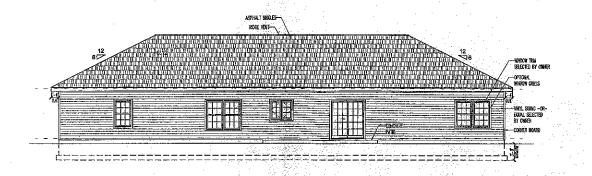


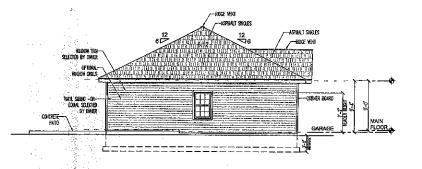


SCALE:  $1/8^{\circ} = 1/-0^{\circ}$ 



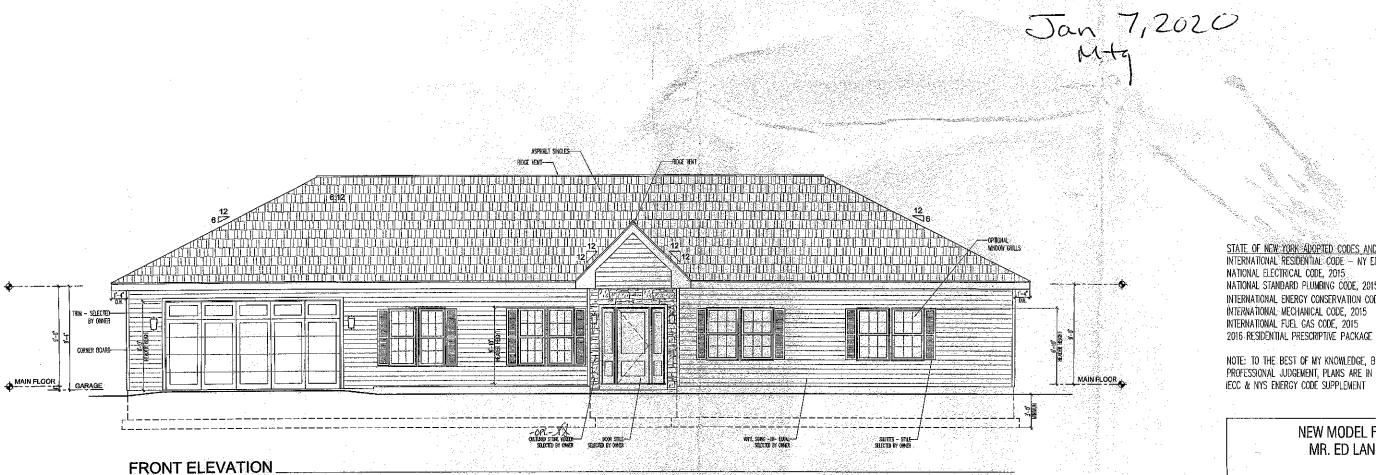
## REAR ELEVATION.

SCALE: 1/8" = 1/-0"



## LEFT SIDE ELEVATION\_

SCALE: 1/8'' = 1/-0''



STATE OF NEW YORK ADOPTED CODES AND STANDARDS INTERNATIONAL RESIDENTIAL CODE — NY ED, 2015 NATIONAL ELECTRICAL CODE, 2015 NATIONAL STANDARD PLUMBING CODE, 2015 INTERNATIONAL ENERGY CONSERVATION CODE, 2016 (RESIDENTIAL) INTERNATIONAL MECHANICAL CODE, 2015 INTERNATIONAL FUEL GAS CODE, 2015

NOTE: TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, PLANS ARE IN COMPLIANCE WITH 2015 IECC & NYS ENERGY CODE SUPPLEMENT

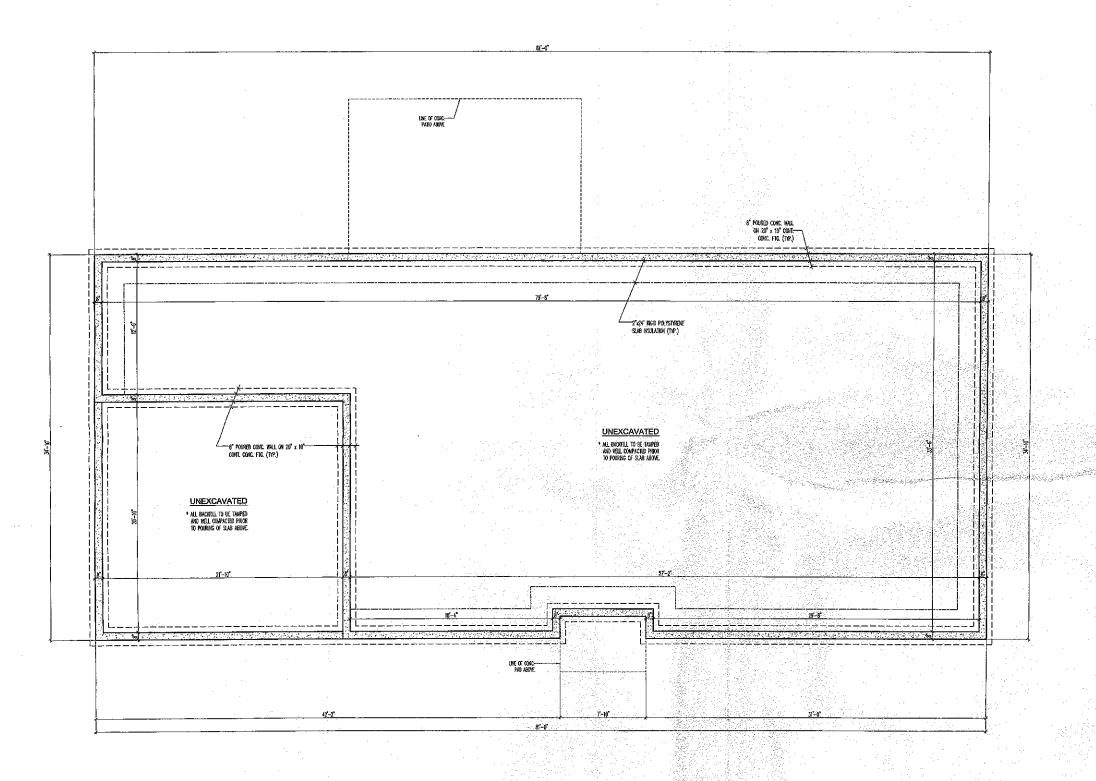
## NEW MODEL FOR MR. ED LANE

PARK AVENUE, PALISADES , NEW YORK

HARRY J. GOLDSTEIN

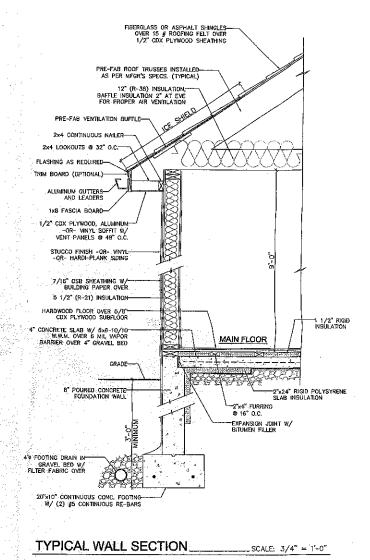
HARRY J. GOLDSTEIN

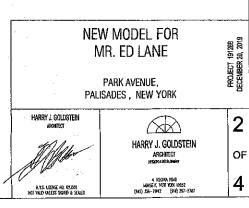
SCALE: 1/4" = 1/-0"

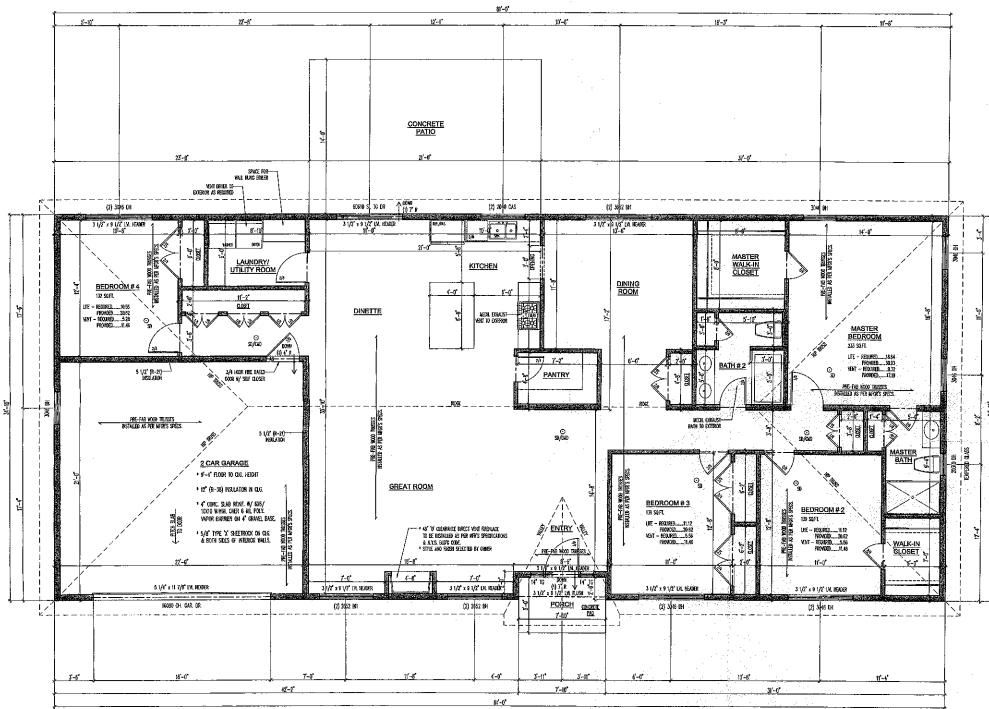


FOUNDATION PLAN

SCALE: 1/4" = 1/-0"







# MAIN FLOOR PLAN\_

2324 SQ.FT. + 484 SQ.FT. GARAGE TOTAL 2808 SQ.FT.

SCALE: 1/4" = 1/-0"

\* ALL HEADERS ARE TO BE (2) 2"x10" UNLESS OTHERWISE INDICATED.

