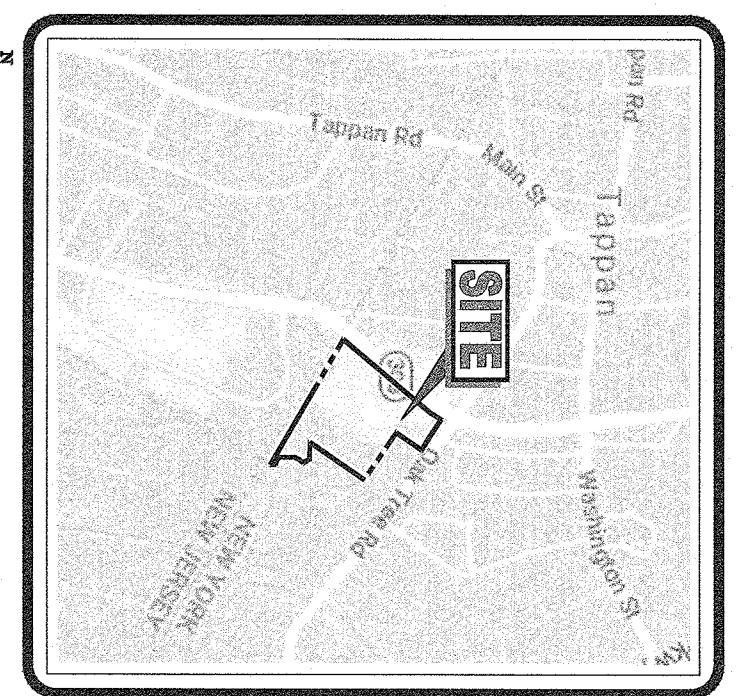
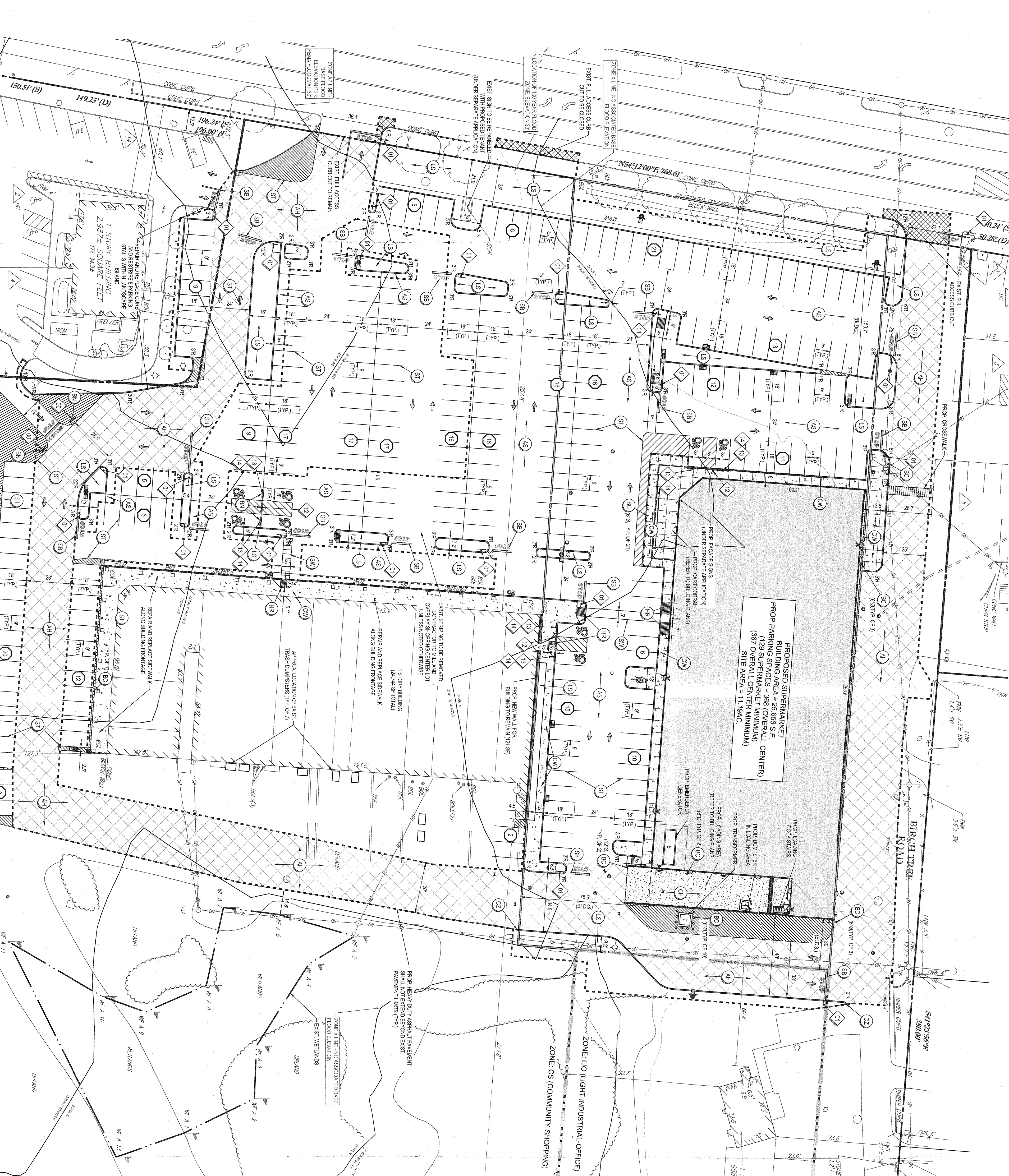


