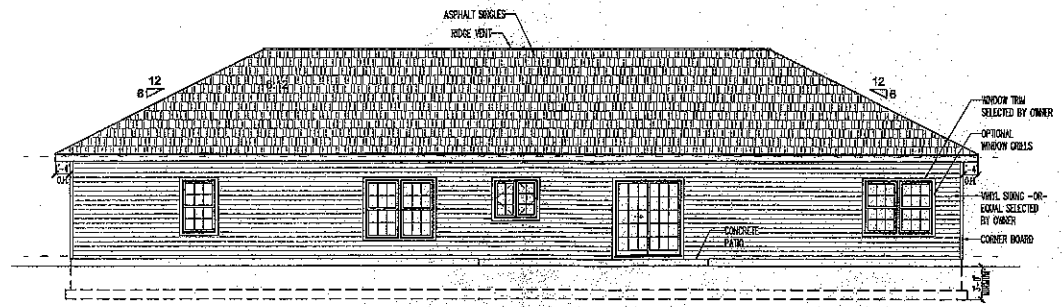


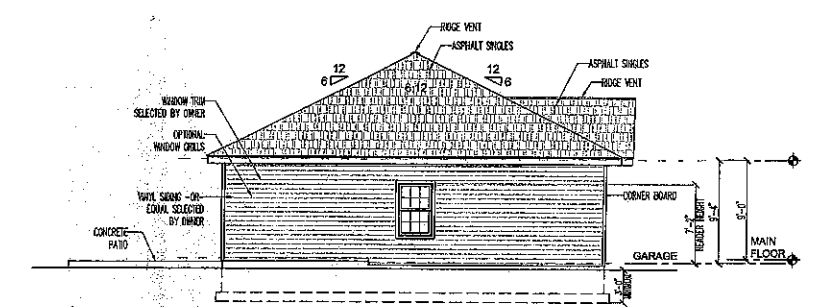
**RIGHT SIDE ELEVATION**

SCALE : 1/8" = 1'-0"



**REAR ELEVATION**

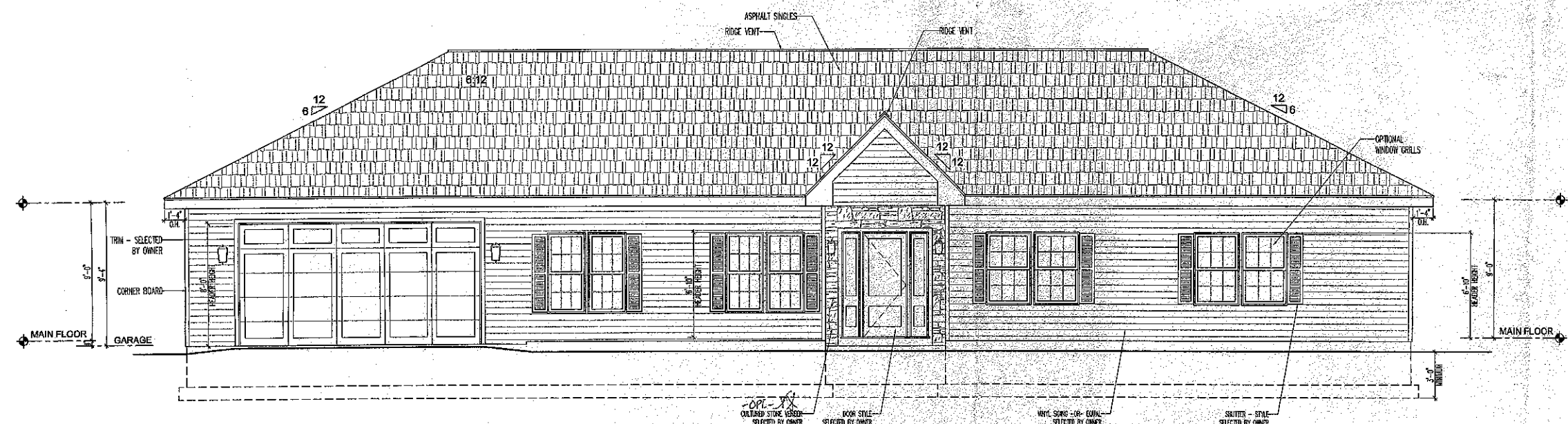
SCALE : 1/8" = 1'-0"



**LEFT SIDE ELEVATION**

SCALE : 1/8" = 1'-0"

Jan 7, 2020  
Mtg

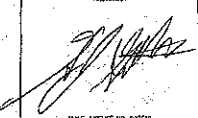



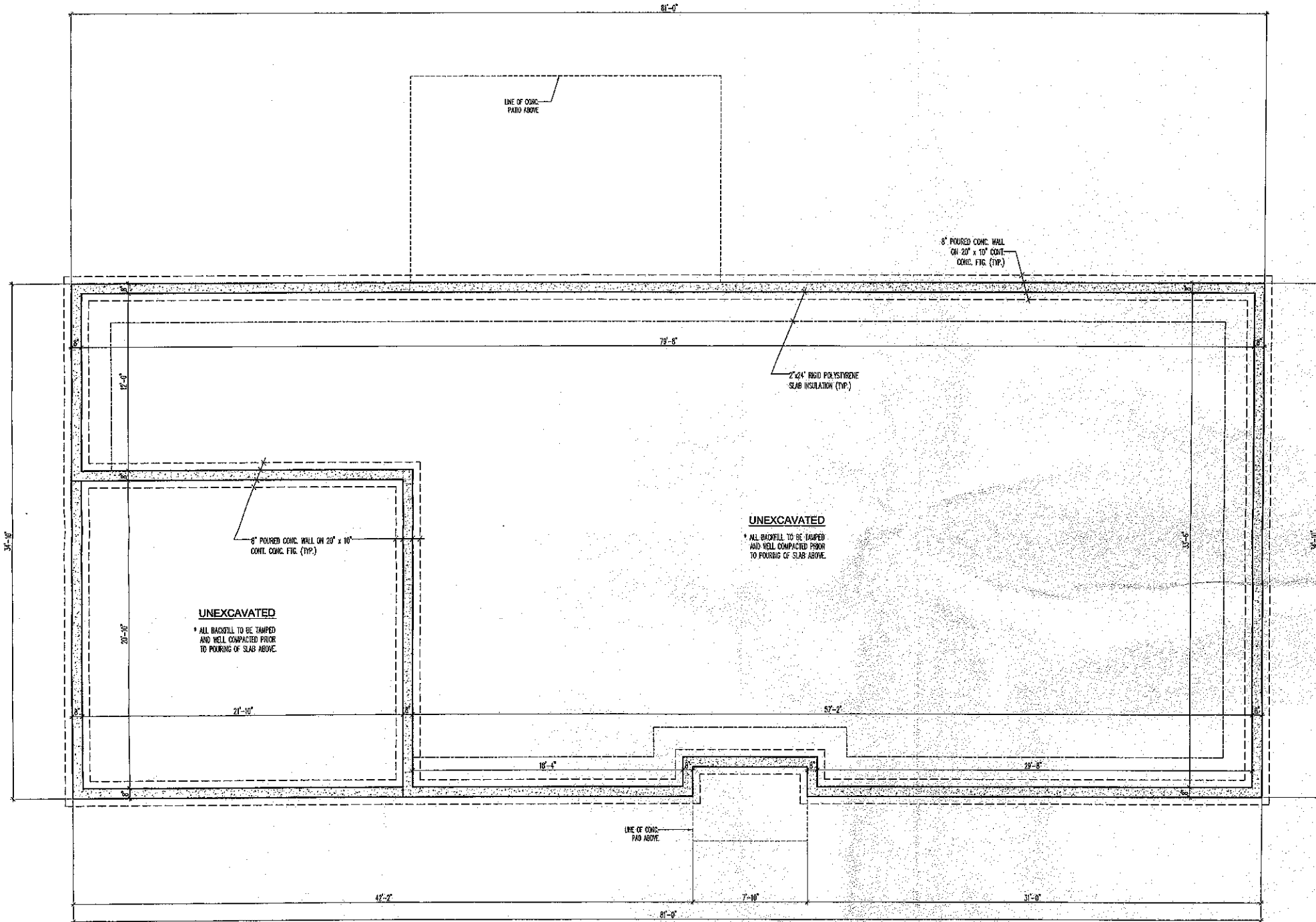
**FRONT ELEVATION**

SCALE : 1/4" = 1'-0"

STATE OF NEW YORK ADOPTED CODES AND STANDARDS  
 INTERNATIONAL RESIDENTIAL CODE - NY ED, 2015  
 NATIONAL ELECTRICAL CODE, 2015  
 NATIONAL STANDARD PLUMBING CODE, 2015  
 INTERNATIONAL ENERGY CONSERVATION CODE, 2016 (RESIDENTIAL)  
 INTERNATIONAL MECHANICAL CODE, 2015  
 INTERNATIONAL FUEL GAS CODE, 2015  
 2016 RESIDENTIAL PRESCRIPTIVE PACKAGE

