

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 2/10/2020

2020 LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: _____

ASSIGNED _____

INSPECTOR: _____

Referred from Planning Board: YES / NO
If yes provide date of Planning Board meeting: _____

Project Name: Cataldo

Street Address: 16 Virginia St, Tappan, NY 10983

Tax Map Designation:

Section: 77.02 Block: 2 Lot(s): 53

Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the EN side of Virginia Street, approximately 122.6 feet S of the intersection of Kings Hwy, in the Town of ORANGETOWN in the hamlet/village of Tappan.

Acreage of Parcel <u>.189</u>	Zoning District <u>RG</u>
School District <u>SOCSD</u>	Postal District <u>Tappan</u>
Ambulance District <u>SOAC</u>	Fire District <u>Tappan</u>
Water District <u>SUEZ</u>	Sewer District <u>Orangetown</u>

Project Description: (If additional space required, please attach a narrative summary.)

Single family Dwelling

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 2/10/20 Applicant's Signature: Alyse Cataldo

APPLICATION REVIEW FORM

Applicant: Alyssa Cataldo Phone # 845-641-0836

Address: 18 Virginia St Tappan NY 10983

Property Owner: Alyssa Cataldo Phone # 845-641-0536

Address: 18 Virginia St Tappan NY 10983

Engineer/Architect/Surveyor: Harry Goldstein Phone # 845-356-7942

Address: 4 Regina Rd Monsey NY 10952

Attorney: Phone #

Address: Street Name & Number (Post Office) City State Zip Code

Contact Person: Tami Cataldo Phone # 914-419-9721

Address: 18 Virginia St Tappan NY 10983

GENERAL MUNICIPAL LAW REVIEW:

This property is within 500 feet of: (Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- State or County Road, Long Path, Municipal Boundary, State or County Park, County Stream, County Facility

List name(s) of facility checked above:

Referral Agencies:

- RC Highway Department, RC Drainage Agency, NYS Dept. of Transportation, NYS Thruway Authority, Adjacent Municipality, Other, RC Division of Environmental Resources, RC Dept. of Health, NYS Dept. of Environmental Conservation, Palisades Interstate Park Commission

ACABOR
Town of Orangetown
20 Greenbush Rd
Orangeburg NY 10962

March 6, 2020

Re: Project Name: CATALDO
Project Address: 16 Virginia St Tappan NY 10983

ACABOR MEMBERS,

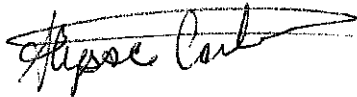
I am building a single-family colonial at the above address, to be occupied by myself. It has a traditional exterior style with a front entrance garage and front porch. I feel it will enhance the look of the neighborhood which I am happy to be a member of. My Grandmother had owned this lot for almost 60 years and always talked about building a home there. Now that I own the lot, she is very excited to see the house finally being built.

The exterior of the house will be vinyl siding 4" double lap in a grey-tone with white trim (CertainTeed-Seagrass). The front porch rails and spindles will be white vinyl. The roof will be Timberline HD shingles in a darker grey. We will not be including stone face or pavers anywhere at this time, because of budget constraints. Windows will be Anderson 400 series with grills on street side only.

Because of budget constraints we plan on doing our own landscaping. We have an existing Japanese Maple in front that we are trying to preserve and will be adding a flowering dogwood or similar on the other side to comply with the towns shade tree ordinance. We understand that we may need to replace the maple if it does not survive the construction. We are planning on planting 3 – 4 shrubs or possibly rose bushes in the area in front of the porch with additional plantings in the future as funds allow. The AC units are to be, located in the back of the house and we are planning on planting boxwood shrubs in front of them. I can't wait to be able to hang flowering baskets from my front porch!

Most houses in the area are older homes with overgrown landscaping, some neighbors have started to replace and update maybe 20%. I don't feel that we should be required to have more than the minimum landscaping done for our CO as more would be a hardship. I certainly plan on making my yard as beautiful as possible, but it will take time.

Thank You for your Consideration,



Alyssa Cataldo
18 Virginia st
Tappan NY 10983
845-641-0536

Architectural & Community Appearance Board of Review

Date: 2/4/2020

Section: 77.08

Block 2
**ARCHITECTURE AND COMMUNITY
APPEARANCE BOARD OF REVIEW**

Project Name: Cataldo

Project Address 16 Virginia St, Tapan, NY 10983

MEETING DATE! _____

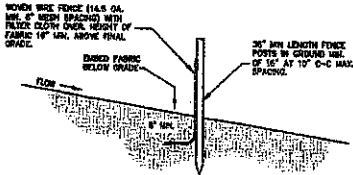
Questions to be answered and returned to ACABOR with your completed application. Please state the Brand Name, Type, Style, Model and color numbers, etc. Actual material samples will need to be produced at the hearing.

