
- CROSS SECTIONS RE: A5 + A5.1
- REVISION AND CLOUD
- DETAILS
- WINDOW SYMBOL WINDOW TYPE
- FLOOR DESIGNATION
- DOOR SYMBOL DOOR NUMBER
- FLOOR DESIGNATION
- BLOWUP DETAILS DRAWING # DETAIL #
- WALL SECTIONS RE: A6

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PERRY  
LAWLER  
AURELL  
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NEW YORK 10962  
TEL 845.680.6670

**Bergson/Gluckstern Residence**  
Woods Road  
Palisades, New York

DRAWING TITLE:  
**Cover Sheet**

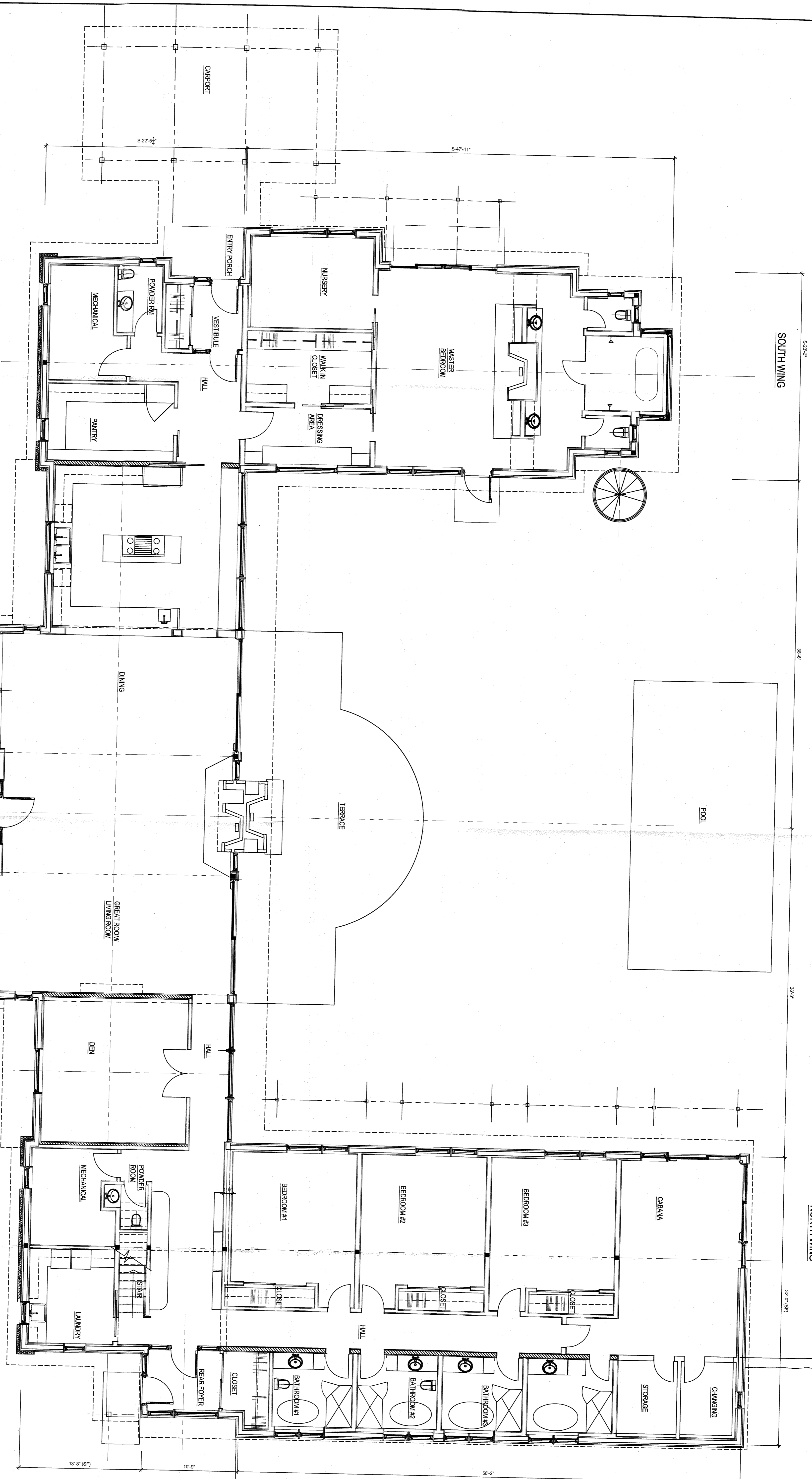
Town Of Orangenburg Meeting City  
OCT 13 2020  
HISTORICAL AREAS BOARD OF REVIEW