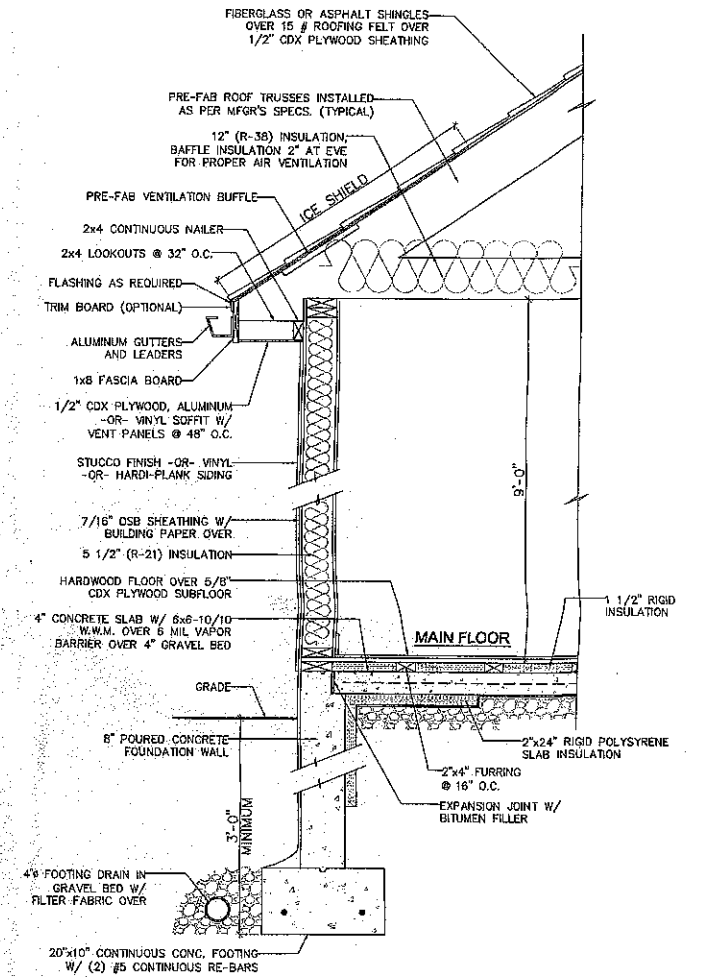
NOTE: TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, PLANS ARE IN COMPLIANCE WITH 2015 IECC & NYS ENERGY CODE SUPPLEMENT

<b>NEW MODEL FOR MR. ED LANE</b>  PARK AVENUE, PALISADES, NEW YORK		PROJECT 191288 DECEMBER 20, 2019
HARRY J. GOLDSTEIN ARCHITECT  	 <b>HARRY J. GOLDSTEIN</b> ARCHITECT DESIGN & CONSTRUCTION	<b>1 OF 4</b>
H.J.G. ARCHITECTS INC. 12529A 100 WEST 15TH STREET, NEW YORK, NY 10011 (212) 266-7942 (212) 387-5787		



**FOUNDATION PLAN**

SCALE : 1/4" = 1'-0"



**TYPICAL WALL SECTION** SCALE: 3/4" = 1'-0"

**NEW MODEL FOR  
MR. ED LANE**

PARK AVENUE,  
PALISADES, NEW YORK

PROJECT 191289  
DECEMBER 20, 2019

HARRY J. GOLDSTEIN  
ARCHITECT

215 LUDLOW RD. #10209  
ROSELAND, N.Y. 11423  
TEL: 516-794-7242 FAX: 516-794-7247



HARRY J. GOLDSTEIN  
ARCHITECT  
LICENSED PROFESSIONAL ARCHITECT

4. DESIGN PROFESSIONAL  
LICENSE NO. 10209  
(516) 794-7242 (516) 794-7247

2  
OF  
4

# GENERAL SPECIFICATIONS

## GENERAL NOTES:

1. ALL WORK PERFORMED SHALL COMPLY WITH BUILDING AND ZONING ORDINANCES OF THE TOWN OF ORANGETOWN AND THE N.Y.S. BUILDING AND ENERGY CODES.
2. THESE PLANS ARE TO BE USED FOR PERMITS & CONSTRUCTION CODE ONLY. IT IS NOT INTENDED TO BE USED AS A CONTRACT DOCUMENT, UNLESS OTHERWISE INDICATED BY ARCHITECT.
3. CONTRACTOR OR ANY SUBCONTRACTORS DOING ANY WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND SHALL FURNISH OWNER WITH CERTIFICATES OF INSURANCE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON THESE PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
5. ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS SHALL BE CONSIDERED AS REASONABLY CORRECT, BUT IT SHALL BE UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESEEN OR OTHER CONDITION.
6. ARCHITECT AND RELATED CONSULTANTS HAVE NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES OR FOR APPROVAL OF SHOP DRAWINGS. ARCHITECT IS ONLY RESPONSIBLE FOR THESE WORKING DRAWINGS AND THEIR RELATED SPECIFICATIONS. IT REMAINS THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OR THE ARCHITECT OF ANY DISCREPANCY OR CHANGE ON APPROVED PLANS AND OF ANY UNFORESEEN DEVELOPMENT THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.
7. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURE OR ANY UNFORESEEN PROBLEMS PRIOR TO NEW CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NEW CONSTRUCTION AND/OR DEMOLITIONS OPERATIONS AND METHODS.
8. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED. ARCHITECT SHALL BE INFORMED OF ANY DISCREPANCIES. MATCH ALL EXISTING MATERIALS, DIMENSIONS AND CONDITIONS AS THEY APPLY.
9. ALL DIMENSIONS ARE APPROPRIATE AND ARE TO BE FIELD VERIFIED PRIOR TO START OF WORK. DO NOT SCALE DIMENSIONS FROM DRAWINGS. WRITTEN DIMENSIONS ARE TO BE FOLLOWED FOR CONSTRUCTION PURPOSES.
10. ALL CONSTRUCTION & MATERIALS SHALL BE NEW - UNLESS OTHERWISE NOTED. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR, UNLESS OTHERWISE NOTED.
11. ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT IS TO BE PERFORMED BY CAPABLE AND REPUTABLE CONTRACTORS LICENSED IN THE STATE OF NEW YORK AND AS REQUIRED BY THE LOCAL GOVERNING AGENCY.
12. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT HAS BEEN SECURED AS REQUIRED BY THE APPLICABLE GOVERNING AGENCY OR AGENCIES.
13. ALL CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BEFORE START OF ANY WORK AND DISCREPANCIES OR VARIATIONS TO APPROVED PLANS ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING.
14. PRIOR TO COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE FROM THE JOB SITE ALL TOOLS, SUPPLIES, MATERIALS, EQUIPMENT, SCRAP, DEBRIS AND WASTE EXCEPT AS OTHERWISE NOTED BY THE OWNER.
15. CONTRACTOR AND/OR OWNER ARE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND VERIFYING LOCATION OF SAME UTILITY COMPANIES LINES, SERVICES AND OTHER POSSIBLE EQUIPMENT OF UTILITY COMPANY.
16. ALL EXISTING CONDITIONS INDICATED ON THE PLANS TO BE REMOVED OR TO BE RELOCATED ARE TO BE SO EXECUTED IN A MANNER THAT WILL NOT DISTURB ADJACENT AREAS OR CONDITIONS WHICH ARE TO REMAIN.
17. EXTREME CAUTION IS TO BE TAKEN DURING EXCAVATION AND/OR DEMOLITION. CONTRACTOR TO OBSERVE ANY VARIATIONS OR UNFORESEEN DISCREPANCIES IN THE PLANS AND REPORTED IMMEDIATELY TO THE OWNER.
18. ALL FOOTINGS TO REST ON VIRGIN SOIL HAVING A MINIMUM BEARING CAPACITY OF 3,000 P.S.F. AT 3'-0" MINIMUM BELOW FINISHED GRADE.
19. EARTH UNDER CONCRETE SLAB IS TO BE THOROUGHLY COMPACTED AND CLEANED OF DEBRIS, WATER AND OTHER MATERIAL. THE SUB-GRADE SHALL DROUGHT TO A TRUE PLANE & COMPACTED TO SOLID BEARING. ALL FILL MATERIAL SHALL BE SOIL OR SOIL-ROCK MIXTURE, FREE FROM ORGANIC MATTER AND OTHER OBJECTIONABLE MATERIAL. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER SIX INCHES IN GREATEST DIMENSION AND NOT MORE THAN 15% OF THE ROCKS OR LUMPS SHALL BE LARGER THAN 3" IN GREATEST DIMENSION.
20. DO NOT BACKFILL UNTIL MAIN FLOOR SYSTEMS, INCLUDING SLABS AND FLOOR DECKING, ARE INSTALLED.
21. BACKFILL AGAINST 8" POURED CONCRETE WALLS SHALL BE A MAXIMUM OF 7'-0" AND 10" CONCRETE BLOCK WALLS MAXIMUM 6'-0" ABOVE SLAB TO ADJACENT GRADE.
22. TOP 6" OF NEWLY GRADED AREAS IS TO BE TOP SOIL, RAMPED FREE FROM DEBRIS, STICKS, STONES OVER 2" IN SIZE AND OBJECTIONABLE MATERIAL.
23. GENERAL CONTRACTOR OF OWNER SHALL FIELD VERIFY ALL INVERT ELEVATIONS AND SEWER CONDITIONS INDICATED PRIOR TO CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR INFORMATION CONTAINED IN SURVEYS OR SEWER DEPT. RECORDS.
24. FOOTING GRAINS TO BE PROVIDED WHERE REQUIRED AND APPROPRIATE. THEY SHALL BE LAID IN GRAVEL AND PROTECTED AT TOP WITH FILTER FABRIC AND PROVIDE POSITIVE OUTFLOW TO STORM DRAIN OR DRY WELL.
25. FINISHED GRADE AND DRIVEWAY SHALL PITCH AWAY FROM THE BUILDING SO THAT ALL SURFACE WATER FLOWS AWAY FROM IT.
26. INSTALLATION OF GAS METERS SHALL BE IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
27. INSTALLATION OF ELECTRIC METERS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
28. FINISHED GRADE HEIGHT SHALL BE MINIMUM 8" BELOW ADJACENT FRAMING AND MAXIMUM (IF ANY) AS PER LOCAL CODES.
29. CONCRETE DESIGN, MATERIALS AND METHODS OF CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE STANDARD 3:8 RATIO OF THE AMERICAN CONCRETE INSTITUTE. ALL MASONRY OR CONCRETE ANCHORS AND FASTENERS OF ANY KIND TO BE GALVANIZED OR ZINC COATED.
30. BLOCK FOUNDATION WALLS TO BE REINFORCED HORIZONTALLY WITH DWR-6 WALL EVERY SECOND COURSE AND VERTICALLY WITH (4) #5 RE-BARS EVERY FOUR FEET. BLOCK SHALL BE FILLED SOLID WITH CONCRETE AROUND REINFORCING BARS. TOP COURSE OF BLOCK SHALL BE FILLED SOLID WITH CONCRETE AND 5/8" DIAMETER ANCHOR BOLTS SHALL BE PLACED 4'-0" TO 6'-0" O.C.

