

GENERAL NOTES:

1. CONTRACTOR TO VERIFY LOCATION SIZE AND INVERTS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANY AND SHALL ASSUME FULL RESPONSIBILITY AND LIABILITY FOR ANY DAMAGE TO EXISTING UTILITIES CAUSED BY ANY CONSTRUCTION AND REPAIRS TO ANY DAMAGE.
3. ALL EXISTING OFF-SITE PAVEMENT, FENCES, CURBS, WALLS AND OTHER FACILITIES DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST.
4. EXISTING UTILITIES & STRUCTURES THAT ARE TO BE REMOVED AND/OR REPLACED SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
5. PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
6. UTILITIES AND UTILITY STRUCTURES WAGED LOCATIONS ARE UNKNOWN MAY BE AFFECTED BY THE PROPOSED WORK UNLESS PROVEN. THE CONTRACTOR SHALL MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
7. CONTRACTOR TO CONSULT WITH ALL COMPANIES TO ASSURE APPROPRIATE SIGN V AND SCHEDULING OF NEW SERVICE WERE REQUIRED TO FIT THE CONSTRUCTION SCHEDULE AND SCHEDULE TO AVOID NO DAMAGE OR DISTURBANCE TO COMPLETED WORK.
8. ALL NEW UTILITY SERVICE CONNECTIONS INCLUDING LINES AND EQUIPMENT FOR PROVIDING POWER AND/OR COMMUNICATIONS ARE TO BE INSTALLED UNDERGROUND.
9. THE EXTENT OF THE CONSTRUCTION AND DISTURBANCE AREAS SHALL BE THE MINIMUM AREAS AS POSSIBLE.
10. ALL NEW STORM DRAINAGE PIPING TO BE SMOOTH BORE CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) UNLESS OTHERWISE SPECIFIED.
11. ROOF LEADERS WERE REQUIRED TO BE # 2 DIA. 3/4" PVC PIPE AND MILL OUTLET TO DOWNSPOUTS ADJACENT TO THE PROPOSED BUILDINGS.
12. ALL NEW WATER MAINS AND RELATED APPURTENANCES TO BE SPECIFIED BY ARCHITECTS MECHANICAL ENGINEER.
13. ALL SANITARY WASTE CONNECTIONS TO BE # 2 DIA. CAST IRON WITH A MINIMUM GASKET OF 2" TO THE FIRST CLEAN OUT OUTSIDE THE BUILDING. BEYOND THE FIRST CLEAN OUT, 8" DIA. 3" PVC PIPE MAY BE USED IN LIEU OF CAST IRON.
14. ANY SUBSTITUTIONS TO BE REQUESTED IN WRITING AND APPROVED BY THE DESIGN ENGINEER OF EXISTING STRUCTURES.
15. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS WITH RECORDS TO DEMOLITION AND DISPOSAL OF EXISTING STRUCTURES.
16. ANY EXISTING UNDER CONSTRUCTION TO BE ADVANCED MUST BE FULLY COMPLETED PRIOR TO CONSTRUCTION OF THE NEW CONSTRUCTION.
17. WHERE FINISHED GRADE EXISTATION AT BUILDING WALL IS LESS THAN 2' FROM THE FINISHED FLOOR CONGRUIT WITH ADJACENT FOR CHANGES IN FOUNDATION AND SILL DESIGN.
18. CONTRACTOR TO OBTAIN AND SUBMIT SHOP DRAWINGS FOR ALL STRUCTURES TO DESIGN ENGINEER FOR REVIEW AND APPROVAL BEFORE MANUFACTURING.
19. RETAINING WALLS SHALL BE LESS THAN 4 FEET IN HEIGHT. RETAINING WALLS MORE THAN 4 FEET IN HEIGHT ARE REQUIRED TO BE DESIGNED BY A CERTIFIED STRUCTURAL ENGINEER.

WATER MAIN SAFETY NOTES:

1. MEN WORKING AT OR NEAR A LIVE WATER MAIN EXERCISE EXTREME CARE.
2. MAINTAINING PROPER RECORDS ARE NOT TO BE REMOVED UNLESS THE WATER MAIN IS TO BE REPLACED OR MAINTENANCE IS REQUIRED.
3. LOCAL WATER COMPANY OR DEPARTMENT.
4. WHEN POSSIBLE A WATER MAIN SHOULD BE TAPPED OFF AND PRESSURE RELEASED BEFORE EXPOSING MAIN.

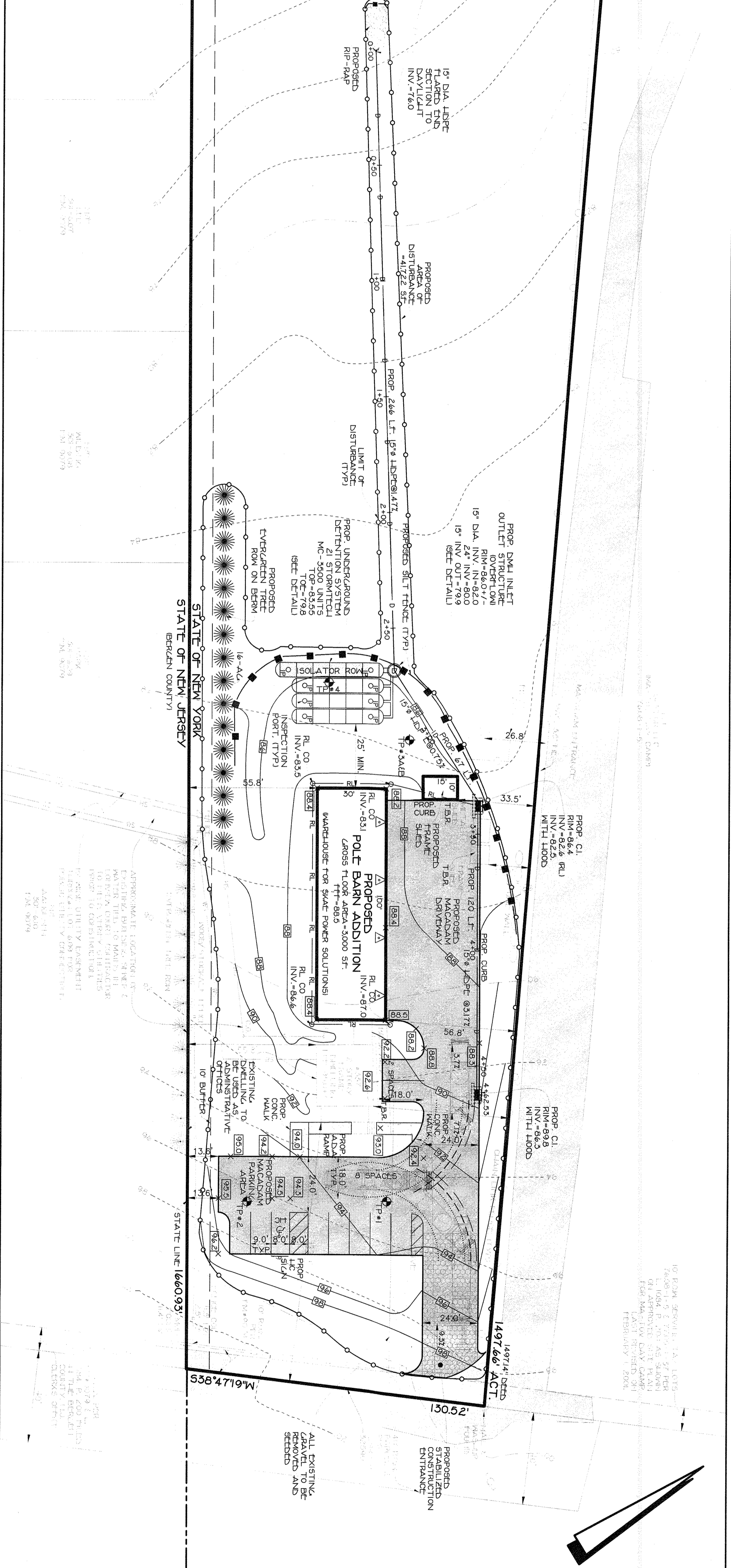
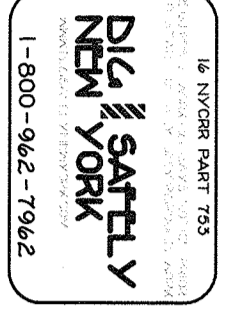
EROSION CONTROL INFORMATION:

- EROSION AND SEDIMENT CONTROL PLAN - CONSTRUCTION SCHEDULE**
1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATIONS AND INSTALLATION OF PROPOSED STRUCTURES AND OR UTILITIES.
 2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE AND BE MAINTAINED THROUGHOUT CONSTRUCTION AND/OR OPERATIONS.
 3. INSTALL STABILIZED CONSTRUCTION ENTRANCE AS INDICATED ON PLAN.
 4. INSTALL SLOTTED CURB AND GUTTER SYSTEMS TO BE DISTURBED AND DOWN SLOPE TO TEMPORARILY SEDIMENTATION ENTRANCE AREAS.
 5. CONSTRUCT STORM, TEMPORARY SLOTTED CURBS AND PITS AS NECESSARY TO DIRECT RUNOFF TO TEMPORARILY SEDIMENTATION ENTRANCE AREAS.
 6. CLEAR EXISTING TREES, VEGETATION AND EXISTING STRUCTURES FROM AREAS TO BE FILLED OR EXCAVATED. STUMP AND STUMPING TOPSOIL FROM AREAS TO BE FILLED OR EXCAVATED SHALL BE STORED IN PILES TO BE PROTECTED BY 6" CURBS OVER 7' HIGH TO PREVENT WIND AND WATER FROM DISTURBING THE PILES.
 7. AREAS TO BE EXCAVATED SHALL BE PROTECTED BY 6" CURBS OVER 7' HIGH TO PREVENT WIND AND WATER FROM DISTURBING THE PILES.
 8. INSTALL UNDERGROUND UTILITIES MAINS AND SLOTTED CURBS OF CURB AND SLOTTED INLET PROTECTION AT CURB AND FIELD INLETS.
 9. INSTALL INLET PROTECTION AT CURB AND FIELD INLETS.
 10. CONSTRUCT CURBS AND INSTALL BARRIERS AND SLOTTED CURBS OF CURB AND SLOTTED INLET PROTECTION AT CURB AND FIELD INLETS ACCORDINGLY.
 11. COMPLETE THE GRADING.
 12. INSTALL SURFACE COURSE OF PAVEMENT, PAVE CURBS AND FIELD INLETS TO MATCH EXISTING.
 13. IF CONSTRUCTION ALL DISTURBED AREAS ARE TO BE RESTORED WITH THE SAME OR BETTER SOIL TYPE AND TO BE ADAPTED AS DIRECTED BY THE ARCHITECT AND ENGINEER. THE AFFECTED AREAS SHALL BE RESTORED TO BE IN ACCORDANCE WITH THE APPLICABLE REGULATIONS.
 14. TOP SOIL SHALL BE STORED IN PILES TO BE PROTECTED BY 6" CURBS OVER 7' HIGH TO PREVENT WIND AND WATER FROM DISTURBING THE PILES.
 15. BARE SOIL SHOULD BE SEEDS WITHIN 14 DAYS OF EXPOSURE. MULCHES SHOULD BE APPLIED TO PROTECT BARE SOIL FROM EROSION. MULCHES SHALL BE APPLIED TO PROTECT BARE SOIL FROM EROSION.

STANDARD EROSION CONTROL NOTES:

1. TEMPORARY SEDIMENTATION ENTRANCE AREAS SHALL BE PROVIDED AT ALL LOCATIONS TO BE DISTURBED BY CONSTRUCTION AND/OR OPERATIONS.
2. ALL DISTURBED AREAS EXCEPT ROADWAYS WHICH WILL REMAIN UNIMPAVED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEEDS WITH 1/2 LB. OF RYE GRASS AND SHALL BE STABILIZED AS PRACTICALLY AS POSSIBLE BY INSTALLATION OF THE BARE COVER.
3. SILT THAT LEAVES THE SITE IN GRITS OF THE REQUIRED PRECIPITATION SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
4. AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SLOTTED CURBS SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
5. PROVIDE INLET PROTECTION TO ALL INLETS ON SITE SEE DETAIL.

ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL ON TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY GRADING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.



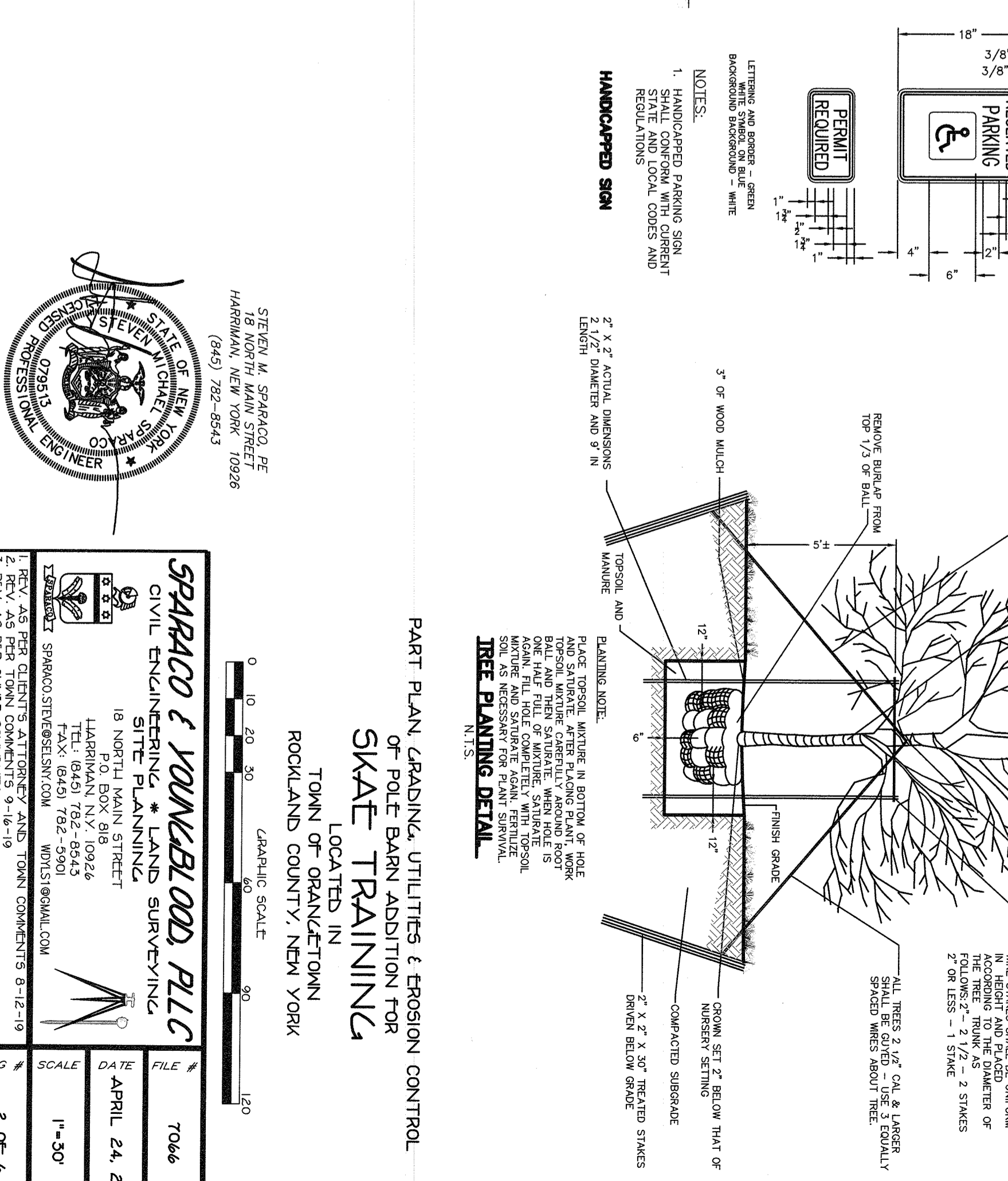
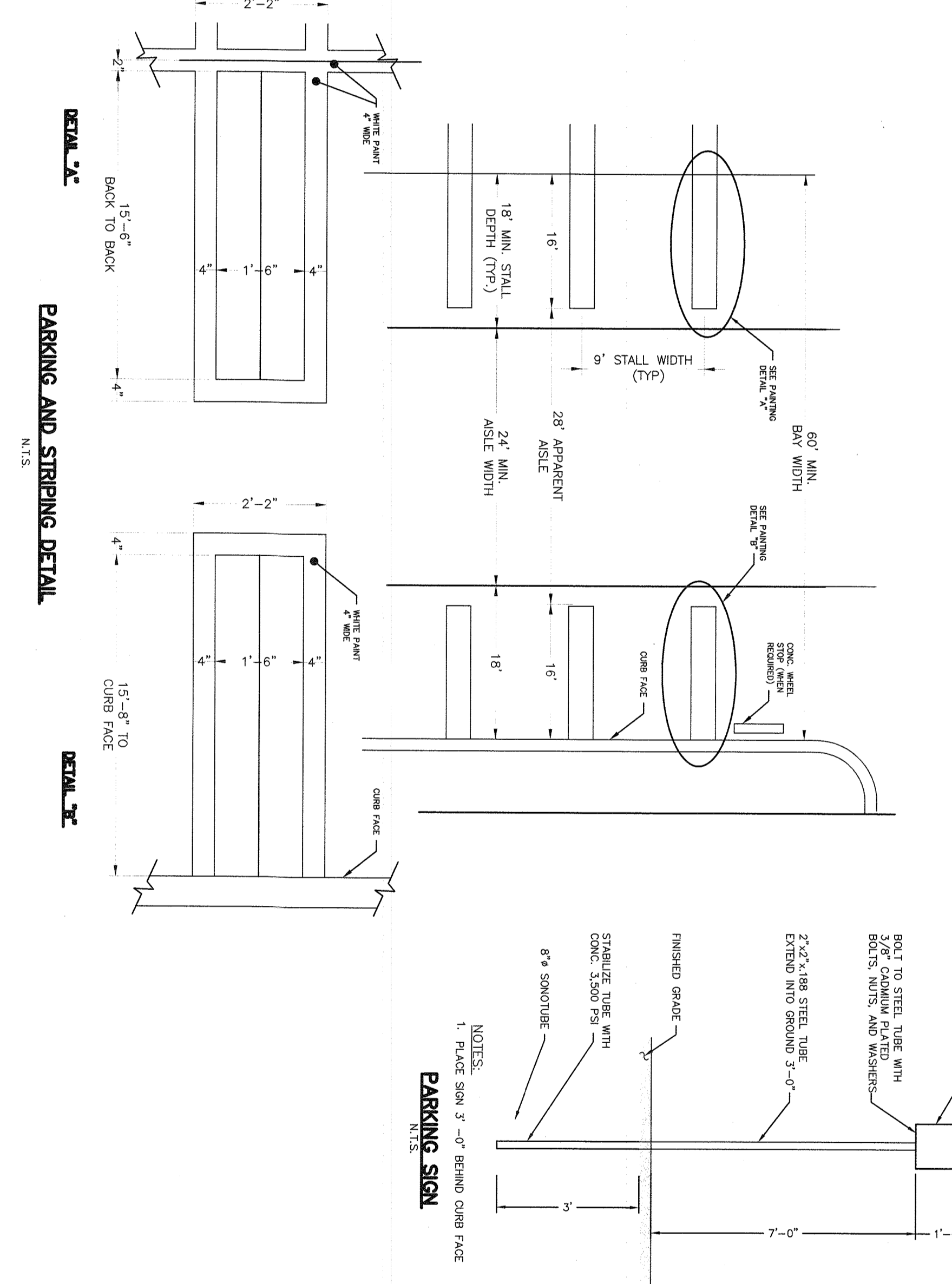
PART PLAN
SCALE: 1"=30'