DATE: 5-26-2020  
PROJ TEAM: RR  
PROJ PARTNER: WCA  
PROJ NO.: XXXXX

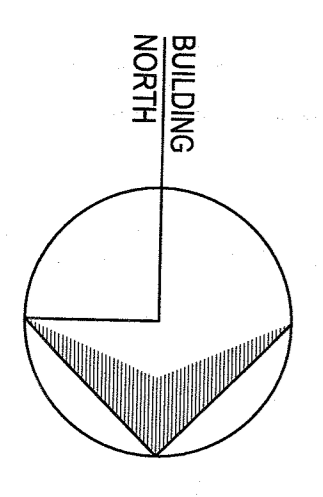
**C-1**



09-07-2020 Historic Conservation Board Submission



**A**  
 MAIN LEVEL FLOOR PLAN  
 SCALE: 3/16" = 1'-0"



09-07-2020 Historic Conservation Board Submission

**A-1**

DATE: 5-28-2020  
 PROJ TEAM: RR  
 PROJ PARTNER: WCA  
 PROJ NO.: XXXXX

DRAWING TITLE:  
**Main Floor Plan**

# Bergson/Gluckstern Residence

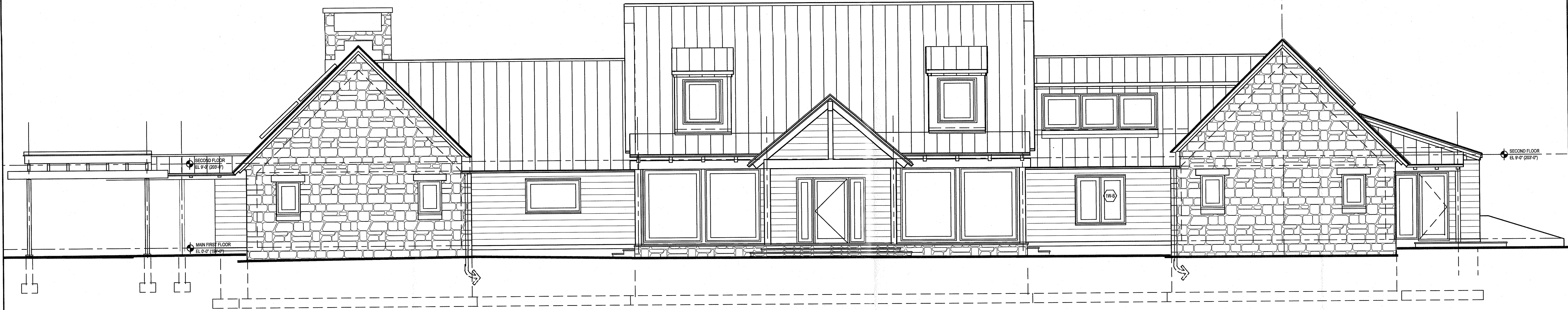
Woods Road  
 Palisades, New York

**COIGAN PERRY LAWYLER AURELL ARCHITECTS**  
 171 KING'S HIGHWAY, ORANGETOWN, NY  