## FRAMING

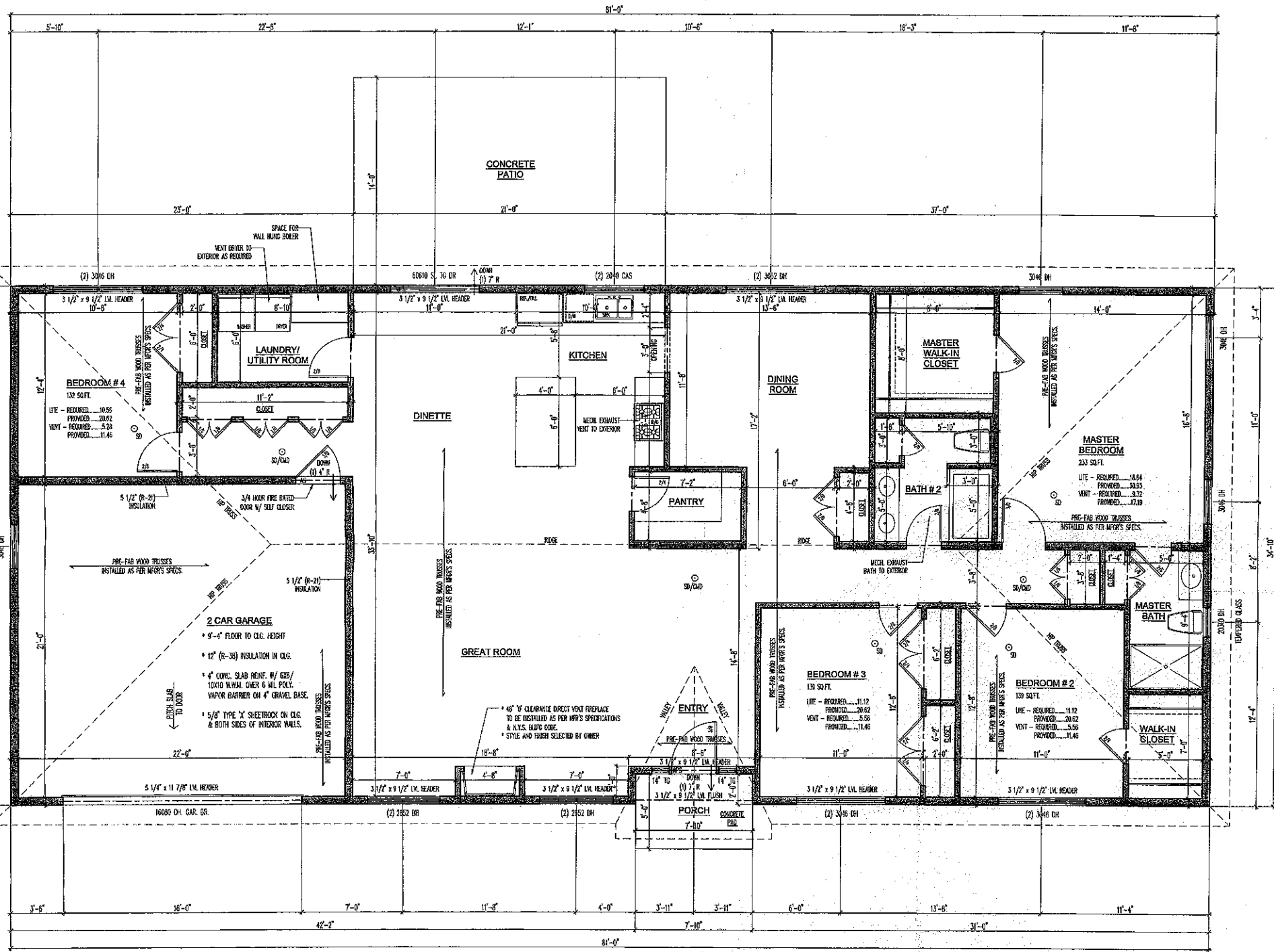
32. ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIAL. ALL FREE FROM ROT, LAKE AND LOOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS UNLESS THE STRENGTH MAY BE IMPAIRED AND OF SIZES INDICATED ON DRAWINGS. STUDS, SILLS, POSTS, UNLESS AND RAFTERS SHALL BE MEM-FR (18 1/2 MAXIMUM GRADE) EXCEPT IF NOTED OTHERWISE HEREINAFTER IN THIS SPECIFICATION OR ON THE DRAWINGS. THE MINIMUM UNIT STRESS FOR MEM-FR SHALL BE:
  - FIBER STRESS (FB) - 1,500 PSI
  - HORIZONTAL SHEAR (FV) - 95 PS
  - MODULUS OF ELASTICITY (E) - 1,400,000 PS
 WHERE INDICATED ON THE DRAWINGS WITH THE NOTATION FEM-500 ONLY DOUGLAS FIR-ARCH-NORTH (12% MAXIMUM MOISTURE) NO. 1 GRADE SHALL BE USED WITH FOLLOWING MINIMUM UNIT STRESS:
  - FIBER STRESS (FB) - 1,800 PSI
  - HORIZONTAL SHEAR (FV) - 95 PS
  - MODULUS OF ELASTICITY (E) - 1,600,000 PS
 CALCULATED DESIGN LOADS (10 PSF DEAD LOAD/ALL SPANS)
  - FLOOR 30 PSF LIVE LOAD (40)
  - ROOF 40 PSF LIVE LOAD (50)
  - ATTC 20 PSF LIVE LOAD (30)
  - DECK 60 PSF LIVE LOAD (70)
33. ALL SILL PLATES IN CONTACT WITH CONCRETE OR MASONRY WALLS, SLABS ETC., SHALL BE PRESSURE TREATED LUMBER (UNLESS OTHERWISE NOTED). SILL SEAL SHALL BE OWENS CORNING SILL SEALER (OR APPROVED EQUAL). TERMITES SHIELD SHALL BE INSTALLED WHERE REQUIRED BY SITE CONDITIONS AND BUILDING CODES.
34. DOUBLE JOISTS SHALL BE INSTALLED UNDER ALL PARTITIONS RUNNING PARALLEL WITH SPANS AND AROUND ALL FLOOR OPENINGS. DOUBLE STUDS SHALL BE INSTALLED AROUND ALL WALL OPENINGS AND ROW OF COLD BRIDGING AT MID-HEIGHT WITH ALL INTERIOR BEARING WALLS. DOUBLE AROUND ALL SKYLIGHTS, ROOF AND FLOOR TRUSSES (TJ) AND L.V.L. (MICRO-LAM) TO BE INSTALLED IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS. FLOOR JOIST SHALL RECEIVE CROSS BRIDGING AT 7'-0" O.C. MAXIMUM SPACING.
35. INTERIOR SUB FLOOR SHALL BE 3/4" TONGUE & GROOVE SHEATHING GLUED AND NAILED (OVER PREFABRICATED FLOOR TRUSSES) OR TWO LAYERS OF 1/2" PLYWOOD LAD PERPENDICULAR TO EACH OTHER, WITH BUILDING PAPER BETWEEN LAYERS; GLUED AND NAILED TO FLOOR JOIST. EXTERIOR SHEATHING SHALL BE 1/2" EXTERIOR GRADE APPLIED HORIZONTALLY WITH VERTICAL JOINTS STAGGERED 4'-0". ROOF SHEATHING SHALL BE 1/2" EXTERIOR GRADE PLYWOOD, UNLESS OTHERWISE NOTED.
36. EXTERIOR WALLS SHALL BE 2" X 6" WOOD FRAMING. INTERIOR PARTITIONS SHALL BE 2" X 4" WOOD FRAMING. STUDS SHALL BE PLACED AT 16" O.C. (UNLESS OTHERWISE NOTED), AND RECEIVE BLOCKING AT MID-HEIGHT AS REQUIRED. STUDS AT CABLE CHASS UNDER CATHEDRAL CEILING SHALL RUN FULL HEIGHT FROM SOLE PLATES TO ROOF AND SHALL RECEIVE SOLID BLOCKING AT 8'-0" ABOVE FLOOR. ALL BEARING WALLS AND PARTITIONS SHALL RECEIVE BLOCKING AT MID-HEIGHT.
37. HEADERS OVER ALL DOORS, WINDOWS, AND OTHER OPENINGS UNDER 6'-0" SHALL BE (2) 2" X 10" (UNLESS OTHERWISE NOTED). HEADER OPENINGS 6'-0" TO 8'-0" SHALL RECEIVE (3) 2" X 10" OR (2) 2" X 12" HEADERS IN EXTERIOR WALLS, UNLESS OTHERWISE NOTED.
38. ALL EXTERIOR DECK SHALL BE FRAMED WITH PRESSURE TREATED LUMBER (UNLESS OTHERWISE NOTED). LUMBER SHALL HAVE FOLLOWING MINIMUM STRESS: F 1,000 PSI AND E 1,400,000 PSI. AND SHALL BE OTHERWISE AS REQUIRED. GALVANIZED HEAVY DUTY POST BASES SHALL BE PROVIDED AT BASE OF ALL WOOD COLUMNS. DEAD JOIST SHALL RECEIVE BRACKETS OR BRACKETS BRACKET OR BRACKETS BRACKET TO BE NON-TYPIC LUMBER, I.E. DOUGLAS FIR, CEDAR, OR EQUAL. RAILINGS TO BE CONSTRUCTED AT 36" HEIGHT AND WITH MAXIMUM 6" SPHERE OPENING, AS PER CODES.
39. ROOFING MATERIAL SHALL BE MINIMUM 20 YEAR FIBERGLASS SHINGLES (OWENS CORNING OR APPROVED EQUAL) OVER 1/2" ROOFING FELT. VALLEY FLASHING AND OTHER APPROPRIATE FLASHING SHALL BE PROVIDED AS REQUIRED. ICE AND WATER SHIELD SHALL BE INSTALLED AS REQUIRED.
40. FASCIA BOARDS SHALL BE SCARFED AT A 45° ANGLE OR 90° ANGLE. FASCIA BOARDS SHALL BE COMMON PINE WRAPPED IN ALUMINUM, UNLESS OTHERWISE NOTED.
41. ALUMINUM OUTTERS AND LEADERS SHALL BE PROVIDED AS REQUIRED. SPLASH BLOCKS SHALL BE PROVIDED AT ALL DOWNSPOUTS. LEADERS SHALL BE PROVIDED AS REQUIRED. ALL WATER MUST DRAIN AWAY FROM STRUCTURE SO AS NOT TO CONTRIBUTE TO GROUND WATER SEE PAGE AT FOUNDATION.
42. DOORS AND WINDOWS:
  - 42. WINDOW SHALL BE SIZE, TYPE AND MFG. AS INDICATED ON PLANS WITH SCREENS AND HARDWARE PROVIDED. GLASSING LESS THAN 18" ABOVE FLOOR SHALL BE TEMPERED. OPTIONS SUCH AS GLASSING, GRILLS, COLORS, ETC., SHALL BE SELECTED BY OWNER AND/OR BUILDER PRIOR TO CONSTRUCTION. HEAD HEIGHT 6'-0", UNLESS OTHERWISE NOTED.
  - 43. EXTERIOR DOORS TO BE OF THE MANUFACTURER, TYPE, SIZE AND STYLE AS INDICATED ON THE DRAWINGS. ANY MANUFACTURER'S MARK SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR UNLESS OTHERWISE INDICATED ON THE DRAWINGS. ALL DOORS SHALL BE 6'-8" HEIGHT UNLESS OTHERWISE NOTED. PROVIDE WEATHER STRIP SADDLE ON ALL EXTERIOR DOORS. PROVIDE ALUMINUM SADDLES ON ALL INTERIOR PERGOLA GARAGE DOORS.
44. ALL PLUMBING WORK SHALL BE ACCORDANCE WITH LOCAL HEALTH DEPARTMENT REQUIREMENTS AND SHALL BE SUBJECT TO THE INSPECTION OF THE PLUMBING INSPECTOR. ALL WORK SHALL BE PROVIDED BY CONTRACTOR. BATH ROOMS SHALL BE SHOWER, AMERICAN STANDARDS, APPROVED EQUAL. OWNER SHALL SELECT FINISHES AND COLORS. PLUMBING FIXTURES TO BE MANUFACTURED BY \_\_\_\_\_ OR EQUAL.
45. ALL ELECTRICAL WORK SHALL CONFORM COMPLETELY TO THE REQUIREMENTS OF THE N.E.C. AND LOCAL UTILITY COMPANY. GROUND FAULT INTERRUPTERS, DUPLEX RECEPTACLES, ETC., SHALL BE INSTALLED AS REQUIRED ACCORDING TO KITCHEN AND/OR BATH LABELS AND CODE REQUIREMENTS.
46. HEATING/VENTILATING/AIR CONDITIONING:
  - 46. ALL HEATING AND AIR CONDITIONING WORK SHALL CONFORM COMPLETELY TO THE REQUIREMENTS AND OF THE LOCAL AND STATE BUILDING CODES. THE HEATING AND AIR CONDITIONING SYSTEM SHALL MEET ALL REQUIREMENTS OF THE NEW JERSEY STATE ENERGY CONSERVATION CONSTRUCTION CODE AS THEY APPLY.
47. THERMAL AND MOISTURE PROTECTION:
  - 47. ALL FOUNDATION DAMP PROOFING OR WATER PROOFING ON ALL BACKFILL FACES OF WALLS BELOW EARTH GRADE.
  - 48. PROVIDE 15LB BUILDING FELT, "TYVEK", "TYPAR", OR EQUAL, BEHIND ALL SINGL, WINDOW AND DOOR CASING, NAIL, TRIMS, ETC.
  - 49. ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED, CALKED, WEATHER STRIPPED OR OTHERWISE PROPERLY SEALED.
  - 50. ALL EXTERIOR WALLS AND ROOF SHALL BE INSULATED AS INDICATED ON PLANS AND AS PER CODES. INSULATION SHALL BE FOL FOR ROOF FASCIA. FIBERGLASS BATT INSULATION. ROOF VENTS SHALL BE INSTALLED IN CATHEDRAL CEILING AS REQUIRED.
51. INTERIOR:
  - 51. ALL GYPSUM BOARD SHALL BE SCREWED ON CEILING AND/OR NAILED TO WALLS, TO RECEIVE THE FINISH MATERIAL AND STYLE BY OWNER. FINISHED TO RECEIVE TWO COATS OF PAINT, AND ONE COAT OF PRIMER COATERS BY OWNER. BATH ROOMS SHALL RECEIVE WATER PROOF SHEETROCK BEHIND TILE AREAS, AND MONOR BOARD OR APPROVED EQUAL BEHIND TILE IN BATH AND SHOWER AREAS.
  - 52. FLOORING, TRIM, CLOSET SHELVING, CABINETRY, APPLIANCES, FIXTURES, HARDWARE, ETC., SHALL BE SELECTED BY OWNER AND INSTALL BY BUILDER IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.
  - 53. INTERIOR DOORS SIZE AS INDICATED ON DRAWINGS, STYLE AND TYPE BY OWNER/CONTRACTOR.
  - 54. CERAMIC TILE OR MARBLE FLOORS IN THE AREA INDICATED ON PLANS SHALL BE INSTALLED IN A "MUD" BASE.
  - 55. OAK HARDWOOD FLOORS SHALL BE INSTALLED MINIMUM THREE DAYS AFTER DELIVERY AND BUILDING TO BE HEATED. OAK FLOORS TO RECEIVE TWO COATS OF POLYURETHANE, QMA SEAL OR EQUAL.
  - 56. STAIRS TO BE AS INDICATED ON DRAWINGS WITH MINIMUM OF 8" GRADE AND MAXIMUM RISE OF 8" MATERIAL AND STYLE BY OWNER UNLESS OTHERWISE INDICATED AND SHALL BE INSTALLED AS PER STATE AND LOCAL CODES. ALL RAILING TO BE 36" HIGH (MINIMUM). STYLE AND MATERIAL TO BE SELECTED BY OWNER, AND SHALL CONFORM TO ALL STATE AND LOCAL CODES (6" SPHERE MAXIMUM OPENING). ALL EXPOSED WOOD AND TO TRIM TO RECEIVE ONE COAT OF STAIN AND OPTIONAL TWO COATS OF POLYURETHANE.