LEGEND	
	EXISTING BUILDING
	PROPOSED BUILDING
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	ZONE LINE
	SANITARY MANHOLE
	SANITARY CLEANOUT
	GREASE TRAP
	UTILITY POLE
	FENCE
	FIRE HYDRANT
	WATER VALVE
	FLOOD ZONES
	100 YEAR FLOODPLAIN
	PROPOSED ON-SITE HEAVY DUTY ASPHALT PAVEMENT
	PROPOSED ON-SITE CONCRETE PAVEMENT

THE EDUCATIONAL LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. THE ENGINEER'S SEAL, DATE AND DESCRIPTION OF THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE FULL SPECIFICATIONS (IN EXISTING DRAWINGS) IS REQUIRED.

GRAPHIC SCALE 1 INCH = 30 FEET



SITE LOCATION MAP
 Scale: 1" = 100'
 ©2019 Google, Imagery ©2019 DigitalGlobe, New York GIS

LIDL SPECIFIC NOTES:

1. ABOVE GRADE SITE PAVING INCLUDING DRIVEWAYS SHALL BE CUT FLUSH TO GRADE OR TO EXISTING FINISH GRADE. ALL FINISH GRADES SHALL BE VERIFIED BY FIELD TESTING TO MATCH EXISTING FINISH GRADE. ALL FINISH GRADES SHALL BE VERIFIED BY FIELD TESTING TO MATCH EXISTING FINISH GRADE.
2. BOLLARDS SHALL BE FLUSH WITH CONCRETE SLAB.
3. ENTRANCE PLAZA CONCRETE FLOOR SHALL BE ONE CONTINUOUS MONOLITHIC POUR CONCRETE EXPANSION JOINTS SHALL RECEIVE POLYURETHANE CAULK. COLOR TO MATCH ADJACENT CONCRETE.
4. EXTERIOR GRATES, WALKWAYS AND CLEANOUT COVERS SHALL BE FLUSH WITH TOP COAT OF ASPHALT (NOT EXPOSED CONCRETE). FINISH OR FIELD FINISH BLACK WITH BITUMINOUS ASPHALT COATING IN AN APPROXIMATE 1/8" TO 3/4" DEPTH.
5. GROUND LIGHT POLE BRUSH PLAYS (NO GROOVES).