 NEW YORK, 10962  
 TEL. 845.880.6670

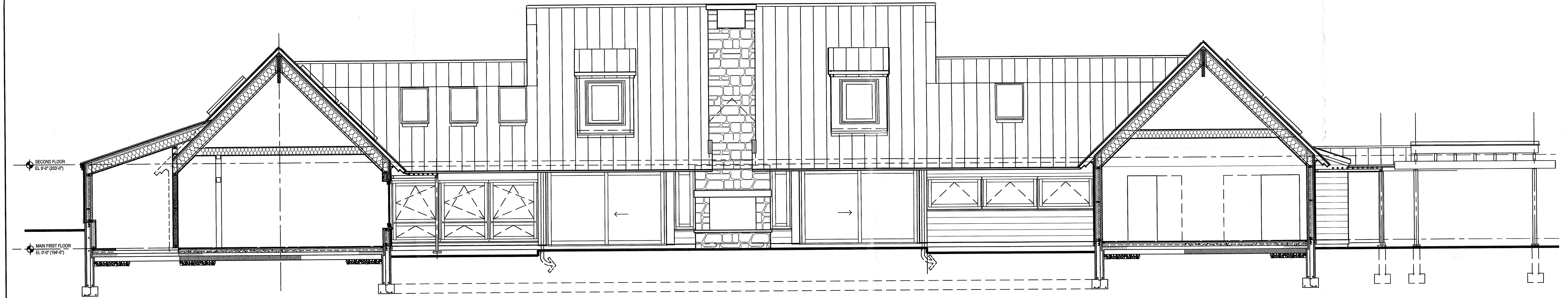


Bergson/Gluckstern Residence

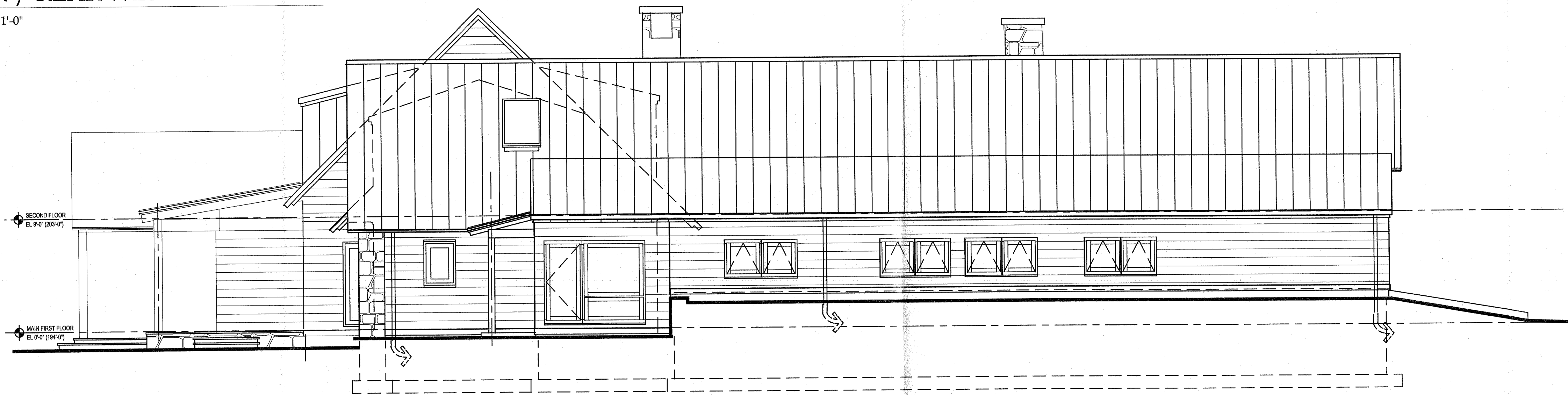
Woods Road  
Palisades, New York



1 FRONT EAST ELEVATION  
SCALE: 3/16" = 1'-0"



2 SECTION / REAR WEST ELEVATION  
SCALE: 3/16" = 1'-0"



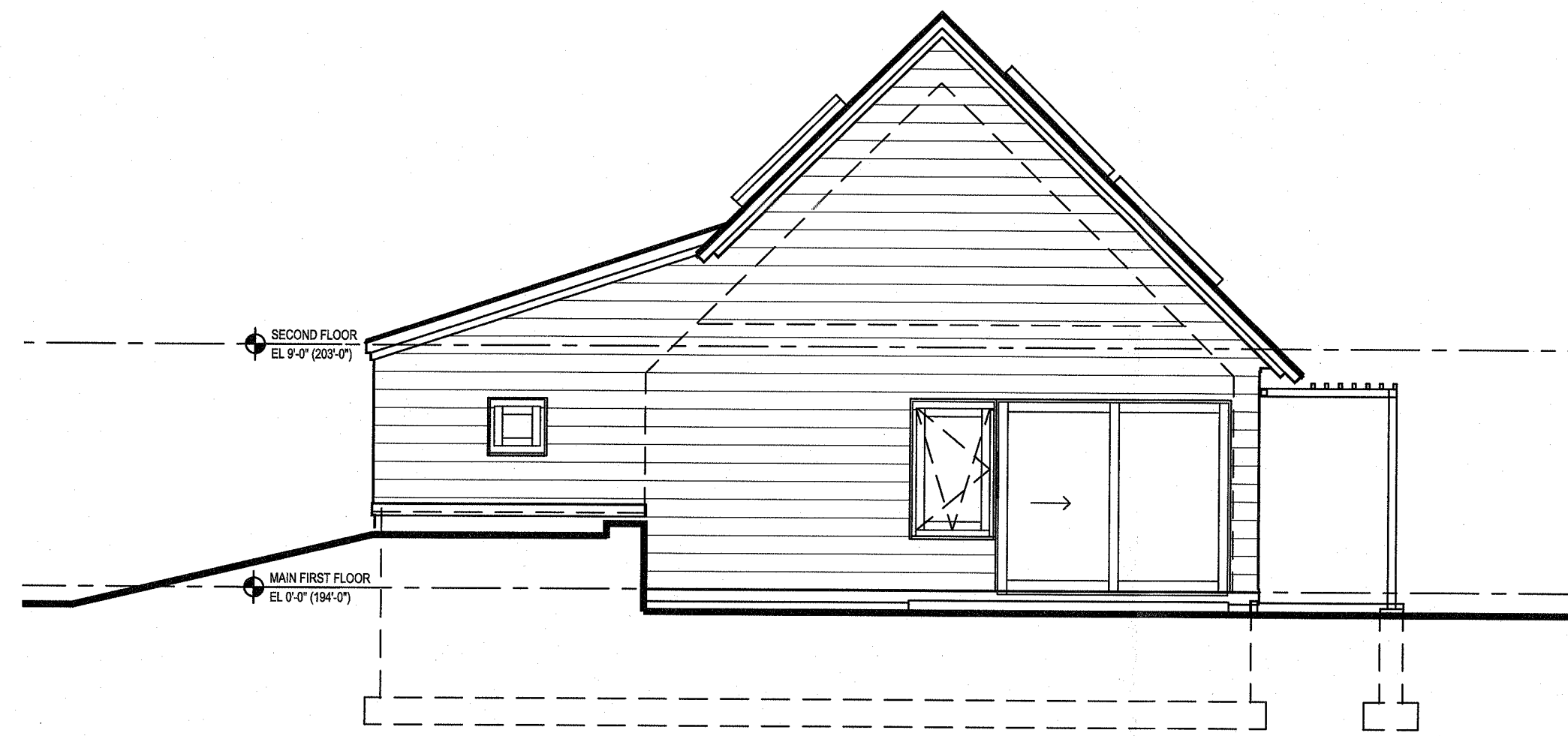
3 NORTH ELEVATION  
SCALE: 3/16" = 1'-0"

DRAWING TITLE:  
Exterior Elevations  
1, 2, 3

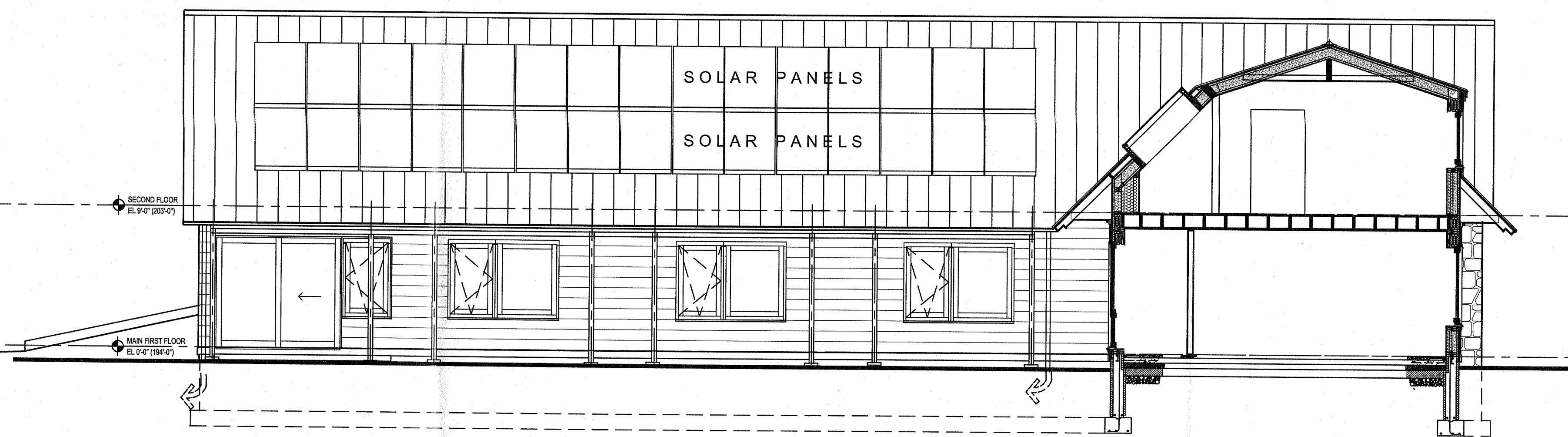
DATE: 5-26-2020  
PROJ TEAM: RR  
PROJ PARTNER: WCA  
PROJ NO.: XXXXX