1. Roof Shingles: GAF Timberline HD - Dark Grey
2. Siding Type: Vinyl Siding 4" double
3. Windows/Trim/Rail/etc: Vinyl rail on porches (front/back) white
4. Any stone or rock being used on the structure and/or walkway(s):
NO
5. Facade color schemes: Grey tone, Seagrass + white
**Certainteed*
6. Any other specific materials being used in the construction and/or renovation:

7. Do you have a landscape drawing attached? If not, please explain. (An explanation could be that the applicant is not changing the existing landscape.) Homeowner doing own landscaping
front - 1 pink dogwood @ shrubs (will replace existing Tap. Maple if can't save)
Back - existing landscape not changing / 3 box woods by AC unit
8. Where will any exterior air conditioning units be placed?
In the back left corner of the house
9. What type of lighting will be used in this project? And where will the lighting be placed on the property? Please provide a description.
- Garage door sconce + flood
- Recessed porch lights
- Wall sconce on side of patio door
10. Other Important Site and/or Architectural Features:
- 6 ft backyard fence to give neighbors privacy

SOIL EROSION & SEDIMENT CONTROL PLAN

1. A temporary sediment barrier to be installed below the disturbed areas during construction.
2. All area disturbed by site grading that will not be constructed upon to be established to permanent vegetative cover.
3. Fertilizer, 5-10-5 agriculture grade apply 20lbs/100 sf.
4. Seed, 50% Pennlawn and 50% Fiesta perennial rye, apply 1lb/500 sf.
5. Mulch, apply chopped hay as required for uniform light cover.
6. Moisture as required for germination and growth.
7. Excavated material to be removed from site during construction to minimize sediment run-off.
8. Topsoil storage area to be placed in rear of lot and screened with fabric fence.

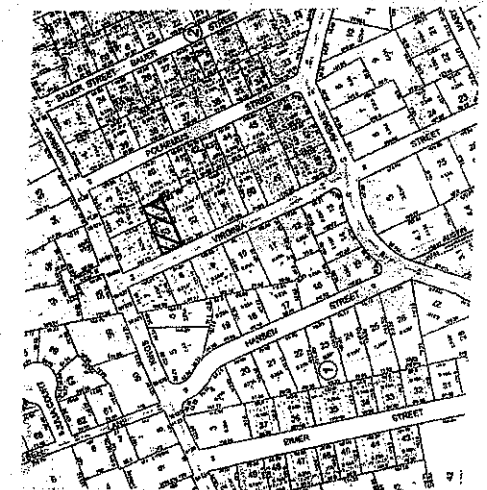
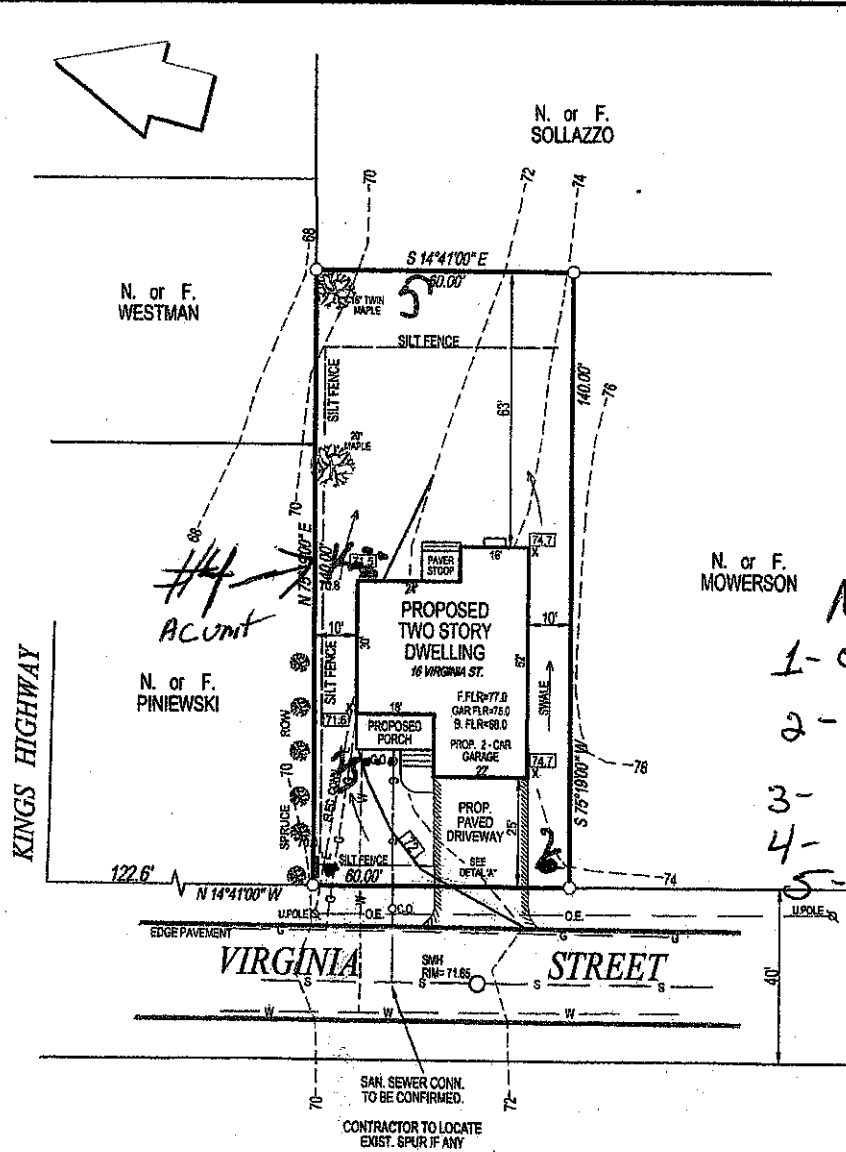
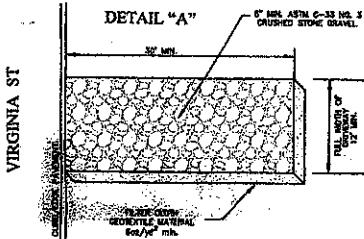