### **GENERAL SPECIFICATIONS**

GENERAL NOTES:

1. ALL WORK PERFORMED SHALL COMPLY WITH BUILDING AND ZONING ORGINANCES OF THE TOWN OF GRANGETOWN AND THE M.Y.S. BUILDING AND ENERGY CODES. 2. THESE PLANS ARE TO BE USED FOR PERMITS & CONSTRUCTION GUIDE ONLY, IT IS NOT INTENDED TO BE USED AS A CONTRACT DOCUMENT, UNLESS OTHERWISE INDICATED BY

3. CONTRACTOR OR ANY SUBCONTRACTORS DOING ANY WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND SHALL FURNISH OWNER WITH CERTIFICATES OF INSURANCE. 4. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON THESE PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO

6. ARCHITECT AND BELLIED CONSULTANTS HAVE NOT BEEN RETAINED FOR CONSTRUCTION HERCONTON SERVICES OF TOP APPROVAL OF SHOP DIMANUOS, ARCHITECT IS DIMY TO APPROVAL OF THE PROPERTY OF THE CONSULTANCE OF THE PROPERTY OF PROPERTY OF THE REPAIRS INCLUMENT ON THE CONTRACTOR TO INCOME THE BUDDING OF PURPOSED OF ANY DISCREPANCY OR CHANGE ON APPROVED PLANS AND OF ANY ARCHITECT OF ANY DISCREPANCY OR CHANGE ON APPROVED PLANS AND OF ANY UNFORSESTED EXCLOPANCY THAT ANY COCUR DURING THE COURSE OF CONSTRUCTION.

APCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURE OR ANY UNFORESEEN PROBLEMS PROOF TO NEW CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NEW CONSTRUCTION AND/OR DEMOLITIONS OPERATIONS AND METHODS.

ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO START OF WORK, DO NOT SCALE DIMENSIONS FROM DRAWINGS, WRITTEN DIMENSIONS ARE TO BE FOLLOWED FOR CONSTRUCTION PURPOSE.

10. ALL CONSTRUCTION & MATERIALS SHALL BE NEW - UNLESS OTHERWISE NOTED. ALI MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR, UNLESS OTHERWISE NOTED.

12. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT HAS BEEN SECURED AS REQUIRED BY THE APPLICABLE GOVERNING AGENCY OR AGENCIES.

13. ALL CONDITIONS AND DIMENSIONS SHALL BE VEXIFIED BEFORE START OF ANY WORK AND DISCREPANCIES OR VARIATIONS TO APPROVED PLAN ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING.

SITE NOTES:

CONTRACTOR AND/OR OWNER ARE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND VERTYING LOCATION OF SAME UTILITY COMPANIES LINES, SERVICES AND OTHER POSSIBLE EQUIPMENT OF UTILITY COMPANY.

16. ALL EXISTING CONDITIONS INDICATED ON THE PLANS TO BE REMOVED OR TO BE RELOCATED ARE TO BE SO EXECUTED IN A MANNER THAT WILL NOT DISTURB ADJOINING AREAS OR CONDITIONS WHICH ARE TO REMAIN.

17. EXTREME CAUTION IS TO BE TAXEN DURING EXCAVATION AND/OR DEMOLITION. CONTRACTOR TO DISSERVE ANY VARIATIONS OR UNFORESEEN DISCREPANCIES IN THE PLANS AND REPORTED IMMEDIATELY TO THE OWNER.

10. EARTH UNDER CONCRETE SLAB BE THOROUGHLY COMPACTED AND CLEANED OF DEBRIS, THE SHE CHARLE SHALL DRUGHT IT A DELET HAVE A THE COMPACTED TO STAD BEET, THE SHE CHARLE SHALL DRUGHT IT A DELET HAVE A THE CHARLE A THE CHARLE SHALL SHALL SHALL SHALL SHALL SHALL CHARLE SHALL SHALL

20. DO NOT BACKFILL UNTIL MAIN FLOOR SYSTEMS, INCLUDING SLABS AND FLOOR DECKING, ARE INSTALLED.

21. BACKFILL AGAINST 8" POURED CONCREYE WALLS SHALL BE A MAXIMUM CONCRETE BLOCK WALLS MAXIMUM 6"-0" ABOVE SLAB TO ADJACENT GRADE.

22. TOP 6" OF NEWLY GRADED AREAS IS TO BE TOP SOIL RAKED FREE FROM DEBRIS, STICKS, STONES OVER 2" IN SIZE AND OBJECTIONABLE MATERIAL.

24. FOOTING GRAINS TO BE PROVIDED WHERE REQUIRED AND APPROPRIATE. THEY SHALL BE LAD IN GRAVEL AND PROTECTED AT TOP WITH PLIER FABRIC AND PROVIDE POSITIVE CUTFLOW TO STORM DRAIN OR DRY WELL.

CONCRETE AND MASONRY

29. NEW POURED CONCRETE TO BE MISHAUM 3,000 P.S.L. COMPRESSIVE STRENGTH IN (28) DAYS NO BAOS OF CEMENT MORNAUM PER CUBIC YARD OF COMPRETE AND MAXIMUM 7-1/4 GALLONS OF WATER PER 9-4 MISS ACC OF CEMENT F-1/4 CALLONS OF WATER PER 9-4 MISS ACC OF CEMENT FOR ANY EXPRESSIVE STRENGT CONCRETE. SIGNAT TESTING REPORTS PERFORMED BY APPROVED TESTING LABORATORY, AS REQUIRED BY LOCAL OFFICIALS.

31. BLOCK FOUNDATION WALLS TO BE REPHYCREED HORIZONTALLLY WITH BUR-O-WALL EVERY SECOND COURSE AND VERTICALLY WITH (4) \$ 5-82-BARS EVERY FOUR REET, (BOCK SHALL BE FILLED SOLID WITH CONCRETE ARROWN REPHYCRING BARS) TOR COURSE OF BLOCK SHALL BE FILLED SOLID WITH CONCRETE AND \$/8" DIAAFTER ANCHOR BOLTS SHALL BE PLACED 4-0"T 05-6"-0" AT 10" AND A 10" A 10"

### **ENERGY CODE**

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EXAMINE

2. ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, BRY MATERIAL FREE FROM ROT, LARGE AND LOOSE KNOTS, SHAKES AND OPHER IMPERFECTIONS WHEREIST HIS TRIBOTH MAY BE APARIED AND OF SYZES MAGCIETO ON RORMONS. STUDS, SLIS, POSTS, UNITED, AND RATTERS SHALL BE HELFER (IS IN MACROIM GRADE) EXCEPT IN NOTED OTHERWISE AND RATTERS SHALL BE HELFER (IS IN MACROIM GRADE) EXCEPT IN NOTED OTHERWISE AND RATTERS SHALL BE STORMARD OF OTHER OTHER (IS IN MACROIM GRADE) EXCEPT IN NOTED OTHERWISE SHALL BE STORMARD OF OTHER OTHER HAMMAND ON THE STORMARD OF EXCEPT IN NOTED OTHER HAMMAND OF ELASTICITY (S) —

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MACRO HOMBOURD ON THE DAMANDOM MOSTRIED, NO. 1 GRADE SHALL BE USED WITH FOLLOWING DIMBINISM OF STREAMS. THE STATE OF THE STREAMS OF THE STATE OF THE STREAM OF THE STATE OF THE STREAMS.

33. ALL SIL PLATES IN CONTACT WITH CONCRETE OR MASCARY WALLS, SLABS ETC., SHALL BE PRESSURE TREATED LUMBER (UNLESS OTHERWISE MOTED). SIL SEAL SHALL BE OWENS CORRING SIL SEALER (OR APPOYED EQUIAL). TERRITE SHELD SHALL BE INSTALLED WHERE REQUIRED BY SITE CONTITIONS AND GUILDING CODES.

34. COULLE VISITS SHALL SE REFLICED DUTES ALL PERTONIS FRANCING PARALLEL INDI. SE AND AGORDA ALL FLOOR GENEROS CODER, STANDES SHALL SE RESERVED SEARCH OF AND ADDRESS CHE ROW OF SAUD BRIGGING AT MID-HEIGHT WITHIN ALL INTERIOR BEARING WALLS. DOUBLE ARROUND ALL SKYLDHETT, ROPE AND FLOOR FRUESSE (13), AND L.V.L. (MCGHOCAJAN) TO RESTRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS. FLOOR JOIST SHALL RECEME CROSS BEROORIS AT 7°O.C. LIMBURING SPECING.