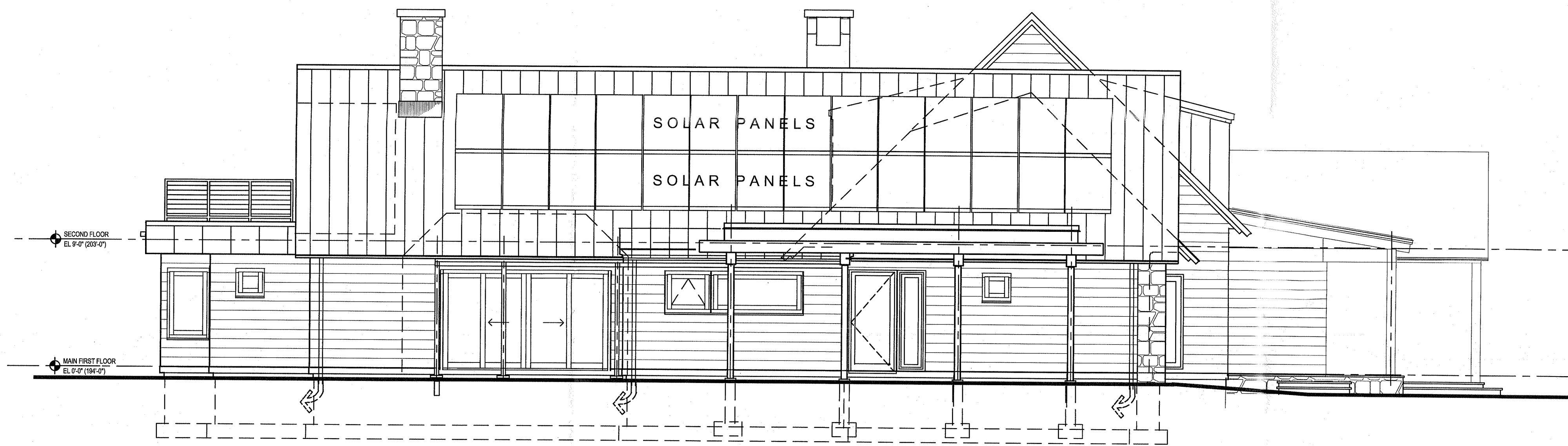
A-2



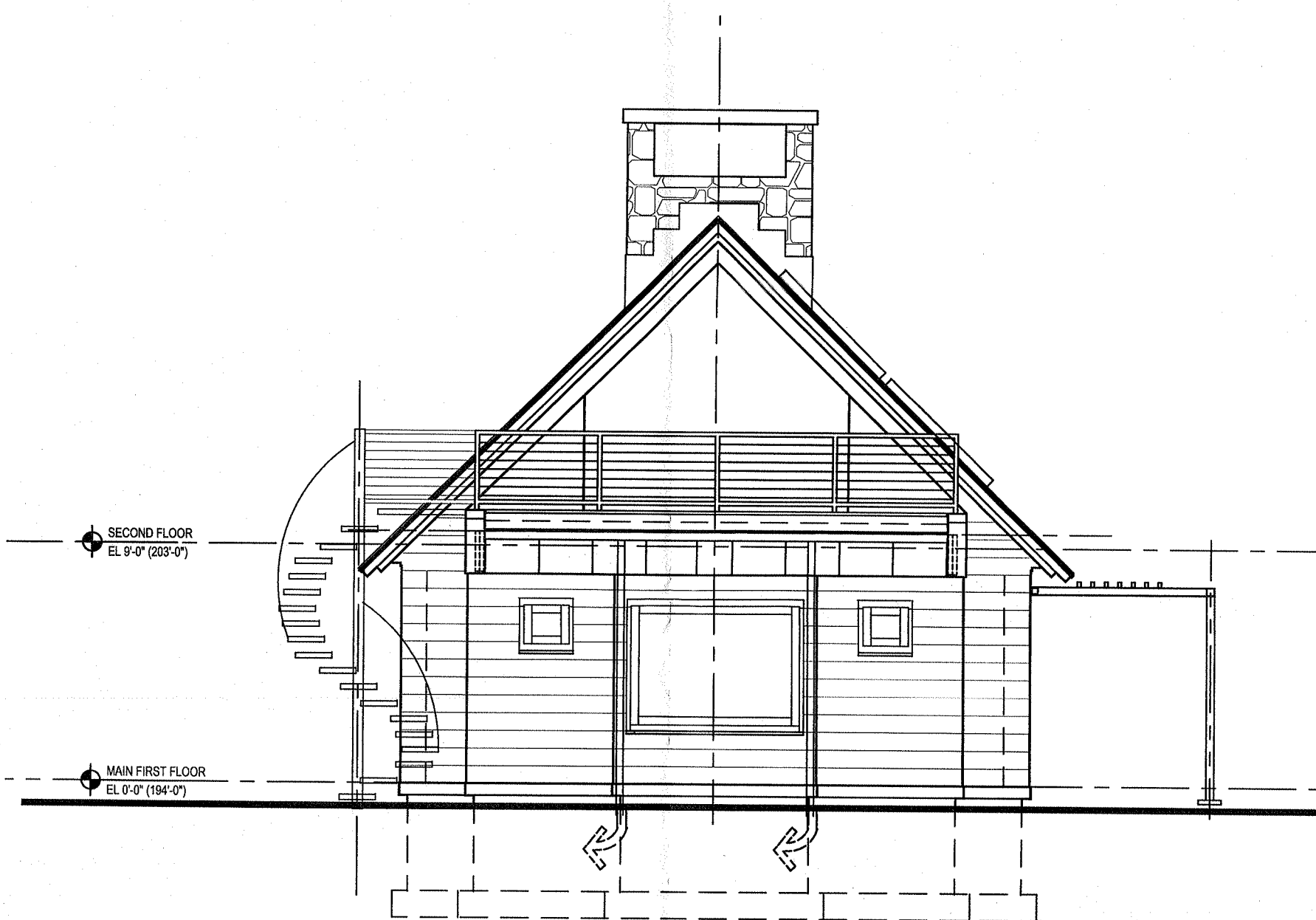
4 NORTH WING WEST ELEVATION  
SCALE: 3/16" = 1'-0"



