

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 3/2/2010

2020 LAND USE BOARD APPLICATION

*Please check all that apply:*

<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input checked="" type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input checked="" type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): <u>Sign</u>	

PERMIT#: \_\_\_\_\_

ASSIGNED \_\_\_\_\_

INSPECTOR: \_\_\_\_\_

Referred from Planning Board: YES / NO

If yes provide date of Planning Board meeting: \_\_\_\_\_

Project Name: Cassies Restaurant

Street Address: 203 Route 303  
Orangeburg

Tax Map Designation: Section: 7415 Block: 1 Lot(s): 7

Directional Location: On the eastside side of Route 303, approximately 400 feet \_\_\_\_\_ of the intersection of light at Lowes, in the Town of ORANGETOWN in the hamlet/village of \_\_\_\_\_.

Acreage of Parcel _____	Zoning District <u>LI</u>
School District <u>SO. ORANGETOWN</u>	Postal District <u>ORANGEBURG</u>
Ambulance District <u>SO. ORANGETOWN</u>	Fire District <u>ORANGEBURG</u>
Water District <u>SUEZ</u>	Sewer District <u>TOWN</u>

Project Description: (If additional space required, please attach a narrative summary.)  
LED sign at the street

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.  
Date: 3/2/20 Applicant's Signature: [Signature]

**APPLICATION REVIEW FORM**

**Applicant:** Larry Drucker Phone # 201-923-7579

**Address:** 30 Cathy Ct., Norwood, NJ 07648  
Street Name & Number (Post Office) City State Zip Code

**Property Owner:** Bobby Kostopoulos Phone # 914-403-7188

**Address:** \_\_\_\_\_  
Street Name & Number (Post Office) City State Zip Code

**Engineer/Architect/Surveyor:** \_\_\_\_\_ Phone # \_\_\_\_\_

**Address:** \_\_\_\_\_  
Street Name & Number (Post Office) City State Zip Code

**Attorney:** \_\_\_\_\_ Phone # \_\_\_\_\_

**Address:** \_\_\_\_\_  
Street Name & Number (Post Office) City State Zip Code

**Contact Person:** Fran Drucker Phone # 917-930-0577

**Address:** 30 Cathy Ct., Norwood, NJ 07648  
Street Name & Number (Post Office) City State Zip Code

**GENERAL MUNICIPAL LAW REVIEW:**

This property is within 500 feet of:  
(Check all that apply)

**IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.**

- |   |  |
|---|--|
| <input type="checkbox"/> State or County Road | <input checked="" type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path            | <input type="checkbox"/> County Stream                   |
| <input type="checkbox"/> Municipal Boundary   | <input type="checkbox"/> County Facility                 |

List name(s) of facility checked above: Route 303

**Referral Agencies:**

- |  |  |
|--|--|
| <input type="checkbox"/> RC Highway Department       | <input type="checkbox"/> RC Division of Environmental Resources  |
| <input type="checkbox"/> RC Drainage Agency          | <input type="checkbox"/> RC Dept. of Health                      |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority       | <input type="checkbox"/> Palisades Interstate Park Commission    |
| <input type="checkbox"/> Adjacent Municipality _____ |  |
| <input type="checkbox"/> Other _____                 |  |



File

# Architectural & Community Appearance Board of Review

Date: 2/2/2020 Section: 74.15 Block: 1 Lot: 17

Project Name: Cassie's Restaurant

Project Address: 203 Route 303, Orangeburg NY

Questions to be answered and returned to ACABOR with your completed application. Please state the Brand Name, Type, Style, Model and color numbers, etc. Actual material samples will need to be produced at the hearing.

ARCHITECTURE AND COMMUNITY  
APPEARANCE BOARD OF REVIEW

1. Roof Shingles: NA

2. Siding Type: NA

3. Windows/Trim/Rail/etc: NA

MEETING DATE: 3-19-2020

4. Any stone or rock being used on the structure and/or walkway(s):  
NA

5. Facade color schemes: NA

6. Any other specific materials being used in the construction and/or renovation:  
NA

7. Do you have a landscape drawing attached? If not, please explain. (An explanation could be that the applicant is not changing the existing landscape.)  
NA

8. Where will any exterior air conditioning units be placed?  
NA

9. What type of lighting will be used in this project? And where will the lighting be placed on the property? Please provide a description.  
LED lighting sign  
Green main field with white and red lettering

10. Other Important Site and/or Architectural Features:  
Sign: New double faced sign cabinet with new faces and vinyl  
New pylon skirt 12" wide painted black; utilizing existing pole.

PERMIT EXPIRES TWO (2) YEARS FROM DATE OF ISSUANCE.  
TWO SIX (6) MONTH EXTENSIONS MAY BE GRANTED PRIOR TO EXPIRATION DATE.

