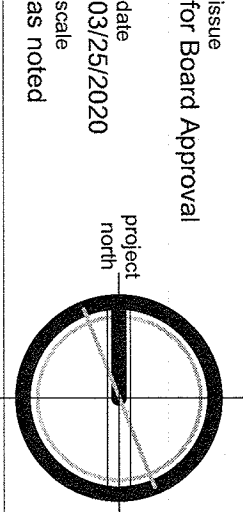


notes:



Issue for Board Approval
date 03/25/2020
project north
scale as noted

Lower Level Demolition Plan & General Notes
drawing number
A-0.0

CONSTRUCTION NOTES:

1. ALL DIMENSIONS GIVEN ARE TO FACE OF GYPSUM BOARD UNLESS OTHERWISE NOTED.
2. PARTITIONS SHOWN ALIGNED WITH EXISTING CONSTRUCTION SHALL BE FLUSH AND SMOOTH WITH EXISTING SURFACES U.O.N.
3. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
4. ALL FRAMING MEMBERS SHALL BE DOUGLAS FIR NO. 2 OR BETTER. SURFACE DRY WITH 19% MAX MOISTURE CONTENT. FB = 850 PSI MIN., FV = 95 PSI, FC = 625 PSI, E = 1,600,000 PSI.
5. ALL FRAMING MEMBERS (LEGGERS, SILL PLATES, ETC.) THAT THE NEW CONSTRUCTION INTO EXISTING ARE TO BE SECURED WITH 3/8" x 5" (MIN.) LAG BOLTS @ 16" O.C. MIN. INTO EXISTING HOUSE STRUCTURAL FRAMING (NOT SHEATHING ONLY).
6. INSTALL FIRE BLOCKING WHEREVER POSSIBLE IF EXISTING STRUCTURE IS BALLOON FRAMING THAT BECOMES EXPOSED AT SECOND FLOOR LEVEL.
7. ALL ENGINEERED FRAMING MEMBERS ARE TO BE AS MANUFACTURED BY TRUS JOIST WEYERHAEUSER OR APPROVED EQUAL.
8. STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES, ETC. UNLESS SPECIFICALLY NOTED OR APPROVED BY THE ARCHITECT OR STRUCTURAL ENGINEER IN ADVANCE.
9. ALL STRUCTURAL LUMBER AND FASTENINGS SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF TABLE 2304.9.1 OF THE IBC, LATEST EDITION.
10. ROOF SHEATHING SHALL BE 19/32" MIN. A.P.A. RATED SHEATHING 32/16 EXPOSURE 1. LAY SPACE GRAIN AT RIGHT ANGLE TO SUPPORTS. PROVIDE 1/8" SPACE BETWEEN SHEETS AT END AND SIDE JOINTS. SHEATHING SHALL BE CONTINUOUS OVER A MIN. OF TWO SPANS. PROVIDED 10D COMMON NAILS AT 6" OC ALONG SUPPORTED EDGES AND 12" OC ALONG INTERMEDIATE SUPPORTS. PROTECT ROOF SHEATHING FROM MOISTURE UNTIL ROOFING IS INSTALLED.
11. INSTALL NEW WINDOWS & DOORS AT NEW LOCATIONS AS SHOWN ON PLANS. PATCH/REPAIR/PROOF EXISTING WALLS & EXTERIOR CLADDING AS REQ'D.
12. INSTALL NEW 5/8" G.W.B. @ ALL NEW INTERIOR WALLS & CEILINGS. U.O.N. PATCH, REPAIR AND/OR PREPARE ALL EXISTING CONSTRUCTION AT AREAS TO ACCEPT NEW, AND WHERE AFFECTED BY DEMOLITION AND CONSTRUCTION.
13. INSTALL FINISH FLOORING OVER 3/4" T&G PLYWOOD SUBFLOOR - TYP UON.
14. ALL NEW INTERIOR DOORS TO BE SOLID WOOD PANELED DOORS TO MATCH EXISTING AS CLOSELY AS POSSIBLE. HARDWARE TO MATCH EXISTING. REVIEW WITH OWNER.
15. ALL INSTALLATION OF MATERIALS, DEVICES, APPLIANCES, FIXTURES, ETC. TO BE AS PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS AND AS PER ALL APPLICABLE CODES.
17. PROVIDE VAPOR BARRIER AT EXTERIOR SIDE OF ALL NEW CONCRETE FOUNDATION WALLS CONTINUOUSLY FROM FOOTING TO TOP OF GRADE.
18. ALL NEW WINDOWS TO HAVE WHITE HARDWARE AND SCREENS.

LIST OF DRAWINGS

- A-0.0 LL Demolition Plans & General Notes
- A-0.1 Lower Level Construction Plan
- A-0.2 Lower Level - Power & Lighting
- A-1.0 Main Level Construction Plan
- A-1.1 Main Level - Power & Lighting
- A-2.0 Upper Level Construction Plan
- A-2.1 Upper Level - Power & Lighting
- A-3.1 Roof Plan
- A-4.1 West & North Elevations
- A-4.2 South & East Elevations
- A-5.1 Building Section Looking East
- A-5.2 Building Section Looking North
- A-6.1 Interior Elevations - Kitchen
- A-7.1 Wall Sections

GENERAL NOTES:

1. ALL CONSTRUCTION METHODS SHALL CONFORM TO THE TOWN OF ORANGETOWN BUILDING CODE, THE NEW YORK STATE RESIDENTIAL BUILDING CODE AND REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
2. ALL EXISTING CONDITIONS TO BE VERIFIED IN FIELD. CONTRACTOR TO NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OR IMMEDIATELY UPON DISCOVERY.
3. UPGRADE EXISTING ELECTRICAL AS REQ'D, INCLUDING SERVICE, DEDICATED CIRCUITS, GFCI OUTLETS IN KITCHEN & BATHS, AS REQ'D TO MEET ALL APPLICABLE CODES AND SAFETY STANDARDS. ALL WORK TO BE PERFORMED BY A CONTRACTOR LICENSED IN ROCKLAND COUNTY.
4. UPGRADE ALL PLUMBING SUPPLY LINES. PROVIDE VENTING AND MAINTAIN CONSTANT SLOPE IN ALL WASTE LINES. UPGRADE HEATING SYSTEM TO PROVIDE ADEQUATE HEATING THROUGHOUT. PROVIDE NEW RADIANT FLOOR HEAT AND HOT-WATER BASEBOARD RADIATORS (REVIEW W/ OWNER) TIED INTO EXISTING SYSTEM TO MEET STANDARD HEATING REQUIREMENTS. ALL PLUMBING WORK TO BE PERFORMED TO MEET ALL APPLICABLE CODES BY A PLUMBING CONTRACTOR LICENSED IN ROCKLAND COUNTY.

DEMOLITION NOTES:

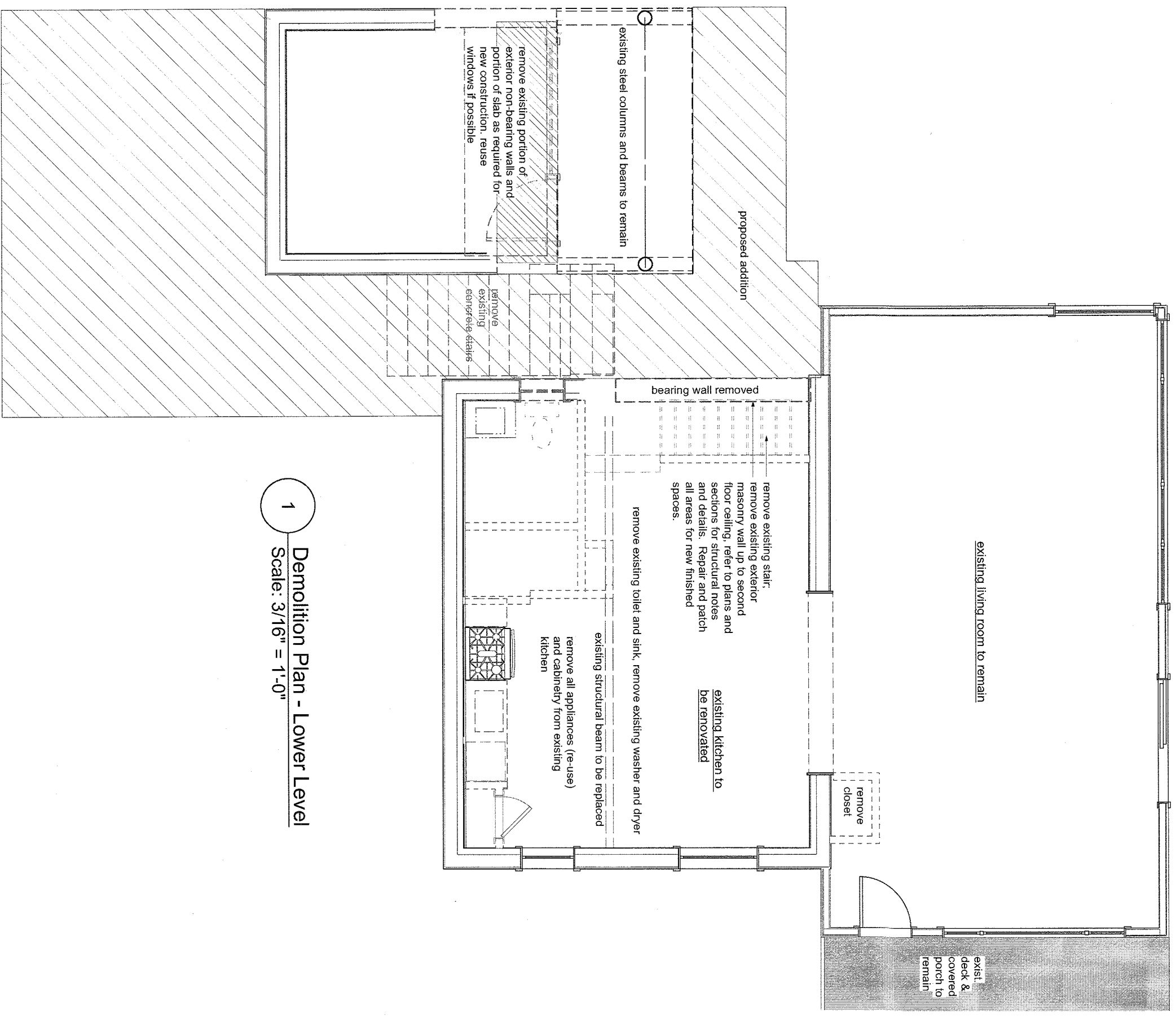
1. ALL EXISTING CONSTRUCTION TO REMAIN TO BE SHORED ADEQUATELY WITH TEMPORARY BRACING PRIOR TO ANY REMOVALS.
2. CONTRACTOR TO TAKE EXTREME CAUTION NOT TO DAMAGE ANY WORK TO REMAIN.
3. CONTRACTOR TO BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL DEMOLISHED MATERIAL AND CONSTRUCTION DEBRIS. DEBRIS, DUST AND DIRT TO BE KEPT TO A MINIMUM, AND TO BE CLEARED FROM SITE PERIODICALLY TO PREVENT EXCESSIVE ACCUMULATION.
4. AT AREAS TO RECEIVE NEW FINISH FLOORING, REMOVE ALL EXISTING FLOORING. REPAIR, LEVEL AND PREPARE SURFACE TO RECEIVE NEW FINISHES - TYPICAL.
5. CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY UNFORESEEN STRUCTURAL CONDITIONS. THESE CONDITIONS TO BE REVIEWED BY ARCHITECT AND A STRUCTURAL ENGINEER IF NECESSARY TO DETERMINE ANY FURTHER ACTION REQUIRED.

SMOKE DETECTOR NOTES:

1. PROVIDE SMOKE DETECTORS IN KITCHEN AND HALLWAYS (TO EXTENT POSSIBLE WITHIN SCOPE OF CONSTRUCTION). SMOKE DETECTORS TO BE HARD-WIRED WITH BATTERY BACKUP, INTERCONNECTED AND INSTALLED PER MFRS SPECIFICATIONS AND TO MEET ALL APPLICABLE CODES.
2. UNITS SHALL BE LOCATED ON OR NEAR THE CEILING. CEILING MOUNT - CLOSEST EDGE OF UNIT SHALL BE A MINIMUM OF 4" AWAY FROM ANY WALLS. WALL MOUNT - CLOSEST EDGE SHALL BE A MINIMUM OF 4" AWAY FROM THE CEILING.
3. PROVIDE (1) COMBINATION CARBON MONOXIDE & SMOKE DETECTOR PER DWELLING.

ENERGY NOTES:

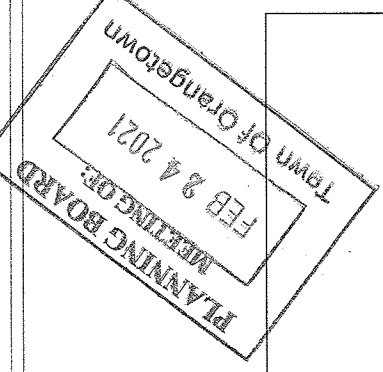
1. THIS BUILDING DESIGN IS BY ACCEPTABLE PRACTICE AND SHALL COMPLY WITH THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.
2. ALL INSTALLATIONS AND MATERIALS SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE ENERGY CODE.
3. ALL NEW CONSTRUCTION TO ACHIEVE THE FOLLOWING MIN. INSULATION VALUES: HIGH DENSITY BATT IN WALLS = R-21 AND FLOORS = R-30; CLOSED CELL SPRAY FOAM IN ROOF FRAMING = R-49 (R-30 IF PLATE IS COMPLETELY COVERED).
4. WHEREVER EXISTING FRAMING IS EXPOSED, INSTALL HIGH-DENSITY BATT INSULATION OR SPRAYED IN FOAM TO ACHIEVE HIGHEST R VALUE POSSIBLE WITHIN EXISTING SPACE. FULLY SEAL ALL AIR PENETRATIONS.
5. ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED AND WEATHER-STRIPPED. ALL WINDOWS TO BE 32 U-VALUE OR LOWER WITH LOW E2 ARGON INSULATED GLASS. ALL DOORS AND WINDOWS TO BE MARVIN, OR APPROVED EQUAL.
6. PROVED THERMAL ENVELOP WITH CONTINUOUS INSULATION AND AIR BARRIER AND SEAL ALL JOINTS, CORNERS, SILL PLATES, TOP PLATES AND PENETRATIONS PER SECTION R402 OF THE ENERGY CODE.



1 Demolition Plan - Lower Level
Scale: 3/16" = 1'-0"

Total Areas for Bulk Calculations

Proposed Addition =	855 SF
Existing House =	1,946 SF
Existing Deck =	76 SF
Existing Garage =	443 SF
Total Existing =	2,495
Total SF Proposed =	3,350 SF



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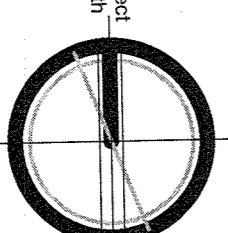
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notes:

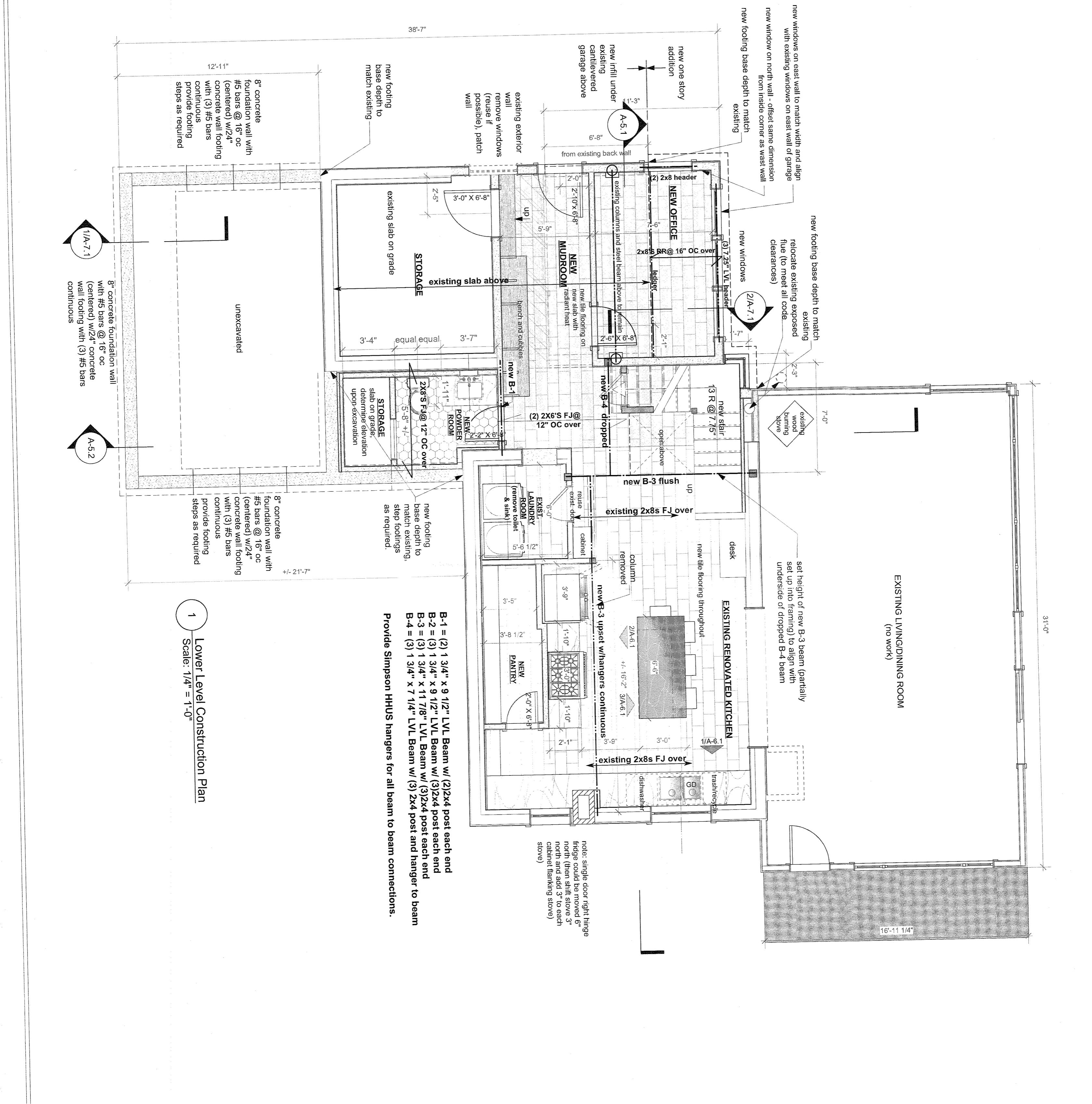
Issue for Board Approval
date 03/25/2020
scale north
as noted



Lower Level Construction Plan

drawing number

A-0.1



- B-1 = (2) 1 3/4" x 9 1/2" LVL Beam w/ (2) 2x4 post each end
 - B-2 = (3) 1 3/4" x 9 1/2" LVL Beam w/ (3) 2x4 post each end
 - B-3 = (3) 1 3/4" x 11 7/8" LVL Beam w/ (3) 2x4 post each end
 - B-4 = (3) 1 3/4" x 7 1/4" LVL Beam w/ (3) 2x4 post and hanger to beam
- Provide Simpson HHUS hangers for all beam to beam connections.

note: single door right hinge fridge could be moved 6" north (then shift stove 3" north and add 3" to each cabinet flanking stove)

1 Lower Level Construction Plan
Scale: 1/4" = 1'-0"

additions and alterations to
Kennedy
Residence
 815 Route 9W
 Nyack, NY 10960
 Town of Orangetown
 County of Rockland

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notes:

- B-1 = (2) 1 3/4" x 9 1/2" LVL Beam w/ (2) 2x4 post each end
- B-2 = (3) 1 3/4" x 9 1/2" LVL Beam w/ (3) 2x4 post each end
- B-3 = (3) 1 3/4" x 11 7/8" LVL Beam w/ (3) 2x4 post each end
- R-1 = (2) 1 3/4" X 11 7/8" structural ridge



1 Upper Level Construction Plan
 Scale: 1/4" = 1'-0"



Issue for Board Approval
 date 03/25/2020
 scale north
 as noted

Upper Level Construction

drawing number

A-2.1

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notes:

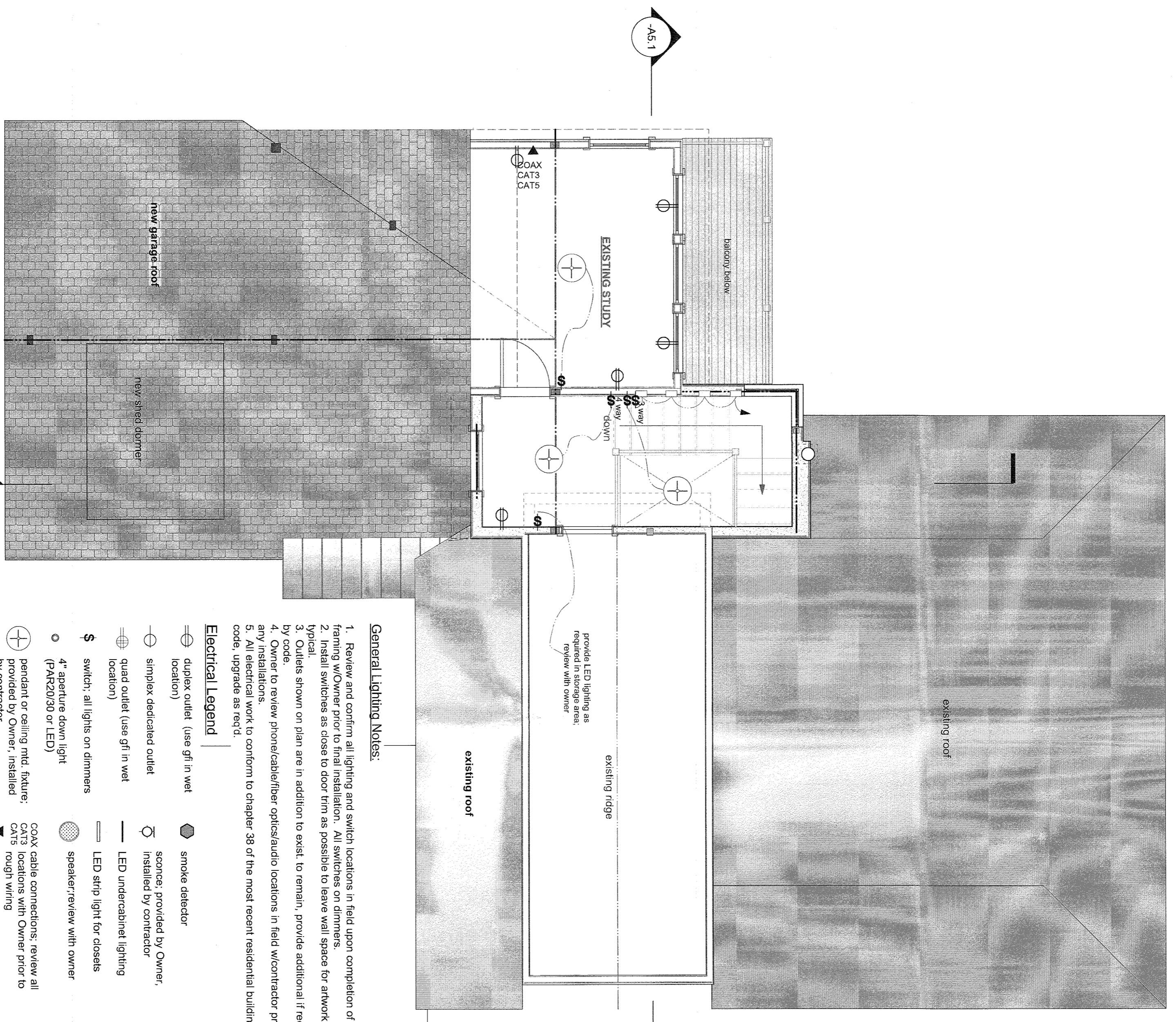


Issue for Board Approval	date	project
	03/25/2020	north
previously issued	scale	as noted

Upper Level Power & Lighting Plan

drawing number

A-2.2



- General Lighting Notes:**
1. Review and confirm all lighting and switch locations in field upon completion of framing w/Owner prior to final installation. All switches on dimmers.
 2. Install switches as close to door trim as possible to leave wall space for artwork - typical.
 3. Outlets shown on plan are in addition to exist. to remain, provide additional if req'd by code.
 4. Owner to review phone/cable/fiber optical/audio locations in field w/contractor prior to any installations.
 5. All electrical work to conform to chapter 38 of the most recent residential building code, upgrade as req'd.