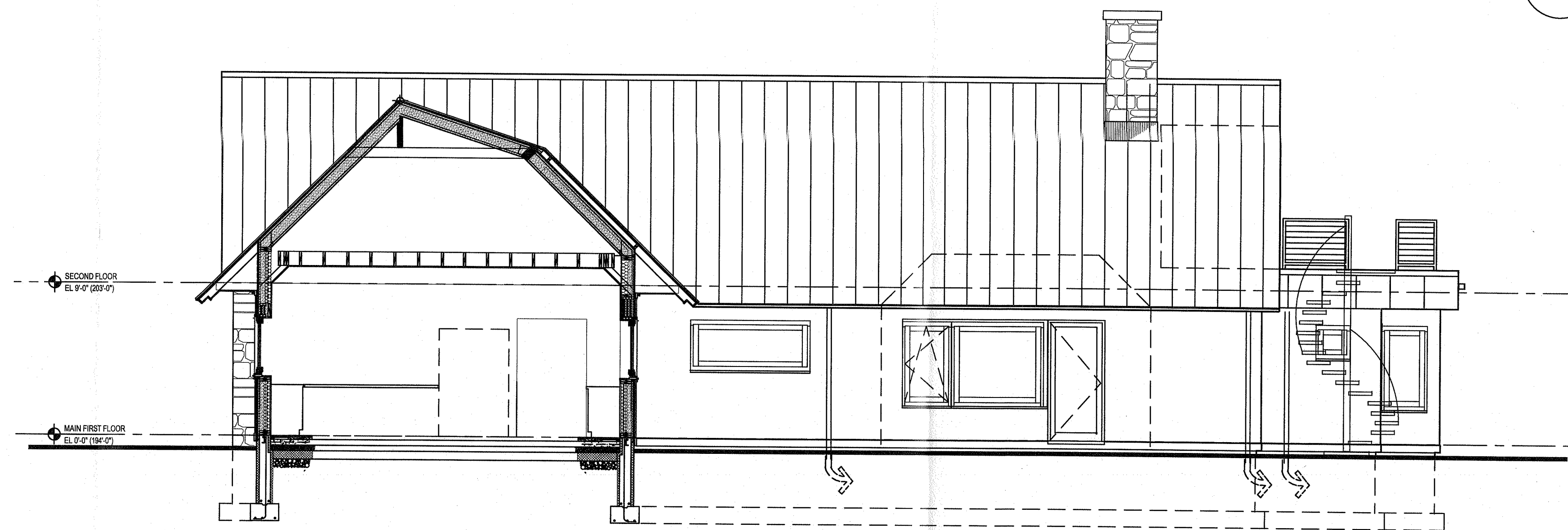
5 NORTH WING SOUTH SECTION / ELEVATION  
SCALE: 3/16" = 1'-0"



6 SOUTH WING SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



7 SOUTH WING WEST ELEVATION  
SCALE: 3/16" = 1'-0"



8 SOUTH WING NORTH SECTION / ELEVATION  
SCALE: 3/16" = 1'-0"

COLGAN  
PERRY  
LAWLER  
AURELL  
ARCHITECTS

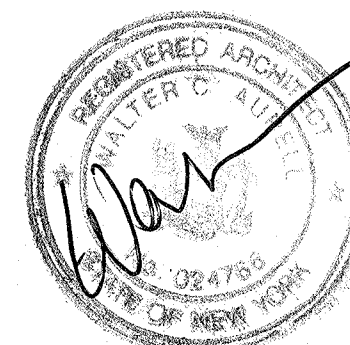
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Bergson/Gluckstern Residence

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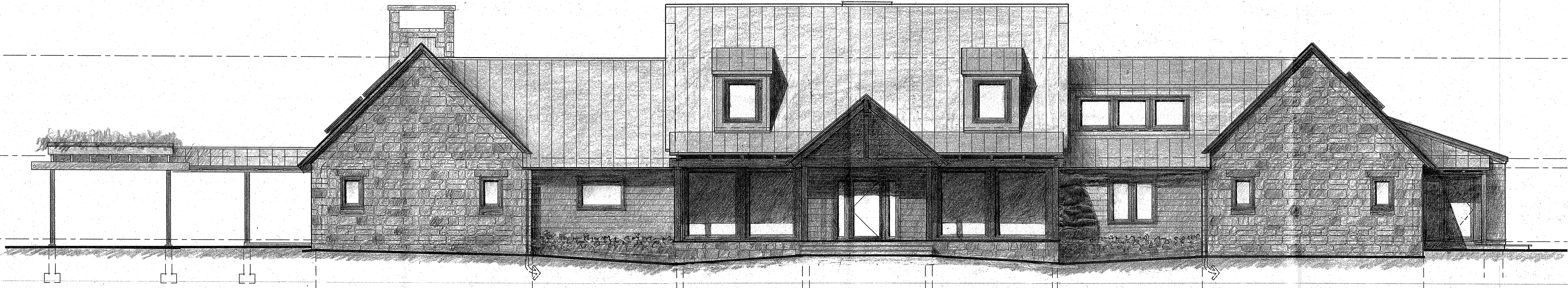
DRAWING TITLE:  
Exterior Elevations  
4, 5, 6, 7, 8