SITE LAYOUT NOTES

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS SETTING DOCUMENT PACKAGE AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES IN CONNECTION WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS SPECIFIC NOTES PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION. THE CONTRACTOR MUST BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE STATE AND LOCAL AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE STATE AND LOCAL AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE STATE AND LOCAL AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE STATE AND LOCAL AGENCIES AND AUTHORITIES.
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1-17-2021
 H-12202
 E19

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY.

BOHLER ENGINEERING
 SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REV.	DATE	COMMENT	DRAWN BY	CHECKED BY
1	12/20/19	INITIAL DESIGN SUBMISSION	BP	BP
2	12/20/19	CLIENT COMMENTS	BP	BP
3	2/17/20	TOWN SITE PLAN APPLICATION	BP	BP
4	6/22/20	TOWN COMMENTS	BP	BP
5	8/4/20	UPDATED PARKING	BP	BP
6	9/10/20	SELLER COMMENTS	BP	BP

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

Dig Safely - New York
 800-962-7962
 www.digsafely.com

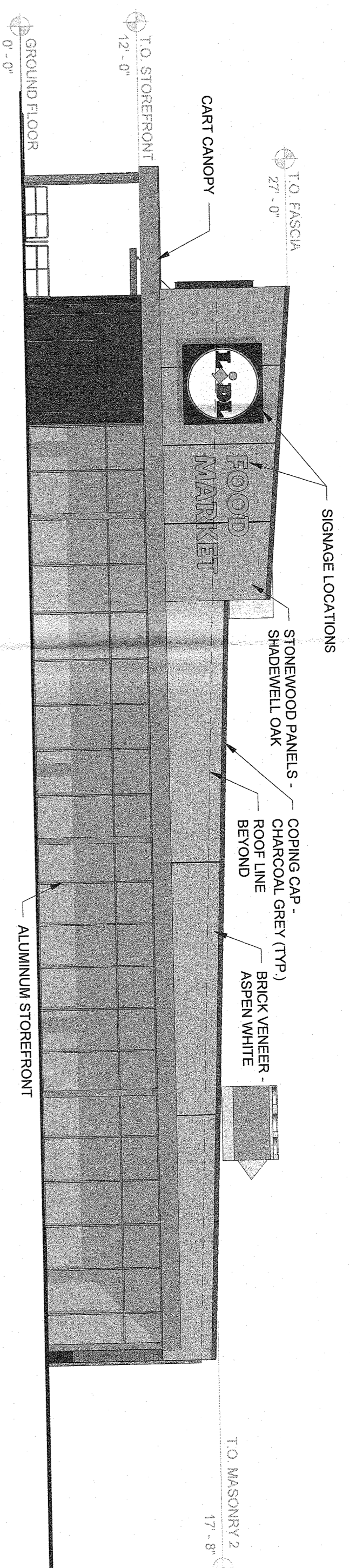
PROJECT NO.: N19156
 DATE: 12/24/19
 SCALE: AS SHOWN
 CD/D: N19156-SPR-6A

PROJECT: SITE DEVELOPMENT PLANS FOR LIDL U.S. OPERATIONS, LLC
 PROPOSED GROCERY STORE #1456
 3-58 NYS ROUTE 303
 TAPPAN
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NY 10983
 SECTION 77.15 BLOCK 1
 LOTS 53-57 & 41

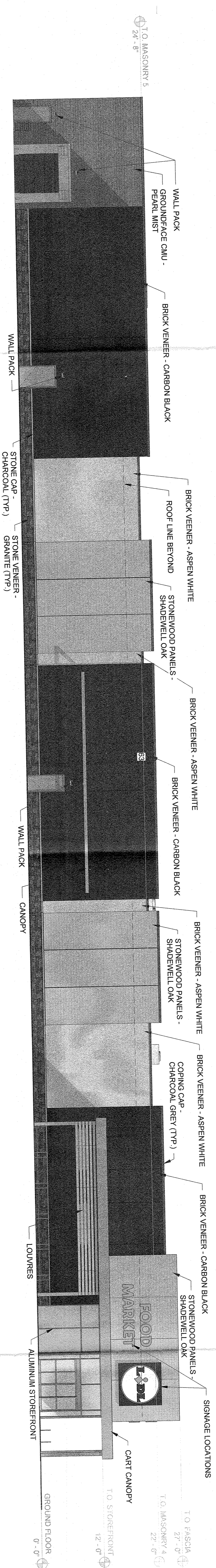
BOHLER ENGINEERING
 2829 EXPRESSWAY DRIVE NORTH
 HAUPPAUGE, NY 11749
 Phone: (631) 738-1200
 Fax: (631) 285-6464
 www.BohlerEngineering.com