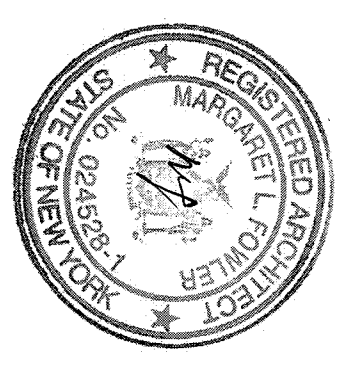
- Electrical Legend**
- ⊖ duplex outlet (use gfi in wet location)
 - ⊖ simplex dedicated outlet
 - ⊖ quad outlet (use gfi in wet location)
 - ⊖ switch; all lights on dimmers
 - ⊖ 4" aperture down light (PAR20/30 or LED)
 - ⊖ pendant or ceiling rnd. fixture; provided by Owner, installed by contractor
 - ⬢ smoke detector
 - ⊖ sconce, provided by Owner, installed by contractor
 - ⊖ LED undercabinet lighting
 - ⊖ LED strip light for closets
 - ⊖ speaker/review with owner
 - ⊖ COAX cable connectors; review all CAT3 locations with Owner prior to rough wiring
 - tread lighting in stringer

1 Upper Level Power & Lighting Plan
 Scale: 1/4" = 1'-0"

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notes:



Issue for Board Approval
 date 03/25/2020
 project north
 scale as noted

Roof Construction Plan

drawing number
A-3.1

additions and alterations to

Kennedy

Residence

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Town of Orangetown
County of Rockland

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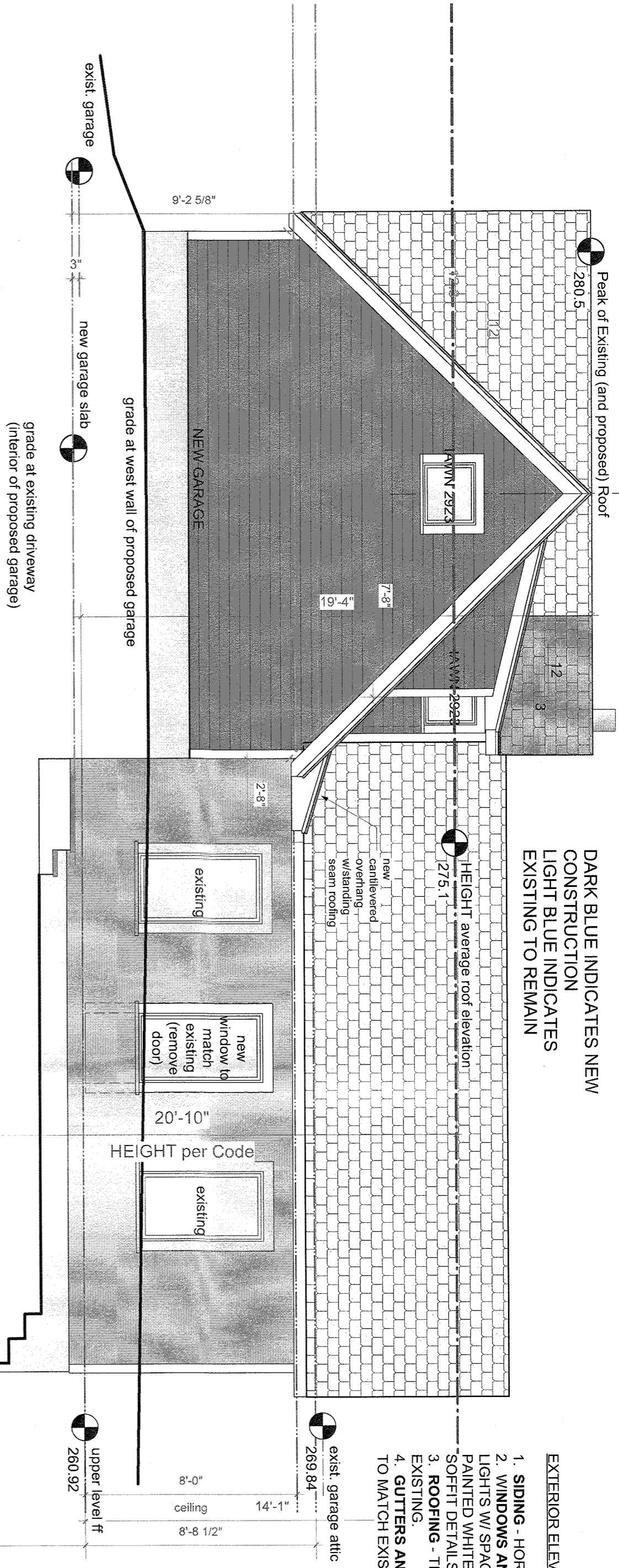
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notes:

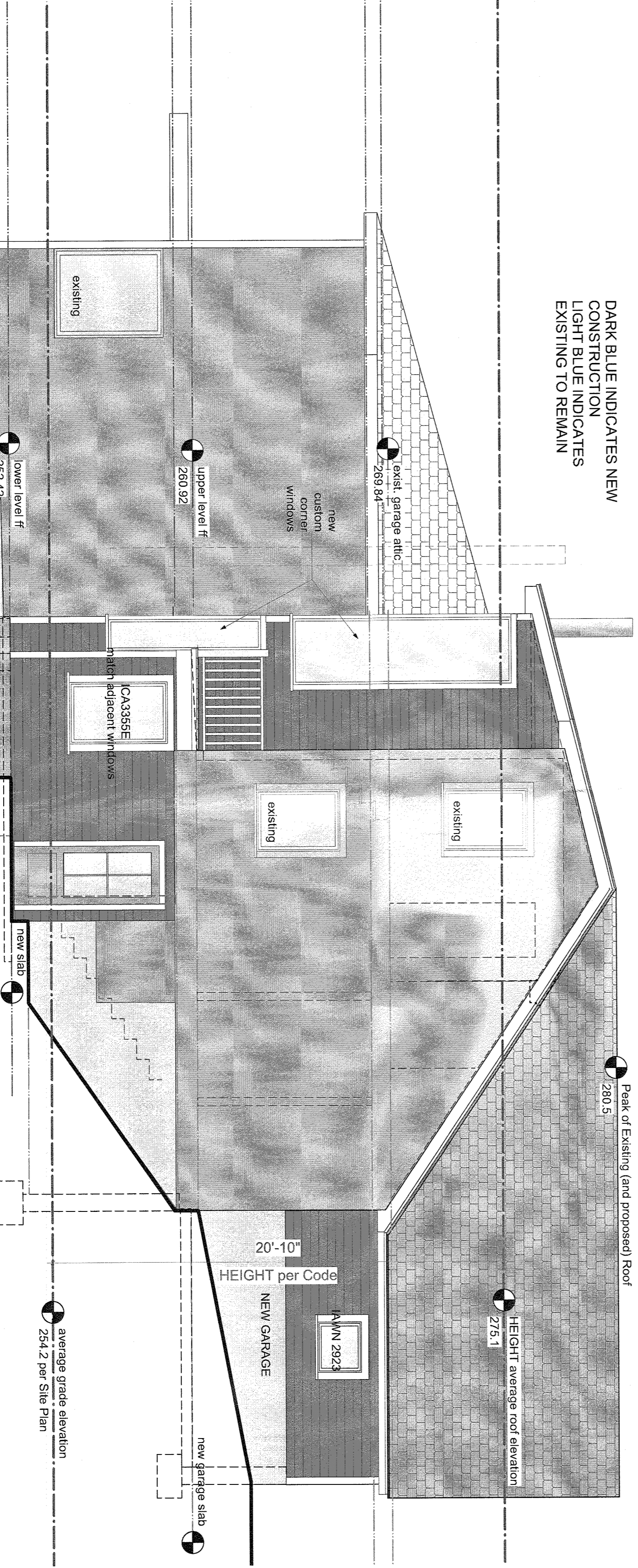
- EXTERIOR ELEVATION NOTES:
1. SIDING - HORIZONTAL CLAPBOARD TO MATCH EXISTING.
 2. WINDOWS AND TRIM - WOOD WINDOWS W/SIM. DIVIDED LIGHTS W/ SPACER BARS (BY MARVIN OR LINCOLN). PAINTED WHITE TO MATCH EXISTING. TRIM DETAILS AND SOFFIT DETAILS TO MATCH EXISTING. TRIM DETAILS AND SOFFIT DETAILS TO MATCH EXISTING.
 3. ROOFING - TIMBERLINE LIFETIME SHINGLES TO MATCH EXISTING.
 4. GUTTERS AND LEADERS - WHITE POWDER-COATED ALUM TO MATCH EXISTING.