35. INTERIOR SUB FLOOR SHALL BE 3/4" TONDUE & GROOVE SHEATHING GLUED AND MAILED (OVER PRETABRICATION FLOOR TRUSSES) OR TWO LAYERS OF 1/2" PLYMODO LAD PERFEIDIGULE OF EACH OTHER, with DULLIDUR APPER SETUPED LAYERS; OLDED AND MALED TO FLOOR JOST OF EACH OTHER, with DULLIDUR APPER SETUPED REPORTED THE OWN OF THE SETUPED AND AN ADMILED TO FLOOR JOST OWN OF THE SETUPED THE OWN OF THE SETUPED AND ADMILED TO THE SETUPED THE OWN OF THE SETUPED AND ADMILED TO THE SETUPED THE OWN OF THE SETUPED AND ADMILED THE SETUPED ADMILED

38. ALL EXTERIOR DECK SHALL BE FRAMED WITH PRESSURE TREATED LUMBER (UNILESS OTHERWISE HOTED). LUMBER SHALL HAVE FOLLOWING WINNING STRESS: F 1000 PS AND EL ZOLOGOOP PS; AND ENALL BE SOUTHERN YELLOW PINE OR APPROVED ECUAL. GLAVAMIZED HEAVY DUTY POST BASES SHALL BY FROWERD AT BASE OF ALL WOOD COLUMNIS, DEAD JOST WITH ADMINISTRATION OF PROVIDED AT BASE OF ALL WOOD COLUMNIS, DEAD JOST WITH ADMINISTRATION DECEMBER OF ALL WOOD COLUMNIS, DEAD JOST WITH ADMINISTRATION OF PROVIDED AT BASE OF ALL WOOD COLUMNIS, DEAD JOST WITH ADMINISTRATION OF PROVIDED AT BASE OF ALL WOOD COLUMNIS, DEAD JOST WITH ADMINISTRATION OF SPECIES OF REAL PROVIDED AS PER CORES.

39. ROOFING MATERIAL SHALL BE MINIMUM 20 YEAR FIBERCIASS SHINGLES (OWENS CORNING OF APPROVED EQUAL) OVER 15 # ROOFING FELT. VALLEY FLASHING AND OTHER APPROPRIATE PLASHING SHALL BE PROVIDED AS RECURRED. ICE AND WATER SHELD SHALL BE INSTALLED AS RECURRED.

40. FASCIA BOARDS SHALL BE SCARFED AT A 45' ANGLE OR 90' ANGLE, FASCIA BOARDS SHALL BE COMMON PINE WRAPPED IN ALLIMINUM, UNLESS OTHERWISE NOTED.

SET PAGE AT PORIBATION.

2008. AND WINDOWS.

42. NUMBOW SHALL BE SUE, THE AND ARE, AS INDICATED ON PLANS WITH SCREEDS AND

43. NUMBOW SHALL BE SUE, THE AND ARE, AS INDICATED ON FLANS WITH SCREEDS AND

57. SHARDWARE PROVIDED. GLASSING LESS THAM 187 ASDIC FLOOR SHALL BE TRUFFEED. OFFIDE

SICH AS GLASSING, GRELS, COLORS, ETC., SHALL BE SELECTED BY OWNER MAJOR SHILLD

PRIOR TO CONSTRUCTION. HEAD HEAD'T 6-10. UNICS STHEMBER BOTTO.

10. SHARDWARE PROVIDED AND STRUCTURE AND STRUCT AS INDICATED.

43. EXTERIOR DOORS TO BE OF THE MANUFACTURER, TYPE, SIZE, AND STYLE AS INDICATED ON THE DRAWNINGS. ANY MANUFACTURERS OPTIONS SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR UNLESS OTHERWISE RINGED. FOR ON THE DRAWNINGS. ALL DOORS SHALL BE 6'-6' HEGHT DRILESS OTHERWISE NOTED, PROVIDE WEATHER STRIP SHOULD AN ALL EXTERIOR DOORS, PROVIDE ALUMINUM SHOULDS ON ALL INTERIOR DOORS, PROVIDE ALUMINUM SHOULDS. ON ALL INTERIOR DOORS, PROVIDE ALUMINUM SHOULDS ON ALL INTERIOR DOORS, PROVIDE ALUMINUM SHOULDS. ON ALL INTERIOR PROVIDED ARARGE DOORS.

HEATING/VENTILATING/AIR CONDITIONING

THERMAL AND MOISTURE PROTECTION

47. ALLY FOUNDATION DAMP PROOFING OR WATER PROOFING ON ALL BACKFILL, FACES OF BELOW EARTH GRADE.

48. PROMOE 1518 BUILDING FELT, "TYVEK", "TYPAR", OR EQUAL, BEHIND ALL SIDING, WINDOW AND DOOR CASING, NAIL, TRIMS, ETC.

15. ALL OYSUM BOARD SHALL BE SCREWED ON CRUMGS AND/OR MALED TO WALLS. TO RECEIVED ON CRUMGS AND/OR MALED TO WALLS. TO RECEIVE TWO COATS OF PART, AND ONE COAT OF PRIMER COLORS BY OWNER, BATH ROOMS SHALL RECEIVE WATER PROOF SHEETROCK BEHND THE AREAS, AND MONDER BOARD OR APPROVED COULD BEHND THE IN BATH AND SHOWER AREAS.

53. INTERIOR DOORS SIZE AS INDICATED ON DRAWINGS, STYLE AND TYPE BY OWNER/CONTRACTOR 54. CERAMIC THE OR MARBLE FLOORS IN THE AREA INDICATED ON PLANS SHALL BE INSTALLED IN A "MUD" BASE.

55. OAK HARDWOOD FLOORS SHALL BE INSTALLED MINIMUM THREE DAYS AFTER DELIVERY AND BUILDING TO BE MEATED. OAK FLOORS TO RECEIVE TWO COATS OF POLYURETHANE, GYM SEAL OF EQUAL.

26. STAIRS TO BE AS INDICATED ON BRAWINGS WITH MINIMUM OF 0° TRADE AND MAXIMUM RISE OF 0° MATERIAL AND STYLE BY DOMEN BULLESS OTHERWISE INDICATED AND SHALL BE INSTALLED. TO BE SELECTED BY OWNER, MAY SHALL EXPENDENT OF ALL STATE AND LOCAL COTES (of "SHERE MAXIMUM OPENING"). ALL EXPOSED WOOD AND TO TRIM TO RECEIVE ONE COAT OF STAIN AND OPPORTANT OF COATS OF POLICIMENTALS.

## **NEW MODEL FOR** MR. ED LANE

PARK AVENUE, PALISADES, NEW YORK

HARRY J. GOLDSTEIN ARCHITECT DESIGN A DEVELOPMENT

4 REGRIA RIGIO NORSEY, NOW YORK 16552 (845) 356-7942 (914) 337-5787

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OF



HARRY J. GOLDSTEIN

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#### SECTION R401 GENERAL

R401.1 Scope. This chapter applies to residential buildings.

- Sections R401 through R404.
   Section R405 and the provisions of Sections R401 through R404 labeled Mandatory.
   An energy rating Index (ERI) approach in Section R408.
- R401.2.1 Tropical zone. Residential buildings in the tropic zone at elevations below 2,400 feet (731.5 m) above sea level shall be deemed to comply with this chapter where the following conditions are met:

- where the following conditions are finist.

  I Not more than one-holf of the occupied space is conditioned.

  I held more than one-holf of the occupied space is conditioned.

  Solor, wind or other renewable mercy source supplies not less than 50 percent of the energy for service water incuting.

  To service water incuting, the service solor service water incuting to conflict or less than or less a solor head goin conflictent of less than or legad to 0.40, or hex an overhomy with a prejection factor equal to or greater than 0.30.

  First than 0.30.

  The startian of the service compiles with one of the options in Table C402.3 or the reof/ceiting has insualfor with a feet of the options in Table C402.3 or the reof/ceiting has insualfor with a feet of the service of control of the options of the options in Table C402.3 or the reof/ceiting has insualfor with an feet of the options of the

- per foot of run. The finished roat coas not now water occumulation errors.

  5. Operative fenestration provides ventilation area equal to not leas than it apreced of the floor area equal to not leas than it apreced not ventilation in the provided by a ventilation fan.

  5. Bedrooms with exterior waits facing two different directions have provide fenestration on exterior waits facing two different directions have provide fenestration on exterior waits facing two defines to exterior or expected on the provided for bedrooms ond the largest space that is provided for bedrooms and the largest space that is not used as a personn.

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#### SECTION R402 BUILDING THERMAL ENVELOPE

Exception: The following low-energy buildings, or portions thereof, separated from the remainder of the building thermal envelope assembles complying with this section shall be exempt from the building thermal envelope provisions of Section R402.

- Those with a peak design rate of energy usage less than 3.4 Blu/h .42 (10.7 W/m2) or 1.0 wat/fiz of floor area for space-conditioning purposes.
   Those that do not contain conditioned space.
- R402.1.1 Vapor retarder. Wall assemblies in the building themat envelope shall comply with the vapor retarder requirements of Section R702.2 of the International Residential Code or Section 1405.3 of the International Building Code, os applicable.

in Chopter & R402.13 R-value computation. Insulation material used in layers, such as froming cavity issulation, or continuous insulation should be aammed to compute the corresponding component. R-value. The manufacturer's settled R-value shell not include on R-value for other building materials shell not include on R-value for other building materials or or fiftins. Where lesstated siding is used for the purpose of complying with the continuous insulation requirements of Table R402.1.2, the manufacturer's tabled R-value for insulated sidings and be readered by R-0.8.

R402.1.4 U-factor alternative. An assembly with a U-factor equal to ar less than that specified in Toble R402.1.4 shall be permitted as an alternative to the R-value in Toble R402.1.2.

R402.1.3 Total UA alternative. If the total building thermal envelope UA (sum of U-factor times assembly area) is less than or equal to the total UA resulting from using the U-factors in Table R402.1.4 (multiplies by the same assembly area as in the proposab fullding), the building shall be considered in compliance with Table R402.1.2. The UA acclusions hall be done using a method consistent with the ASRIKE Handbook of irrudomentals and shall note that the UR acclusion that the termination of the Compliance of

R402.2 Specific insulation requirements (Prescriptive), in addition to the requirements of Section R402.1, insulation shall meet the specific requirements of Sections R402.2.1 through R402.2.13.

through R492.2.13.