## ENERGY CODE

TABLE 402.1(1)  
INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT

CLIMATE ZONE	PENETRATION U-FACTOR	GLAZED WINDOW U-FACTOR	GLAZED WINDOW SHGC	CEILING R-VALUE	WOOD FRAMING WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT FLOOR		SLAB R-VALUE	SPACE R-VALUE
								R-VALUE	U-FACTOR		
4	0.40	0.60	NR	5	15	5	19	10/13	10/2 R	10/13	
5	0.35	0.50	NR	5	15	5	21	10/13	10/2 R	10/13	
6	0.30	0.50	NR	4	15	5	21	10/13	10/2 R	10/13	

For 1 inch = 24.8 mm  
 R-Values are continuous. Shaded and SHGC are minimum. R-19 includes but is not limited to 2 x 6 wall construction.  
 U-FACTOR includes an additional half-inch of insulation. For SHGC values refer to the manufacturer's literature.  
 NR = Not Required.  
 a. Or insulation equivalent to that of the wall assembly.  
 b. Or insulation equivalent to that of the wall assembly.  
 c. Or 2 x 6 wall with 1/2 inch insulation. Or 2 x 6 wall with 1/2 inch insulation. Or 2 x 6 wall with 1/2 inch insulation. Or 2 x 6 wall with 1/2 inch insulation.  
 d. Or insulation equivalent to that of the wall assembly. Or insulation equivalent to that of the wall assembly. Or insulation equivalent to that of the wall assembly. Or insulation equivalent to that of the wall assembly.  
 e. Or insulation equivalent to that of the wall assembly. Or insulation equivalent to that of the wall assembly. Or insulation equivalent to that of the wall assembly. Or insulation equivalent to that of the wall assembly.



2324 SQ.FT. + 484 SQ.FT. GARAGE  
**MAIN FLOOR PLAN**  
 TOTAL 2808 SQ.FT.

SCALE: 1/4" = 1'-0"

NOTE:  
 \* ALL HEADERS ARE TO BE (2) 2"x10"  
 UNLESS OTHERWISE INDICATED.

