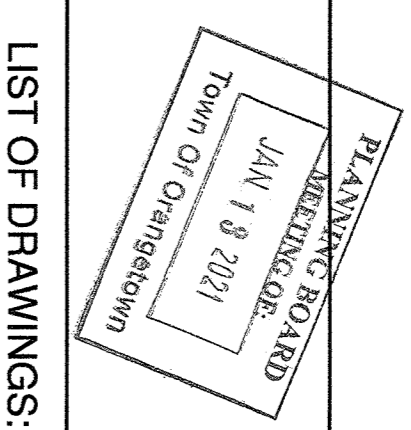


JOHNSTON RESIDENCE - NEW DECK ADDITION

155 TWEED BLVD
NYACK, NY 10960

ARCHITECT
FRACTAL ARCHITECTS
8 WRIGHT STREET #107
WESTPORT, CT 06888
TEL: 203-690-9192



LIST OF DRAWINGS:

1-1.0 TITLE SHEET
A-1.0 NEW DECK CONSTRUCTION PLAN & DETAILS

ZONING INFORMATION:

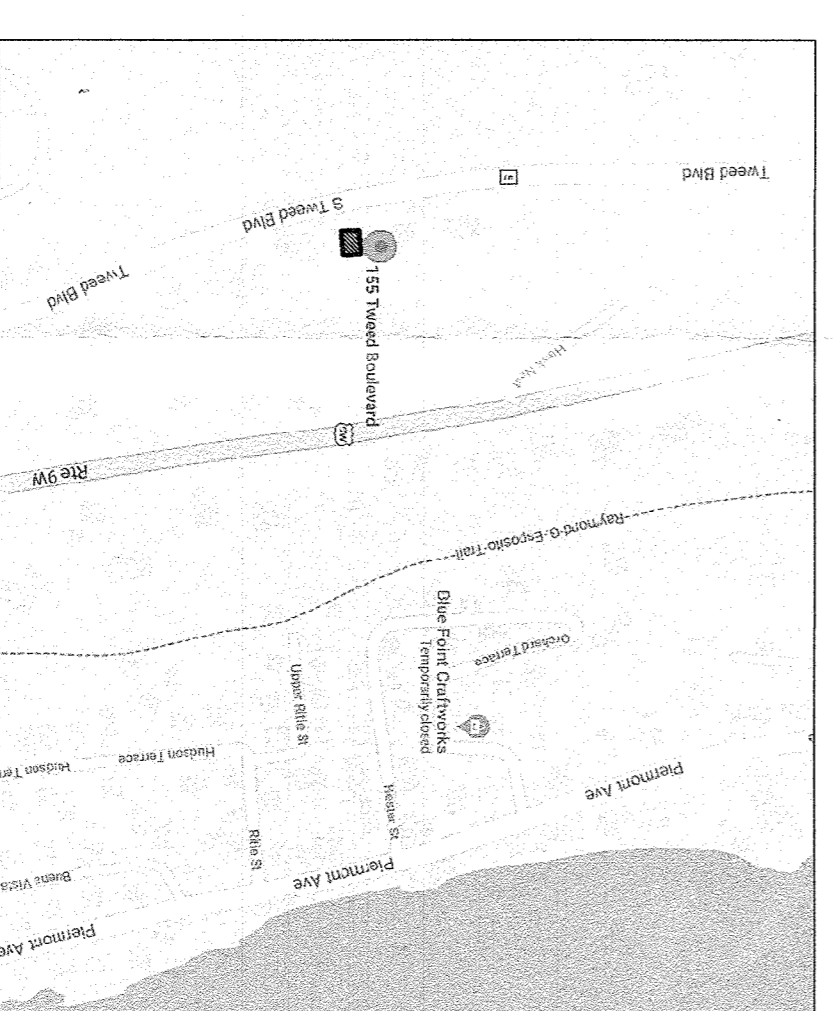
TOWN OF ORANGETOWN, ROCKLAND COUNTY, STATE OF NY
ZONING DISTRICT: R2Z
TAX SECTION/BLOCK/LOT#
75-05-1-16 - TOWN OF ORANGETOWN, 75-28-1-9 - VILLAGE OF PERMONT

SCHEDULE OF ZONING DISTRICT REGULATIONS			
USE	REQUIRED	EXISTING	PROPOSED
LOT AREA	22,500 SF	15,980 SF	NO CHANGE
LOT WIDTH	126 FT.	123.5 FT.	NO CHANGE
STREET FRONTAGE	75 FT.	120 FT.	NO CHANGE
FRONT YARD SETBACK	40 FT.	21 FT.	NO CHANGE
BOTH SIDE YARDS	25 FT.	26.25 FT.	28 FT.
REAR YARD SETBACK	60 FT.	60.25 FT.	NO CHANGE
BUILDING HEIGHT	35 FT.	30.6 FT.	NO CHANGE
HOUSE FLOOR AREA	4,250 SF	NO CHANGE	NO CHANGE
FAR	0.20	0.39	NO CHANGE

CERTIFICATION NOTE:

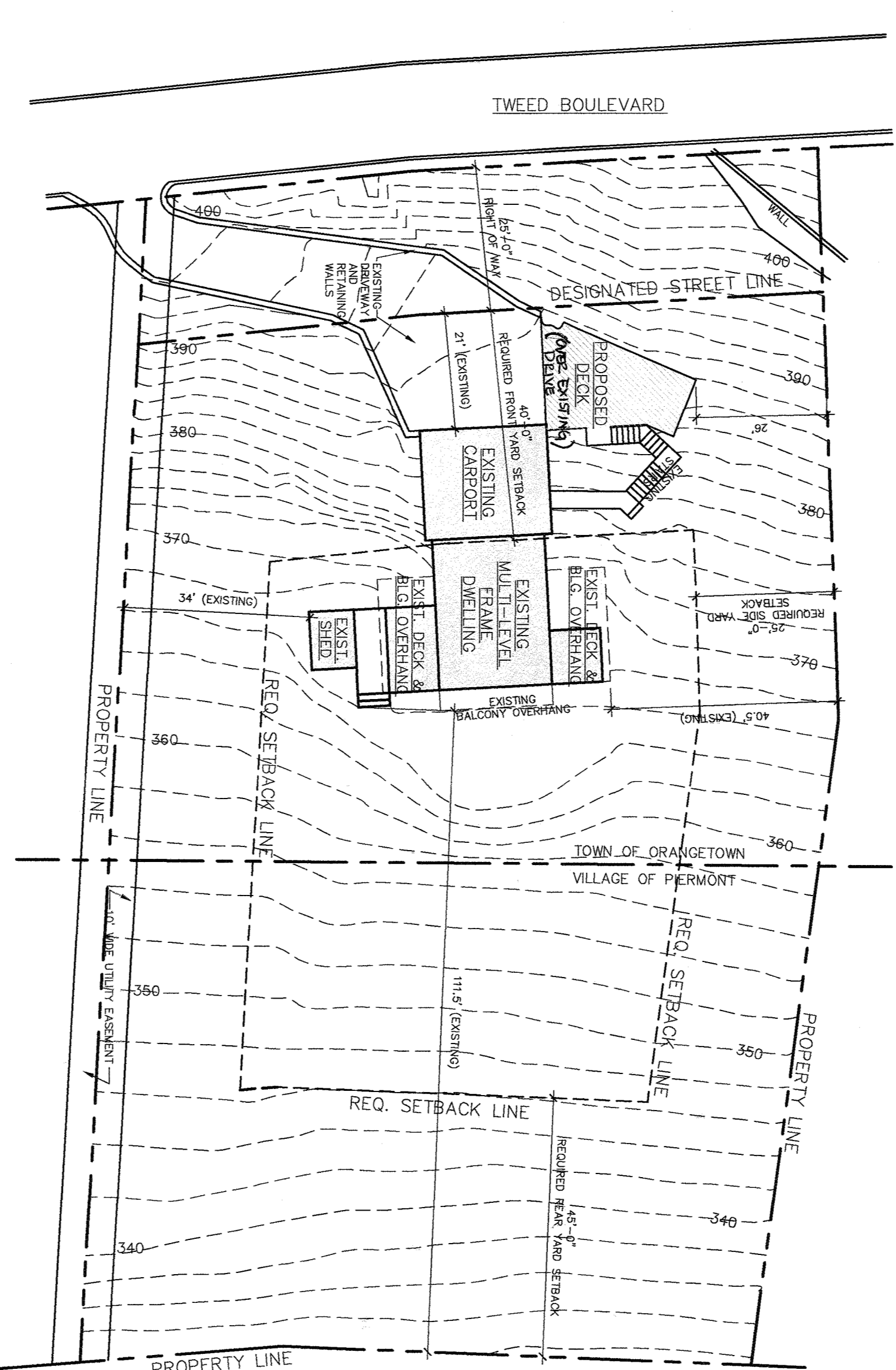
THE FOLLOWING DRAWINGS, GENERAL NOTES AND SPECIFICATIONS ARE IN COMPLIANCE WITH REQUIREMENTS OF THE 2018 INTERNATIONAL RESIDENTIAL CODE AS ADOPTED BY THE STATE OF NY AND OTHER CURRENT APPLICABLE CODES INCLUDING ENERGY CONSERVATION, TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT.
CHRISTIANNE ORTIZ, P.A. NCARB

PLOT PLAN



SITE PLAN:

NOTE:
THE SITE PLAN BELOW WAS DEVELOPED BASED ON A SURVEY PREPARED BY ANTHONY A. CELENTANO (LAND SURVEYOR) ON 10-18-02 AND A SITE PLAN PREPARED BY JULIA KHOUJUT (ARCHITECT) ON 02-05-03 FOR A PREVIOUSLY ISSUED BUILDING PERMIT.