DATE: 5-26-2020  
PROJ TEAM: RR  
PROJ PARTNER: WCA  
PROJ NO.: XXXXX

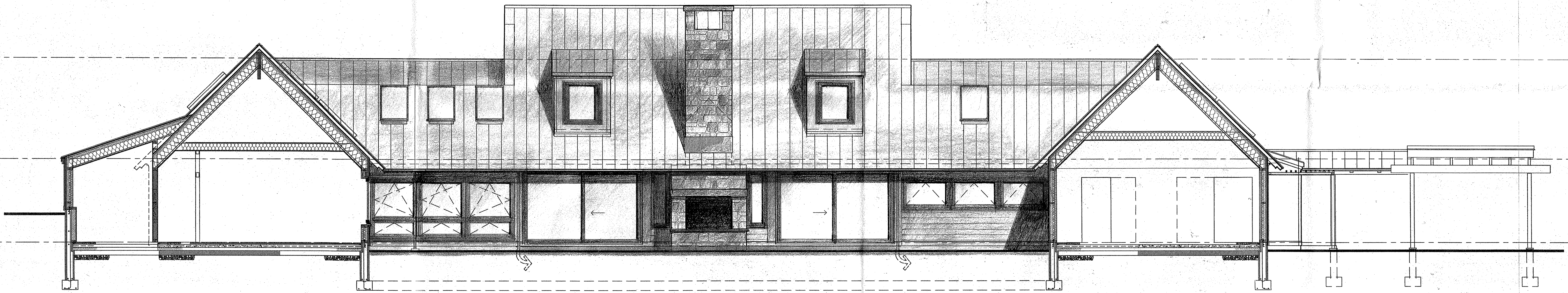


09-07-2020 Historic Conservation Board Submission

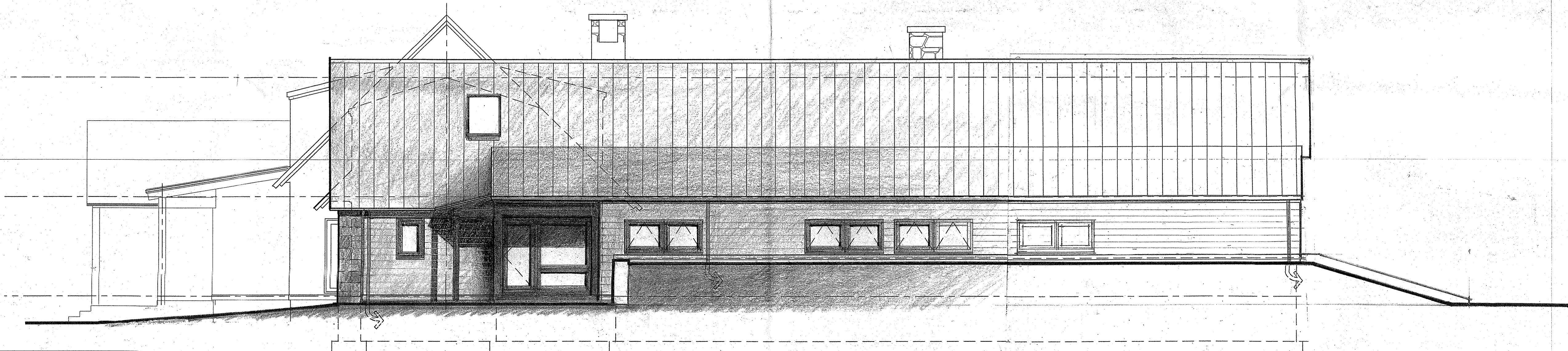
A-3



① FRONT EAST ELEVATION



② SECTION / REAR WEST ELEVATION

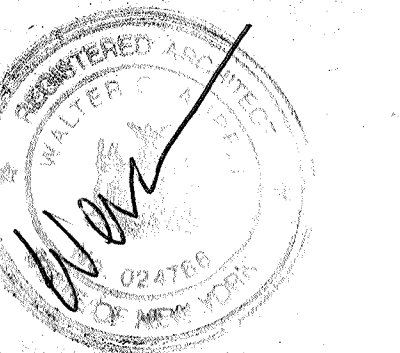


③ NORTH ELEVATION

Bergson/Gluckstern Residence

Woods Road  
Palsades, New York

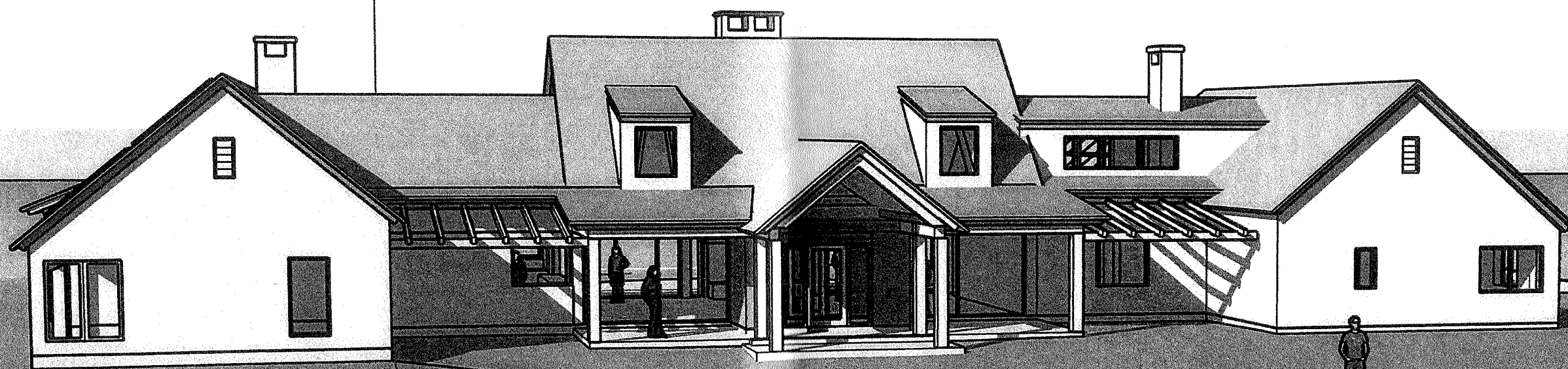
OCT 13 2020  
HISTORICAL AREAS  
BOARD OF REVIEW



DRAWING TITLE:  
Exterior Elevations  
1, 2, 3

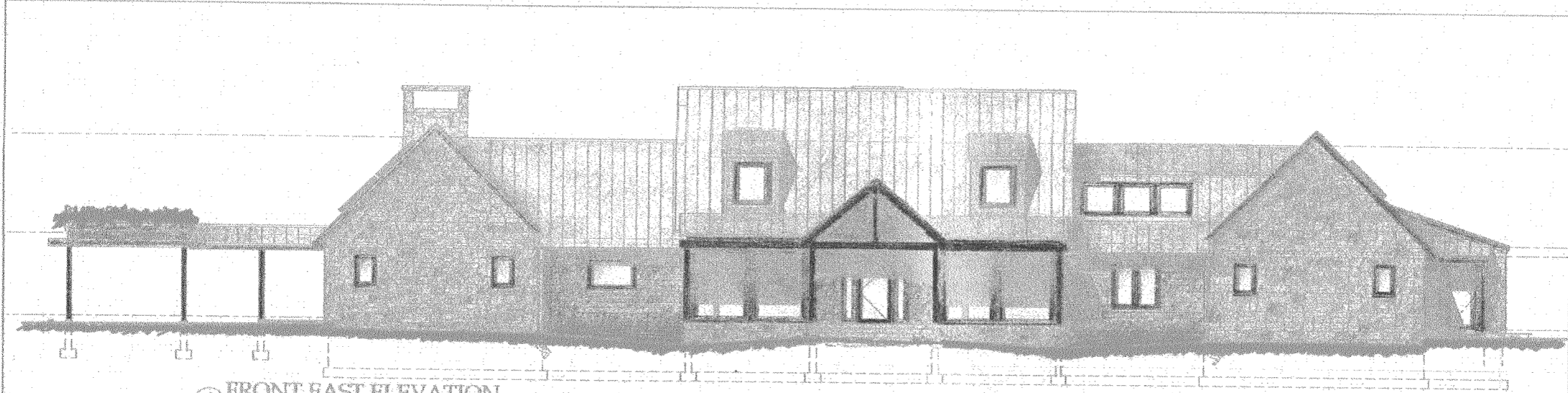
DATE: 5-28-2020  
PROJ TEAM: RR  
PROJ PARTNER: WCA  
PROJ NO.: XXXXX