FABRICATED SILT FENCE

NOTES

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY AT LEAST 6" AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.
5. POSTS: STEEL T OR U SECTION OR 2" HARDWOOD.
6. FENCE: WOVEN WIRE 14 GA #16 MESH OPENING.
7. FILTER CLOTH: FILTER X MERRILL 100X STABILIZER OR APPROVED EQUAL.
8. STANDARD SYMBOL.

STABILIZED CONSTRUCTION ENTRANCE



Vicinity Map - Scale: 1" = 200'
Tax Lot Designation - Section 77.08 Block 2 Lot 53

Notes:

- 1- existing Japanese Maple
- 2- New flowering dog wood or similar
- 3- 3/4 Shrubs for Rose bushes
- 4- AC units with Box wood shrubs
- 5- possible 6' Privacy fence For White Vinyl "CATALDO"

Town of Orangetown Rockland County, NY
Scale: 1" = 20' Area = 0.19 Ac.

December 16, 2019
January 23, 2020 - Revised

Zone RG Bulk Regulations Group Q

Item	Required	Proposed
Lot Area	*10,000 sf	8,400 sf
Lot Width	* 75 ft.	60 ft.
Street Frontage	* 50 ft.	60 ft.
Front Yard	25 ft.	25 ft.
Side Yard	10 ft.	10 ft.
Total Side Yard	30 ft.	20 ft.
Rear Yard	50 ft.	63 ft.
Max F.A.R.	0.30	0.30
Max Bldg. Height	** 20 ft.	*** 24.4 ft.

* PRE-EXISTING NON-CONFORMING
** Chapter 43, Section 6.21(e) (Town Code)
*** DENOTES VARIANCE REQUIRED

Reference: map entitled "REVISED MAP OF SECTION D & E SPARKILL ESTATES", Filed in the Rockland County Clerks Office July 16, 1927 as map # 1117 (Being Lots 46, 47 and 48)

RO 85117-53

**PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.
APPLICATION FOR BUILDING / DEMOLITION PERMIT**

TOWN OF ORANGETOWN

20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

ZONE: <u>RG</u>	OFFICIAL USE ONLY	ACREAGE: <u>.19</u>
Inspector: <u>DAVE</u>	Date App Received: <u>1-15-2020</u>	Received By: <u>UZ</u>
Permit No.: <u>49721</u>	Date Issued: _____	
CO No.: _____	Date Issued: _____	
Permit Fee: <u>\$ 7782</u>	Ck#: <u>170</u>	Paid By: <u>Cataldo</u>
GIS Fee: <u>\$ 20</u>	Ck#: <u>221</u>	Paid By: <u>"</u>
Stream Maintenance Fee	Ck # _____	Paid By _____
Additional Fee: _____	Ck# _____	Date Paid _____
1st 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____
2nd 6 mo. Ext.: _____	Ck # _____	Exp. Date: _____

RECEIVED
JAN 15 2020

APPLICANT COMPLETES:

Note: See inside for instructions for completing this application.
PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.

Property Location: 116 Virginia St Tappan

Section: 77.08 **Block:** 2 **Lot:** 53

Property Owner: Alyssa Cataldo

Mailing Address: 12 Virginia St Tappan NY 10983

Email: alyssa.cataldo@yahoo.com **Phone #:** 845-641-0536

Lessee (Business Name): N/A

Mailing Address: _____

Email: _____ **Phone #:** _____

Type of Business /Use: _____

Contact Person: Anthony DiMarsico **Relation to Project:** GC

Email: Anthony@beckercorp.com **Phone#:** 845-369-9400

Architect/Engineer: Harry J. Goldstein **NYS Lic #** 023518

Address: 4 Regina Rd, Monsey NY 10952 **Phone#:** 914-393-5787

Builder/General Contractor: Becker Corp Builders **RC Lic #** H-10852

Address: 79 Orange Ave Suffern NY **Phone#:** 845-369-9400

Plumber: Paul Della Fave - Meridian PI+H **RC Lic #** P-1628

Address: 1041 Franklin Lakes Rd, Franklin Lakes, NJ **Phone#:** _____

Electrician: Dominic DiCarlo - Bellaphia Const **RC Lic #:** E-419

Address: 1165 Ramapo Rd, Garnerville NY 10923 **Phone#:** _____

Heat/Cooling: _____ **RC Lic#:** _____

Address: _____ **Phone#:** _____

Existing use of structure or land: NONE vacant land

Proposed Project Description: single Family Dwelling

Proposed Square Footage: 2150 **Estimated Construction Value (\$):** 425,000

BUILDING DEPARTMENT COMPLETES BELOW

PLANS REVIEWED: _____

PERMIT REFERRED / DENIED FOR:

Chapter 2, Section 2-4, requires lead abatement approval

Chapter 43, Table 3.1B, Column 1 = 2.6 District, Column 2 = Group A,

Column 3 = SPR, Column 12,

Max Height 20' w/ 24' proposed.