R402.2.1 Cellings with citic spaces. Where Section R402.1.2 would require R-38 insolation in the ceiling, installing 7-30 over 100 percent of the ceiling crear requiring insulption shall be deemed to solicity the require requiring insulption shall be deemed to solicity the require R-30 insulption extends over the wall top plate at the cover. Similarly, where Section R402.1.2 would require R-48 insulation in the ceiling, installing R-38 over 100 percent of the ceiling over requiring R-38 insulation shall wherever the first height of uncompressed R-38 insulation extends over the wall top plate of the cover. This reduction shall not apply to the U-factor clarimative opproach in Section R402.1.4 and the total UA atternative in Section R402.1.5.

In Section 14022.1.5.

R402.2.2 Callings without cittle spaces. Where Section R402.1.2 would require insulation levels above R-30 and the design of the noof/calling assembly does not allow sufficient space for the required insulation. The minimum required insulation for such noof/calling observables shall be R-30. This reduction of insulation from the requirements of Section R402.1.2 shall be intired to 500 square feet (46 m2) or 20 percent of the total insulated calling one, whichever is less. This reduction shall not apply to the U-factor alternative opproach in Section R402.1.5 and the total U and therenize in Section R402.1.5.

R402.2.3 Eave boffle. For oir-permeable insulctions in vented cities, a boffle shall be installed adjacent to softle and ever vents. Boffles shall be installed adjacent to softle ord ever vents. Boffles shall mointain an opening equal or greater than the size of the vent. The boffle shall extend over the top of the citie insulction. The boffle shall be permitted to be any solid material.

shall be permitted to be any solid material.

R402.2.4 Access incides and doors, Access doors from conditioned spaces to unpossibly and access doors from conditioned spaces to unpossibly and access doors from conditioned spaces and to the insulation on the surrounding surfaces. Access shall be provided to all equipment that prevents damaging or compressing the insulation. A woodformed or equivalent bolder or retainer is required to be provided when locate-fill insulation is installed, the proposal limit of the provided or access the provided to the provided or permitted in the provided or permitted or the provided or permitted or the provided or permitted or provided or permitted or permitted or provided or permitted or provided or permitted or permitted or permitted or permitted or provided or permitted or permitt

R402.2.5 Mass walls. Mass walls for the purposes of this chapter shall be considered obove-grade walls of concrete black, concrete, black, concrete, black, concrete, black, concrete, make and concrete from (ICT), masonry cosity, brick (other than brick veneer), earth (adobb, compressed earth black, remmed earth) and solid timber/logs, or any other walls having a heat copacity greater than or equal to 8 Btu/R2 × T (123 At/M2 × K).

R402.2.6 Steel-frame cellings, walls and floors. Steel frame cellings, walls, and floors that meet the insulation requirements of Table R402.2.6 or shall meet the U-factor requirements of Tables R402.1.4. The calculation of the U-factor for a steel-frame envelope assembly shall use a series-parallel path catabolism method.

use a series-poralite jouth collosistion method.

R402.2.7 Walls with profile absolution sheetibing.
Where Socion R402.1.2 would require continuous insolution on exterior wells and singularity sheetings overs 40 percent or less of the gross oreo of oll exterior wolls, the continuous insolution R-values sholl be permitted to be reduced by an amount necessary to result in a consistent total sheetings hickness, but not more than R-3, on oreos of the walls covered by structural sheeting. This reduction shall not apply to the U-factor attenuative opproach in Section R402.1.4, and the total UA alternative in Section R402.1.5.

## TABLE R402.2.6 STEEL-FRAME CEILING, WALL AND FLOOR INSULATION

WOOD FRAME R-VALUE REQUIREMENT	COLD-FORMED STEEL EQUIPMENT R-VALUE a	
	Steet Truss Cellings b	
R-30	R-38 or R-30 + 3 or R-26 + 5	
R-38	R-49 or R-36 + 3	
R-49	R-38 + 5	
	Steel Joist Ceifings b	
R-30	R-38 in 2 x 4 or 2 x 6 or 2 x 8 R-49 is ony framing	
R-38	R-49 in 2 x 4 or 2 x 6 or 2 x 8 or 2 x 10	
sı	esi-Framed Wall, 15" on center	
R-13	R-38 + 4.2 or R-19 + 2.1 or R-21 + 2.8 or R-0 + 9.3 or R-15 + 3.8 or R-21 + 3.1	
R-13 + 3	R-0 + 11.2 or R-13 + 5.1 or R-15 + 5.7 or R-19 + 5.0 or R-21 + 4.7	
R-20	R-0 + 14,0 or R-13 + 8,9 or R-15 + 8,5 or R-19 + 7.8 or R-19 + 5.2 or R-21 + 7.5	
R-20 + 5	R-13 + 12.7 or R-15 + 12.3 or R-19 + 11.6 or R-21 + 11.3 or R-25 + 10.9	
R-21	R-0 + 14.6 or R-13 + 9.5 or R-15 + 9.1 or R-19 + 8.4 or R-21 + 8.1 or R-25 + 7.7	
s	teel-Fromed Wall, 24" on center	
R-13	R-0 + 9.3 or R-13 + 3.0 or R-15 + 2.4	
R-13 + 3	R-0 + 11.2 or R-13 + 4.9 or R-15 + 4.3 or R-19 + 3.5 or R-21 + 3.1	
R-20	R-0 + 14.0 or R-13 + 7.7 or R-15 + 7.1 or R-19 + 6.3 or R-21 + 5.9	
R-20 + 5	R-13 + 11.5 or R-15 + 10.9 or R-19 + 10.1 or R-21 + 9.7 or R-25 + 9.1	
R-21	R-0 + 14.6 or R-13 + 8.3 or R-15 + 7.7 or R-19 + 6.9 or R-21 + 6.5 or R-25 + 5.9	
Steel Joist Floor		
R-13	R-19 in 2 ×6 or R-19 + 6 in 2 ×8 or 2 ×10	
R-19	R-19 + 6 in 2 ×6, or R-19 + 12 in 2 ×8 or 2 ×10	

a Cavity insulation R-value is listed first, followed by continuous insulation R-value.

R402.2.8 Floors, Floor froming-cevity insulation shall be installed to maintain permanent contact with the underside of the subfloor decking.

Exception: The floor framing-covity insulction shall be parmitted to be in contect with the topade of sheething or continuous invalidation installed on the sheething or continuous invalidation installed on the sheething or continuous invalidation installed on the sheething of t

R402.2.9 Basement walls. Wolls associated with zonditioned black and the insulated from the top of the basement shall be insulated from the top of the basement floor to 10 feet (3048 mm) before grade or to the basement floor, whichever is less. Walls associated with unconditioned beasement shall meet his requirement unless the floor overhead is insulated in accordance with Sections R402.12 and R402.2.12 and R402.2.12.

accordance with Sections R402.1.2 and R402.2.8.
R402.2.10 Slob-on-grade floors: Sibb-on-grade floors with a floor surface less than 12 linches (305 mm) below grade shall be insulated in accordance with Table M62.1.2. The insulation shall extend downward form the R402.1.2. The insulation shall extend downward form the result of the resul

howing a very housy termite Infestation.

R402.2.11 Oreal space walls. As an allarmative to immediag floors one orang spaces, crowl update walls shall be a support of the control of the control of the control vented to the outside. Crowl space wall insulation shall be parmonently restened to the world and seated downword from the floor to the finished grade level and then vertically and/or horizontally for all teast an additional 24-inches (810 mm). Exposed earth in unvented crowl space varieties of the control of the control

R402.2.12 Masonry veneer. Insulation shall not be required on the horizontal portion of the foundation that supports a masonry veneer.

R402.2.13 Sunroom insulation. Sunrooms enclosing conditioned space shall meet the insulation requirements of this code.

- 1. The minimum ceiling insulation R-values shall be R-19 in Glimate Zenss I through 4 and R-24 in Glimate Zens I through 4 and R-24 in Glimate Zens S through 5 that De R-13 in all climate zones. Wells separating a suprorm with a climate zone. Wells separating a suprorm with a climate zone. Wells separating the zender of the cedes.

R402.3 Fenestration (Prescriptive), in addition to the requirements of Section R402, (enestration shall comply with Sections R402.3.1 through R402.3.5.

R402.3.1 U-factor. An area-weighted average of fenestration products shall be permitted to satisfy the U-factor requirements.

U-foctor requirements.

RAD 3.2 Glease fenentration SHGC. An orea-weighted overage of fenestrotion products more than 50-percent glozod should be permitted to satisfy the SHGC. acquirements. Dynamic glozing should be permitted to satisfy the SHGC. acquirements of foole RAGC. a provided than or equal to 2.4, and the dynamic glozing is suffered to the control of the state of the st

Exception: Dynamic glozing is not required to comply with this section when both the lower and higher labeled SHGC directly comply with the requirements of Table R402.1.2.

R402.3.3 Gazed fenestration exemption. Up to 15 square feet (1.4 m2) of glazed fenestration per dwelling unit shall be permitted to be exempt from U-factor and SHGC requirements in Section R402.1.2. This exemption shall not begly to the U-factor attenative approach in Section R402.1.4 and the Total UA attenutive in Section R402.1.4.

R402.3.4 Opaque door exemption, One side-hinged opaque door assembly up to 24 square test (2.22 m2) in crae to exempted from the U-factor regularement in Section R402.1.4. This exemption shall not apply to the U-factor otherwise upgreach in Section R402.1.4 and the total UA atternative in Section R402.1.3.