A-4

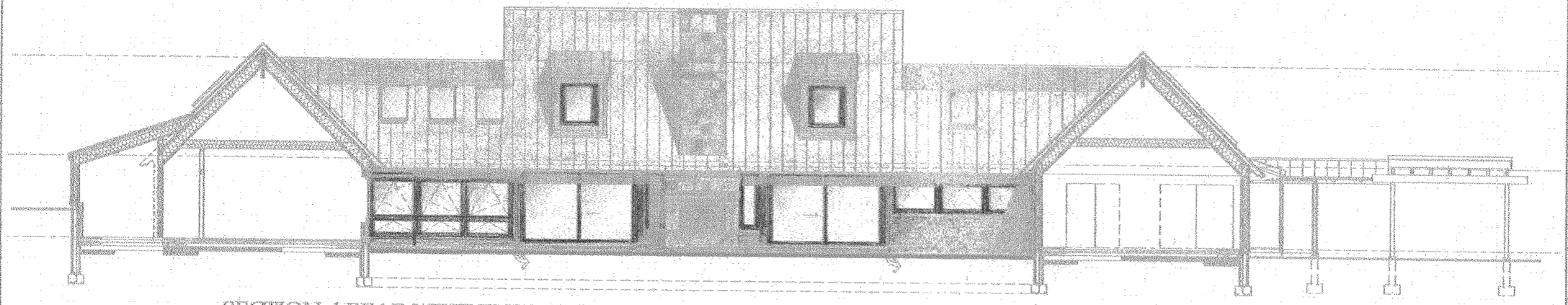


BERGSON  
WOODS ROAD, PALISADES

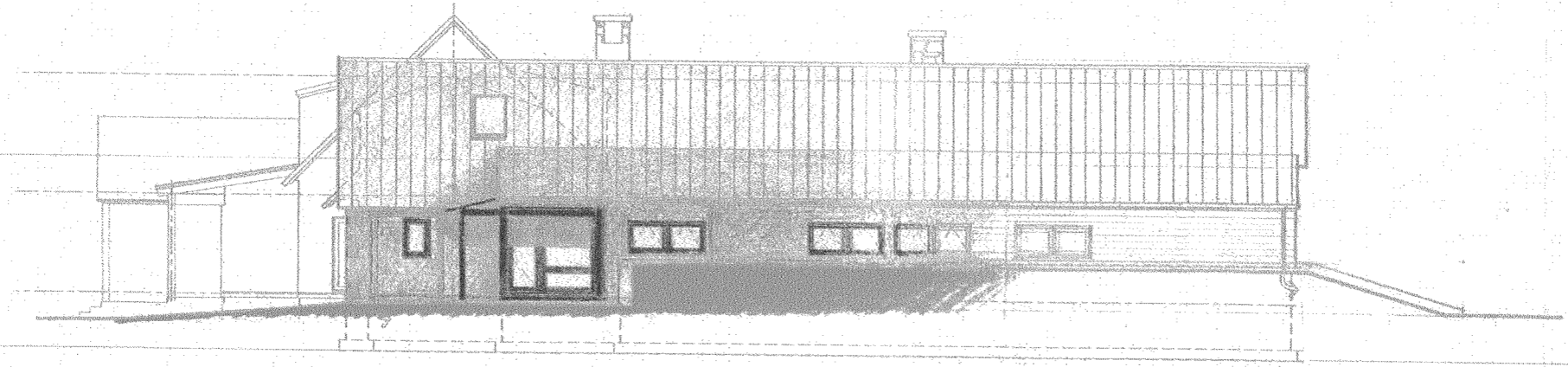
SHADOW STUDY



① FRONT EAST ELEVATION



② SECTION / REAR WEST ELEVATION



③ NORTH ELEVATION

COLGAN  
PERRY  
LAWLER  
AURELL  
ARCHITECTS  
271 WEST 107TH STREET, CHRONICLE  
NEW YORK, NY 10025  
TEL: 212-850-8000