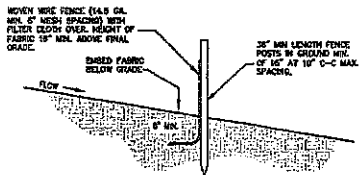
Article 43, Section 5.21 applies.

[Signature] 1/31/2020

FOR OFFICE USE ONLY SECTION 77.08 BLOCK 2 LOT 53 NAME Cataldo PERMIT# 49721

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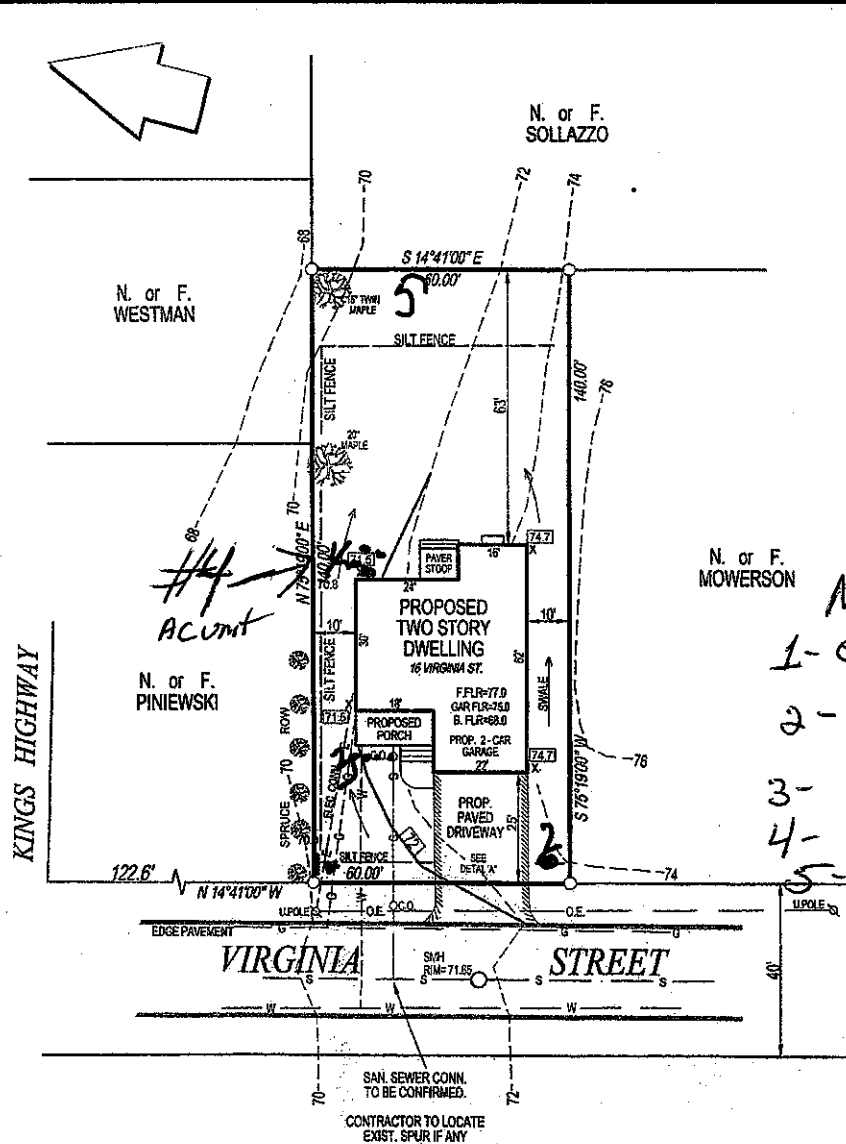
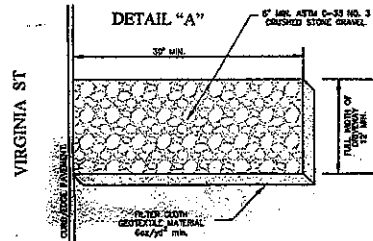


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6. FENCES: WOMEN WIRE 14 GA. 5' MESH SPACING.
7. FILTER CLOTH: FILTER X WIRAFI 100X STABILUNA OR APPROVED EQUAL.
8. STANDARD SYMBOL: 5'

STABILIZED CONSTRUCTION ENTRANCE



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Tax Lot Designation - Section 77.08 Block 2 Lot 53

Notes:

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December 16, 2019
January 23, 2020 - Revised

RO 85117-53

Reference: map entitled "REVISED MAP OF SECTION D & E SPARKILL ESTATES", Filed in the Rockland County Clerks Office July 16, 1927 as map # 1117 (Being Lots 46, 47 and 48)