1 West Elevation (Front)
Scale: 1/4" = 1'-0"

lower level ft
252.42

DARK BLUE INDICATES NEW
CONSTRUCTION
LIGHT BLUE INDICATES
EXISTING TO REMAIN



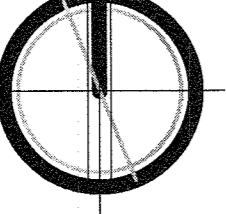
2 North Elevation (Side)
Scale: 1/4" = 1'-0"



previously issued

Issue for Board Approval

date
03/25/2020
scale
as noted



Exterior Elevations -
West & North

drawing number

A-4.1

additions and alterations to

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Town of Orangetown
County of Rockland

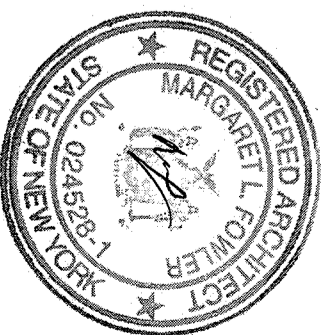
Architect

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LLC**

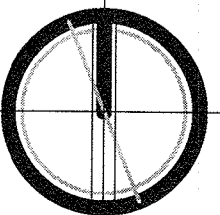
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notes:



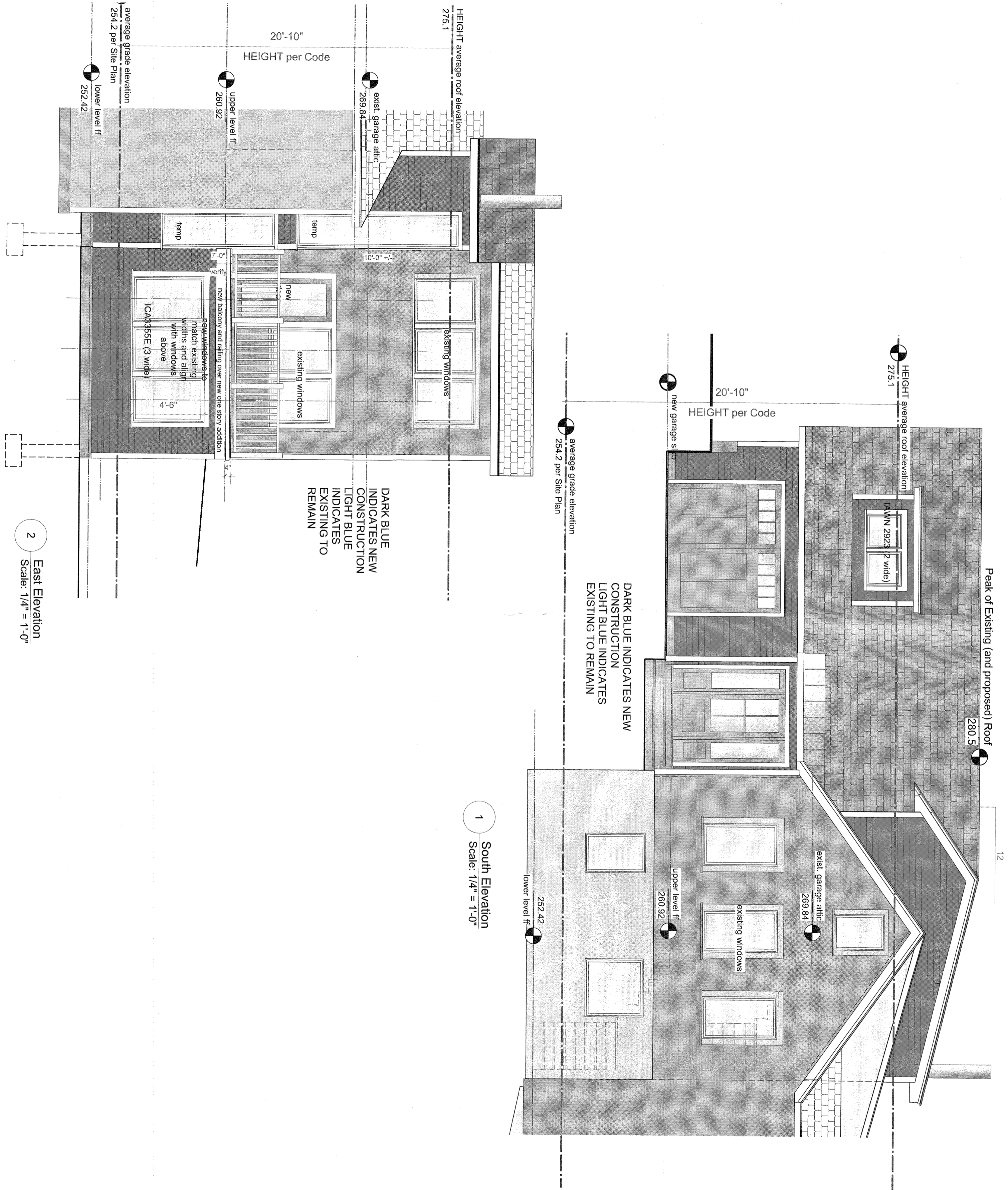
issue for Board Approval
date 03/25/2020
project north
scale as noted



