SYMBOLS: CONSTRUCTION LEGEND ARCHITECTURAL DEMOLITION LEGEND: <u>1</u> (X) (EX-A) REVISION FOUR INTERIOR ELEVATIONS WINDOW TYPE DOOR TYPE ELEVATION CENTER LINE DETAIL SECTION SECTION/ELEVATION DRAWING TITLE SCALE SHIFT IN SECTION OR ELEVATION COMPLETE EXISTING AREA TO BE REMOVED EXISTING FLOORING TO BE REMOVED EXISTING WALL TO BE REMOVED PROPOSED SOFFIT EXISTING WALL TO REMAIN (SEE FINISH SCHEDULE) EXISTING DOOR TO BE REMOVED EXISTING WINDOW TO BE REMOVED PROPOSED HEAD ABOVE EXISTING DOOR TO REMAIN OR TO BE RELOCATED PROPOSED WINDO EXISTING WINDOW TO REMAIN PROPOSED WALL EXISTING ROOFING TO BE REMOVED (SHEATHING TO REMAIN) PROPOSED DOOF 3) ALWAYS USE GIVEN DIMENSIONS, DO NOT SCALE OFF OF DRAWINGS FOR CONSTRUCTION PURPOSES. 4) SUBMIT SHOP DRAWINGS AS REQUESTED BY THE SPECIFICATIONS AND OR DRAWINGS. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION. 2) ALL DIMENSION OF WALLS ARE TAKEN TO FRAMING MEMBERS FOR NEW CONSTRUCTION AND TO FINISH WALL FOR EXISTING CONSTRUCTION, UNLESS OTHERWISE NOTED. COORDINATION 1) THE CONTRACTOR SHALL CHECK AND VERIFY ALL NEW AND EXISTING CONDITIONS AND SHAL REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR COMMENCING WORK IN THAT AREA. DEMOLITION 1) CONTRACTOR SHALL PROVIDE CONTINUOUS SHORING AND BRACING OF THE EXISTING STRUCTURE DURING DEMOLITION AND CONSTRUCTION. REMOVAL OF ALL BEARING WALLS WIBE IN ACCORDANCE WITH STRUCTURAL PLANS. IF ANY CONDITIONS ARE DIFFERENT THAN SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE ARCHITECT IMMEDIATELY. PLUMBING 1) ALL PLUMBING WORK SHALL CONFORM WITH LOCAL HEALTH DEPARTMENT REQUIREMENTS, NEW YORK PLUMBING CODE AND ALL STATE AND LOCAL REGULATIONS. ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE PLUMBING INSPECTOR. PROVIDE AND INSTALL FIXTURES AND FAUCETS WHERE SPECIFIED AND IN STRICT ACCORDANCE WITH MANUFACTURER'S CURRENT SPECIFICATIONS. SECURE WITH PROPER DEVICES REINFORCING THE WALL AS REQUIRED. 4) ELECTRICAL CONTRACTOR SHALL PROVIDE ALL WIRING REQUIRED FOR THE MECHANICAL SYSTEM, EXHAUST FANS, ETC.. 3) GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH OWNER'S CONSULTANTS. CONTRACTOR SHALL NOTIFY OWNER WHEN THESE TRADES CAN BE SCHEDULED TO WORK. 2) ALL ELECTRICAL WORK SHALL COMPLY TO THE REQUIREMENTS OF NATIONAL, STATE AND LOCAL ELECTRICAL CODES. ELECTRICAL 1) LIGHT FIXTURES SUPPLIED BY OWNER SHALL BE INSTALLED BY ELECTRICAL CONTRACTOR. FIXTURES DELIVERED TO SITE BY OWNER OR OWNER'S REPRESENTATIVE SHALL BE ACCEPTED BY GENERAL CONTRACTOR AND SHALL BECOME CONTRACTOR'S RESPONSIBILITY TO PROTECT THROUGH JOB COMPLETION. SITE WORK 1) CONTRACTORS SHALL PROTECT EXISTING TREES DURING CONSTRUCTION. ALL TREES AND SHAUBS IN AREA OF NEW CONSTRUCTION SHALL BE REMOVED BY OWNER'S LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL NOT STORE ANY MATERIALS ON ANY LANDSCAPED AREAS. 3) INTERIOR AND EXTERIOR TRIM SHALL BE GLUED AND NAILED AT ALL CONNECTIONS. ALL EXTERIOR GLUE SHALL BE WATER RESISTANT. 