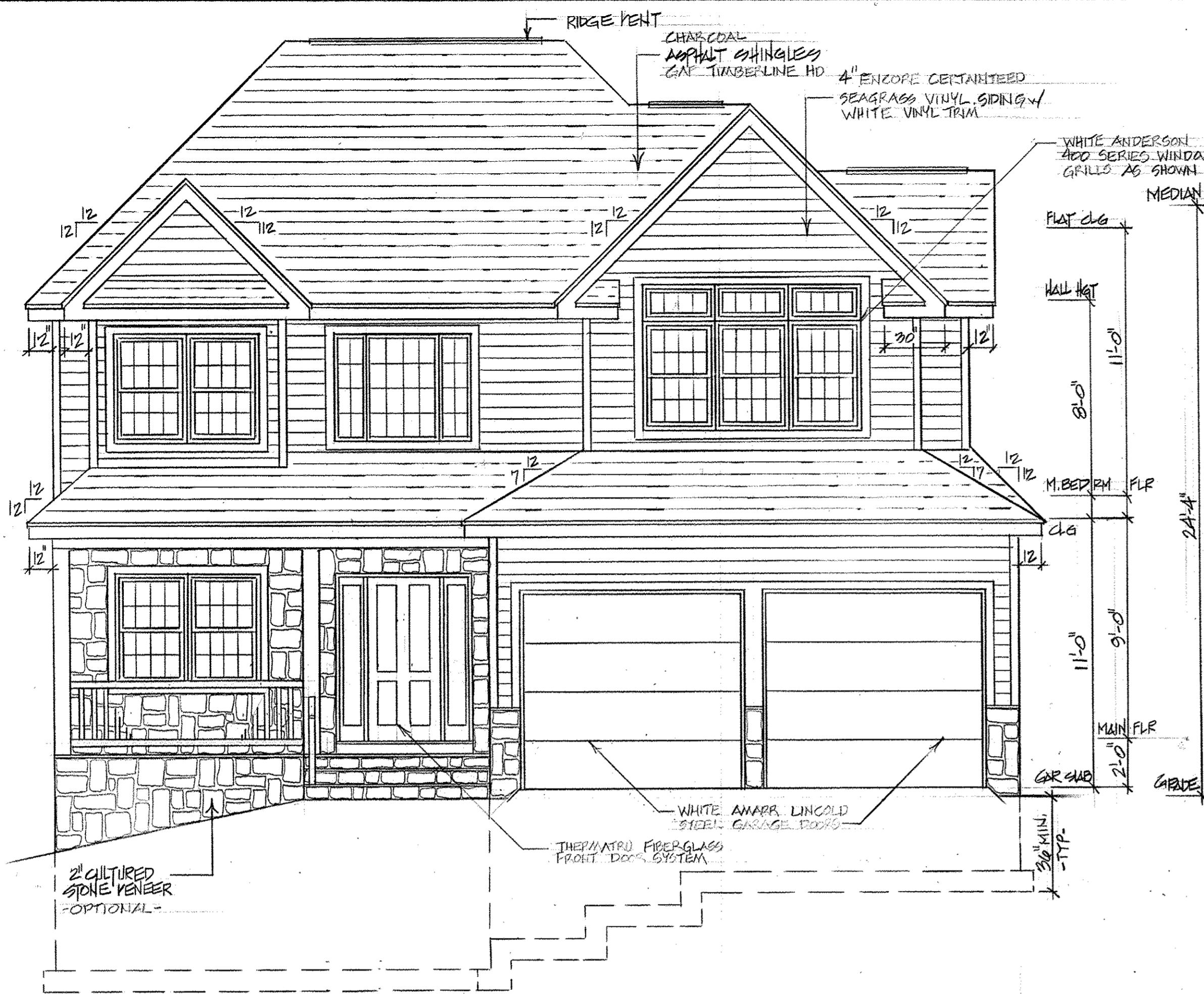
Zone RG Bulk Regulations Group Q

Item	Required	Proposed
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* PRE-EXISTING NON-CONFORMING
** Chapter 43, Section 5.21(e) (Town Code)
*** DENOTES VARIANCE REQUIRED



Robert E. Sorce
Robert E. Sorce, PLS
135 South Main Street
New City, NY 10956
843-638-1498
Lic. 49162