Exterior Elevation -
South and East

drawing number

A-4.2

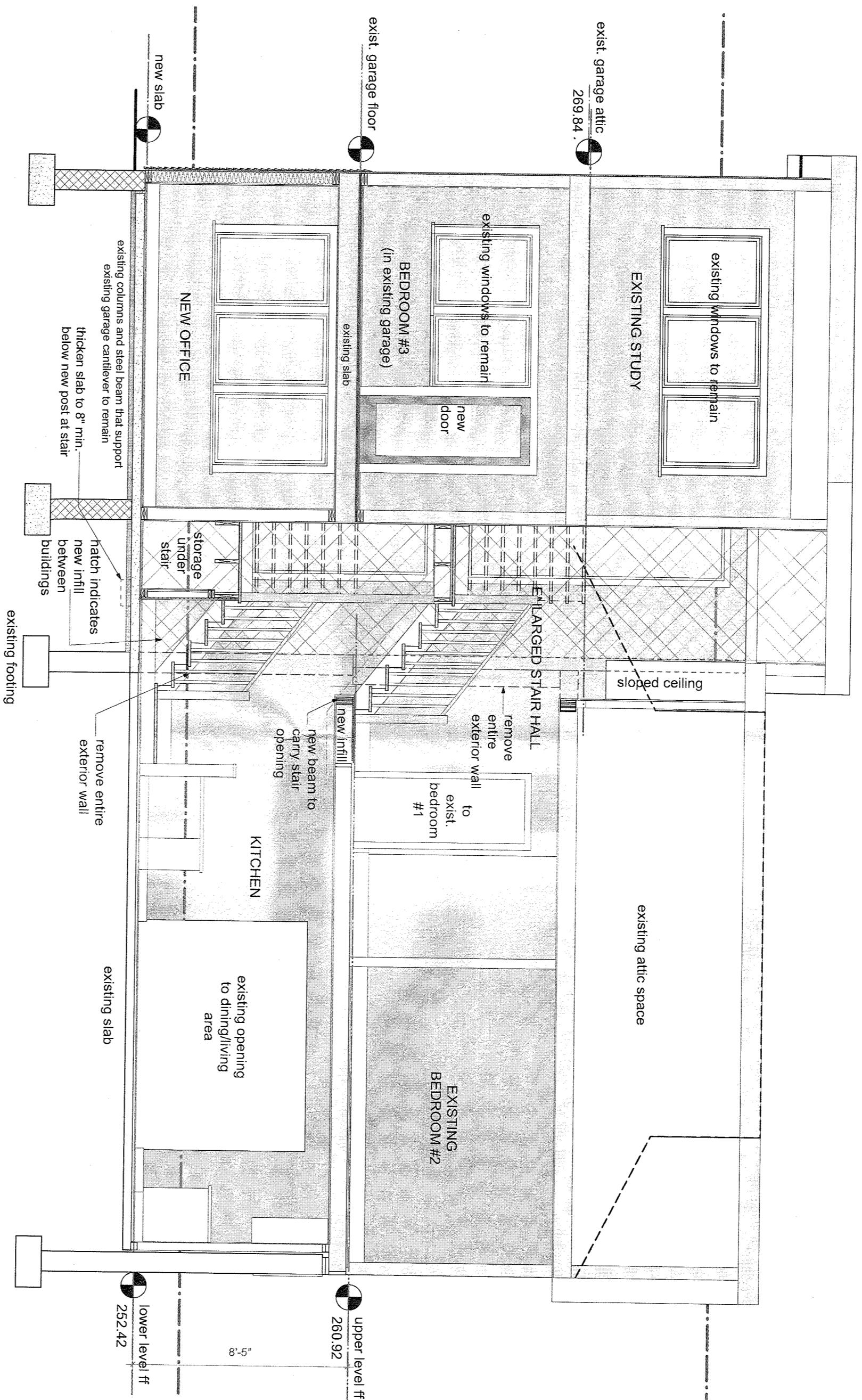


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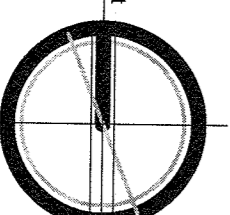
notes:



1 Section Looking East
 Scale: 1/4" = 1'-0"



Issue for Board Approval
 date 03/25/2020
 project north
 scale as noted



Building Section
 looking East

drawing number

A-5.1

additions and alterations to
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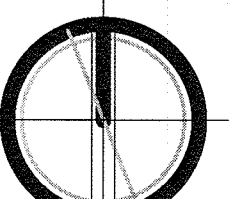
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notes:



previously issued

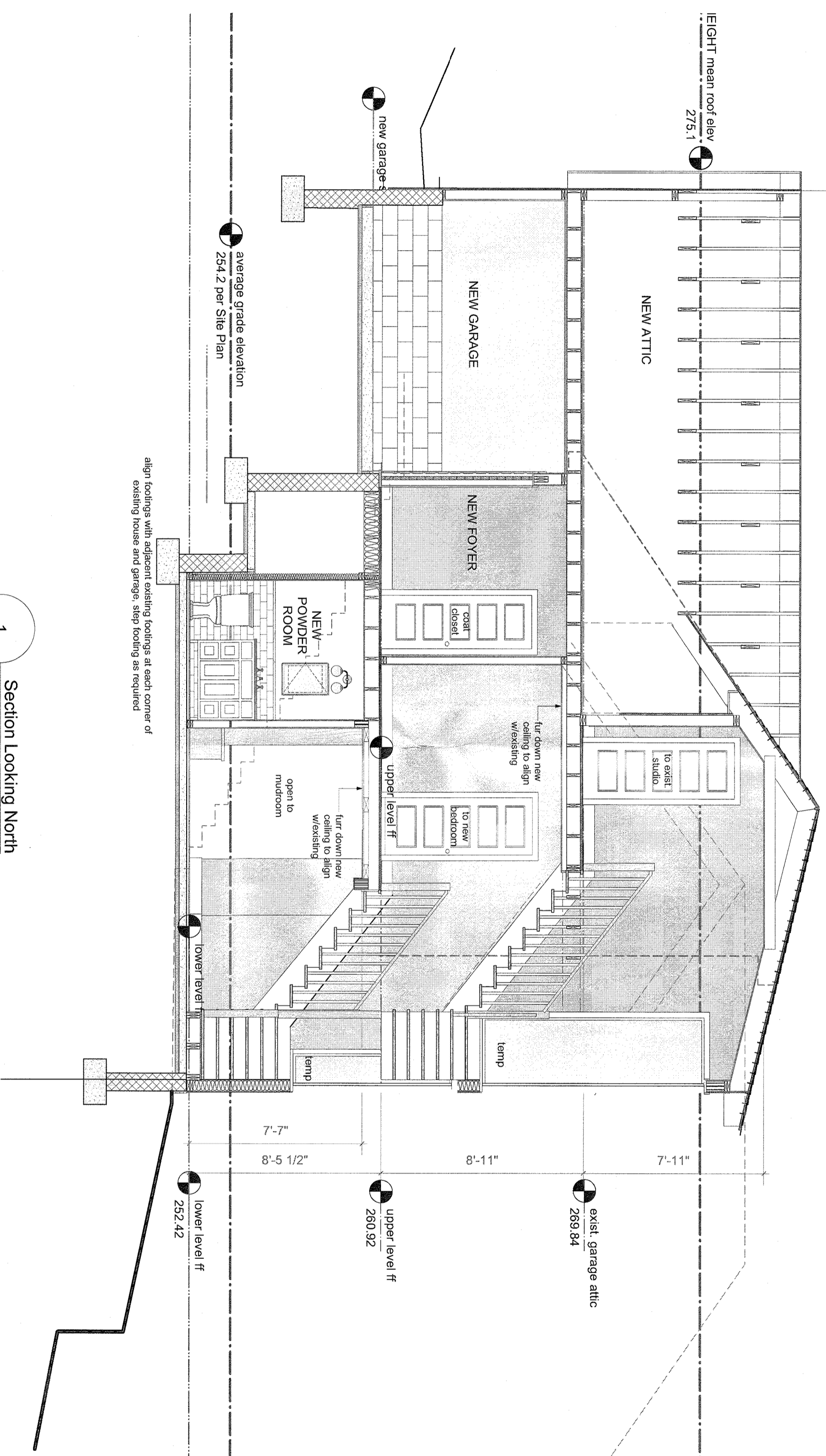
issue for Board Approval
 date 03/25/2020
 project north
 scale as noted