**NEW MODEL FOR MR. ED LANE**

PARK AVENUE, PALISADES, NEW YORK

HARRY J. GOLDSTEIN  
 ARCHITECT

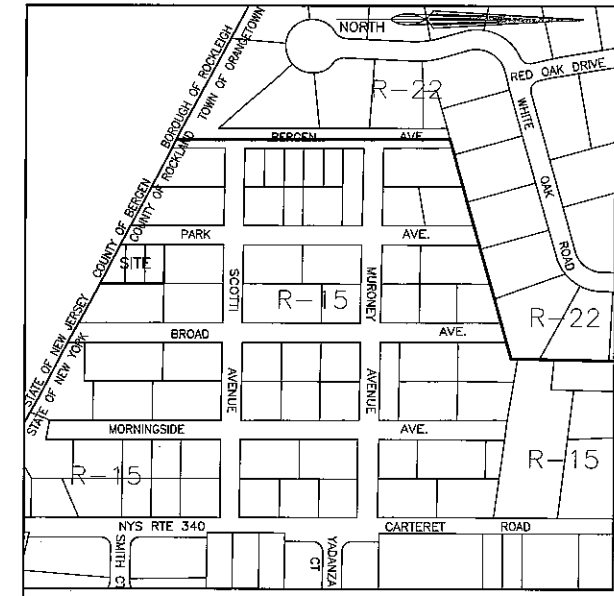
HARRY J. GOLDSTEIN  
 ARCHITECT  
 DESIGN & CONSTRUCTION

4 REDDEN ROAD  
 WICKES, NEW YORK 10592  
 (914) 356-2442 (914) 357-5197

PROJECT 197688  
 DECEMBER 20, 2019

3 OF 4





**STORMWATER MANAGEMENT SYSTEM OPERATION AND MAINTENANCE PLAN**

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL EXPENSES RELATED TO THE MAINTENANCE OF THE ON-SITE STORMWATER MANAGEMENT SYSTEM.

THE PROPERTY OWNER SHALL MAINTAIN, CLEAN, REPAIR, REPLACE AND CONTINUE THE STORMWATER MANAGEMENT CONTROL MEASURES AS DEPICTED ON THIS PLAN AS NECESSARY TO ENSURE OPTIMUM PERFORMANCE OF THE MEASURES TO DESIGN SPECIFICATIONS. THE STORMWATER CONTROL MEASURES SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO, THE FOLLOWING: DRAINAGE DITCHES, SWALES, PIPES, CULVERTS, MANHOLES, AND CATCH BASINS.

**INSPECTION AND MAINTENANCE SCHEDULE:**

**CATCH BASINS, MANHOLES, FIELD INLETS AND PIPING:**

- CATCH BASINS SHALL BE VISUALLY INSPECTED ANNUALLY AT THE START OF SPRING (OR PRIOR TO SIGNIFICANT SNOW MELT OR RAIN CONDITIONS).
- THE INSPECTION SHOULD INCLUDE DOCUMENTATION OF DEBRIS BUILD UP IN EACH STRUCTURE, AS WELL AS NOTING ANY STRUCTURAL DEFECTS THAT HAVE SURFACED, INCLUDING DEFECTS TO CASTINGS, FRAMES, COVERS, GRATES AND CONCRETE CRACKING OR SPALLING.
- CATCH BASINS SHALL BE CLEANED AT A FREQUENCY OF NO LESS THAN ONE YEAR OR IN THE EVENT THAT SEDIMENT BUILDUP EXCEEDS SIX INCHES.
- TRASH AND DEBRIS SHALL BE REMOVED REGARDLESS OF BUILDUP DEPTH.
- DEBRIS OR SEDIMENT REMOVAL SHALL BE DONE AS SOON AS REASONABLY POSSIBLE TO AVOID IMPACTS TO RECEIVING SYSTEM, AND NO LATER THAN ONE MONTH AFTER THE INSPECTION REPORT.
- COSMETIC DEFICIENCIES SHALL BE CORRECTED BASED ON THE SEVERITY OF THE DEFICIENCY. ANY DEFICIENCY THAT NOTES STRUCTURAL IMPERFECTIONS THAT MAY CAUSE POTENTIAL FAILURE SHALL BE CORRECTED IMMEDIATELY AND WITHOUT DELAY.

**OUTLET CONTROL STRUCTURE:**

- VACUUM OUTLET MANHOLE SUMP AS REQUIRED.
- REMOVE ACCUMULATED TRASH AND DEBRIS FROM INSIDE THE OUTLET CONTROL STRUCTURE.
- KEEP OUTLET CONTROL STRUCTURE, LOW FLOW ORIFICE AND EMERGENCY OVERFLOW CLEAR OF OBSTRUCTIONS AND DEBRIS.

**CONSTRUCTION NOTES:**

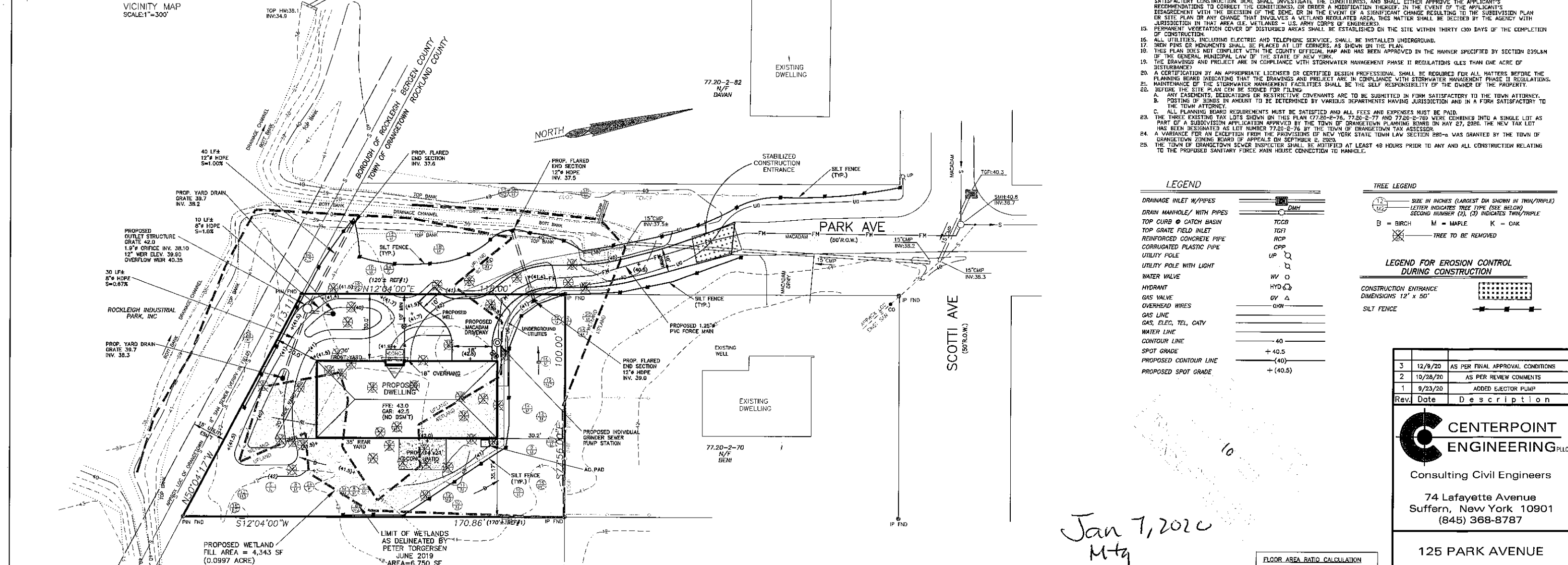
- CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES AND VERIFY ALL LOCATIONS, ELEVATIONS, INVERTS, ETC. PRIOR TO ANY CONSTRUCTION AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES ON THIS PLAN.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANY AND SHALL ASSUME FULL RESPONSIBILITY AND SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE AND REPAIRS TO ANY DAMAGE.
- PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULING OF NEW SERVICE, WHERE REQUIRED, TO FIT THE CONSTRUCTION SCHEDULING AND SEQUENCE TO ASSURE NO DAMAGE OR DISTURBANCE TO EXISTING SERVICES.
- ALL STORM DRAINAGE PIPE TO BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH SMOOTH INTERIOR UNLESS OTHERWISE SPECIFIED.
- ALL ROOF LEADERS SHALL DISCHARGE INTO THE ON-SITE STORMWATER SYSTEM.

**REFERENCES:**

- PLAN IS BASED ON A SURVEY PREPARED BY JAY A. GREENWELL, P.L.S., LLC DATED MAY 6, 2019.
- BEING LOTS 21, 22, 23, 24, 25 IN BLOCK 9, ON A MAP ENTITLED "PALISADES MANOR", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP 218.
- DEEDS ON FILE IN THE ROCKLAND COUNTY CLERK'S OFFICE AS FOLLOWS: LIBER 235 PAGE 2684, LIB P1379, INST# 1997-48684, INST# 2006-9191.