**APPLICATION FOR BUILDING / DEMOLITION PERMIT**

**TOWN OF ORANGETOWN**

20 Greenbush Road, Orangeburg, NY 10962 Phone: (845) 359-8410 Fax: (845) 359-8526

**ZONE:** \_\_\_\_\_ **OFFICIAL USE ONLY** **ACREAGE:** \_\_\_\_\_

Inspector: 6/1a Date App Received: 2/14/2020 Received By: LI

Permit No. 49807 Date Issued: \_\_\_\_\_

CO No. \_\_\_\_\_ Date Issued: \_\_\_\_\_

Permit Fee: \$150 Ck# 12258 Paid By ERLD, LLC

GIS Fee: \_\_\_\_\_ Ck# \_\_\_\_\_ Paid By \_\_\_\_\_

Stream Maintenance Fee Ck# 12259 Paid By \_\_\_\_\_

Additional Fee: \_\_\_\_\_ Ck# \_\_\_\_\_ Date Paid \_\_\_\_\_ Paid By \_\_\_\_\_

1<sup>st</sup> 6 mo. Ext.: \_\_\_\_\_ Ck # \_\_\_\_\_ Exp. Date: \_\_\_\_\_ Paid By \_\_\_\_\_

2<sup>nd</sup> 6 mo. Ext.: \_\_\_\_\_ Ck # \_\_\_\_\_ Exp. Date: \_\_\_\_\_ Paid By \_\_\_\_\_

RECEIVED  
FEB 14 2020

**APPLICANT COMPLETES:**

Note: See inside for instructions for completing this application.

**PAGES 2, 3 and PAGE 4 must be reviewed and PAGES 3 & 4 must signed by the applicant.**

Property Location: 203 Route 303

Section: 74.15 Block: \_\_\_\_\_ Lot: 7

Property Owner: Bobby Kostopoulos / BK203 LLC

Mailing Address: 121 WEST NYACK RD., Nanuet 10954

Email: \_\_\_\_\_ Phone #: 914-403-7188

Lessee (Business Name): ERLD CASSIE'S RESTAURANT

Mailing Address: \_\_\_\_\_

Email: MILLEREM@AOL.COM Phone #: 917-930-0577

Type of Business /Use: RESTAURANT

Contact Person: Fran + Larry ~~Drucker~~ Drucker Relation to Project: \_\_\_\_\_

Email: MILLEREM@AOL.COM Phone#: 917-930-0577

Architect/Engineer: \_\_\_\_\_ NYS Lic # \_\_\_\_\_

Address: \_\_\_\_\_ Phone#: \_\_\_\_\_

Builder/General Contractor: \_\_\_\_\_ RC Lic # \_\_\_\_\_

Address: \_\_\_\_\_ Phone#: \_\_\_\_\_

Plumber: \_\_\_\_\_ RC Lic # \_\_\_\_\_

Address: \_\_\_\_\_ Phone#: \_\_\_\_\_

Electrician: Valentine Electric Inc RC Lic #: 384

Address: 374 Greenbush Rd., Blauvelt Phone#: 845-398-1339

Heat/Cooling: \_\_\_\_\_ RC Lic#: \_\_\_\_\_

Address: \_\_\_\_\_ Phone#: \_\_\_\_\_

Existing use of structure or land: Commercial

Proposed Project Description: Sign replacement (same size)

Proposed Square Footage: \_\_\_\_\_ Estimated Construction Value (\$): \_\_\_\_\_

**BUILDING DEPARTMENT COMPLETES BELOW**

PLANS REVIEWED: \_\_\_\_\_

**PERMIT REFERRED / DENIED FOR:**

Chapter 2, Section 2-4 requires a code manual

[Signature] 2/21/20 [Signature] 2/28/20

FOR OFFICE USE ONLY SECTION BLOCK LOT NAME PERMIT#





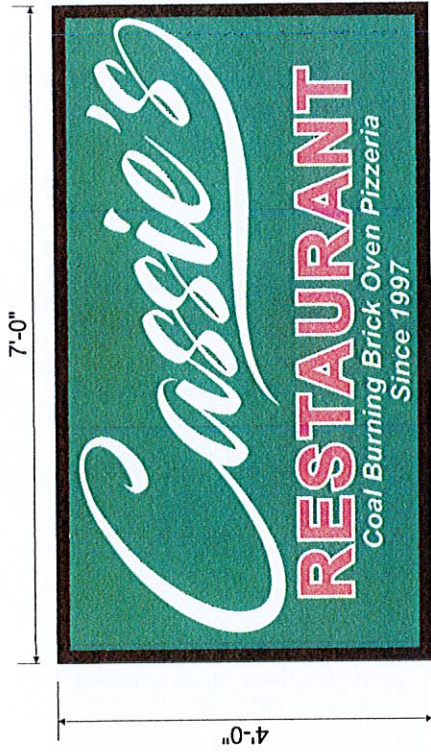
EXISTING



PROPOSED



**Frohling Sign Co.**  
DESIGNERS ▶ FABRICATORS ▶ INSTALLERS



FABRICATE AND INSTALL  
NEW DOUBLE FACED SIGN CABINET  
WITH NEW FACES AND VINYL  
NEW PYLON SKIRT 12" WIDE  
PAINTED BLACK  
UTILIZE EXISTING POLE