Building Section
 Looking North

drawing number

A-5.2



1 Section Looking North
 Scale: 1/4" = 1'-0"

additions and alterations to

Kennedy

Residence

815 Route 9W

Nyack, NY 10960

Town of Orangetown
County of Rockland

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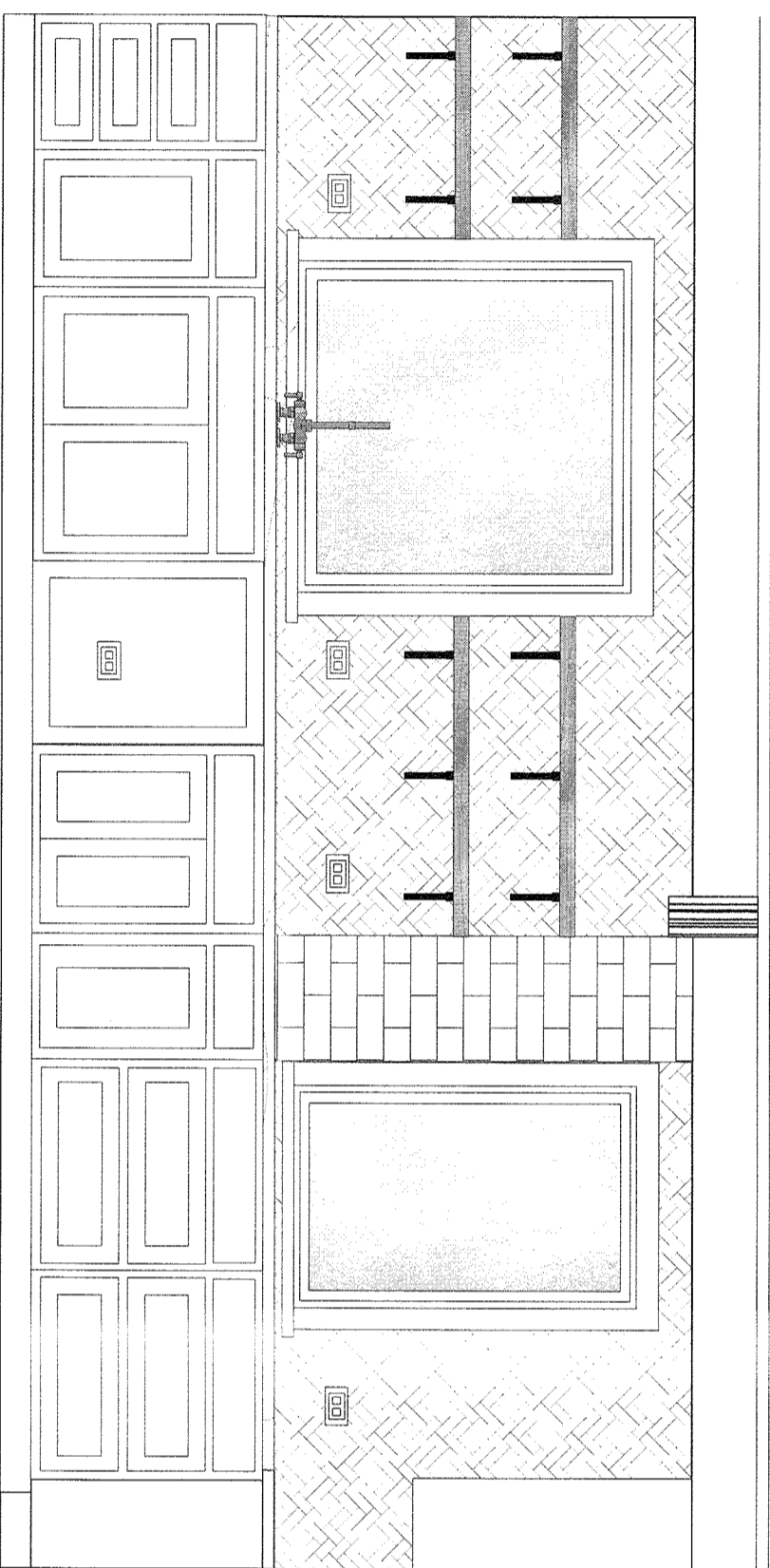
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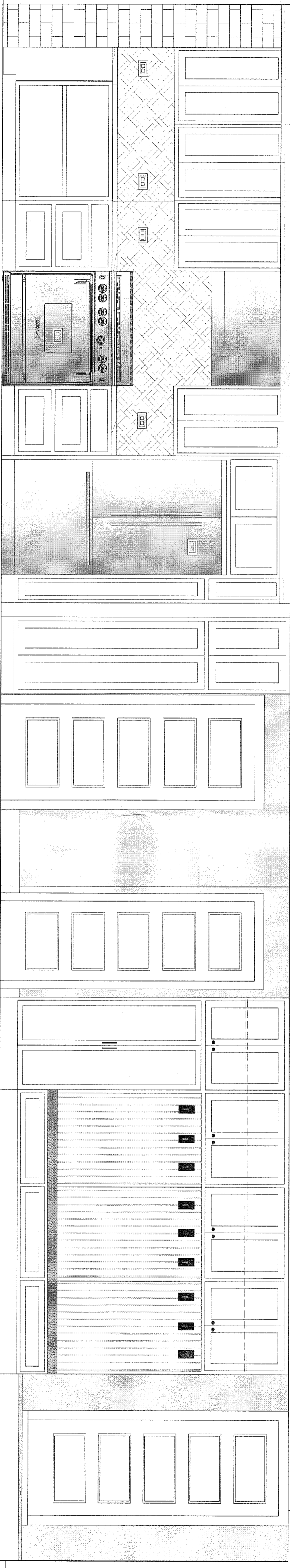
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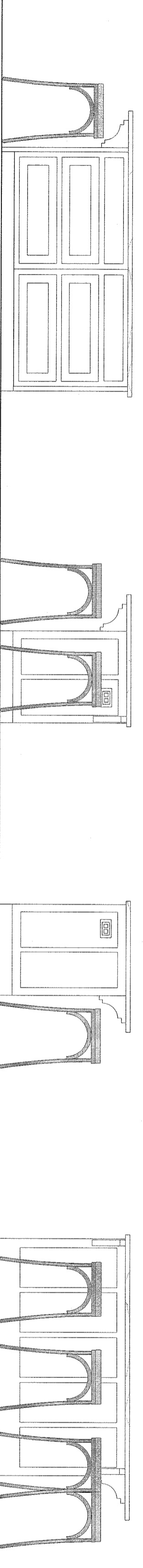
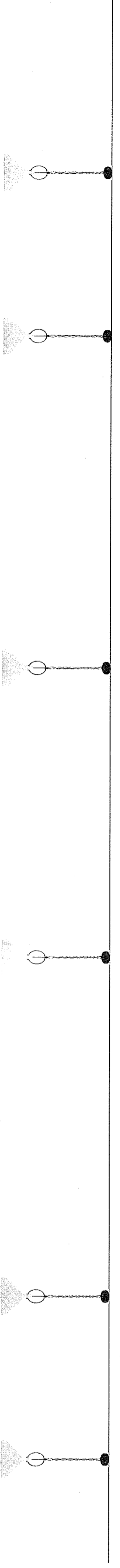
notes:



1 kitchen elevation south
Scale: 1/2" = 1'-0"



2 kitchen/mudroom elevation west
Scale: 1/2" = 1'-0"



3 kitchen island elevations
Scale: 1/2" = 1'-0"

to laundry

to bathroom

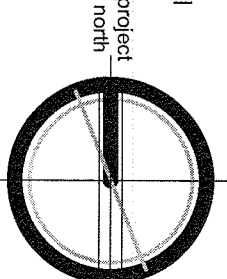
to storage



.....
previously issued

Issue for Board Approval

date 03/25/2020
scale north
as noted



Interior elevations -
Kitchen & mudroom

drawing number

A-6.1

additions and alterations to
Kennedy Residence
 815 Route 9W
 Nyack, NY 10960
 Town of Orangetown
 existing exterior wall/ckland

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notes:

fur down slab to align gwb ceilings



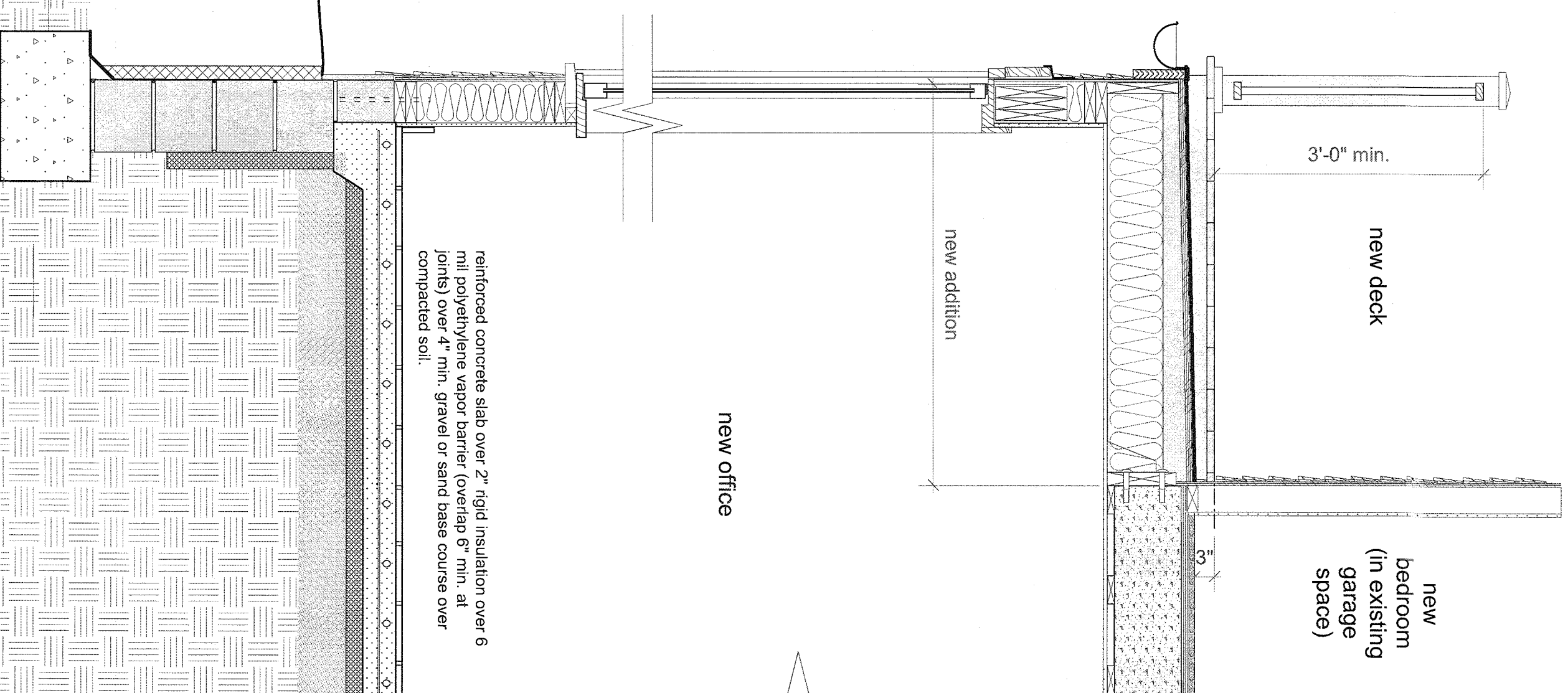
Issue for Board Approval
 date 03/25/2020
 scale as noted
 project north