**NOTES:**

- THIS IS A SITE PLAN FOR TAX LOTS 77.20-2-76 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAP.
- TOWN DISTRICT: R-15
- RECORD OWNER: JAMES BENI, 135 PARK AVENUE, ORANGETOWN, NEW YORK 10964
- APPLICANT: EDUARD LANE, 75 MICHAEL ROBERTS COURT, PEARL RIVER, NEW YORK 10965
- SCHOOL DISTRICT: SOUTH ORANGETOWN CENTRAL
- FIRE DISTRICT: SPARKILL-PALISADES
- SEWER DISTRICT: ORANGETOWN
- WATER DISTRICT: PALISADES V1002
- BOUNDARY AND TOPOGRAPHIC DATA TAKEN FROM A SURVEY PREPARED BY JAY A. GREENWELL, P.L.S., DATED MAY 6, 2019
- DATING NOV 9 1925.
- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING OF HIGHWAYS AND THE OFFICE OF BUILDING ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
- PROTECTION OF THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO RESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
  - NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
  - TREES SHALL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
  - TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FEET HEIGHT.
  - THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
    - 12" (3) FEET RADIUS FROM TRUNK PER INCH DBH
    - DRIP LINE OF THE TREE CANOPY, THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE.
    - A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:
      - LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
      - LIGHT IMPACTS ONLY - INSTALLATION OF 1/2" INCH PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED. THE BARRIER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH A TREE WELL HAVING A RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.
- PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENT CONTROL AS REQUIRED BY THE PLANNING BOARD. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING (DEEM) SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES. THE APPLICANT SHALL CONTACT DEEM AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.
- IF THE APPLICANT, DURING THE COURSE OF CONSTRUCTION, ENCOUNTERS SUCH CONDITIONS AS FLEED AREAS, UNDERGROUND WATER, SOFT OR SILTY AREAS, UNUSUAL CIRCUMSTANCES OR CONDITIONS OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL PLANNING, SUCH CONDITIONS SHALL BE REPORTED IMMEDIATELY TO DEEM. THE APPLICANT SHALL SUBMIT THEIR RECOMMENDATIONS AS TO THE SPECIAL TREATMENT TO BE GIVEN TO SUCH AREAS TO SECURE ADEQUATE, PERMANENT AND SATISFACTORY CONSTRUCTION. DEEM SHALL INVESTIGATE THE CONDITIONS, AND SHALL EITHER APPROVE THE APPLICANT'S RECOMMENDATIONS TO CORRECT THE CONDITIONS, OR ORDER A MODIFICATION THEREOF. IN THE EVENT OF THE APPLICANT'S DISAGREEMENT WITH THE DECISION OF THE DEEM, OR IN THE EVENT OF A SIGNIFICANT CHANGE RESULTING TO THE SUBDIVISION PLAN OR SITE PLAN OR ANY CHANGE THAT INVOLVES A WETLAND REGULATED AREA, THIS MATTER SHALL BE DECIDED BY THE AGENCY WITH JURISDICTION IN THAT AREA (I.E. WETLANDS - U.S. ARMY CORPS OF ENGINEERS).
- PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE COMPLETION OF CONSTRUCTION.
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.
- TREN PINS OR MARKERS SHALL BE PLACED AT LOT CORNERS, AS SHOWN ON THE PLAN.
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 895.14M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
- THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH STORMWATER MANAGEMENT PHASE II REGULATIONS (LES THAN ONE ACRE OF DISTURBANCE).
- A CERTIFICATION BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH STORMWATER MANAGEMENT PHASE II REGULATIONS.
- MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES SHALL BE THE SELF RESPONSIBILITY OF THE OWNER OF THE PROPERTY.
- BEFORE THE SITE PLAN CAN BE SIGNED FOR FILING:
  - ANY EASEMENTS, RESTRICTIONS OR RESTRICTIVE COVENANTS ARE TO BE SUBMITTED IN FORM SATISFACTORY TO THE TOWN ATTORNEY.
  - POSTING OF BONDS IN AMOUNT TO BE DETERMINED BY VARIOUS DEPARTMENTS HAVING JURISDICTION AND IN A FORM SATISFACTORY TO THE TOWN ATTORNEY.
- ALL PLANNING BOARD REQUIREMENTS MUST BE SATISFIED AND ALL FEES AND EXPENSES MUST BE PAID.
- THE THREE EXISTING TAX LOTS SHOWN ON THIS PLAN (77.20-2-76, 77.20-2-77 AND 77.20-2-78) WERE COMBINED INTO A SINGLE LOT AS PART OF A SUBDIVISION APPLICATION APPROVED BY THE TOWN OF ORANGETOWN PLANNING BOARD ON MAY 27, 2020. THE NEW TAX LOT HAS BEEN DESIGNATED AS LOT NUMBER 77.20-2-76 BY THE TOWN OF ORANGETOWN TAX ASSESSOR.
- A VARIANCE FOR AN EXCEPTION FROM THE PROVISIONS OF NEW YORK STATE TOWN LAW SECTION 280-a WAS GRANTED BY THE TOWN OF ORANGETOWN ZONING BOARD OF APPEALS ON SEPTEMBER 2, 2020.
- THE TOWN OF ORANGETOWN SEWER INSPECTOR SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY AND ALL CONSTRUCTION RELATING TO THE PROPOSED SANITARY FORCE MAIN HOUSE CONNECTION TO MANHOLE.



**LEGEND**

DRAINAGE INLET W/PIPES	DMH
DRAIN MANHOLE/ WITH PIPES	DMH
TOP CURB @ CATCH BASIN	TCCB
TOP GRADE FIELD INLET	TGF
REINFORCED CONCRETE PIPE	RCP
CORRUGATED PLASTIC PIPE	CPP
UTILITY POLE	UP
UTILITY POLE WITH LIGHT	UP
WATER VALVE	WV
HYDRANT	HYD
GAS VALVE	GV
GAS LINE	GN
GAS, ELEC, TEL, CATV	GN
WATER LINE	W
CONTOUR LINE	-40
SPOT GRADE	+40.5
PROPOSED CONTOUR LINE	(40)
PROPOSED SPOT GRADE	(+40.5)

**TREE LEGEND**

SIZE IN INCHES (LARGEST DIA SHOWN IN TRIN/TRIPLE)  
LETTER INDICATES TREE TYPE (SEE BELOW)  
SECOND NUMBER (2), (3) INDICATES TRIN/TRIPLE

B = BIRCH M = MAPLE K = OAK  
X = TREE TO BE REMOVED

**LEGEND FOR EROSION CONTROL DURING CONSTRUCTION**

CONSTRUCTION ENTRANCE  
DIMENSIONS 12' x 50'

SILT FENCE

Rev.	Date	Description
3	12/9/20	AS PER FINAL APPROVAL CONDITIONS
2	10/28/20	AS PER REVIEW COMMENTS
1	9/23/20	ADDED EJECTOR PUMP

**CENTERPOINT ENGINEERING PLLC**  
Consulting Civil Engineers

74 Lafayette Avenue  
Suffern, New York 10901  
(845) 368-8787

125 PARK AVENUE  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY, NEW YORK

**SITE PLAN AND BUILDING PERMIT PLAN**

LATEST REVISION DATE: 12/9/2020  
ORIGINATION DATE: 6/24/2020  
SCALE: 1" = 20'  
PROJECT NUMBER: 1329  
DRAWING NUMBER: 1

STUART STROW P.E.  
N.Y. LIC. NO. 65875

**BULK TABLE**  
R-15 ZONING DISTRICT - USE GROUP "M"

	MAX. FLOOR AREA RATIO (sq. ft)	MIN. LOT AREA (sq. ft)	MIN. LOT WIDTH (ft.)	MIN. STREET FRONTAGE (ft.)	REQUIRED FRONT YARD (ft.)	REQUIRED SIDE YARD (ft.)	TOTAL SIDE YARD (ft.)	REQUIRED REAR YARD (ft.)	MAX. BUILDING HEIGHT (HEIGHT IN FT. OR IN. PER FOOT DIST. FROM LOT LINE)
REQUIRED	0.20	15,000	100	75	30	20	50	35	12 INCH/FT. => 20'
PROPOSED	0.194	14,443*	133.8	118	30.0	20.0	50.20	35.17	13.5'

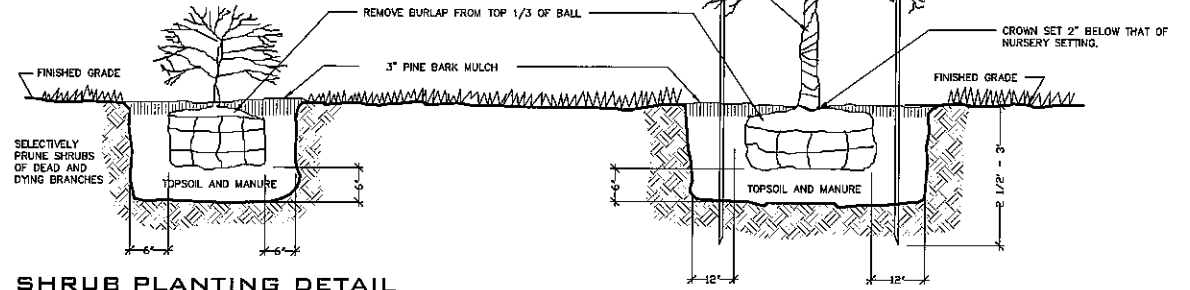
**FLOOR AREA RATIO CALCULATION**

FLOOR AREA = 2,805 SF  
LOT AREA = 14,443 SF  
F.A.R. = (2,805)/(14,443) = 0.194

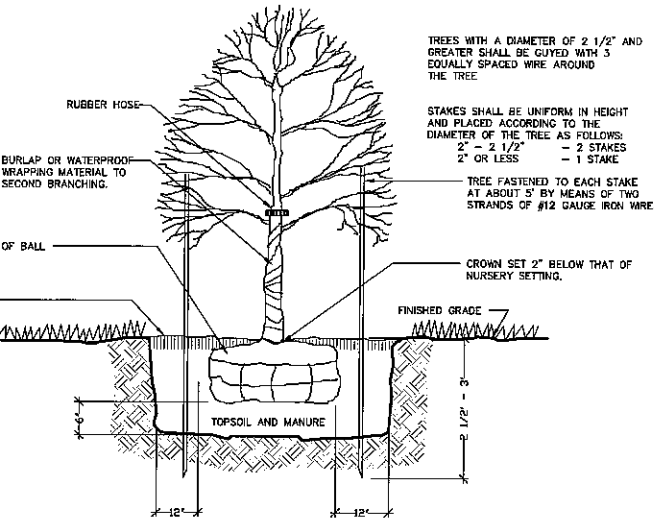
Jan 7, 2021  
Mtg

\*VARIANCE GRANTED BY TOWN OF ORANGETOWN ZBA ON SEPTEMBER 2, 2020

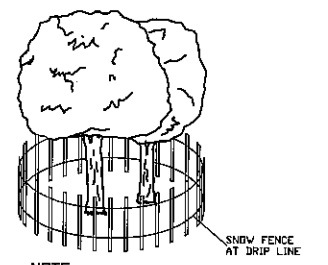
**PLANTING NOTE:**  
 PLACE TOPSOIL MIXTURE IN BOTTOM OF HOLE AND SATURATE. AFTER PLACING PLANT, WORK TOPSOIL MIXTURE CAREFULLY AROUND ROOT BALL AND THEN SATURATE. WHEN HOLE IS ONE HALF FULL OF MIXTURE, SATURATE AGAIN. FILL HOLE COMPLETELY WITH TOPSOIL MIXTURE AND SATURATE AGAIN. FERTILIZE SOIL AS NECESSARY FOR PLANT SURVIVAL.