PLANTING SCHEDULE

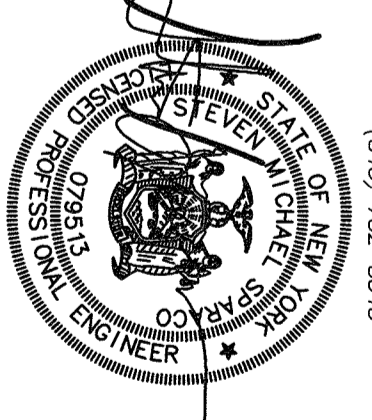
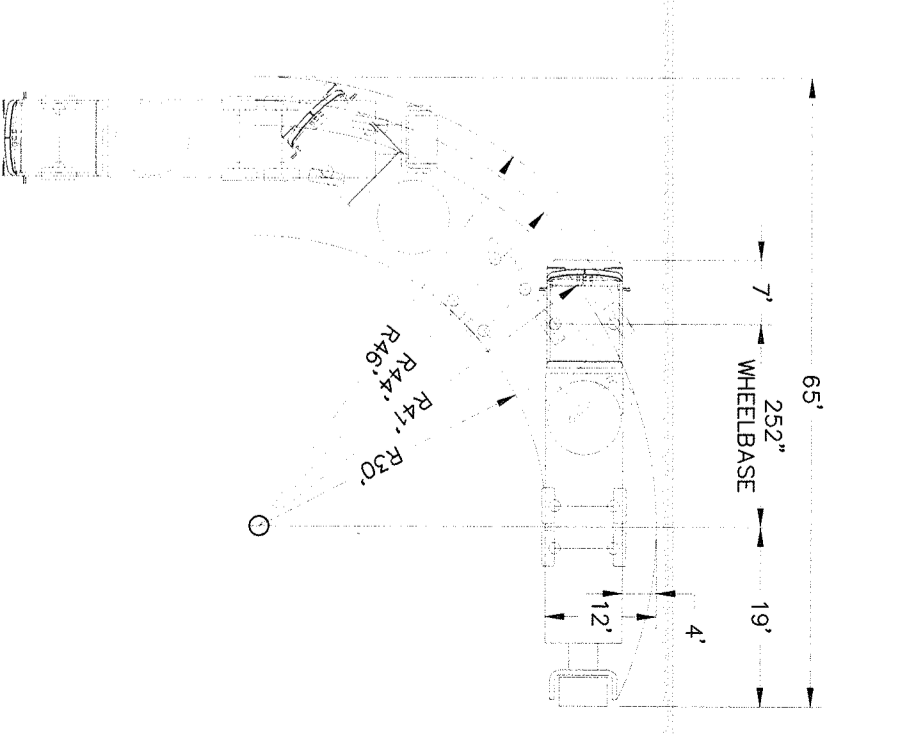
KEY	COMMON NAME	BOTANICAL NAME	QTY	SIZE	SPACING
1	GREEN GIANT ARBOREVITAE	TILIAULNA GIANT GIANT	16	9' HEIGHT	10' O.C.

LEGEND

EXISTING/PROPOSED	ITEMS
---	PROPERTY LINE
---	BUILDING SETBACK LINE
---	SANITARY SEWER
---	RAIN SEWER MANHOLE
---	SEWER SERVICE
---	CLEAN-OUT
---	WATER MAIN
---	FIRE SERVICE
---	WATER VALVE
---	GAZ MAIN
---	GAZ SERVICE
---	GAZ VALVE
---	DRAIN PIPE
---	DRAINAGE MANHOLE
---	CATCH BASIN
---	ROOF LEADER
---	UTILITY POLE
---	UNDERGROUND ELECTRIC
---	OVERHEAD ELECTRIC
---	10' CONTOR INTERVAL
---	SPOT GRADE
---	WALL ELEV
---	SILT FENCE
---	INLET PROTECTION
---	STABILIZATION
---	CONFORMANCE



FIRE TRUCK TURNING RADIUS DETAIL
N.T.S.



STEVEN M. SPARACO, PE
18 NORTH MAIN STREET
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(914) 782-8943

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CIVIL ENGINEERING AND LAND SURVEYING
18 NORTH MAIN STREET
P.O. BOX 918
HARRISBURG, NY 10926
TEL: (914) 782-8943
FAX: (914) 782-5901
WWW.SPARACOENGINEERS.COM

TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

SKATE TRAINING
LOCATED IN

PART PLAN, GRADING, UTILITIES & EROSION CONTROL

FILE # 7066
DATE APRIL 24, 2019
SCALE 1"=30'
DWG # 2 OF 6

MAP REFERENCE:
 TOWN SUBDIVISION PLAT, LONGVIEW ESTATES FILED IN THE BERGEN COUNTY CLERKS OFFICE ON JUNE 23, 1998 AS MAP # 9079.

LANDSEY SUBDIVISION FILED IN THE ROCKLAND COUNTY CLERKS OFFICE ON DECEMBER 27, 1985, BOOK 104, PAGE 69 AS MAP # 9057.

MINOR SUBDIVISION-RAMLAND, INDUSTRIAL PARK, FILED IN THE BERGEN COUNTY CLERKS OFFICE ON FEBRUARY 10, 1978, BOOK 79, PAGE 63 AS MAP # 9388.