REGISTERED PROFESSIONAL ENGINEER
 STATE OF NEW YORK
 CIVIL ENGINEERING
 NO. 087724
 JOHN V. BOHLER

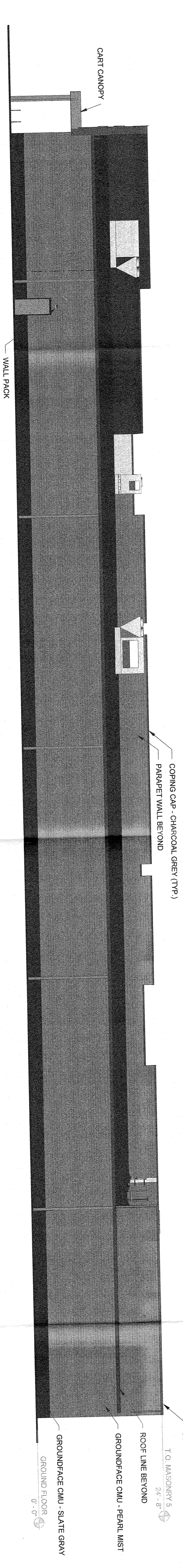
SHEET NUMBER: C-04 OF 25
 SHEET TITLE: PARTIAL SITE PLAN
 REVISION: 6 - 9/10/20



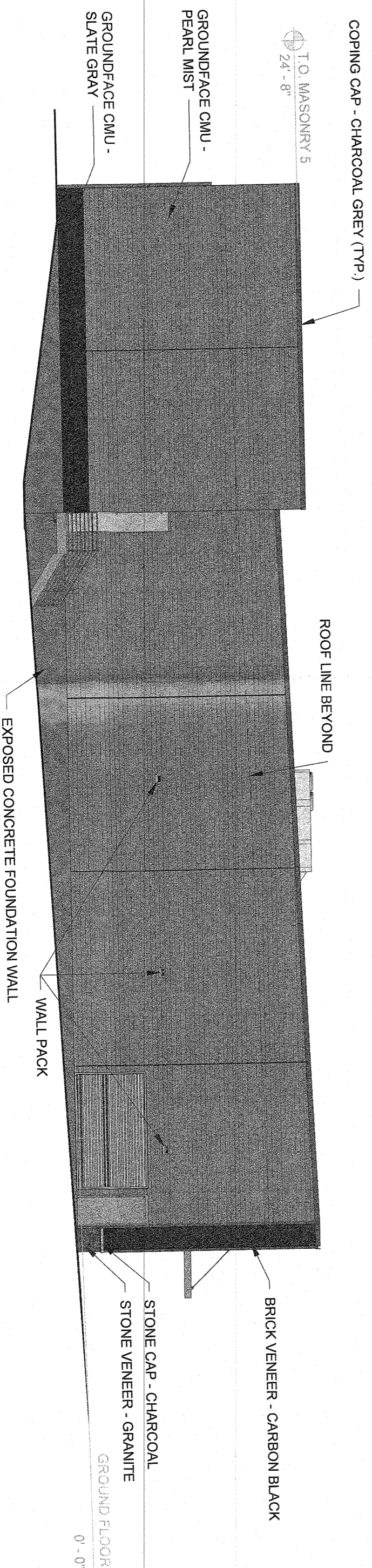
1 RIGHT ELEVATION
SCALE: 3/32" = 1'-0"