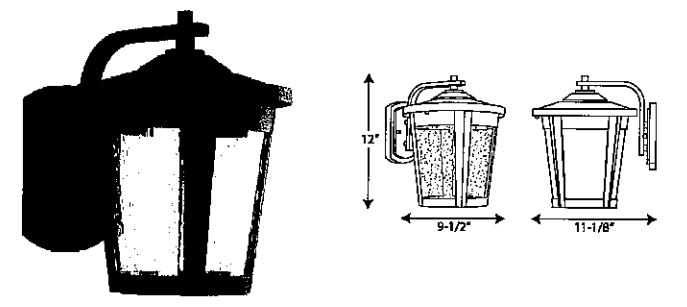
**SHRUB PLANTING DETAIL**  
 N.T.S.



**TREE PLANTING DETAIL**  
 N.T.S.

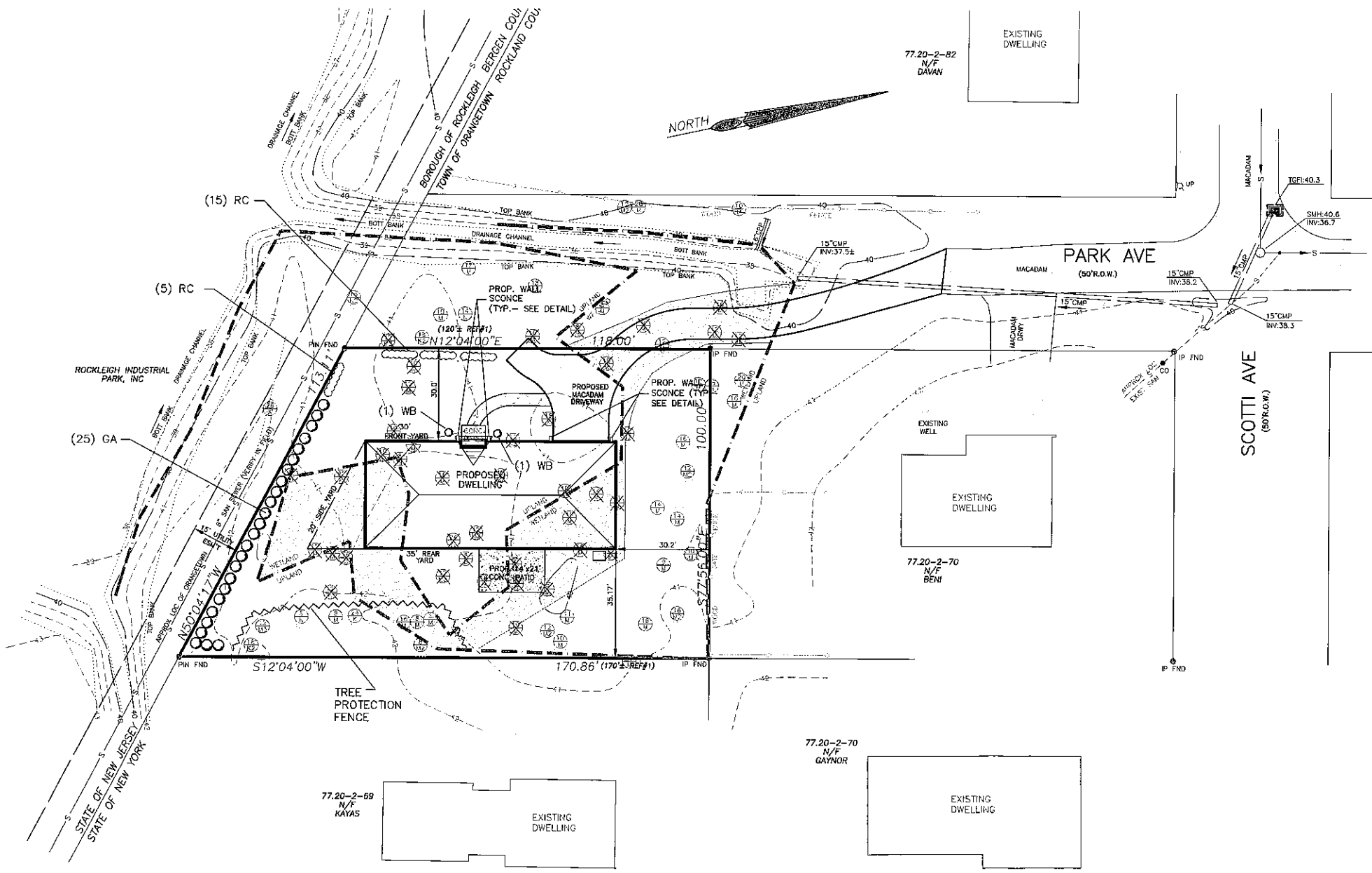


**TREE PROTECTION DETAIL**  
 N.T.S.



**WALL SCONCE DETAIL**  
 N.T.S.

NOTE:  
 FIXTURE BY PROGRESS LIGHTING  
 CATALOG #P6078-320K99 OR APPROVED EQUAL  
 9 WATT LED, 120V, BLACK FRAME



- STANDARD LANDSCAPE NOTES:**
- MULCH ALL PLANT BED AND TREES WITH 4" DEPTH OF SUGAR CANE OR LICORICE ROOT MULCH.
  - STAKE ALL TREES WITH 2 CEDAR STAKES, RUBBER HOSE AROUND TREE (6'-0" ABOVE GRADE) AND TWISTED #10 GAUGE GALVANIZED WIRE.
  - PLANT PIT SHALL BE 12" WIDER AND 6" DEEPER THAN THE ROOT BALL. REMOVE ALL EXISTING SOIL AND BACKFILL WITH MIXTURE OF ONE PART FEAT-HUMUS TO 4 PARTS TOPSOIL. ADD 3 YEAR 'EASELY' GROW FERTILIZER PACKETS (OR EQUAL) - 1 PER INCH OF TREE CALIPER OR PER 12" HEIGHT OF SHRUB.
  - GUARANTEE ALL PLANTS AND WORKMANSHIP FOR TWO PLANTING SEASONS.
  - ALL PLANTING SHALL BE PLACED UNDER THE DIRECTION OF AN APPROPRIATE LICENSED DESIGN PROFESSIONAL. NOTIFY 48 HOURS PRIOR TO PLANTING.
  - PROVIDE THE VILLAGE OF CHESTNUT RIDGE BUILDING INSPECTOR WITH A COPY OF THE STATE CERTIFICATE OF SOURCE FOR ALL PLANT MATERIAL.
  - ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERY MEN'S STANDARDS.
  - PROVIDE 4" MINIMUM TOPSOIL ON ALL DISTURBED AREAS OF SITE TO BE GRASSED OR LANDSCAPE.
  - PERENNIAL PLANTING BEDS TO BE INSTALLED WITH PLANT SELECTION AT THE OWNERS DISCRETION AND MAINTAINED ANNUALLY.
  - PROPOSED PERMANENT SEED SHALL BE THE FOLLOWING SEED MIX: 40% JAMESTOWN CHEVINGS FESCUE, 40% BARDON KENTUCKY BLUEGRASS, AND 20% YORKTOWN PERENNIAL RYE OR APPROVED EQUIVALENT AT 5 LBS. PER 1000 SF.
  - ALL DISTURBED AREAS SHALL BE SEEDED AS INDICATED IN NOTE 10 ABOVE, AND MAINTAINED AS GRASS UNLESS OTHERWISE INDICATED.

**PLANTING SCHEDULE**

No.	SYMBOL	PLANT NAME	QUANTITY	SIZE & REMARKS
1	GA	THUJA PLICATA X STANDISHII BABY GIANT ARBORVITAE	25	3'-4' HT 3" D.C.
2	RC	COTONEASTER DAHMERTI ROYAL BEAUTY ROYAL BEAUTY COTONEASTER	20	15"-18" SPR. E.B.B.
3	WB	BUXUS MICROPHYLLA 'WINTERGREEN' WINTERGREEN BOXWOOD	2	3 GALLON 8" D.C.