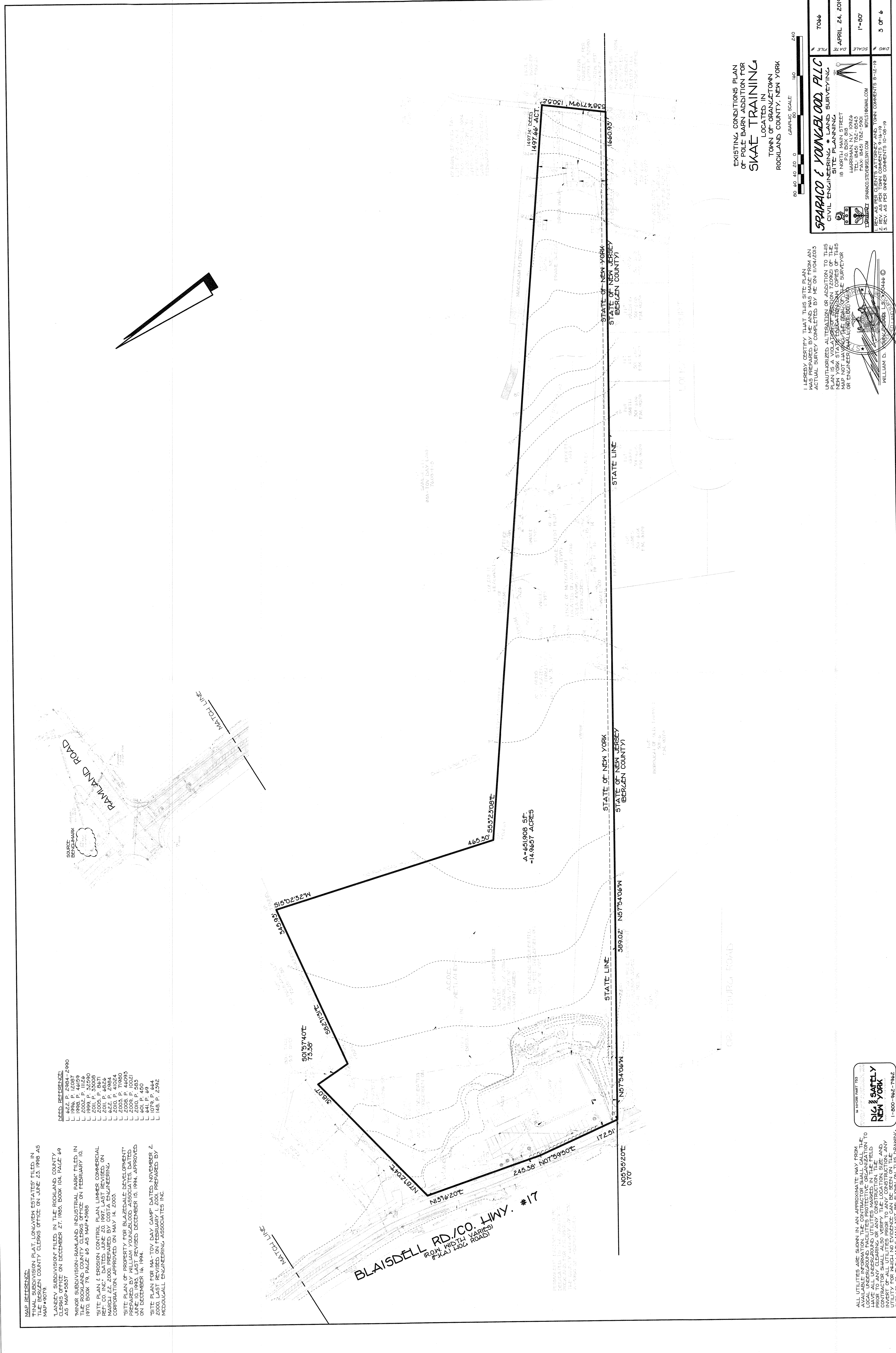
SITE PLAN & EROSION CONTROL PLAN NUMBER COMMERCIAL 10171, FILED IN THE BERGEN COUNTY CLERKS OFFICE ON MARCH 22, 2000, PREPARED BY COSTA ENGINEERING CORPORATION, APPROVED ON MAY 14, 2000.

'SITE PLAN OF PROPERTY FOR BLAZEDALE DEVELOPMENT' PREPARED BY WILLIAM YOUNGBLOOD ASSOCIATES, DATED JUNE 10, 1993, LAST REVISED DECEMBER 15, 1994, APPROVED ON DECEMBER 16, 1994.

'SITE PLAN FOR MA-TOV DAY CAMP' DATED NOVEMBER 2, 2000, LAST REVISED DECEMBER 15, 1994, PREPARED BY PROSOGALL ENGINEERING ASSOCIATES INC.

- DEEDS REFERENCE:
- L 1994, P. 12087, 2990
 - L 1998, P. 44159
 - L 2002, P. 71250
 - L 2001, P. 33008
 - L 2005, P. 8671
 - L 2006, P. 10021
 - L 2010, P. 41024
 - L 2003, P. 46990
 - L 2009, P. 10021
 - L 2010, P. 583
 - L 2011, P. 490
 - L 841, P. 49
 - L 1079, P. 664
 - L 145, P. 2392

BLAISDELL RD./CO. HWY. #17
 FROM WIDEH (ARRIES)
 (PKA) 102' ROADS



A = 651908 SF.
 = 14.9657 ACRES

EXISTING CONDITIONS PLAN
 OF POLE BARN ADDITION FOR
SKAE TRAINING
 LOCATED IN
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK

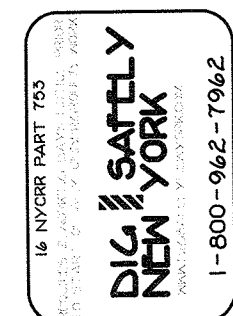
GRAPHIC SCALE: 0 80 160 240

SPARCO & YOUNGBLOOD, PLLC
 CIVIL ENGINEERING & LAND SURVEYING
 SITE PLANNING
 18 NORTH MAIN STREET
 HARRISBURG, NY 13356
 TEL: (845) 762-9543
 FAX: (845) 762-9543
 WWW.SPACOROCKLAND.COM

DATE: APRIL 24, 2019
 SCALE: 1"=80'
 SHEET: 3 OF 6

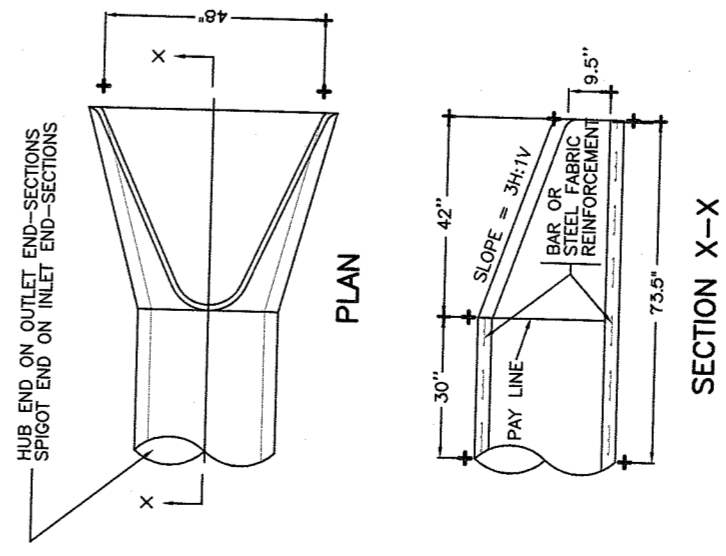
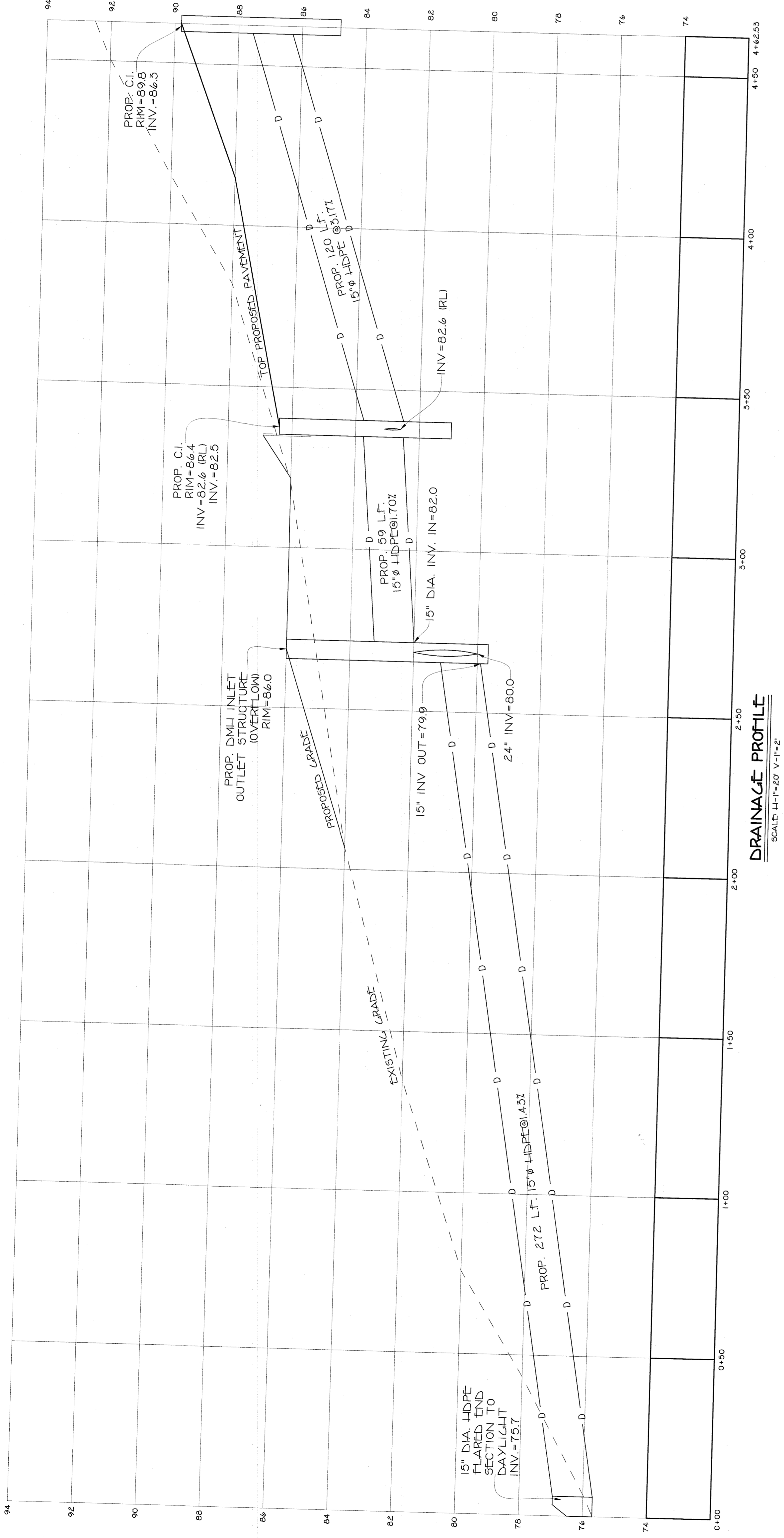
I HEREBY CERTIFY THAT THIS SITE PLAN WAS PREPARED BY ME AND WAS MADE FROM AN ACTUAL SURVEY COMPLETED BY ME ON 11/06/2019. UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF THE PROFESSIONAL ENGINEERING ACT. THIS PLAN IS A VERTICAL CURVE PLAN. THIS MAP NOT BEING THE ORIGINAL SURVEYOR OR ENGINEER'S ORIGINAL RECORD VALUE.