2 FRONT ELEVATION
SCALE: 3/32" = 1'-0"



3 BACK ELEVATION
SCALE: 3/32" = 1'-0"



4 LEFT ELEVATION
SCALE: 3/32" = 1'-0"

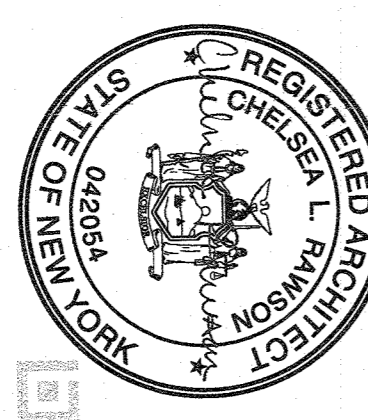
FINISH DESCRIPTION	MANUFACTURER	FINISH	COLOR	NOTES
BRICK COLOR B	GLEN-GERY	MODULAR	ASPEN WHITE	(ROUT. ARCS) - WHITE U
BRICK COLOR A	GLEN-GERY	MODULAR	CARBON BLACK	(ROUT. ARCS) - REGULAR GRAYS/LATE
STONE	GLEN-GERY	GLEN RIDGE	GRANITE	(ROUT. ARCS) - REGULAR GRAYS/LATE
WOOD-LOOKING PHENOLIC PANELS	STONEMOOD	9873-4A	SHADEWELL OAK	(ROUT. ARCS) - REGULAR GRAYS/LATE
METALS - FASCIA, GUTTERS, DOWNSPOUTS	ATMS	P/DF	CHARCOAL GREY	(ROUT. ARCS) - REGULAR GRAYS/LATE
CMU COLOR B	ODCASTLE	GROUND-FACE	PEARL MIST	(ROUT. ARCS) - WHITE U
CMU COLOR A	ODCASTLE	GROUND-FACE	CHARCOAL	(ROUT. ARCS) - REGULAR GRAYS/LATE

1/7/2021
File
A-200A

LIDL #1456 TAPPAN
33 ROUTE 303
TAPPAN, NY 10983

OWNER:
LIDL US OPERATIONS, LLC
1400 Commerce Park Drive, Suite 201
Arlington, VA 22202

ARCHITECT:
Larson Design Group Inc.
1400 Commerce Park Drive, Suite 201
Williamsport, PA 17701