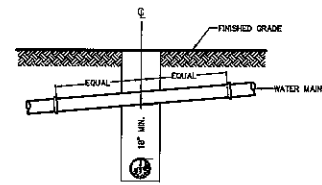
**TREE LEGEND**

SIZE IN INCHES (LARGEST DIM SHOWN IN THIN/TRIPLE)  
 LETTER INDICATES TREE TYPE (SEE BELOW)  
 SECOND NUMBER (2), (3) INDICATES THIN/TRIPLE

B = BIRCH    M = MAPLE    K = OAK

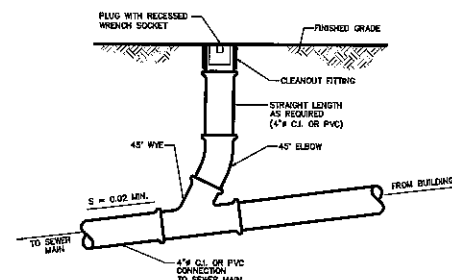
☒ — TREE TO BE REMOVED

3		12/9/20	AS PER FINAL APPROVAL CONDITIONS
Rev.	Date	Description	
 <b>CENTERPOINT ENGINEERING PLLC</b> Consulting Civil Engineers 74 Lafayette Avenue Suffern, New York 10901 (845) 368-8787			
125 PARK AVENUE TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK			
<b>LANDSCAPING AND LIGHTING PLAN</b>			
LATEST REVISION DATE:		12/9/2020	
ORIGINATION DATE:		10/28/2020	
SCALE:		1" = 20'	
PROJECT NUMBER	DRAWING NUMBER		
1329	2		
STUART STROW P.E. N.Y. LIC. NO. 66876			



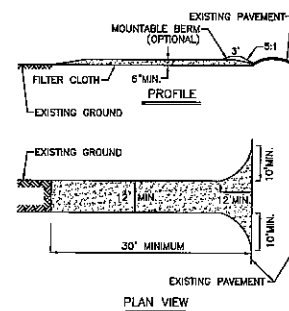
1. AT LOCATIONS WHERE A 10 FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN WATER AND SEWER MAINS CANNOT BE MAINTAINED, WATER AND SEWER MAINS SHALL BE LAD EACH IN A SEPARATE TRENCH SO THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER MAIN.
2. AT LOCATIONS WHERE WATER AND SEWER MAINS CROSS:
- a. A MINIMUM 18 INCH VERTICAL SEPARATION SHALL BE MAINTAINED.
- b. A FULL LENGTH OF SEWER PIPE AND FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO THAT ALL JOINTS ARE LOCATED AS FAR AS POSSIBLE FROM THE POINT OF CROSSING.

**TYPICAL WATER & SEWER SEPARATION**  
N.T.S.

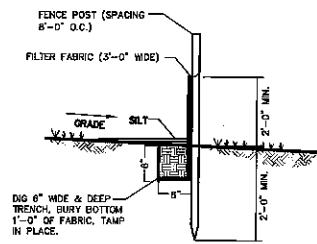


**SANITARY SEWER CLEANOUT DETAIL**  
N.T.S.

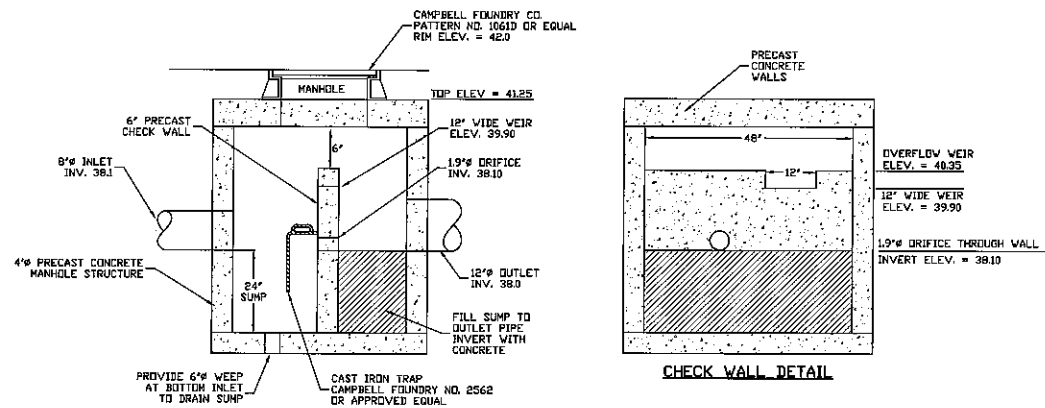
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. MINIMUM WIDTH SHALL BE TWELVE (12) FEET, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
3. FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. USE MIRAFT 140N FILTER FABRIC OR APPROVED EQUAL.



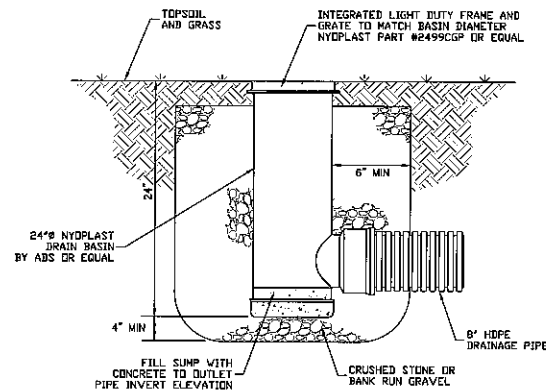
**CONSTRUCTION ENTRANCE DETAIL**  
N.T.S.



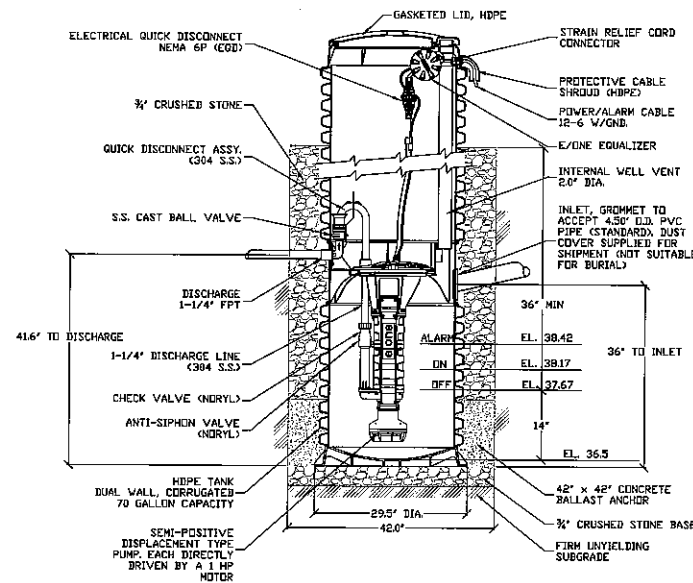
**SILT FENCE DETAIL**  
N.T.S.



**OUTLET STRUCTURE DETAIL**  
N.T.S.

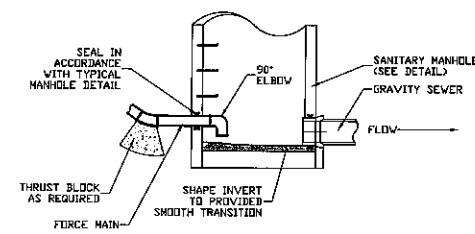


**YARD DRAIN DETAIL**  
N.T.S.

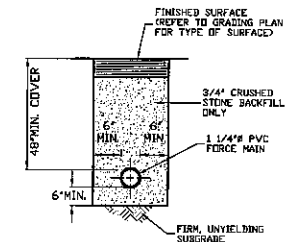


**EJECTOR SEWER PUMP DETAIL**  
N.T.S.

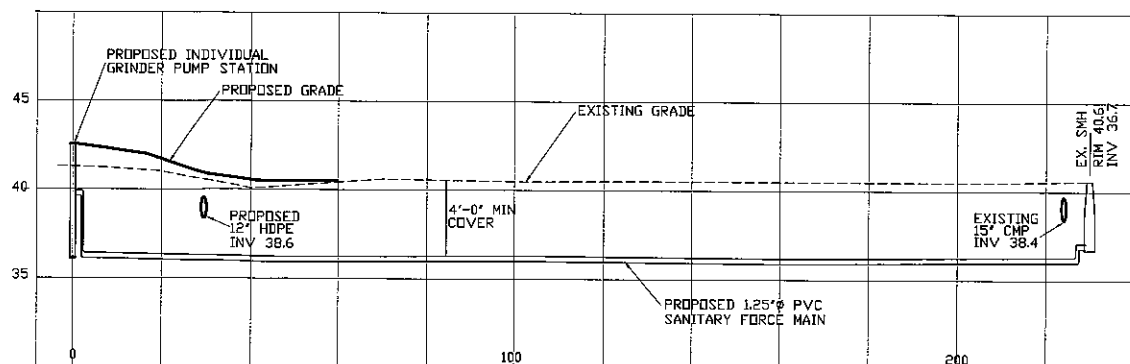
- NOTES:**
1. PACKAGED GRINDER SEWER PUMP SHALL BE MODEL # D-871-61 AS MANUFACTURED BY ENVIRONMENT ONE CORPORATION (E/ONE), HISKAYUNA, NY OR APPROVED EQUAL.
  2. THE PACKAGED SEWER PUMP STATION SHALL BE INSTALLED IN ACCORDANCE WITH ALL MANUFACTURER'S SPECIFICATIONS.
  3. A CONCRETE BALLAST AS SPECIFIED IN THE ABOVE DETAIL SHALL BE INSTALLED AND ANCHORED TO THE HDPE TANK TO RESIST BUOYANCY FORCES PREVENT FLOTATION OF THE UNIT.



**FORCE MAIN CONNECTION TO MANHOLE**  
N.T.S.



**FORCE MAIN DETAIL**  
N.T.S.



FORCE MAIN FROM INDIVIDUAL PUMP STATION TO EXISTING SMH  
SCALE: HORIZ. 1"=20'  
SCALE: VERT. 1"=5'

**FORCE MAIN PROFILE**

3	12/9/20	AS PER FINAL APPROVAL CONDITIONS
2	10/26/20	AS PER REVIEW COMMENTS
1	9/23/20	ADDED EJECTOR PUMP
Rev.	Date	Description



Consulting Civil Engineers

74 Lafayette Avenue  
Suffern, New York 10901  
(845) 368-8787

125 PARK AVENUE

TOWN OF ORANGETOWN  
ROCKLAND COUNTY, NEW YORK

**CONSTRUCTION DETAILS**

LATEST REVISION DATE: 12/9/2020	
ORIGINATION DATE: 6/24/2020	
SCALE: AS NOTED	
PROJECT NUMBER 1329	DRAWING NUMBER 3



STUART STROW P.E.  
N.Y. LIC. NO. 66876