Wall Sections

drawing number

A-7.1

note: any varying field conditions or discrepancies in plans shall be brought to architect's attention to discuss/solve in field



reinforced concrete slab over 2" rigid insulation over 6 mil polyethylene vapor barrier (overlap 6" min. at joints) over 4" min. gravel or sand base course over compacted soil.

new painted cedar handrail to meet code

new wood decking review with owner

office addition roof: install sleepers @ 12" oc max sloped 1/4" per ft min. over roof framing w/ 3/4" plywood sheathing (leave 1/8" gaps in plywood to allow for expansion) w/ 1/2" iso board (polyisocyanurate) on top - tight at seams, cut and spread epdm sheets w/ 6" overlap at seams and approx. 9" vertically up adj. walls; clean all debris prior to applying glue to both underside of epdm and iso board; seal all seams and openings with rubber to rubber adhesive and 12" strips of uncurd rubber. install termination stops on walls to prevent rubber from sliding off; seal top edge of brackets w/ tri/polymer caulk.

cont. copper flashing at outside edge of epdm roofing over 5/4"x8" azek fascia bd.

metal 1/2-round gutters (powder-coated, approved by owner) attached to fascia with bar brackets (by classic gutters, or eq) spaced equally

new casement windows to match existing (refer to elevations) trim and siding to match and align with existing

new exterior wall framing to be 2x6 wd studs 16" oc w/ 1/2 exterior grade plywood sheathing

install R-21 high density batt insulation or open cell spray foam and 5/8" gwb typ. ion

new tile flooring over new slab with radiant heat

double 2x6 wood sill plate (trt'd) anchor-bolted to conc. foundations - 1/2" bolts into block 15" min., 6'-0" max. o.c.; 2 per sill pc min.; 1'-0" from corner, typ. all sills.

6" conc. block top course grout solid.

slope grade away from foundation

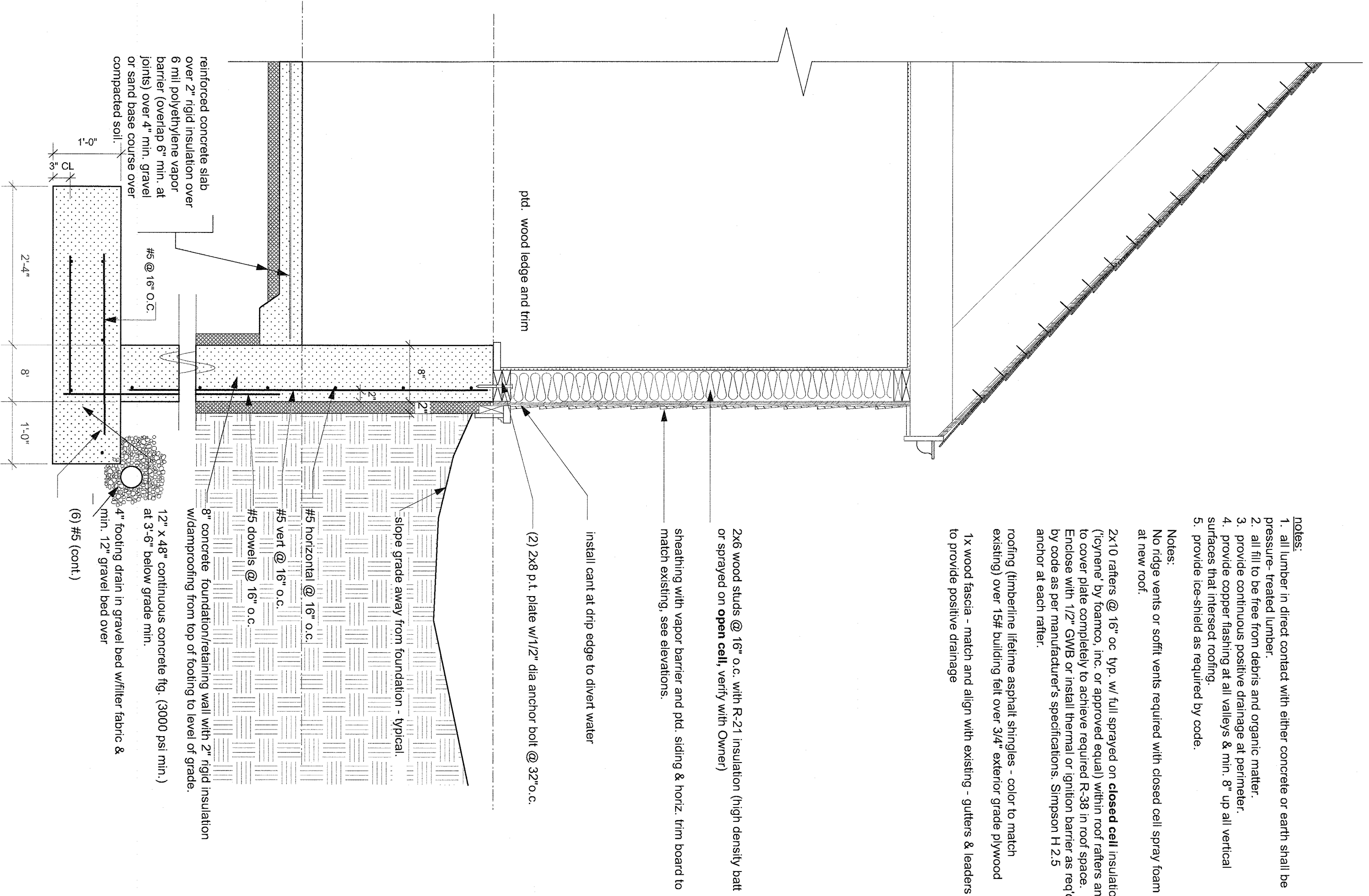
10" conc. block wall grout solid.

stucco finish to match existing over exposed foundation wall.

waterproofing membrane at conc block walls from top of footing to level of finished grade

12"x24" concrete footing - 3000 psi min. 3'-6" below grade.

1 wall section - garage
 Scale: 3/4" = 1'-0"



- Notes:
1. all lumber in direct contact with either concrete or earth shall be pressure-treated lumber.
 2. all fill to be free from debris and organic matter.
 3. provide continuous positive drainage at perimeter.
 4. provide copper flashing at all valleys & min. 8" up all vertical surfaces that intersect roofing.
 5. provide ice-shield as required by code.

Notes:

No ridge vents or soffit vents required with closed cell spray foam at new roof.

2x10 rafters @ 16" oc typ. w/ full sprayed on closed cell insulation (Icyrene by framco, inc. or approved equal) within roof rafters and to cover plate completely to achieve required R-38 in roof space. Enclose with 1/2" GWB or install thermal or ignition barrier as req'd by code as per manufacturer's specifications. Simpson H 2.5 anchor at each rafter.

roofing (timberline lifetime asphalt shingles - color to match existing) over 15# building felt over 3/4" exterior grade plywood

1x wood fascia - match and align with existing - gutters & leaders to provide positive drainage