WILLIAM D. YOUNGBLOOD, P.E.
 1301 JAMES ST.
 HARRISBURG, NY 13356
 (845) 762-9543

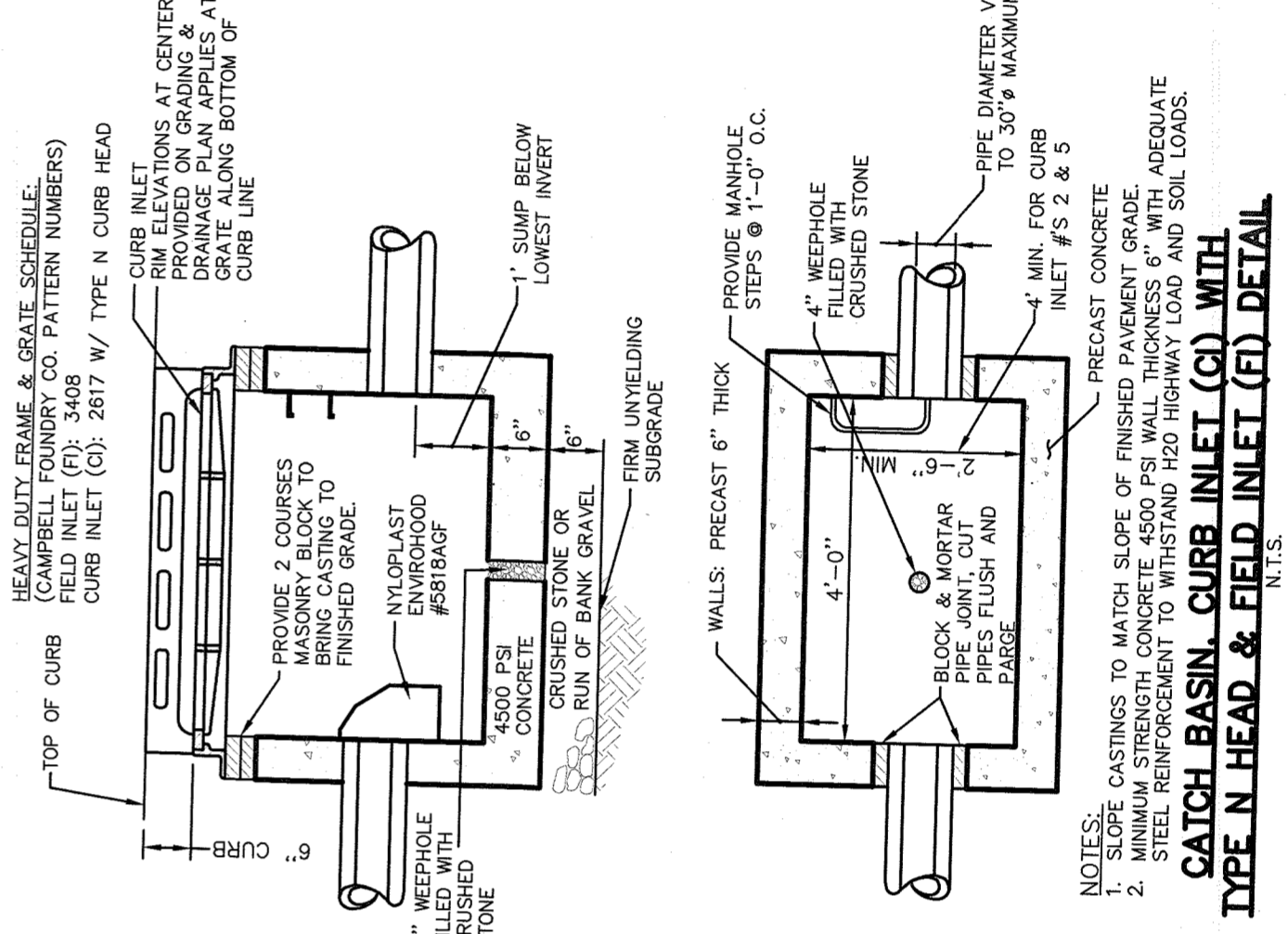
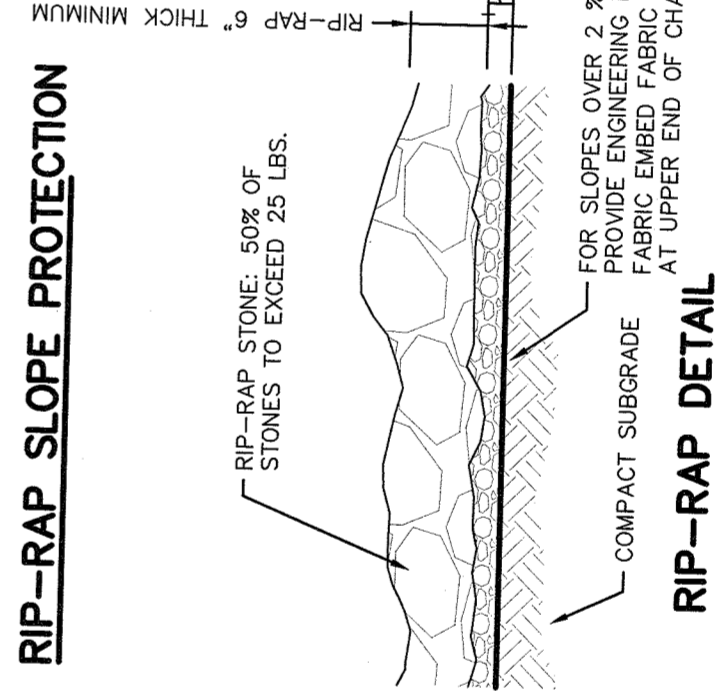
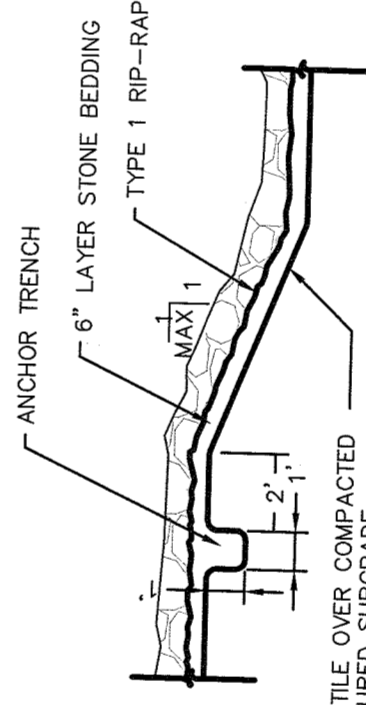


ALL UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, AND SIZE OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION SHALL BE SURVEYED AND SHOWN ON THIS DRAWING. SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

18 NUMBER PART 725
NEW YORK
 1-800-942-7962



- RIP-RAP NOTES**
- TYPE 1 RIP-RAP SHALL BE FIELD STONE OR ROUGH QUARRY STONE, HARD AND RESISTANT TO WEATHERING WITH A SPECIFIC GRAVITY AT LEAST 2.5.
 - TYPE 1 RIP-RAP SHALL BE AT 18" TO 24" ACROSS, LEAST DIMENSION. BED THICKNESS OF IN PLACE TYPE 1 RIP-RAP SHALL BE NO LESS THAN 32"
 - TYPE 2 RIP-RAP SHALL BE AT LEAST 6" TO 8" ACROSS LEAST DIMENSION, WITH BED THICKNESS OF 14"
 - STONE BEDDING SHALL MEET MSDOT SPEC. 620-2.05 WHICH LISTS THE FOLLOWING GRADATION:
100% PASSING THE 4 IN. SIEVE
100% PASSING THE 1 IN. SIEVE
0% TO 25% PASSING THE NO. 40 SIEVE
0% TO 10% PASSING THE NO. 100 SIEVE



ALL UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER. LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO BE CONTACTED PRIOR TO ANY CLEARING OR ANY OTHER WORK. CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SHOWN ON THIS SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.