R402.3.5 Sunroom fensatrollon. Sunrooms enclosing conditioned space shall meet the fenestration requirements of this code.

New fenestration separating the surroom with thermal isolation from conditioned space shall meet the building thermal envelope requirements of this code.

R402.4 Air leakage (Mandatory). The building thermolenvelope shall be constructed to limit air leakage in accordance with the requirements of Sections R402.4.1 through R402.4.5.

R402.4.1 Building thermal envelope. The building thermal envelope shall comply with Sections R402.4.1.1 and R402.4.1.2. The seating methods between dissimilar motorials shall allow for differential expension and contraction. In sections were supported by the R402.4.1.1 and R402.4.1 and R402.4.1.1 and R402

RéQ2.4.1.2 Testing, The building or develing unit shall be tested and verified dis having on air textoge rate accarding, like air changes per hour in Climate and the control of the contr

- Exterior windows and doors, fireplace and stove doors shall be closed, but not seeled, beyond the intended weatherstipping or other inflictation control measures.
   Compares including subsust, intoke, makeup oil, and the closed, but not usolate beyond blanded inflictation control measures.
- not sense beyone interest intereston control.

  S. Interest orders, if instelled at the time of the test, shall be open.

  S. Exterior doors for continuous ventebilion systems and heat recovery ventilators shall be closed and scaled.

  S. Heating and cooling systems, if installed at the time of the test, shall be turned off.

  S. Supply and return registers, if installed at the time of the test, shall be turned of the test, shall be turned of the test, shall be turned of the test, shall be turny open.

R402.4.2 Preplaces. New wood-burning fireplaces shall have tight-fitting flux dampers or down, and outdoor fortend the preparation of the property of the property of the property of the property listed and listed for the UL 127. The doors shall be tested and listed for the freplace. Where using tight-fitting doors on maconry fireplaces, the doors shall be listed and labeled in accordance with UL 507.

R402.4.3 Fenestration of teakage. Windows, skylights and silding glass doors shall have an air infiltration rate of no more than 0.3 cft per square feet (1.5 1.1.1/n/2). It 1/n/2 (1.5 1.1.1/n/2). Feet (2.5 1.1.1/n/2) in teated according to NTRC 400 or AANA/NOMA/CSA 101/1.2.5/A40 by an accredited, independent laboratory and listed and fabeled by the manufacture.

Exception: Sile-built windows, skylights and doors.

Exception: Site-bulk windows, skylights and decar.

R402.4.4 Roema coatising flet-burning appliances. In Climate Zones 3 through 8, where open combustion oir ducts provide combustion er to open combustion full burning appliances, the appliances and combustion for the property of the combustion of th

- Direct vent appliances with both intoke and exhaust pipes installed continuous to the outside.

R402.4.5 Recessed lighting, Rocessed turninoires installed in the building thermal envelope shall be secied to limit air leckode between conditioned and unconditioned appears. All recessed luminoires, shall be IC-roted and loaded as halving on in leckode, rote in all more than 2.0 aim (0.944 L/s) when tested in decordance with ASTM E 233 of a 1.57 per (175 Per) perseautic differentials. All recessed luminoires that be solded with a gasket or cault covering.

R402.5 Maximum fenestration U-factor and SHGC

R4022- Madimum fenestration U-factor and \$100 (Astrodotory). Additional configuration of the state of the sta

#### SECTION R403 SYSTEMS

R403.1 Controls (Mandatory). At least one thermostat shall be provided for each separate hooling and cooling system.

ayatem.

R403.1.1 Programmable thermostot. The thermostot controlling the primary heating or ceoling system of the deeling unit shall be capable of controlling the heating and cooling system on a daily achediet to different times of the different temperature surposition of the deeling unit sold the different temperature surposition of the different times of the different temperature of the different times of the took or temperature operate the system to maintain scale temperatures down to 65°F (13°C) or up to 65°F (29°C). The thermostot shall histolily be programmed by the manufactures with a heating temperature at point no higher than 75°F (20°C) and a cooling temperature set point no lower than 75°F (20°C).

R403.1.2 Heat pump supplementary heat (Mandatory). Heat pumps having supplementary electric-resistance heat shall have controls that, except during defrost, prevent supplemental heat operation when the heat pump compressor can meet the heating load.

R403.2 Hot water holler outdoor temperature setback. Hot water boilers that supply heat to the building through one- or twe-pipe heating systems shall have an outdoor setback control that towers the boiler water temperature bused on the outdoor temperature.

R403.3 Duots. Duots and air handlers shall be in accordance with Sections R403.3.1 through R403.3.5.

R403.3.1 Insulation (Prescriptive). Supply and return ducts in attics shall be insulated to a minimum of R-8 where 3 inches (76 mm) in diameter and spreaker and R-6 where less than 3 inches (76 mm) in diameter. Supply and return ducts in other parties of the Subdiang shall be insulated to a minimum of R-6 where 3 inches (76 mm) in diameter or greater and R-4.2 where less than 3 inches (76 mm) in diameter.

Exception: Ducts or portions thereof located completely inside the building thermal envelope.

R403.3.2 Segling (Mandatory). Ducta, oir handlers and filter boxes shall be seeled. Joints and seams shall comply with either the International Methanical Code or International Residential Code, as applicable.

Exceptions:

- 1. Air-impermeable spray foam products shall be permitted to be applied without additional joint seals
- 2. For duets having a static pressure classification of less than 2 inches of water column (500 Pc), additional classers systems shall not be required for continuously welded joints and esems, and locking-type sharts and seams of other than the snap-lock and button-lock types.

R403.3.2.1 Sealed of handler. Air honders shall have a manufacturer's designation for an air leakage of na more than 2 percent of the design of flow rate when tested in accordance with ASHRAE 193.

R405.3.3 Duct testing (Mandatory). Ducts shall be pressure tested to determine air leakage by one of the following methods:

1. Rough-in test: Total lookage shall be measured with o pressure differential of C4 hesh wg. (25 Pe) accept the system, including the mountafolders of the modes enclosure if installed at the line of the lest. All registers shall be toped or otherwise saceled during the test.

2. Postconstruction test: Total leekage shall be measured with a pressure differential of C4 inch wg. (25 Pe) across the entire system, including the mountafortiers of hander enclosure. Registers shall be taped or chemics eached valving this test.

Exception: A duct or lookage test shall not be required where the ducts and or horiders are located entirely within the building thermal envelope.

A written report of the results of the test shall be signed by the party conducting the test and provided to the code official.

R403.3.4 Duct leakage (Prescriptive). The total leakage of the ducts, where measured in occordance with Section R403.3.3, shall be as follows: 1. Rough-in lest: The total leakage shall be less than or equal to 4 cubic feet per mituate (113.3 L/min) per 100 square feet (9.28 mg.) or conditioned floor area where the oir handler is installed at the time of the test. Where that oir handler is not tested of the time of the test, the side inhandler is not leakaged of the time of the test, the total leakage shall be less than or equal to 3 cubic feet per mituate (8.5 L/min) per 100 square feet (9.29 mg.) of sanditioned floor area.

R403.3.5 Building covities (Mandatary). Building froming covities shall not be used as ducts or plenums. R403.4 Machinical system piping insulation (Mandatory). Mechanical system piping capable of carrying fluids above 1057 (41°C) or below 557 (13°C) shall be insulated to a minimum of R-3.

R403.4.1 Protection of piping insulation, Piping insulation exposed to weather shall be protected from demage, including that coursed by suntight, molsture, equipment mointenance and wind, and shall provide shielding from solar radiation that can cause degradation of the material. Admissive tops shall not be permitted.

R403.5 Service hot water systems. Energy conservation measures for service hot water systems shall be in accordance with Sections R403.5.1 through R403.5.4.

R403.5.1 Heated water circulation and temperature M40.35.1 Hected water circulation and temperature mathemane systems (Mandetry). Heated water circulation systems shall be in accordance with Section R403.5.1.1 Medit trace temperature maintenance systems shall be in accordance with Section R403.5.1.2 Automatic, controls, temperature america and pumps shall be oppossible. Measure controls shall be readily accessible. 8403.5.1.1 Circulation systems, Healed water circulation systems shall be provided with a circulation pump. The system return pipe shall be a dedicated return pipe or a cold water supply pipe. Gravity and thermosyphon circulation systems shall be prohibited. Controls for circulation systems shall be prohibited. Controls for circulation systems shall be prohibited for the demand for the pump based on the Identification of a demand for hot water within the occupancy. The centrals shall not state of the controls shall be controlled to the control of the cont

R403.5.1.2 Heat trace systems. Electric heat trace systems shall comply with IEEE 515.1 or UL 515. Controls for such systems shall actionationally object the energy input to the heat tracing to maintain the desired wither temperature in the piping in occordance with the times when heated water is used in the ecouphonsy.

R403.6.2 Demond restriculation systems. A voter distribution system having one or more restriculation pumps that pump water from a heated soler supply pipe back to the heated water source through a cold water supply pipe shall be a demand recirculation water system. Pumps shall have demand recirculation water system. Pumps shall have constructed that comply with both of the following:

1. The control shall start the pump upon receiving a signal from the action of a user of a fixture or appliance, seasing the presence of a user of a fixture resemble the two of not or tempered water to a fixture intelling or appliance. 2. The control shall that the temperature of the water antering the acoust of user piping to 704% (acc).

R403.5.3 Hat water pips insulation (Prescriptive). Insulation for hot water pips with a minimum thermal resistance (R-value) of R-3 shall be applied to the following:

- 1. Piping 3/4 inch (19.1 mm) and larger in nominal
- diameter.