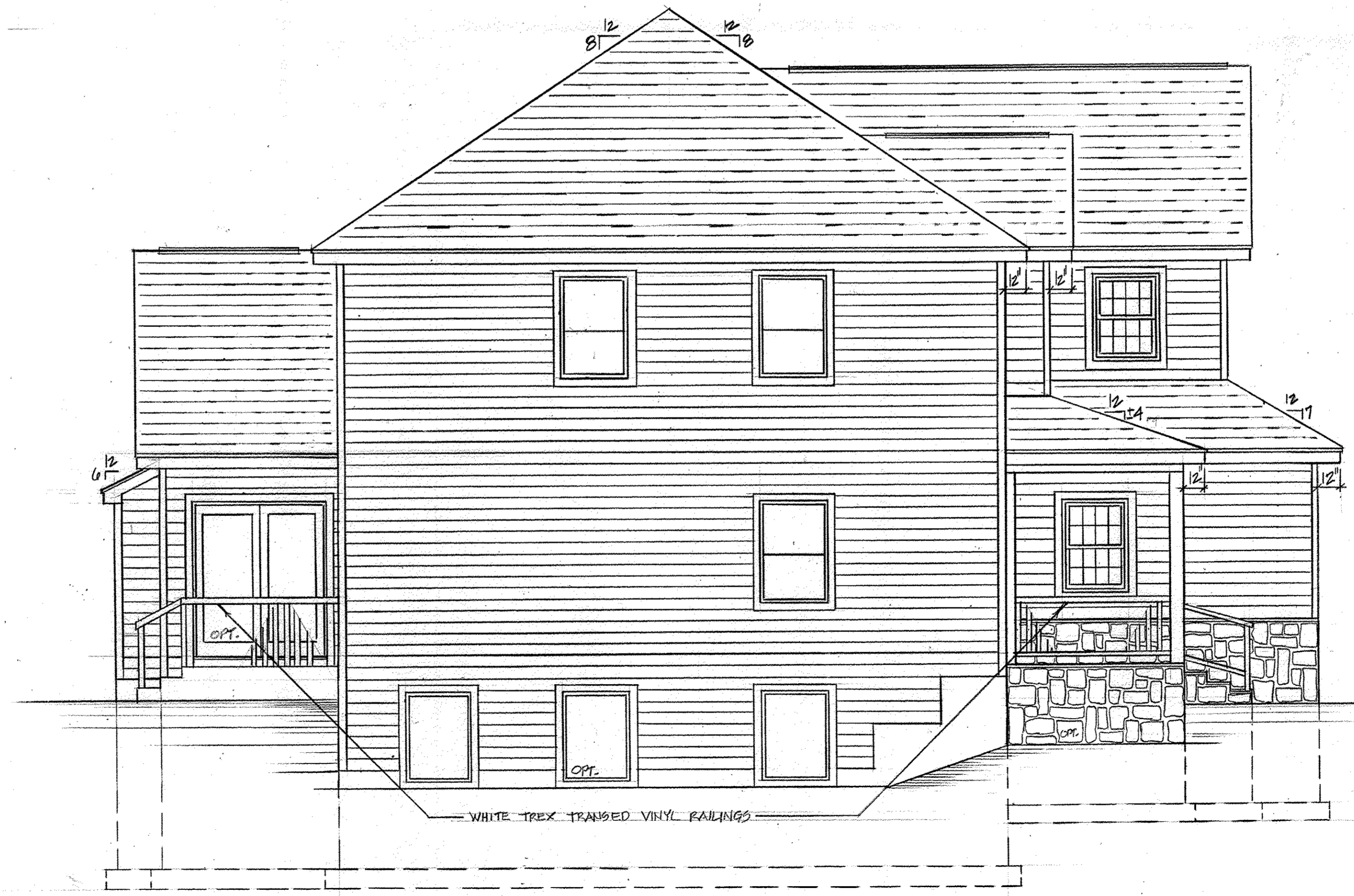
FRONT ELEVATION



RIGHT SIDE ELEVATION



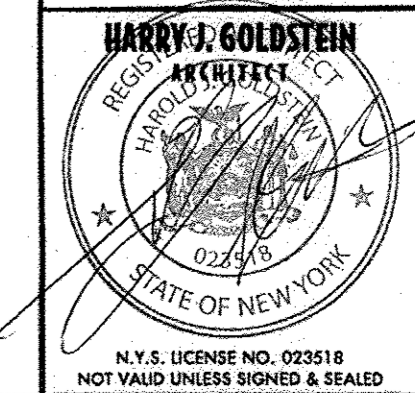
REAR ELEVATION



LEFT SIDE ELEVATION

NEW RESIDENCE FOR
LANE AND CATALDO

16 VIRGINIA STREET
TAPPAN, NEW YORK



HARRY J. GOLDSTEIN
ARCHITECT
DESIGN & DEVELOPMENT

4 REGINA ROAD
MONEY, NEW YORK 10952
(845) 356-1942 (914) 393-5787

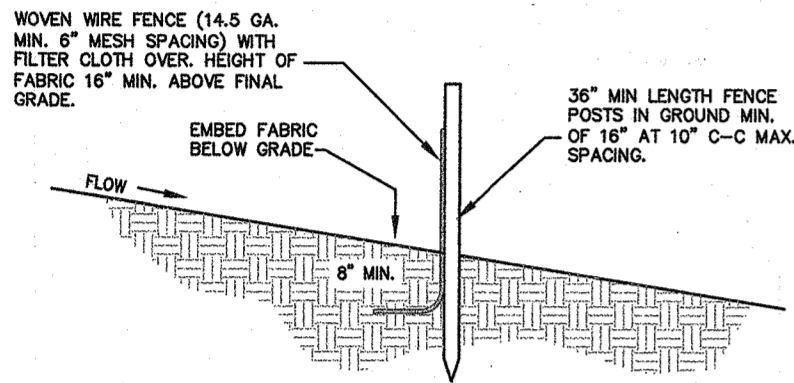
REVISED
03/16/20

PROJECT 19107
DECEMBER 17, 2019