DETAILS OF POLE BARN ADDITION FOR SKAE TRAINING LOCATED IN TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK

SPARACO & YOUNGBLOOD PLLC
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SITE PLANNING

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WWW.SPACOD.COM

DATE: MAR 27, 2019
SCALE: AS NOTED
DWG NO: 7066
5 OF 6

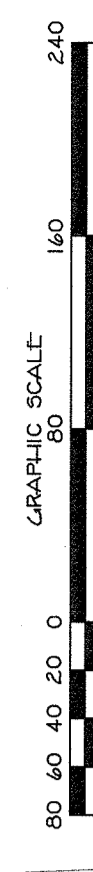
REV. AS PER COMMENTS AND TOWN COMMENTS 8-12-19
2. REV. AS PER TOWN COMMENTS 9-10-19
3. REV. AS PER OWNER COMMENTS 10-08-19



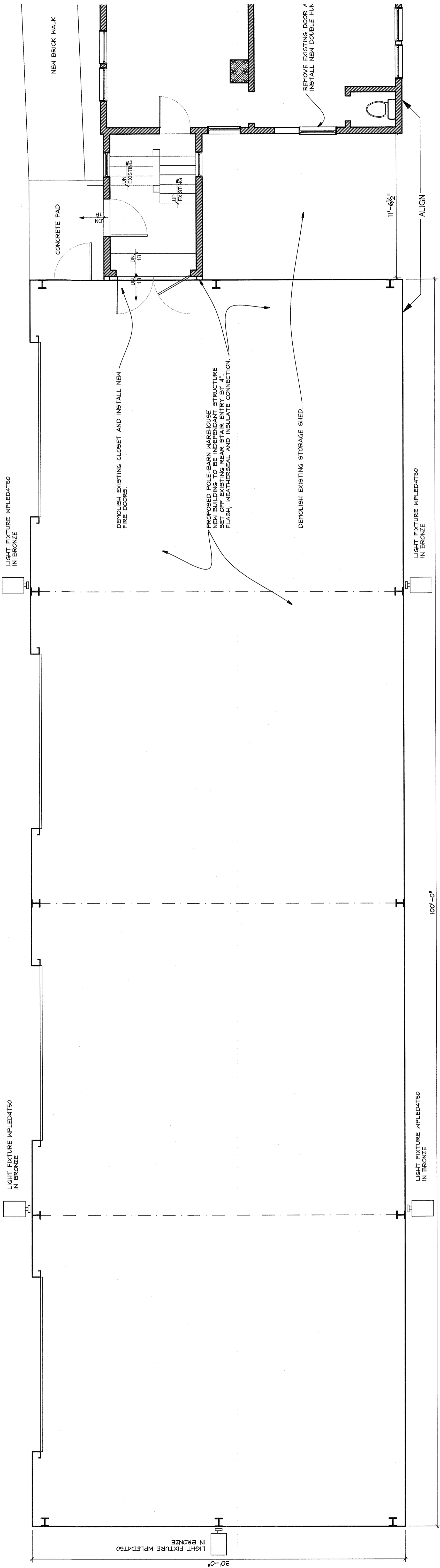
40' ROW,
PARCEL 2 PER
L1999, P. 52590

FIRE TRUCK ACCESS PLAN
OF POLE BARN ADDITION FOR
SKAE TRAINING
LOCATED IN
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

10' ROW PER FM# 9079
&
L. 1084, P. 200
FILED IN THE
BERGEN COUNTY, NJ
CLERK'S OFFICE



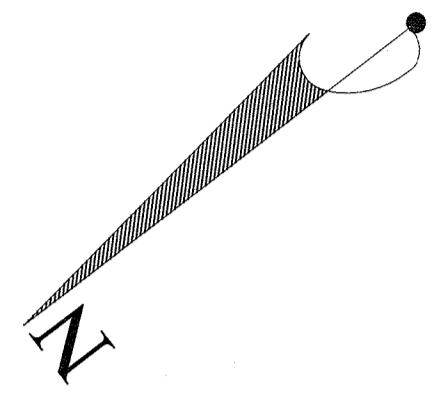
SPARACO & YOUNGBLOOD, PLLC CIVIL ENGINEERING * LAND SURVEYING SITE PLANNING	FILE # 7066
18 NORTH MAIN STREET LARRIMAN, N.J. 09246 TEL. (845) 782-8543 WWW.SPACOSURVEYS.COM	DATE APRIL 24, 2019
SPARACO SURVEYS, INC. ATTORNEYS AND TOWN COMMENTS 8-12-19	SCALE 1"=80'
REV. AS PER CLIENTS ATTORNEY AND TOWN COMMENTS 9-14-19	DWG # 6 OF 6
REV. AS PER TOWN COMMENTS 9-14-19	
REV. AS PER OWNER COMMENTS 10-08-19	



1 POLE BARN PLAN PLAN
 (AI) 1/4" = 1 FOOT

CONSTRUCTION LEGEND

	NEW CONSTRUCTION
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING MASONRY WALL
	EXISTING STUD WALL TO REMAIN
	SHEET NOTES CALL: SEE NOTES THIS SHEET
	HARDWIRED CARBON MONOXIDE DET.
	HARDWIRED SMOKE DETECTOR



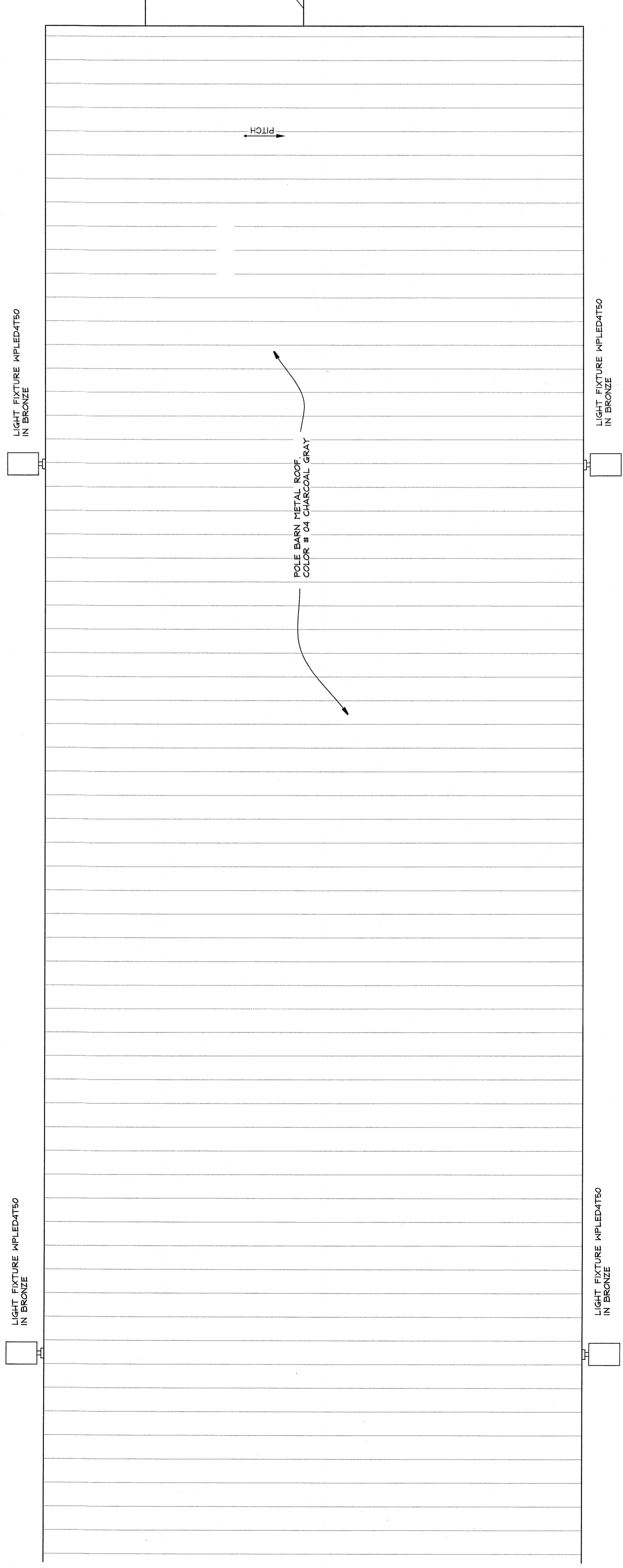
SKAE WAREHOUSE
 337 BLAISDALE RD
 TAPPAN, N.Y. 10983