1 SITE PLAN
1"=20'-0"

GENERAL NOTES (CONTINUED):

- ANY DEVIATION FROM WHAT IS SHOWN OR STIPULATED IN THE DRAWINGS OR THE SPECIFICATION MUST BE APPROVED BY THE ARCHITECT PRIOR TO COMMENCING WORK.
 - ALL SUBSTITUTIONS MUST BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
- SAFETY**
- THE CONTRACTOR AND ALL OF THE SUBCONTRACTORS INVOLVED IN THIS PROJECT ARE TO STAY WITHIN THE GUIDELINES SET FORTH BY LOCAL MUNICIPALITIES AND THE RESPONSIBILITY.
 - THE CONTRACTOR MUST OBTAIN AND MAINTAIN AN ACCIDENT AND DAMAGE WAIVER FROM THE OWNER AND THEIR PROPERTY IS CO-INSURED. FAILURE TO FULFILL THIS OBLIGATION DOES NOT OBLIVATE THE CONTRACTOR FROM RESPONSIBILITY.
 - THE CONTRACTOR AND ALL SUBCONTRACTORS MUST CARRY WORKER'S COMPENSATION IN ACCORDANCE WITH THE STATE OF CONNECTICUT REQUIREMENTS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING THE SITE OF DANGEROUS DEBRIS AND THAT THE BUILDING IS SECURE AT THE END OF EACH WORKING DAY.
 - THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY HAZARDOUS MATERIAL FOUND DURING THE COURSE OF THIS PROJECT. IF ANY MATERIAL IS DISCOVERED, IT SHALL BE REMOVED BY THE OWNER UNLESS OTHERWISE STATED.
- WARRANTIES**
- ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL PAYMENT UNLESS OTHERWISE NOTED IN THE SPECIFICATIONS. ANY REPAIR OR REPLACEMENT REQUIRED MUST BE APPROVED BY THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

GENERAL NOTES:

GENERAL
ALL WORK PERFORMED ON THIS PROJECT SHALL BE IN CONFORMANCE WITH ALL CODES AND REGULATIONS (INCLUDING SUBSTITUTION OVER THE PROJECT) SUBJECTS, BUT NOT LIMITED TO:
a) STATE OF NEW YORK BUILDING CODE AND ENERGY CONSERVATION CODE
b) NATIONAL AND LOCAL ELECTRICAL CODE
c) NATIONAL AND LOCAL PLUMBING CODE
d) LOCAL BOARD OF HEALTH
e) STATE OF NEW YORK AND LOCAL ENVIRONMENTAL RULES AND REGULATIONS
SHOULD THERE BE CONFLICTION BETWEEN VARIOUS REGULATIONS, THE MORE STRINGENT SHALL APPLY.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING, SHORING AND PROTECTING ALL OF HIS WORK AND THE EXISTING STRUCTURE DURING CONSTRUCTION. ALL BRACING, SHORING, COSS, AND SECURITIES AND MISALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.
CONTRACTOR SHALL COORDINATE ALL UTILITY INTERRUPTIONS INCLUDING WATER, GAS, SEWER AND ELECTRICAL. IF THE SITE IS INHABITED THE CONTRACTOR MUST SUPPLY TEMPORARY CONNECTIONS FOR UTILITIES THAT ARE DISCONNECTED FOR MORE THAN ONE DAY.
ALL ITEMS NOTED ON DRAWING AS PROVIDED BY OWNER SHALL BE INSTALLED BY THE CONTRACTOR.
CONTRACTOR SHALL PROVIDE "PORTABLE ELEM" DURING CONSTRUCTION PERIOD.
THE ARCHITECT HAS THE AUTHORITY TO REJECT WORK THAT DOES NOT CONFORM WITH THE INTENT OF THE CONTRACT DOCUMENTS. ALL WORK REJECTED WILL BE THE CONTRACTOR'S RESPONSIBILITY TO REMAIN ON REPLACE.
IN MATTERS OF QUALITY, QUANTITY AND AESTHETIC VALUE, THE ARCHITECT DECISIONS WILL BE FINAL.
RESPONSIBILITY FOR THE PLUMBING, HEATING, AIR CONDITIONING AND ELECTRICAL SYSTEMS DESIGN EXPANSION, MODIFICATION AND INSTALLATION SHALL BE AS DESIGNATED BY OWNER. ALL WORK ON THOSE SYSTEMS SHALL CONFORM TO STATE AND LOCAL CODES AND THE BEST INDUSTRY STANDARDS

DEMOLITION LEGEND:

- EXISTING WALL TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING FLOORING TO BE REMOVED
- COMPLETE EXISTING AREA TO BE REMOVED
- EXISTING HATCHING TO BE REMOVED
- CENTER LINE
- WALL TYPE
- DOOR TYPE
- WINDOW TYPE
- REVISION

CONSTRUCTION LEGEND:

- EXISTING WALL TO REMAIN (SEE FINISH SCHEDULE)
- PROPOSED WALL
- EXISTING WINDOW TO REMAIN
- PROPOSED WINDOW
- EXISTING DOOR TO REMAIN OR TO BE RELOCATED
- PROPOSED DOOR
- PROPOSED HEAD ABOVE
- PROPOSED SOFFIT LINE ABOVE



Christianne Ortiz
TITLE SHEET

Scale	AS NOTED	Date	10-05-20	Sheet	T-1.0
Project No.	2009	Drawn By	CO	Checked By	
Created By		Approved By		North Arrow	