2) ALL FINISH TRIM SHALL BE STORED IN A DRY AND PROTECTED AREA. ALL TRIM SHALL BE DELIVERED TO THE SITE A MINIMUM 2 WEEKS PRIOR TO INSTALLATION. WOOD SHALL BE COMPLETELY PRIMED PRIOR TO INSTALLATION. 1) ALL WOODWORK AND MOLDING PROFILES SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL PROVIDE MOCKUP IN THE FIELD FOR APPROVAL PRIOR TO ORDERING AND INSTALLING MOLDING. ITEMS NOTED TO BE SAVED SHALL BE REMOVED BY GENERAL CONTRACTOR AND STORED.STORAGE LOCATION BY OWNER. RESPONSIBILITY FOR THE PLUMBING, HEATING, AIR CONDITIONING AND ELECTRICAL SYSTEMS DESIGN EXPANSION, MODIFICATION AND INSTALLATION SHALL BE AS DESIGNATED BY OWNER. ALL WORK ON THOSE SYSTEMS SHALL CONFORM TO STATE AND LOCAL CODES AND THE BEST INDUSTRY STANDARDS WORKMANSHIP 1) PROVIDE ALL MATERIAL, EQUIPMENT, LABOR AND METHODS OF CONSTRUCTION TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND DECRIED IN THE SPECIFICATION. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE CONNECTICUT STATE CODE, THE PRESIDING TOWN AND ANY OTHER APPLICABLE CODES HAVING JURISDICTION. 6) CARBON MONOXIDE AND SMOKE DETECTORS TO BE INSTALLED BY CODE. 5) FINAL LOCATION OF ALL LIGHT FIXTURES AND OUTLETS TO BE DETERMINED IN THE FIELD. ALL ITEMS NOTED ON DRAWING AS "PROVIDED BY OWNER" SHALL BE INSTALLED BY THE CONTRACTOR. SHOULD THERE BE CONTRADICTION BETWEEN VARIOUS REGULATIONS, THE MORE STRINGENT ALL WORK PERFORMED ON THIS PROJECT SHALL BE IN CONFORMANCE WITH ALL CODES AND REGULATIONS HAVING JURISDICTION OVER THE PROJECT SUCH AS, BUT NOT LIMITED TO: IN MATTERS OF QUALITY, QUANTITY AND AESTHETIC VALUE, THE ARCHITECT DECISIONS WILL BE THE ARCHITECT HAS THE AUTHORITY TO REJECT WORK THAT DOES NOT CONFORM WITH THE INTENT OF THE CONTRACT DOCUMENTS. ALL WORK REJECTED WILL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR OR REPLACE. CONTRACTOR SHALL PROVIDE "PORTABLE-JOHN" DURING CONSTRUCTION PERIOD. GENERAL NOTES: THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING, SHORING AND PROTECTING ALL OF HIS WORK AND THE EXISTING STRUCTURE DURING CONSTRUCTION, AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND MISALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE. CONTRACTOR SHALL COORDINATE ALL UTILITY INTERRUPTIONS INCLUDING WATER, GAS, SEWIND ELECTRICAL, IF THE SITE IS INHABITED THE CONTRACTOR MUST SUPPLY TEMPORARY CONNECTIONS FOR UTILITIES THAT ARE DISCONNECTED FOR MORE THAN ONE DAY. ALL COLORS TO BE APPROVED BY ARCHITECT. SAMPLES OF ALL FINISHES SPECIFIED SHALL SUBMITTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. STATE OF NEW YORK BUILDING CODE AND ENERGY CONSERVATION CODE NATIONAL AND LOCAL ELECTRICAL CODE STATE OF NEW YORK AND LOCAL PLUMBING CODE LOCAL BOARD OF HEALTH STATE OF NEW YORK AND LOCAL ENVIRONMENTAL RULES AND REGULATIONS NOTE: THE SITE PLAN BELOW WAS DEVELOPED BASED ON A SURVEY PREPARED BY ANTHONY R. CELENTANO (LAND SURVEYOR) ON 10-18-02 AND A SITE PLAN PREPARED BY JULIA PREVIOUSLY ISSUED BUILDING PERMIT. 