Bergson/Gluckstern Residence  
Woods Road  
Pellissippi, New York

DATE: 11-20-00  
DRAWN BY: JPL  
CHECKED BY: JPL  
SCALE: AS SHOWN

PROJECT NO.: 00000

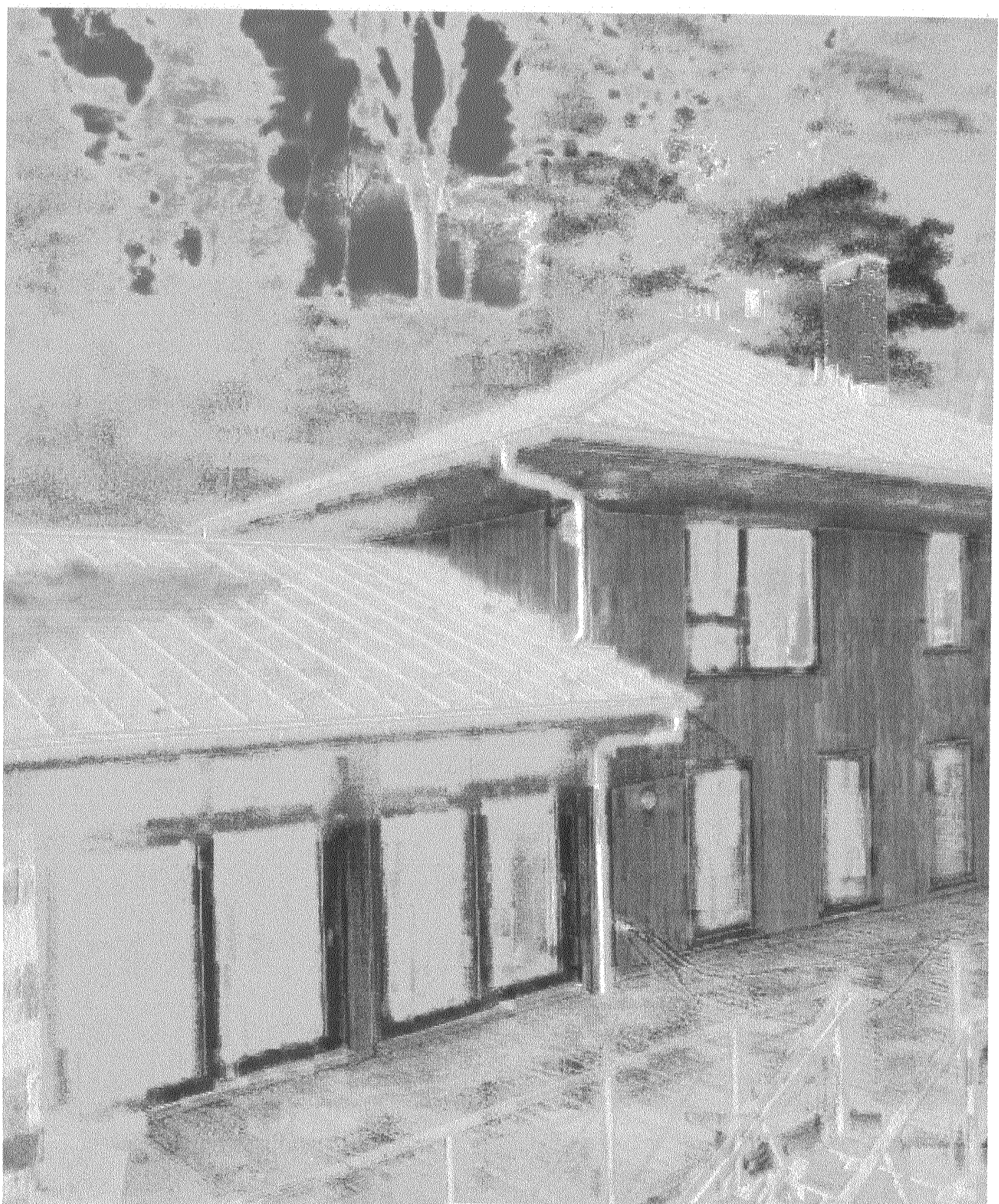
A-4



SIDING & TRIM  
"THERMORY" MODIFIED WOOD (ASH)  
"CUTEK" CLEAR COATING

BLUESTONE  
CLADDING  
TO  
MATCH





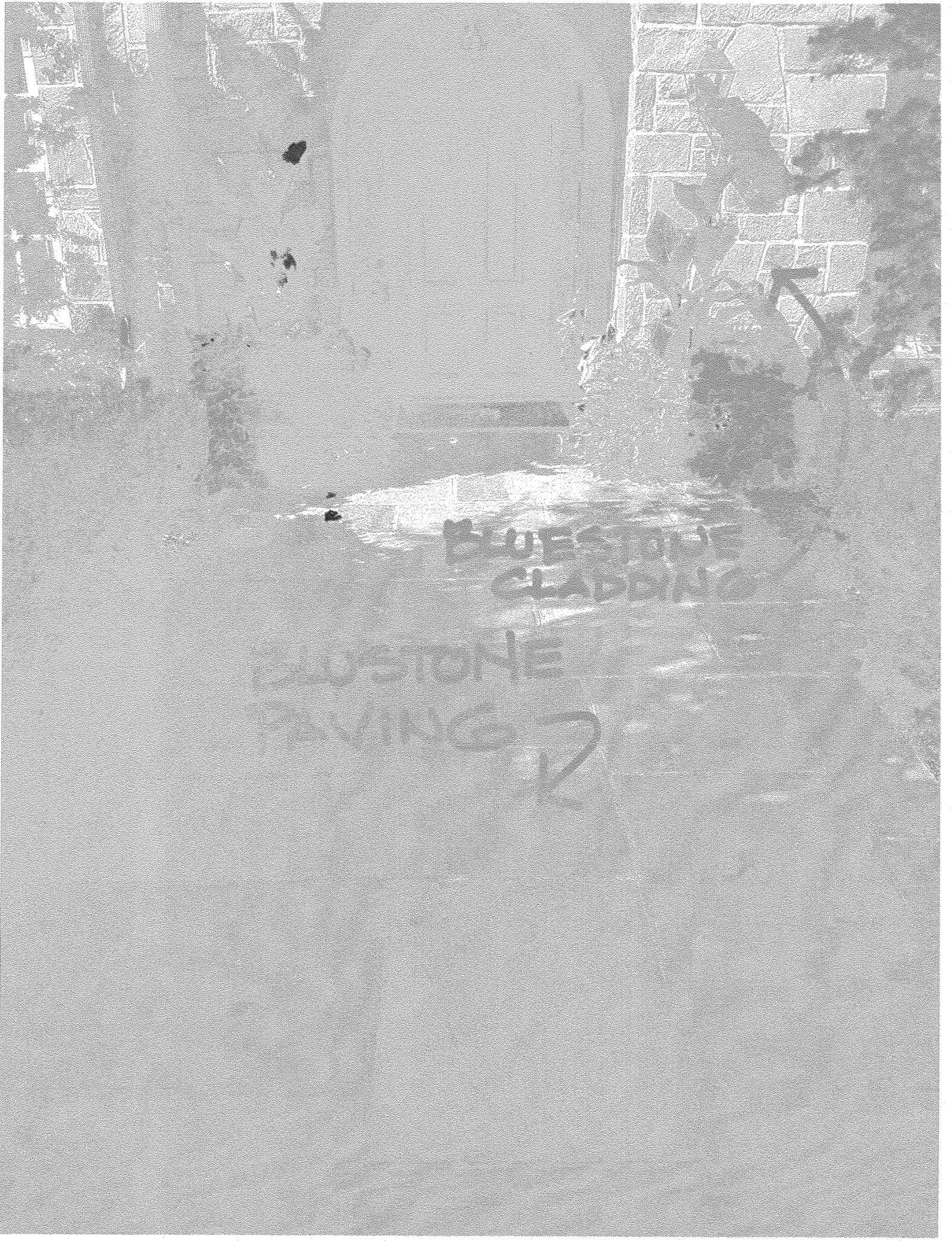
'ZOLA' - WINDOWS, DOORS, SLIDING DOORS  
MAHOGANY FIN.  
'ENGLERT' - METAL ROOF, MATCHING GUTTERS  
DOVE GRAY



WOOD WINDOWS - "ZOLA"  
BUT WITH MAHOGANY  
FINISH



FRONT & SIDE DOORS "ZOLA"  
W/ MAHOGANY FINISH





"BEGA" BOOM COPPER / LED LIGHT





- 1" ZOLA NINDONS  
& DOORS (WOOD)  
HAWGANY  
FINISH

NATURAL WOOD  
FINISH  
HAWGANY FINISH