KIER B. LEVESQUE, R.A.
 ARCHITECT
 49 THIRD AVENUE
 NYACK, NEW YORK 10960
 845-358-2359
 NY LICENSE # 15938

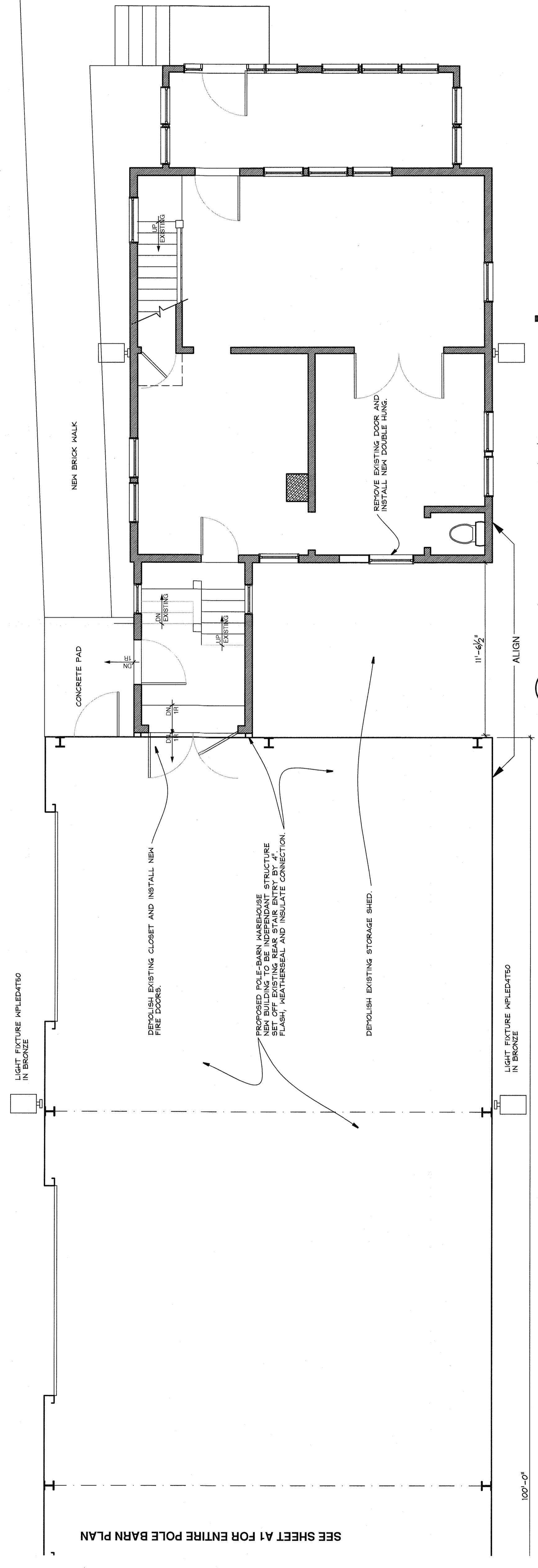
POLE BARN FLOOR PLAN

SCALE AS SHOWN
 DATE JUNE 26, 2020
 JOB NO. 1655
 REVISIONS: SHEET NO.

A-1



2 SECOND FLOOR PLAN
A2 1/4" = 1 FOOT



1 FIRST FLOOR PLAN
A2 1/4" = 1 FOOT

SEE SHEET A1 FOR ENTIRE POLE BARN PLAN

100'-0"

CONSTRUCTION LEGEND

- NEW CONSTRUCTION
- EXISTING WALLS TO BE DEMOLISHED
- EXISTING MASONRY WALL
- EXISTING STUD WALL TO REMAIN
- SHEET NOTES CALL SEE NOTES THIS SHEET
- HARDWIRED CARBON MONOXIDE DET.
- HARDWIRED SMOKE DETECTOR

SKAE WAREHOUSE
337 BLAISDALE RD
TAPPAN, N.Y. 10983

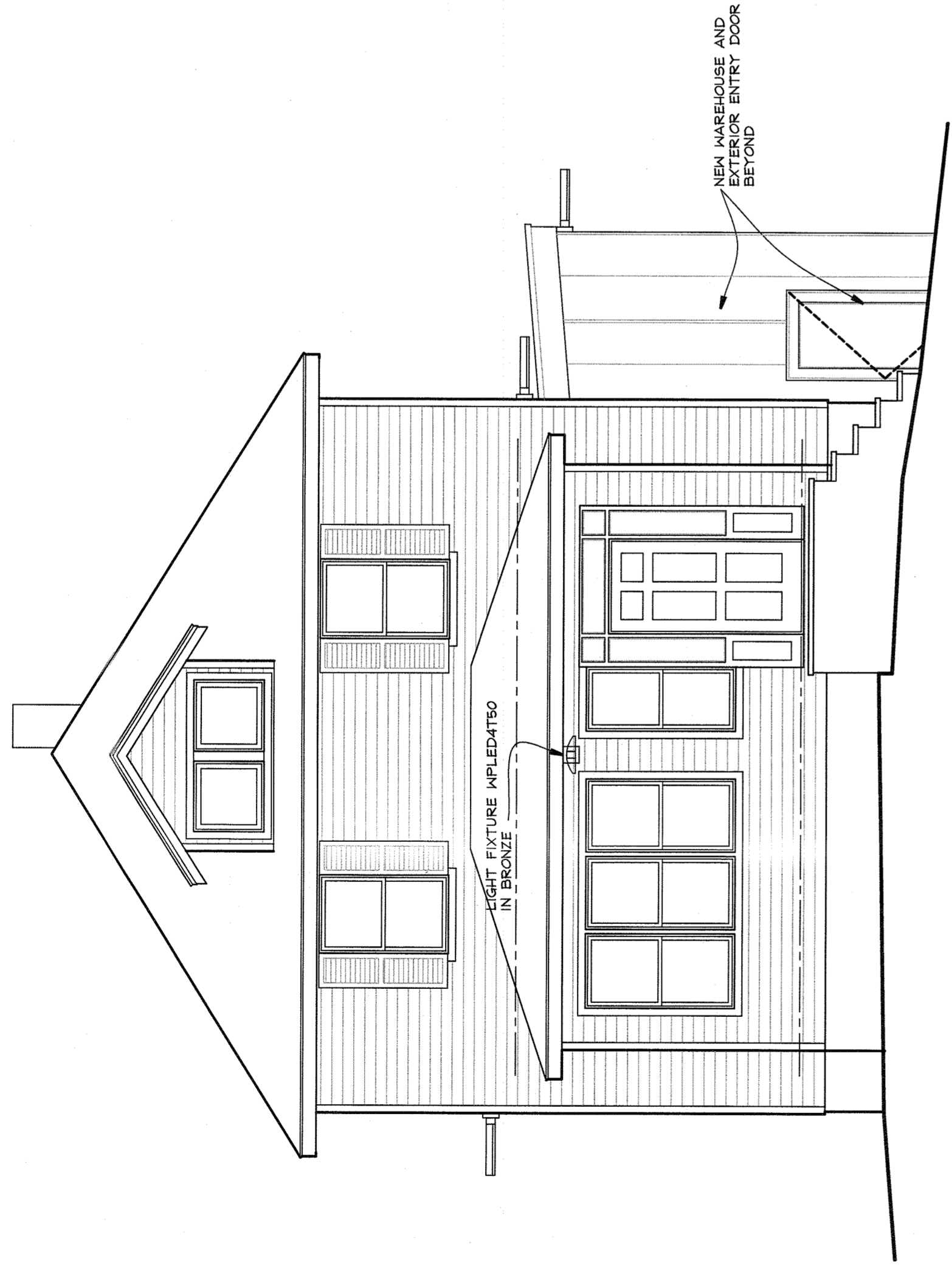
KIER B. LEVESQUE, R.A.
ARCHITECT
49 THIRD AVENUE
NYACK, NEW YORK 10960
845-358-2359