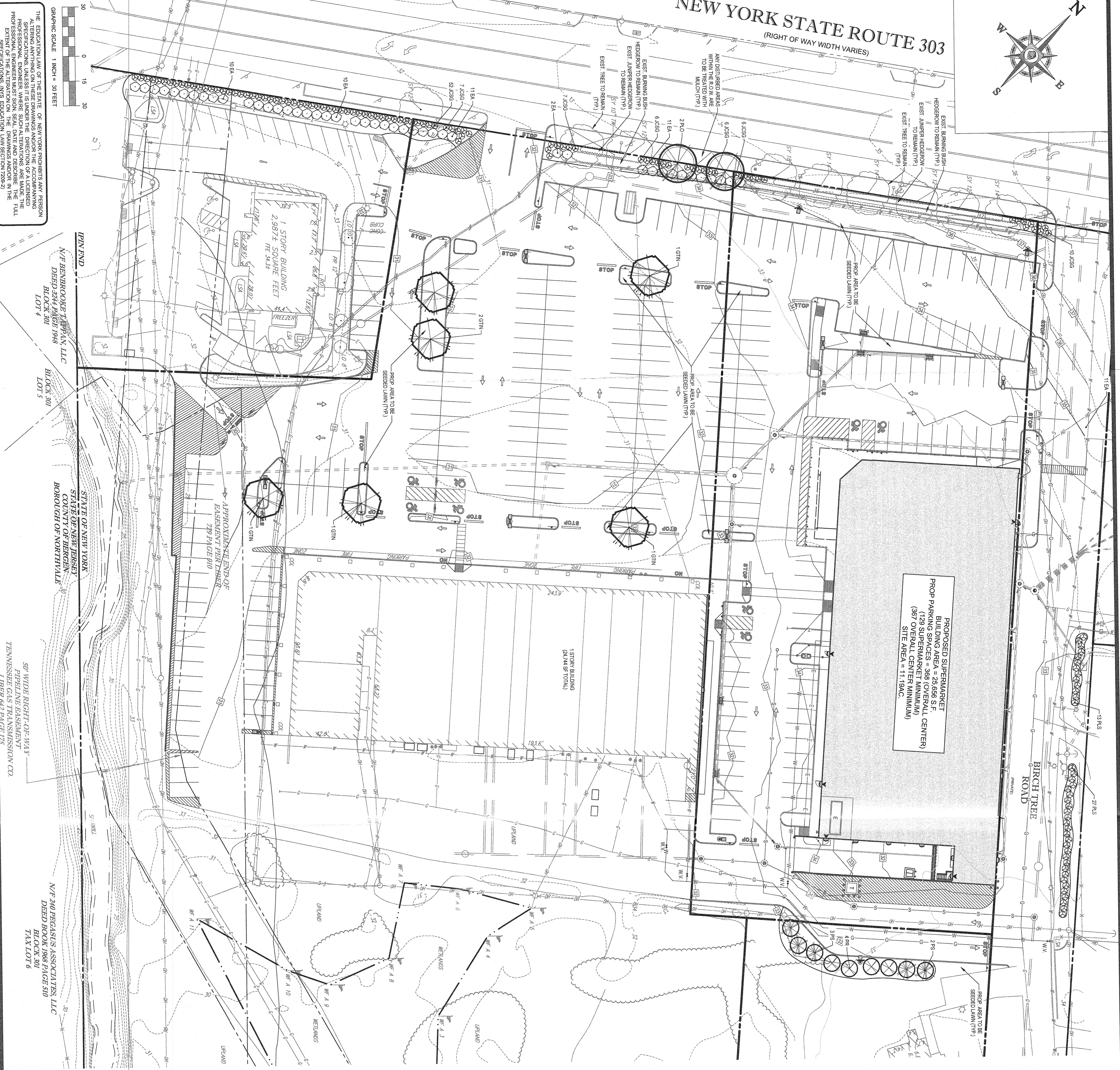
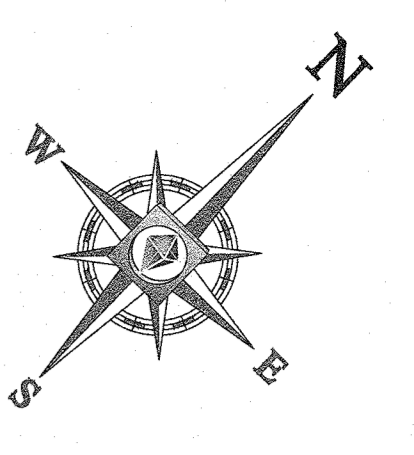


ISSUED FOR PLANNING
REVIEW
11/20/2020
SCALE: 3/32" = 1'-0"
SHEET NAME:
COLORED ELEVATIONS
SHEET NUMBER:
A-200A

#	Description	Date

GENERAL NOTES:
1. THE DRAWINGS SPECIFICATIONS AND OTHER INFORMATION SHALL BE CONSIDERED TO BE PART OF THIS PROJECT AND SHALL BE REFERRED TO AS SUCH.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
5. DO NOT SCALE THESE DRAWINGS.

NEW YORK STATE ROUTE 303
(RIGHT OF WAY WIDTH VARIES)



PROPOSED SUPERMARKET
BUILDING SPACES = 25,656 S.F.
(58' OVERALL CENTER)
(50' OVERALL CENTER MINIMUM)
SITE AREA = 11,194C.

GRAPHIC SCALE 1" = 30' FEET
THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON FROM PREPARING OR SIGNING ANY DRAWING OR SPECIFICATION UNLESS HE IS A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT. WHERE SUCH ALTERATIONS ARE MADE THE PROFESSIONAL ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE SAME. THE PROFESSIONAL ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE SAME. THE PROFESSIONAL ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE SAME. THE PROFESSIONAL ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE SAME.