5) THE ARCHITECT, DURING THE COURSE BY THE OWNER UNLE WARRANTIES 1) ALL WORK SHALL DATE OF FINAL PAYM REPLACEMENT REQU OF WORK. RESPONSIBILITY 1) EACH CONTRACTOR AND LOSS BECAUSE O OCCUR DURING THIS C THE CONTRACTOR AND ALL SUBCONTRACTORS MUST CARRY WORKER'S COMPENSATION IN ACCORDANCE WITH THE STATE OF CONNECTICUT REQUIREMENTS. 2) THE CONTRACTOR AND SUBCONTRACTORS MUST OBTAIN AND MAINTAIN AN ACCIDENT AND PUBLIC LIABILITY INSURANCE POLICY FOR THIS PROJECT, FROM COMMENCEMENT TO COMPLETION. THE CONTRACTOR MUST PROVIDE THE OWNER WITH A LETTER STATING THE OWNER AND THEIR PROPERTY IS CO-INSURED. FAILURE TO FULFILL THIS OBLIGATION DOES NOT OBVIATE THE CONTRACTOR FROM RESPONSIBILITY. CHANGES 1) ANY DEVIATION FROM WHAT IS SHOWN OR STIPULATED IN THE DRAWINGS OR THE SPECIFICATION MUST BE APPROVED BY THE ARCHITECT PRIOR TO COMMENCING WORK GENERAL NOTES (CONTINUED): SITE 4) CONTRACTOR SI THAT THE BUILDING SAFETY 1) THE CONTRACTOR AND ALL OF THE SUBCONTRACTORS INVOLVED IN THIS PROJECT ARE TO BE SAFELY WORKING WITHIN THE GUIDELINES SET FORTH BY LOCAL MUNICIPALITIES AND THE STATE OF CONNECTICUT. ALL SUBSTITUTION PLAN: SITE 1"=20'-0" TWEED BOULEVARD L BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM MENT, UNLESS OTHERWISE NOTED IN THE SPECIFICATIONS. ANY REPAIR OR NUST BE APPROVED BY THE ARCHITECT PRIOR TO COMMENCEMENT ASSUMES NO RESPONSIBILITY FOR ANY HAZARDOUS MATERIAL FOUND SE OF THIS PROJECT. IF ANY MATERIAL IS DISCOVERED, IT SHALL BE REMOVED ESS OTHERWISE STATED. ONS MUST BE AP PLAN HALL BE RESPONSIBLE FOR CLEANING THE SITE OF DANGEROUS DEBRIS AND IS SECURE AT THE END OF EACH WORKING DAY. OR INDEMNIFIES AND HOLDS THE OWNER HARMLESS FROM ALL LIABILITIES OF INJURY TO ANY PERSON OR DAMAGE TO ANY PROPERTY THAT MAY S CONTRACT. PROVED BY THE ARCHITECT PRIOR TO INSTALLATION. DESIGNATED STREET LINE. EXISTING CARPORT EXISTING JULTI-LEVEL FRAME DWELLING 34' (EXISTING) ARCHITECT FRACTAL ARCHITECTS 8 WRIGHT STREET, #107 WESTPORT, CT 06888 TEL: 203-690-9192 SETBACK SETBACK SETBACK **IWEED** 35 TOWN OF ORANGETOWN VILLAGE OF PIERMONT BL 10960 8 REQ. SETBACK LINE KHOMUT (ARCHITECT) ON 02-05 PROPERTY LINE THE FOLLOWING DRAWINGS, GENERAL NOTES AND SPECIFICATIONS ARE IN COMPLIANCE WITH REQUIREMENTS OF THE 2018 INTERNATIONAL RESIDENTIAL CODE AS ADOPTED BY THE STATE OF NY AND OTHER CURRENT APPLICABLE CODES INCLUDING ENERGY CONSERVATION, TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT. CRISTIANNE ORTIZ, RA, NCARB TAX SECTION/ BLOCK/ LOT# 75-05-1-16 - TOWN OF ORANGETOWN, 75-29-1-9 CERTIFICATION NOTE: ZONING DISTRICT: R22 ZONING INFORMATION: **PLOT PLAN** TOWN OF ORANGETOWN, ROCKLAND COUNTY, STATE OF NY SCHEDULE OF ZONING DISTRICT REGULATIONS HOUSE FLOOR ARE/ FAR Tweed Blvd SINGLE FAMILY RESIDENCE - VILLAGE OF PIERMONT 2009 AS NOTED A-1.0 NEW DECK CONSTRUCTION PLAN & DETAILS T-1.0 TITLE SHEET LIST OF DRAWINGS: TITLE SHEET Town Of Orangetown JAN 1 & 2021 PLANNING BOARD Drawn By Date 10-05-20 Plan North <u>__</u>