  2. Piping serving more than one dwelling unit.

  3. Piping booted outside the conditioned space.

  Piping from the water haster to a distribution

  5. Piping isocated under a floor side.

  6. Busied in piping.

  7. Supply and return piping in recirculation systems other than demand afficient own of the piping.

R403.5.4 Drah water heat recovery units. Drain water heat recovery units shall comply with CSA 855.2 Drain water heat recovery units shall comply with CSA 855.2 Drain water heat recovery units shall be tested in opcordance with CSA 855.1. Potable water-slaie pressure loss of drain water heat recovery units shall be leas than 3 pair (20.7 APD) for individual units connected to one or two showers. Potable water-shall pressure loss of drain water heat recovery units shall be less than 2 psi (10.3 6PD) for individual units connected to three or more showers.

R403.6 Mechanical ventilation (Mandatory). The building shall be provided with ventilation that meets the requirement of the international Registerulat Code or international Machanical Code, as applicable, or with other opproved means of vertilations. Outdoor oir inteless and entitional Machanical Code, or growing dempers that clear which the wettilation system is not operating.

R403.6.1 Whole-house mechanical ventilation system for efficacy. Mechanical ventilation system fans shall meet the efficacy requirements of Table R403.6.1.

Exception: Where mechanical ventilation fans are integral to tested and listed HVAC equipment, they shall be powered by an electronically commutated mater.

R403.7 Equipment stains and efficiency rotins (Mondotory). Healing and cooling equipment shall be sized in occordonce with ACCA, Mondo S based on building toods calculated in accordonce with ACCA Mondol J or other opproved heating and zooling calculation methodologies. New or replacement highling and cooling equipment shall how on efficiency rating equal to a greater than the minimum required by federal law for the geographic tools in where the equipment is installed.

R403.9 Snow melt and ke system controls (Mandatory). Snow- and Ice-melting systems, supplied through energy acrides to the building, shall recivide automatic controls control to the building shall recivide submitted to the position. In control to the position in the position in control to the position in control to the manual control that will click shutdiff when the outdoor temperature is above 40°F (4.8°C).

R403.10 Pools and permanent spa energy consumption (Mandatory). The energy consumption of pools and permanent spas shall be in occordance with Sections R403.10.1 Utrough R403.10.3.

03.8 Systems serving multiple dwelling units

(Mandotory). Systems serving multiple dwelling units shall comply with Sections C403 and C404 of the IECC—Commercial Provisions in lieu of Section R403.

Re0.10.1 Heaters. The electric power to heaters shall be controlled by a readily accessible on-off switch that is on integral port of the heater mannets on the swifer's of the heater mannets on the swifer's of the heater, or external to and within 3 leet (814 mm) of the heater. Operation of such switch shall not change the settling of the heater thermostot. Such switches shall be in addition to a cleral theaters for the power to the heater. Ger-fired heaters shall not be equipped with entitiously busining ignition plants.

R403.10.2 Time switches. Time switches or other control malbade that can outomatically turn off and an according to a presst schedule shall be installed for heaters and pump motors. Neaters and pump motors that have bust-in time switches shall be in compliance with this

- Where public health standards require 24-hour pump operation.
   Pumps that operate solar- and maste-heat-recovery pool healing systems.

R403.10.3 Covers. Outdoor heated peats and autdoor parmonent spas shall be provided with a vapar-retardant cover or after approved vapar-retardant means.

Exception: Where more than 70 percent of the energy for healting, computed over an operation season, is from sille-recovered energy, such as from a heal pump or solar energy source, covers or other vapor-retordant means shall not be required.

R403.11 Portable spos (Mandatory). The energy consumption of electric-powered portable spos shall be controlled by the requirements of APSP-14.

Reducted by the regularization of semiconst realization space. Redistrible pools and permanent residential space. Redistrible swimming pools and permanent residential space that are accessory to detached one on two-family dwellings and townhouses threa stories or less in height above grode plane and that or avoidable only in the household and its guests shall be in accordance with ASP-15.

#### SECTION R404 ELECTRICAL POWER AND LIGHTING SYSTEMS

R404.1 Lighting equipment (Mandotory). Not less than 75 percent of the lomps in permanently installed lighting fixtures shall be high-efficacy tamps or not less than 75 percent of the permanently installed lighting fixtures shall contain only high-efficacy tamps.

Exception: Low-voltage lighting.

R404.1.1 Lighting equipment (Mondatory). Fuel gos lighting systems shall not have continuously burning pilot lights.

	TABLE R402.4.1.1 AIR BARRIER AND INSULATION INSTALLATIO	N .
COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous oir berrier shall be installed in the building emelops. The exterior thermal envision contacts a continuous of barrier. Breaks or joints to the oir barrier shall be sealed.	AK-parmetric insceller shot not be used as a sealing, metalial,
Gelling/ottle	The oir barrier in any dropped celling/solfit shall be aligned with the intuitation and leav gaps in the oir barrier shall be sealed. Access openings, drop down stells or have will doors to unconditioned attitute spaces shall be sealed.	The interdetion is any dropped calling/solfit shell be ofgred with the observier.
Wells	The junction of the foundation and six plate shall be seeing. The junction of the top plate and the top of exterior water should be seried. Since works should be saided.	Cortices which colorer and incolors of frame walls shall be inquisited by corruptably fishing the coulty with a material having a thermal resistance of R-2 per inter-neutronic materials having as thermal emotion of the color internet control per internet contro
Mindows, skylights and doors	The space between window/door fambs and framing, and skylights and framing shall be seeled.	
fon jeigte	Rim joieta shell include the of barrior.	Rim Joints shall be insulated.
Floors (Including above garage and configurated Spers)	The oil buries shall be installed at any empired edge of escalation.	Reor framing savily haudeline shall be instelled to mention permenent content with the understood at authors declared, or flow froming could content with the understood at authors declared, or flow the top top state of the sta
Crewl aposes wats	Exposed conto to unwrited aroun spaces should be covered with a Chass is support returner with overlooping joints loyer.	Where provided instead of floor insulation, insulation shall be permanantly ottoched to the crowispose walls.
Shotta, peneirotiana	Dust shalls, while penetrations, and has shalls opening to exterior or unconditioned space wholl be seeled.	
Horrs— corilles		Botts in nonew condities shall be out to dit, or Across couldles whall be fided by insulation that an insulabilities readily contents to the evaluable couldy space.
Gorage apparellon	Ar seeiing shor be provided between the garage and conditioned spaces.	
Recessed lighting	Recessed light fixtures installed to the building thermal envelope shall be shall be shall be drywot.	Recessed light fictures installed in the bullding thermel envelope short be all tight and IO roted.
Plumbing and wiring		Balt insulation shall be cut noptly to 51 around mining and plumbing in exterior wats, or insulation that on installation rendly conforms to available space shall extend behind piping and wiring.
Shower/tub on setterior wall	The oir transfer installed at exterior walls adjacent to showers and tube shall separate them from the absence and tube.	Exterior walls adjacent to showers and tubs shall be invested,
Electrical/phono box on exterior wolls	The air berrier shall be installed behind electrical or communication boxes or ofe-scaled boxes shall be installed.	
HVAC register bools	HYAC register boots that penetrals building thermal envelope shall be seated to the subject or drywal.	
Concepted sprintters	When required to be seeded, contended fire sprishlers shall only be seafed to o manner that he reaspectanted by the minuscriturer. Cooking or other oddesive seatents shall not be used to fill votes between fire sprishler cover platter and works or college.	

e. In addition, inspection of the malls shall be in accordance with the provisions of ICC-4DC.