*NSP*

scale 1/2"=1'

PROJECT: Cassie's Restaurant	DESIGN NO.	DATE
LOCATION: 203 Route 303	SCALE	REV.
Orangeburg, N.Y.		

Customer Approval	Landlord Approval (if req.)
Customer of Project (Legible Signature)	Landlord of Project (Legible Signature)
Date of Approval:	Date of Approval:

711 Executive Blvd. Valley Cottage, N.Y. 10989 • 845-623-2258 • FAX: 845-623-2799

This original drawing copy is submitted for your personal use only. It is not to be reproduced or used in any other project without the written consent of the designer.

**FROHLING SIGN CO.**

74.15-17

FEB 14 2020

TOWN OF ORANGETOWN  
BUILDING DEPARTMENT

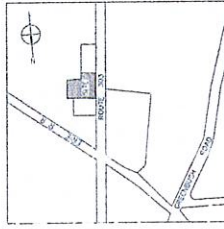


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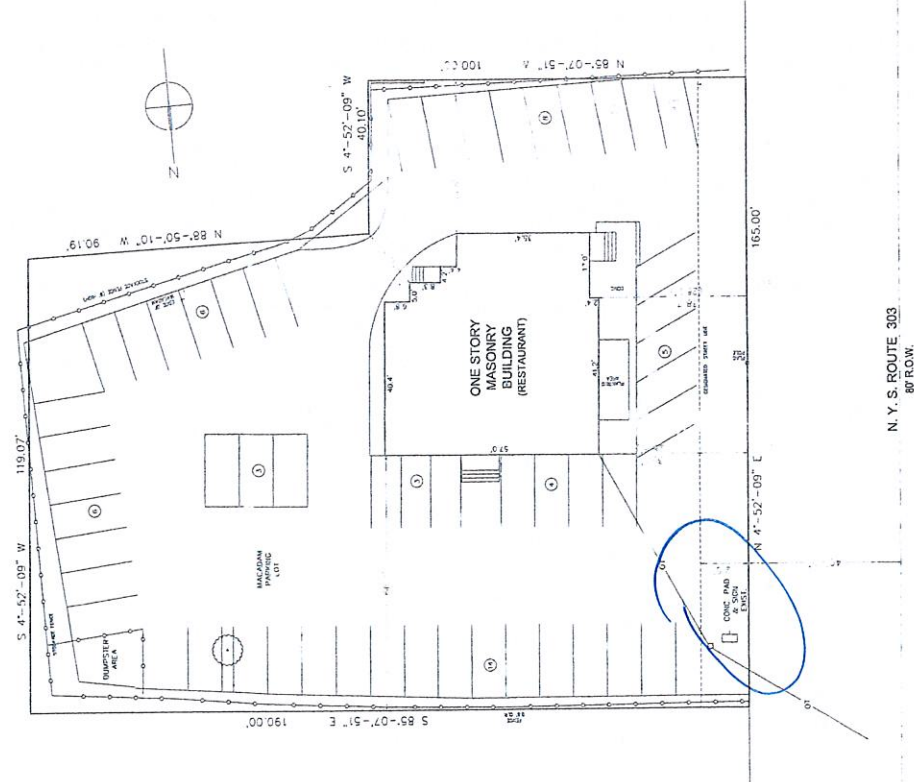
# CASSIE'S ITALIAN RESTAURANT

FEB 14 2020

TOWN OF ORANGETOWN  
BUILDING DEPARTMENT



KEY PLAN



SITE PLAN

### DISTRICTS

SCHOOL: SOUTH ORANGETOWN SCHOOL  
FIRE: FIRE DISTRICT #21  
LIGHTING: TOWN OF ORANGETOWN  
SEWER: ORANGETOWN SEWER DISTRICT  
WATER: SPRING VALLEY WATER CO.  
ZONING: LI DISTRICT, USE GROUP-QQ

### PARKING REQUIREMENTS:

RESTAURANT 1/100 SF GROSS FLOOR AREA  
REQUIRED: 3,030±SF / 100± SF PARKING SPACES  
EXISTING PARKING: 49 PARKING SPACES INCL. 2 HC  
PROPOSED USE: RESTAURANT, NO CHANGE IN USE  
BLOCK: 764 LOT: 2

SCOPE OF WORK: EXISTING RESTAURANT TO UPDATE INTERIORS, ADD ADA BATHROOMS, KITCHEN EQUIPMENT, AND FINISHES. FINISHES TO INCLUDE CARPETRY, ELECTRICAL, HVAC, PLUMBING AND ALARM WORK.

### GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICABLE REQUIREMENTS AND REGULATIONS OF THE TOWN OF ORANGETOWN, NEW YORK, AND THE STATE OF NEW YORK.
2. ALL WORK SHALL COMPLY WITH THE GOVERNING STANDARDS AND METHODS AS ESTABLISHED BY THE GOVERNING AGENCIES HAVING JURISDICTION. I.E. UL, NFPA, ETC.
3. THE CONTRACTOR SHALL FURNISH ALL WORK WITH THE GOVERNING BODIES TO OBTAIN PERMITS, APPROVALS, INSURANCE, AND COORDINATION.
4. THE CONTRACTOR SHALL FURNISH ALL NECESSARY PERMITS AND COORDINATION WITH ALL AFFECTING AGENCIES.
5. ALL CONTRACTORS SHALL FURNISH ADEQUATE INSURANCE TO PROTECT THE OWNER, ARCHITECT, & THIRD PARTIES FROM ANY CLAIMS OF PROPERTY DAMAGES, PERSONAL INJURY, & CASUALTIES WHICH MAY ARISE IN CONNECTION WITH THE PROJECT.
6. THE CONTRACTOR SHALL INVESTIGATE SITE, VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURE AND UTILITIES PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURE AND UTILITIES PRIOR TO COMMENCEMENT OF WORK.
7. THE CONTRACTOR SHALL CORRECT ALL WORK, PROVIDE LABOR AND MATERIALS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURE AND UTILITIES PRIOR TO COMMENCEMENT OF WORK.
8. THE CONTRACTOR SHALL INSTALL FIRE DETECTORS, AND SAFETY DEVICES OF AN APPROVED TYPE AS REQUIRED BY THE LOCAL AUTHORITIES HAVING JURISDICTION.
9. ALL WORK SHALL BE EXECUTED IN A GOOD WORKMANLIKE MANNER TO PROVIDE A CLASS FINISHED AND CLEANED READY FOR OPERATORS.
10. ANY ITEMS NOT SPECIFIED IN THE DRAWING, THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURE AND UTILITIES PRIOR TO COMMENCEMENT OF WORK.
11. ALL EQUIPMENT AND ACCESSORIES SHALL BEAR SAFETY STANDARD LABELS. I.E. UL, AIA, NFPA, NSF, ETC.
12. ALL FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E-84 CLASS II OR BETTER IN ROOMS, CLASS I IN EXIT CORRIDORS, PASSAGES, AND EXIT ENCLOSURES.
13. THE CARPET SHALL BE IN ACCORDANCE WITH DOC 11-1 PILL TEST.
14. ALL GLAZING SHALL COMPLY WITH ANSI Z 97.1-94 WITH LATEST EDITION.
15. THE HVAC SYSTEM SHALL BE CLEANED & CHECKED FOR CONTINUE USE BY A CERTIFIED CONTRACTOR.
16. THE CONCRETE USED SHALL BE 3000 PSI IN 30 DAYS AS PER ACI 318-09.
17. THE STRUCTURAL STEEL AS PER AISC A36-97 WITH LATEST EDITION, FABRICATED AND INSTALLED BY A CERTIFIED CONTRACTOR.
18. ALL CONCEALED SPACES SHALL BE FIRE-STOPPED AS REQUIRED WITH ALL OPENINGS IN FLOOR, WALLS, CEILING, AND EXTERIOR SURFACES SHALL BE BLOCKED.

### DRAWING LIST

1. COVER SHEET
2. PROPOSED PLAN
3. REFLECTED CEILING PLAN
4. BASEMENT PLAN & SCHEDULES
5. PLUMBING, HOOD, EQUIP. SCHEDULE
6. INTERELEVATION & DETAILS
7. BUILDING ELEVATIONS
8. BUILDING ELEVATIONS

N. Y. S. ROUTE 303  
89' R.O.W.

Project No. 201 227-101

CASSIE'S RESTAURANT  
203 ROUTE 303 ORANGETOWN, N.Y.

Architects: PALLADES DESIGN GROUP  
ARCHITECTS, P.C.  
203 ROUTE 303 ORANGETOWN, N.Y. 07831

Scale: 1/8" = 1'-0"

Sheet: COVER SHEET