FIRST & SECOND FLOOR PLAN

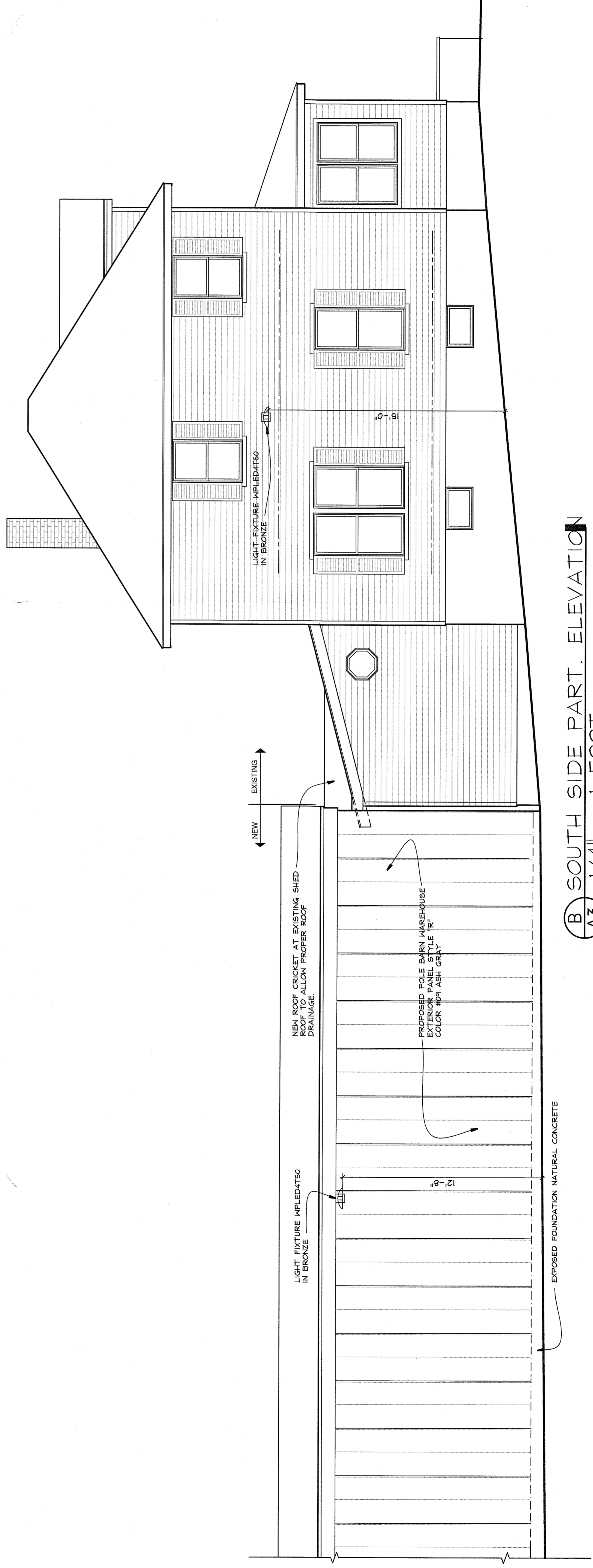
SCALE AS SHOWN
DATE JUNE 26, 2020
JOB NO. 1655
REVISIONS:

SHEET NO.

A-2



A FRONT ELEVATION
A3 1/4" = 1 FOOT



B SOUTH SIDE PART. ELEVATION
A3 1/4" = 1 FOOT

SKAE WAREHOUSE
 337 BLAISDALE RD
 TAPPAN, N.Y. 10983

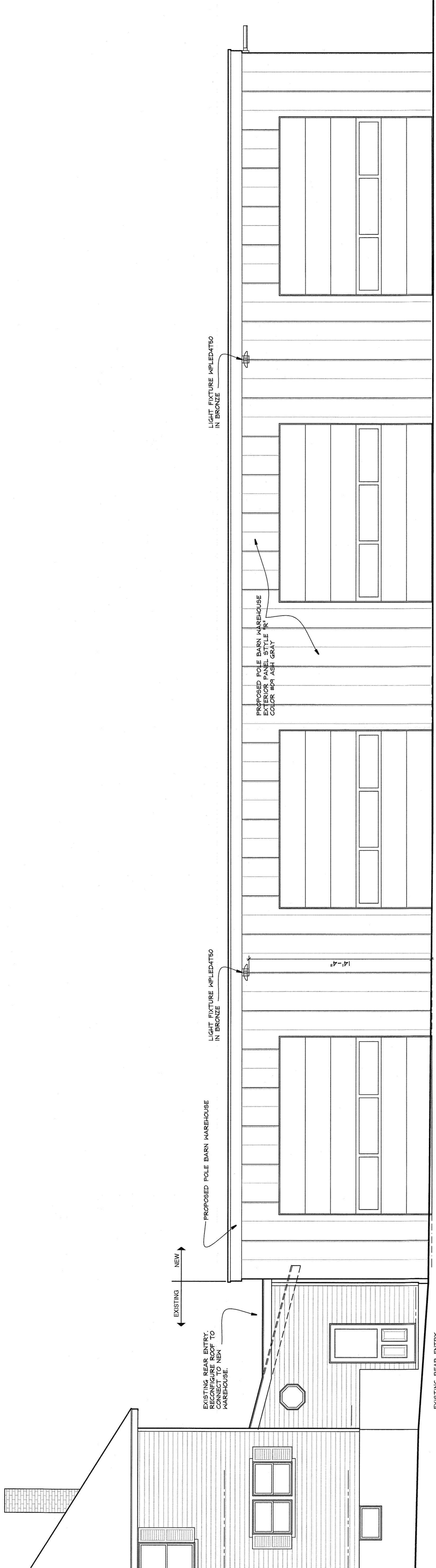
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NY LICENSE # 15938

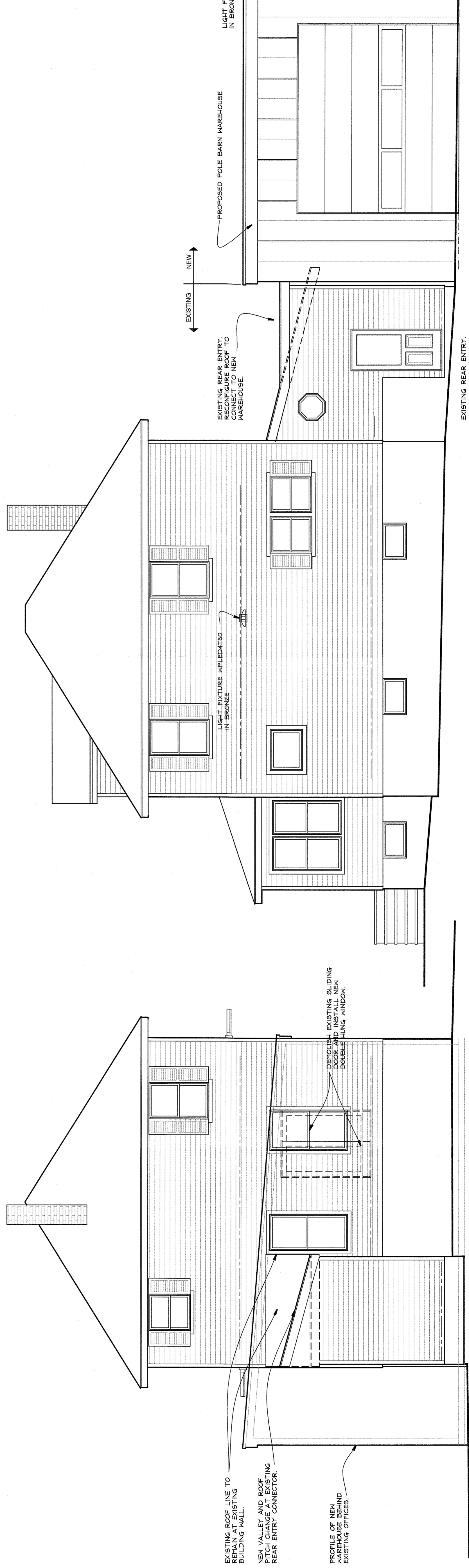
ELEVATIONS

SCALE AS SHOWN
 DATE JUNE 26, 2020
 JOB NO. 1655
 REVISIONS: SHEET NO.

A-3



E NORTH SIDE ELEVATION
 AL 1/4" = 1 FOOT



C REAR (WEST) ELEVATION
 AL 1/4" = 1 FOOT

D NORTH SIDE PART. ELEVATION
 AL 1/4" = 1 FOOT

SKAE WAREHOUSE
 337 BLAISDALE RD
 TAPPAN, N.Y. 10983

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 49 THIRD AVENUE
 NYACK, NEW YORK 10960
 845-358-2359

NY LICENSE # 15938

ELEVATIONS

SCALE AS SHOWN
 DATE JUNE 26, 2020
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 REVISIONS:

SHEET NO.

A-4