## **NEW MODEL FOR** MR. ED LANE

PARK AVENUE. PALISADES , NEW YORK

HARRY J. GOLDSTEIN ARCHITECT

HARRY J. GOLDSTEIN MALL / RYSLUCENERALIZATE

. 191288 320, 2019

4

OF

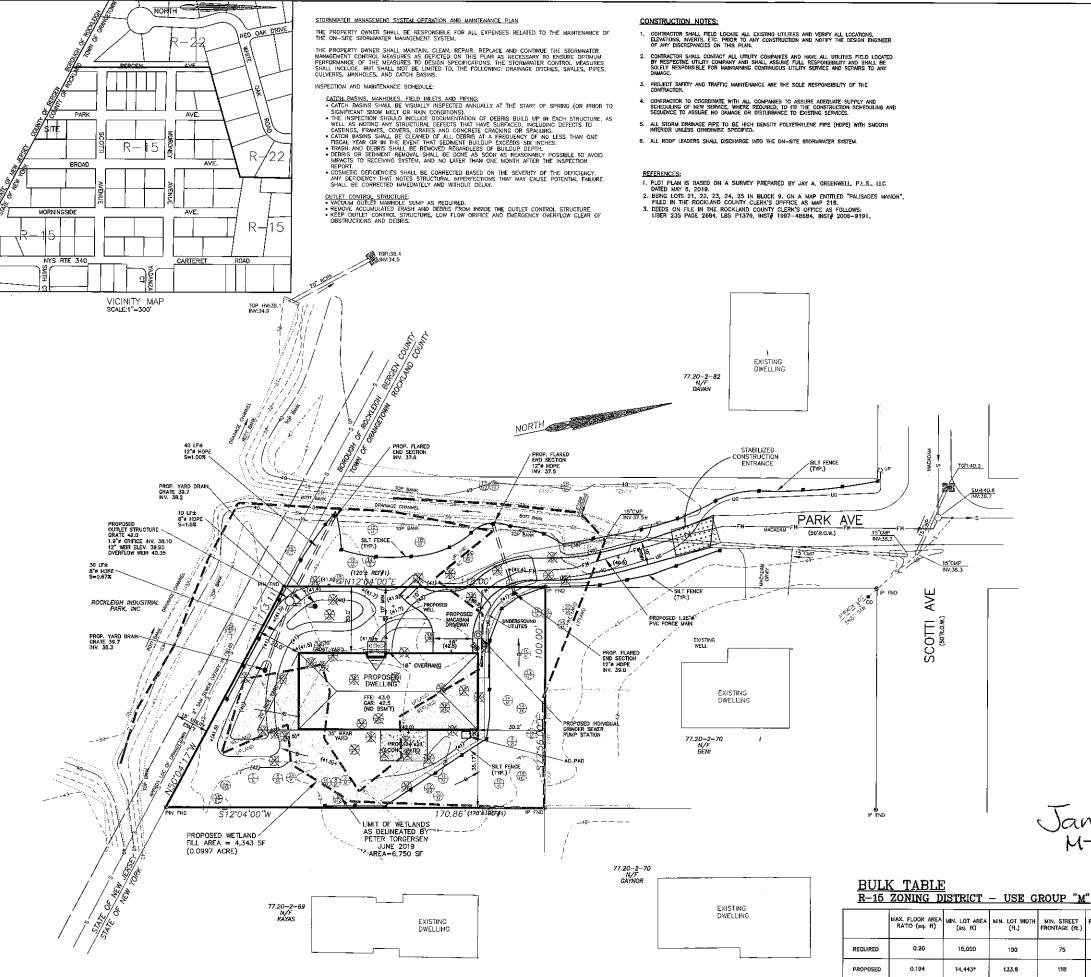
4

TABLE R492.1.2
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENTS CLIMATE FENESTRATION SKYLIGHTD FENESTRATION R-VALUE FRANK WALL R-VALUE WALL R-VALUE WALL R-VALUE SAFES, ZONE U-FACTORS U-FACTOR SIGNO, 6 R-VALUE R-VAL 0.40 49 20 or 8/13 19 10/13 10.2 ft 10/13 0.35 0.55 49 20 or 13/17 30 g 15/19 10.2 ft 15/19 0.32 0.55

TABLE R402.1.4 EQUIPMENT U-FACTORS a FRAME WALL U-FACTOR MASS FLOOR BASEMENT CRAWL SPACE
WALL U-FACTOR U-FACTOR U-FACTOR
U-FACTOR U-FACTOR CLIMATE FENESTRATION SKYLIGHT ZONE U-FACTOR U-FACTOR 4 except 0.35 0.098 0.047 0.059 0.55

TABLE R403.6.1
MECHANICAL VENTILATION SYSTEM FAN EFFICACY AIR FLOW RATE MINIMUM AR FLOW RATE MAXIMUM FAN-LOCATION Range boods 2.8 cfm/watt Any in-line fon 2.8 ofm/watt Any Bathroom, utilly room 1.4 c/m/welt < 90 Bothroom, utilly room 2,8 cfm/watl

b. Insulation exceeding the height of the framing shall cover the framing.



NOTES

THIS IS A SITE PLAN FOR TAX LDTS 77.20-2-76 AS SHOWN ON THE TOWN OF DRANGETOWN TAX MAP.

ZIDING DISTRICT, R-15 BENJ
135 PARK AVENUE
DRANGETOWN, NEW YORK 10964

APPLICANT: EDMIND LANE
75 MICHAEL, RIBERTS COURT
75 MICHAEL, RIBERTS COURT
75 MICHAEL, PALLSAMES
SCHOOL DISTRICT, GRANGETOWN CENTRAL
FIRE DISTRICT, GRANGETOWN
FRE DISTRICT, GRANGETOWN
VATER DISTRICT, FARANGETOWN
VATER DISTRICT FARANGETOWN
VATER DISTRICT

BOUNDARY AND IDPORAPHIC DATA TAKEN FROM A SURVEY PREPARED BY JAY A. GREENVELL, PLS, DATED MAY 6, 8019
DATUM NOV9 1929.
AT LEAST DRE VEEK PRIBE TO THE COMMENCEMENT OF ANY VORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES
OR THE REMOVAL OF TREES AND VEGITATION, A PRE-CONSTRUCTION NECTING MUST BE HELD UTHIN THE TOWN OF DRAMMETIVE
DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERISTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING
TOWN AND PROMING ADMINISTRATION AND EFFORCEMENT. IT IS THE RESPONSIBILITY MAD BULICATION THE PROPERTY OWNER
THEE PROTECTION THE TREE PROTECTION AND PRESERVATION GUIDELINES ADDRED PURSUANT TO SECTION 21-24 OF THE LAND
DEVELOPMENT REGULATIONS OF THE TOWN OF DRAMSTOWN VALL BE UNDELICATION THE RECEIVE AND PROTECT EXISTING TREES TO REMAIN
SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO RESERVE AND PROTECT EXISTING TREES TO REMAIN
AREA AS FOLLOWS:

TO ARRANGE SUCH A MEETING.

TREE PRICEION THE TERE PROTECTION AND PRESERVATION GUIDELINES ADDRED PURSUANT TO SECTION 21-24 OF THE LAND
DEED PRICE TREE PROTECTION THE TOWN OF DAMAGETOWN WILL BE IMPLICATIVE IN DIRECT HIS TOWN PRESERVE BY
DEED PRICE TREE PROTECTION TOWN THE TOWN OF DAMAGETOWN WILL BE TAKEN TO RESERVE AND PROTECT AND PRESERVE TO READ AND PROTECT AND P

THE DRAVINGS AND PROJECT ARE IN COMPLIANCE WITH STORMWATER MANAGEMENT PHASE II REQUIRITIONS CLEST THAN ONE ACRE OF DISTURBANCE THE PROJECT OF THE PROPERTY OF THE PROPERTY OF THE PROJECT OF THE PROPERTY OF T

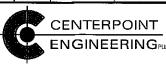
LEGEND DRAINAGE INLET W/PIPES DMH DRAIN MANHOLE/ WITH PIPES TOP CURB & CATCH BASIN TCCB TOP GRATE FIELD INLET TOFI RCP CPP UP Q CORRUGATED PLASTIC PIPE UTILITY POLE UTHITY POLE WITH LIGHT ď WATER VALVE W O HYDRANT HYD (C) GAS VALVE GV A OVERHEAD WIRES CAS LINE GAS. ELEC. TEL. CATV WATER LINE CONTOUR LINE -- 40 -SPOT GRADE +40.5 PROPOSED CONTOUR LINE <del>--(40)</del> + (40.5) PROPOSED SPOT GRADE

TREE LEGEND — SIZE IN INCHES (LARGEST DIA SHOWN IN TWIN/TRIPLE)
— LETTER INDICATES TREE TYPE (SEE BELOW)
SECOND NUMBER (2), (3) INDICATES TWIN/TRIPLE B = BIRCH M = MAPLE K = QAK TREE TO BE REMOVED LEGEND FOR EROSION CONTROL

DURING CONSTRUCTION

CONSTRUCTION ENTRANCE SILT FENCE

> 3 12/9/20 AS PER FINAL APPROVAL CONDITIONS 2 10/28/20 AS PER REVIEW COMMENTS 1 9/23/20 ADDED EJECTOR PUMP Rev. Date Description



Consulting Civil Engineers

74 Lafayette Avenue Suffern, New York 10901 (845) 368-8787

125 PARK AVENUE

TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK

SITE PLAN

PROJECT NUMBER

1329

**BUILDING PERMIT PLAN** 



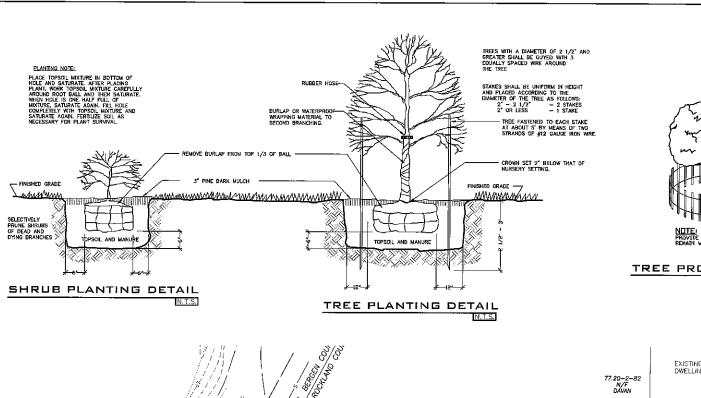
ATEST REVISION DATE: 12/9/2020 GINATION DATE: 6/24/2020 1'' = 20'