N/Y BENBROOKE TAPPAN, LLC
DEED: 2009-0001280
BLOCK 301
LOT 4

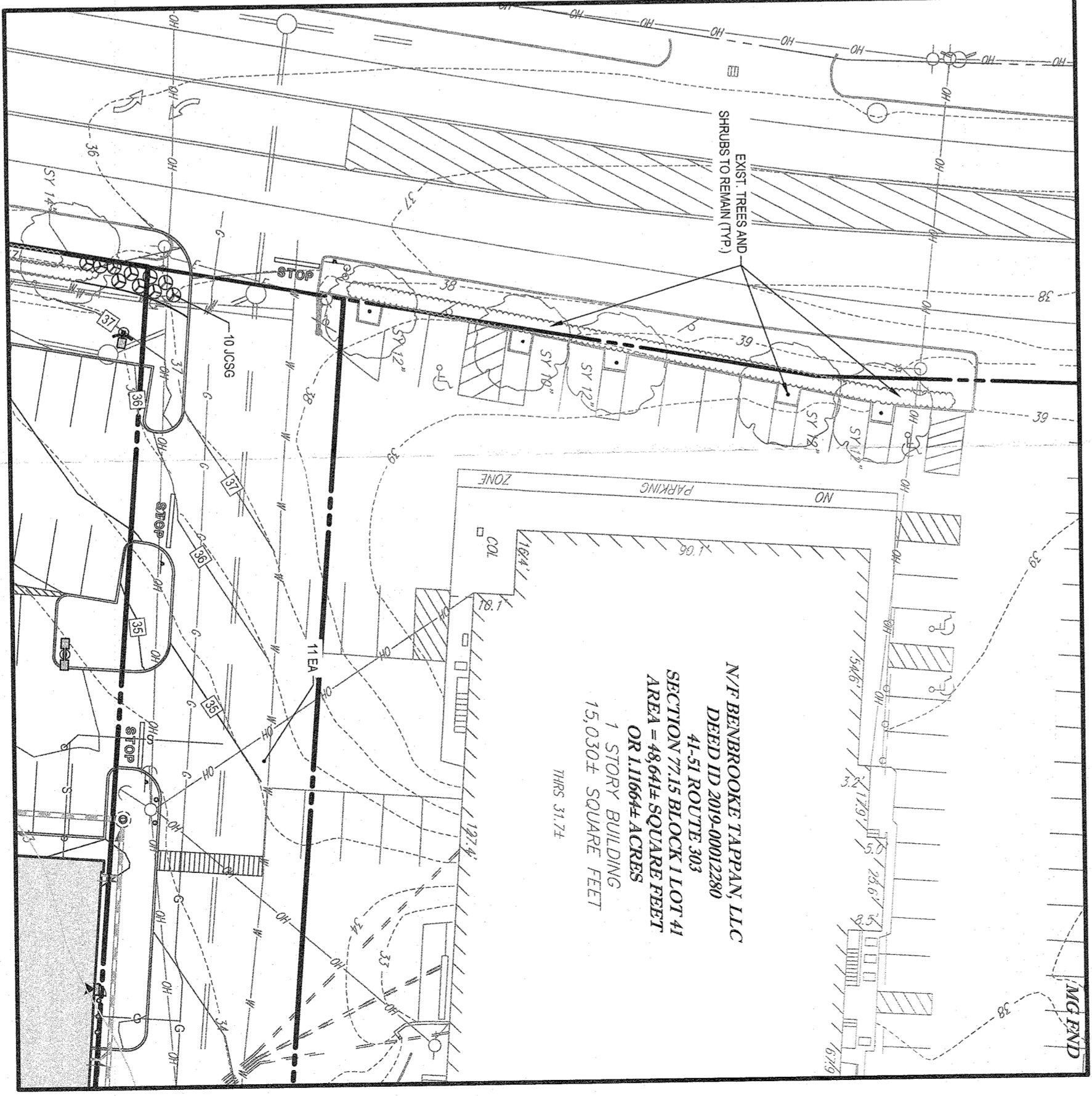
STATE OF NEW YORK
COUNTY OF BERGEN
BOROUGH OF NORTHVALE

SPR WIDE RIGHT-OF-WAY
PIPELINE EASEMENT
TENNESSEE GAS TRANSMISSION CO.
LIBER 642 PAGE 173

N/Y 240 REALTY ASSOCIATES, LLC
DEED BOOK 1968 PAGE 510
BLOCK 301
TAX LOT 6

SECTION	REQUIREMENT	CALCULATIONS	COMPLIANCE
37147	(3) ANY NON-RESIDENTIAL USE THAT IS ADJACENT TO A RESIDENTIAL ZONING DISTRICT OR RESIDENTIAL USE SHALL INCLUDE A BUFFER OF TREES AND SHRUBS CONTAINING SHRUBS AND TREES A MINIMUM OF SIX FEET HIGH WITH SUCH TREES AS LISTED UNDER THE PROVISIONS OF § 21-22 OF THE ZONING ORDINANCE. THE BUFFER SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT. HOWEVER, IN A CS OR CC ZONE, THE BUFFER SHALL NOT BE LESS THAN 25 FEET IN WIDTH. THIS VEGETATED BUFFER SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE BUFFER. THE BUFFER SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE BUFFER. THE BUFFER SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE BUFFER.	EXISTING WOODED AREAS AND PROPOSED SOUTHWEST LINE ADJACENT TO ANY RESIDENTIAL USES	COMPLIES
41310	PARKING AREAS SHALL REMAIN SCREENED WITH THE EXISTING SHRUB HEDGE ALONG NY STATE ROUTE 303 AND EXISTING WOODED AREAS TO REMAIN ALONG THE SOUTHERN PROPERTY LINE AREAS.		COMPLIES

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
SHRUB TREES	6	QUERCUS INOBLIS	SHRUB OAK	21x3' TOL.	8-B
FL.	2	PAVANIA OCCIDENTALIS	AMERICAN SCORPION	21x3' TOL.	8-B
SEMI-TREE	8				