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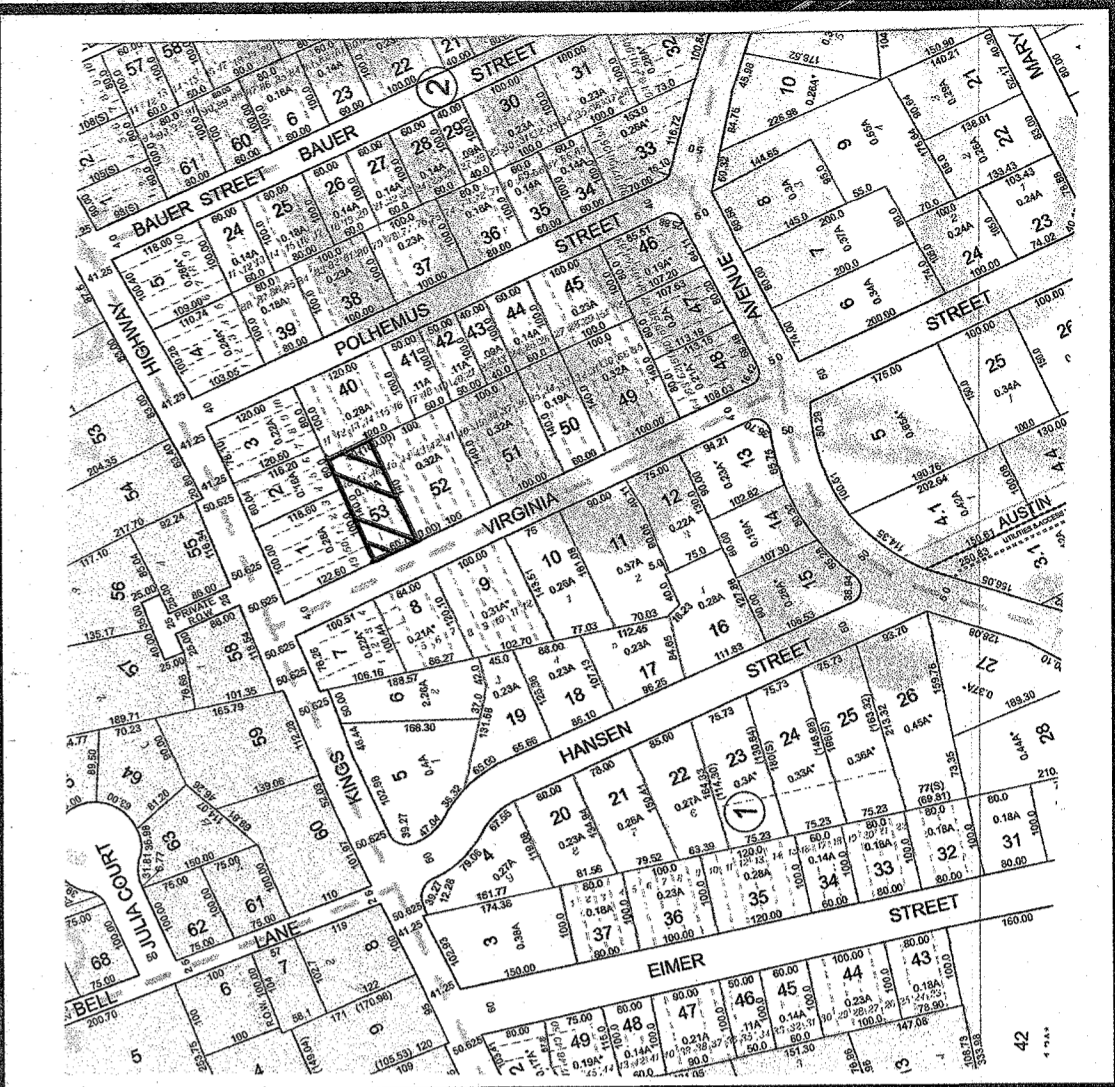
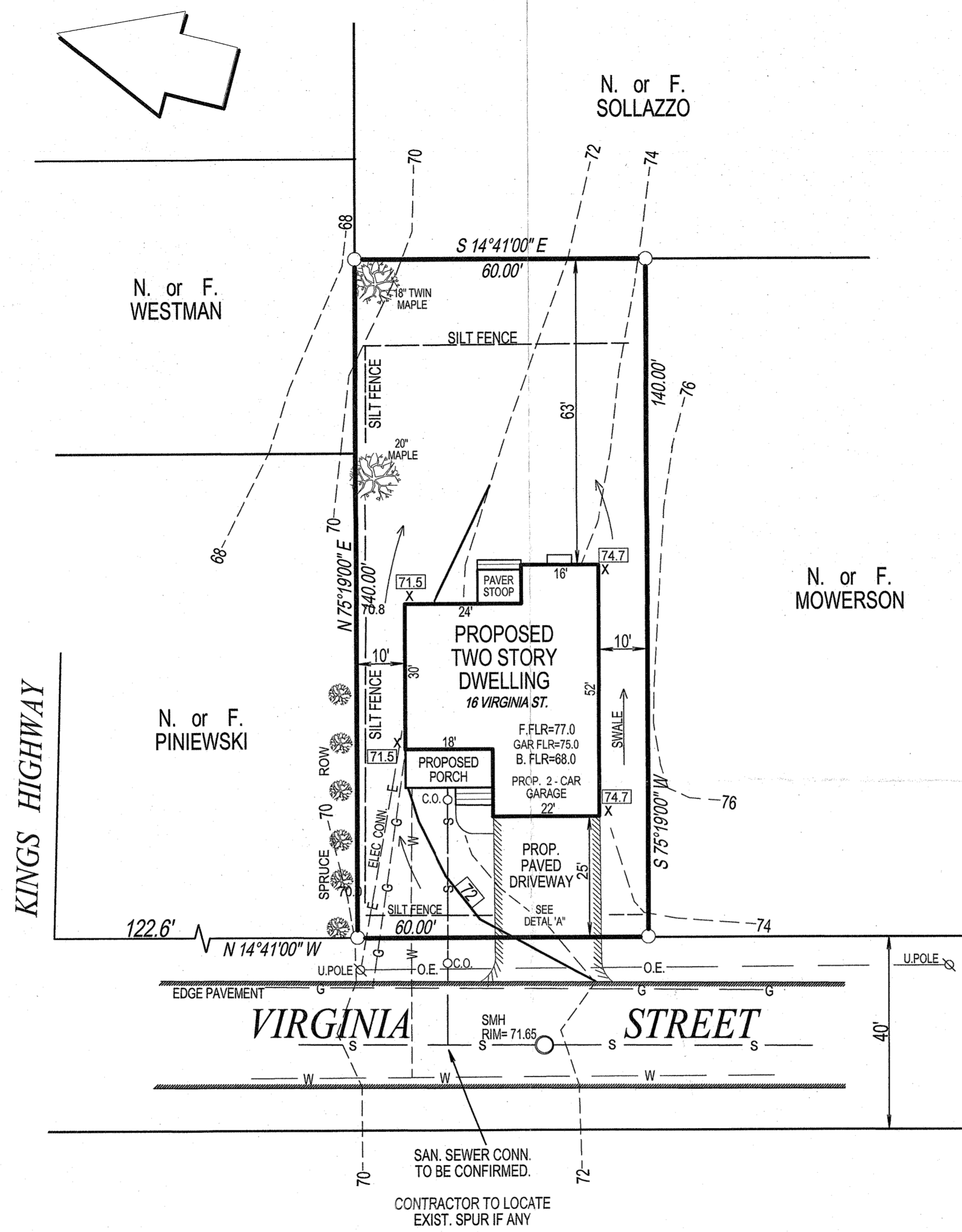
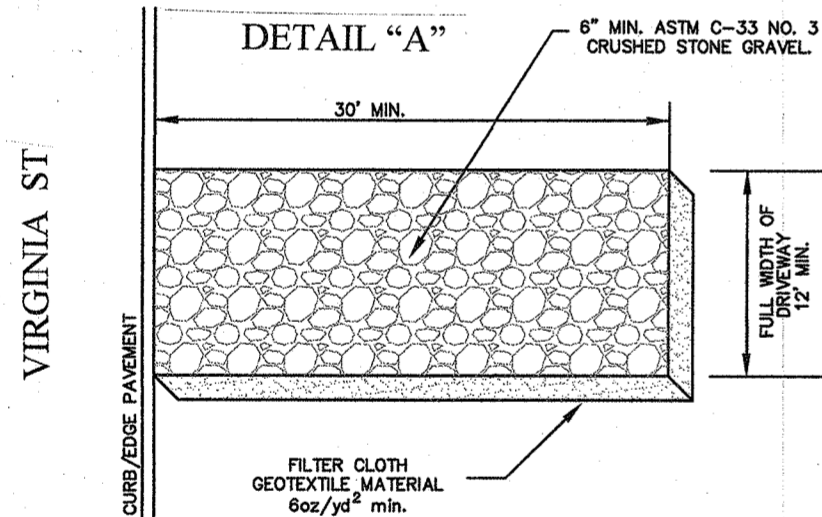


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8. STANDARD SYMBOL: — SF — SF —

STABILIZED CONSTRUCTION ENTRANCE



Vicinity Map - Scale: 1" = 200'
Tax Lot Designation - Section 77.08 Block 2 Lot 53

SITE PLAN
For
"CATALDO"
Tappan

Town of Orangetown Rockland County, NY
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December 16, 2019

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Rear Yard	50 ft.	63 ft.
Max. F.A.R.	0.30	0.30
Max Bldg. Height	1 ft. 4 in per ft from lot line	11.7' per ft from lot line
	33' 3"	24' 4"

* PRE-EXISTING NON-CONFORMING

STATE OF NEW YORK
ROBERT E. SORACE
LICENSED LAND SURVEYOR
049182

Robert E. Sorace, PLS
135 South Main Street
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845-638-1498

Lic. 49162