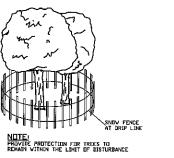
STUART STROW P.E. N.Y. LIC. NO. 66876

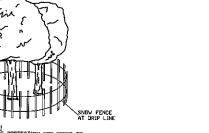
\*VARIANCE GRANTED BY TOWN OF ORANGETOWN ZBA ON SEPTEMBER 2, 2020

FLOOR AREA RATIO CALCULATION FLOOR AREA = 2,805 SF LOT AREA = 14,443 SF FAR = (2,805)/(14,443) = 0.194

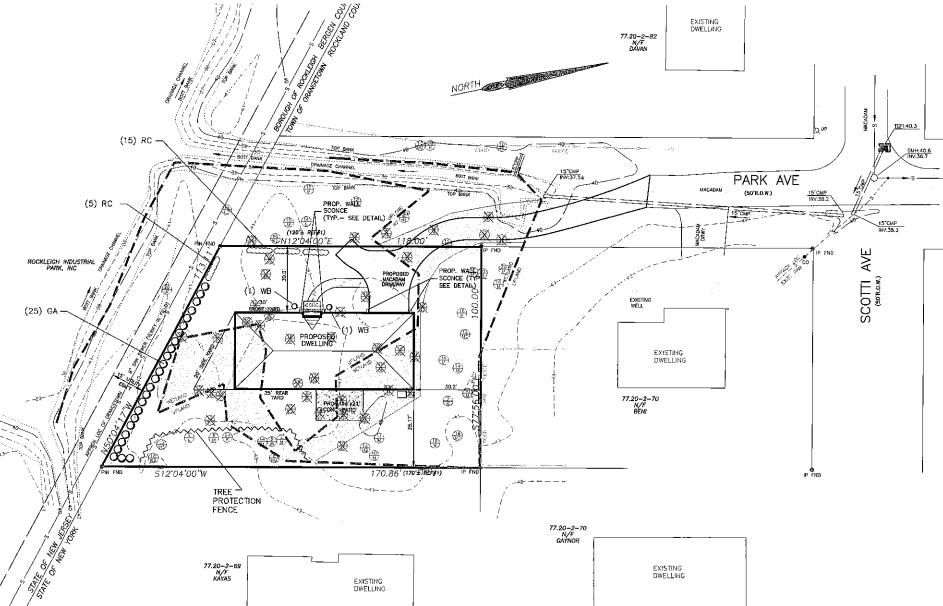
MAX. BUILDING HEIGHT (HEIGHT IN FT. OR IN. PER FOOT DIST. FROM LOT LINE) REQUIRED FRONT YARD (ft.) REQUIRED SIDE YARD (fL) TOTAL SIDE YARD (ft.) REQUIRED REAR YARD (ft.) MIN. STREET 75 20 12 INCH/FT ==> 20" 30.0 13.5 118 20.0 50.20 35.17



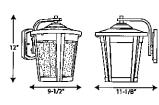




TREE PROTECTION DETAIL







WALL SCONCE DETAIL

NUTE: FIXTURE BY PROGRESS LIGHTING (CATALOG #P6078-3130K9) OR APPROVED EQUAL 9 WATT LED, 120V, BLACK FRAME

- STANDARD LANDSCAPE NOTES!

  1. MULCH ALL PLANT BED AND TREES WITH 4' DEPTH OF SUGAR CANE OR LICORICE ROOT MULCH.
- STAKE ALL TREES WITH 2 CEDAR STAKES, RUBBER HOSE AROUND TREE (6'-0' ABOVE GRADE) AND TWISTED #10 GAUGE GALVANIZED WIRE.
- 4. GUARANTEE ALL PLANTS AND WORKMANSHIP FOR TWO PLANTING SEASONS.
- ALL PLANTING SHALL BE PLACED UNDER THE DIRECTION OF AN APPROPRIATE LICENSED DESIGN PROFESSIONAL NOTIFY 48 HOURS PRIOR TO PLANTING.
- PROVIDE THE VILLAGE OF CHESTNUT RIDGE BUILDING INSPECTOR WITH A COPY OF THE STATE CERTIFICATE OF SOURCE FOR ALL PLANT MATERIAL.
- ALL PLANT MATERIAL SHALL BE MURSERY GROWN AND SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERY MEN'S STANDARDS.
- 8. PROVIDE 4" MINIMUM TOPSOIL ON ALL DISTURBED AREAS OF SITE TO BE GRASSED OR LANDSCAPE.
- PERENNIAL PLANTING BEDS TO BE INSTALLED WITH PLANT SELECTION AT THE OWNERS DISCRETION AND MAINTAINED ANNUALLY,
- 11. ALL DISTURBED AREAS SHALL BE SEEDED AS INDICATED IN NOTE 10 ABOVE, AND MAINTAINED AS GRASS UNLESS OTHERWISE INDICATED.

#### PLANTING SCHEDULE

No.	SYMBOL	PLANT NAME	QUANTITY	SIZE & REMARKS
1	GA	THUJA PLICATA X STANDISHII BABY GIANT ARBORVITAE	25	3'-4' HT 3' D.C.
2	RC	COTONEASTER DAMMERI ROYAL BEAUTY ROYAL BEAUTY COTONEASTER	20	15'-18' SPR. BLB
3	VΒ	BUXUS MICROPHYLLA 'WINTERGREEN' WINTERGREEN BOXWOOD	2	3 GALLON @ 5' D.C.

TREE LEGEND

B = BIRCH M = MAPLE - TREE TO BE REMOVED

3	12/9/20	AS PER FINAL APPROVAL CONDITIONS
Rev.	Date	Description
		<u> </u>



Consulting Civil Engineers

74 Lafayette Avenue Suffern, New York 10901 (845) 368-8787

125 PARK AVENUE

TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK

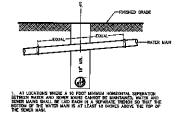
### LANDSCAPING AND LIGHTING PLAN



12/9/2020 ATION DATE: 10/28/2020

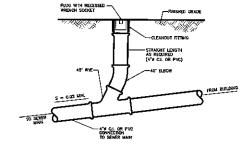
1" = 20'

N.Y. LIC. NO. 66876

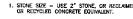


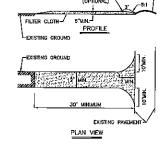
2. AT LOCATIONS WHERE WATER AND SEWER WAINS CROSS: a. A MENDIAN IS DIGH VETTICAL SEPARATION SHALL BE MAINTAINED.
b. A FIAL LENGTH OF SEWER PIPE AND FULL LENGTH OF WATER PIPE SHALL BE LOCATED AS THAT ALL PIPE MONTHS ARE LOCATED AS FAR AS POSSELE FROM THE PORTH OF COSSING.

TYPICAL WATER & SEWER SEPARATION

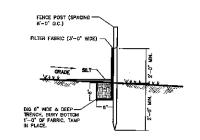


SANITARY SEWER CLEANDUT DETAIL

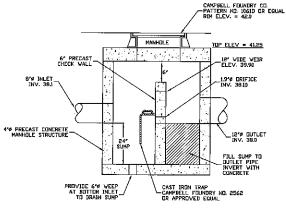


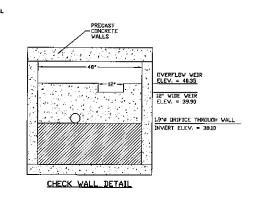


# CONSTRUCTION ENTRANCE DETAIL

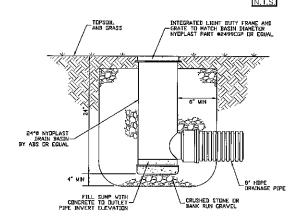


SILT FENCE DETAIL

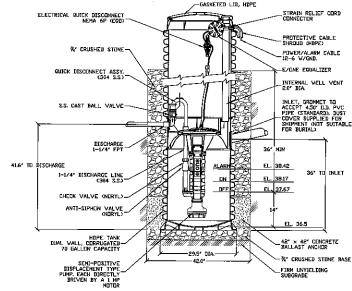




## DUTLET STRUCTURE DETAIL



YARD DRAIN DETAIL

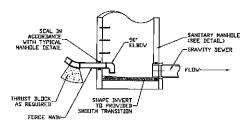


### EJECTOR SEWER PUMP DETAIL

1. PACKAGED DEBUTES SEVER PHILE SHALL BE UDDE: 8 JH071-61 AS MANUFACTURED BY ENVIRONMENT ONE CORPORATION (ZINE). MISCHAMA NY DE APPROVED EDUCA.

2. THE PACKAGED SEVER PURP STATION SHALL BE INSTALLED IN ACCORDANCE VITH ALL MANUFACTURER'S SPECIFICATIONS.

3. A CONCRETE BALLAST AS SPECIFIED IN THE ABOVE DETAIL SHALL BE INSTALLED AND ANCHORED TO THE UPPET TANK TO RESIST BUDGHAMY FERCES PREVENT FLOTATION OF THE UNIT.



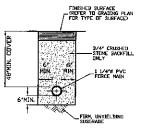
NULLES.

I CROWN OF FORCE MAIN SHALL BE INSTALLED AT SAME ELEVATION AS CROWN OF RECEIVING GRAVITY SEVER PIPE.

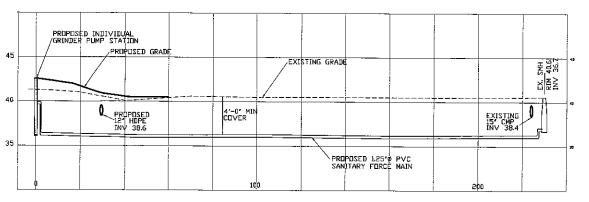
AMANGLE IN ENVERT SHALL BE, SHAPED IT PROVIDE SMOOTH TRANSITION CHANNEL OF SUFFICIENT DEPHH ID DIRECT FORCE MAIN DISCHARGE INTO GRAVITY SEVER VITH MINHAL LUBBLICHE.

SHOCE MAIN CONNECTION TO MANHALE TO BE SEALED IN ACCORDANCE VITH STRANGER MANUEL ETHAL REQUIREMENTS.

FORCE MAIN CONNECTION TO MANHOLE



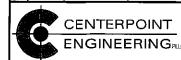
FORCE MAIN DETAIL



FORCE MAIN FROM INDIVIDUAL PUMP STATION TO EXISTING SMH SCALE: HDRIZ, 1'=20' SCALE: VERT. 1'=5'

FORCE MAIN PROFILE

3	12/9/20	AS PER FINAL APPROVAL CONDITIONS
2	10/26/20	AS PER REVIEW COMMENTS
1	9/23/20	ADDED EJECTOR PUMP
Rev.	Date	Description



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### CONSTRUCTION DETAILS



N.Y. LIC. NO. 66876

EST	REVISION DATE: 12/9/2020
AME	tion date: 6/24/2020
ME:	

AS NOTED