FR	4	PAVANIA OCCIDENTALIS	AMERICAN SCORPION	6'7"	8-B
SEMI-TREE	9				
FR	5	PAVANIA OCCIDENTALIS	AMERICAN SCORPION	6'7"	8-B
FR	4	EDONIVUS ALATUS	WINGED EDONIVUS	3x4'	8-B
SEMI-TREE	44				
SEMI-TREE	34	JUNIPERUS CHINENSIS	SEA SPURGE	4x3' 9" O.C.	8-B
FR	40	PRUNUS LANCEOLATA	SORBUS	30'3"	COMPLER
SEMI-TREE	154				



OWNER MAINTENANCE RESPONSIBILITIES
THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE AND REPAIRS OF ALL PLANTING AND LANDSCAPING. THE OWNER SHALL MAINTAIN ALL PLANTING AND LANDSCAPING THROUGHOUT THE LIFE OF THE PROJECT. THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE BUFFER. THE BUFFER SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE BUFFER.

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

RKR
1/11/21
File

BOHLER ENGINEERING
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REV.	DATE	COMMENT	BY	CHKD.
1	12/02/19	INITIAL TOWN SUBMISSION	RP	RP
2	12/10/2019	CLIENT COMMENTS	RP	RP
3	2/17/2020	TOWN SITE PLAN APPLICATION	RP	RP
4	6/9/2020	TOWN COMMENTS	RP	RP
5	8/4/2020	UPDATED PARKING	RP	RP
6	9/10/20	SELLER COMMENTS	RP	RP

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New York
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www.digsafelyny.com

BOHLER ENGINEERING
2929 EXPRESSWAY DRIVE NORTH
ROCKLAND COUNTY, NY 10983
Phone: (845) 728-1200
Fax: (845) 285-0444
www.BohlerEngineering.com

KRISTINA BELUCA
Professional Engineer
No. 12419
NYS REG. NO. 19156-LND-A

LANDSCAPE PLAN
SHEET NUMBER: **C-18**
OF 25
REVISION 6 - 9/10/20