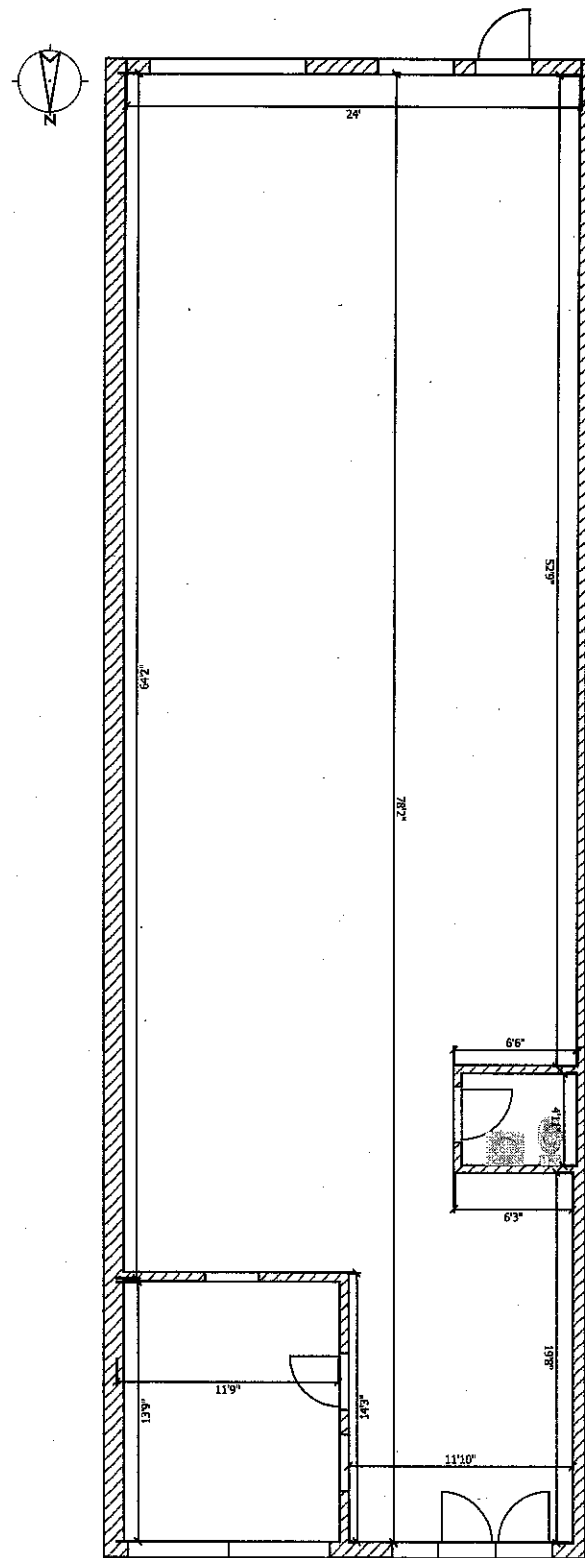


20 Mountainview Ave, Unit G, Orangeburg



Not Drawn To Scale

LEGEND

EXISTING	PROPOSED	ITEMS
---	---	PROPERTY LINE
---	---	WIRE FENCE LINE
---	---	MAN COVER MANHOLE
---	---	CLEAN-OUT
---	---	DRAINAGE MANHOLE
---	---	CATCH BASIN
---	---	WATER VALVE
---	---	GAS VALVE
---	---	UTILITY POLE
---	---	OVERHEAD ELECTRIC
---	---	LIGHT POLE
---	---	PAVEMENT PARKING
---	---	PAVEMENT ROAD

NOTES CONTINUED

- CONTINUED
- Trees designated to be preserved shall be marked conspicuously on all sides at a 0'-10' LOCAT.
- The tree protection zone for trees designated to be preserved shall be established by one of the following methods:
 - ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH
 - DRIP LINE OF TREE CANOPY
 - THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE; A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND ESTABLISHED TREE PROTECTION ZONE IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED. ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:
 - LIGHT TO HEAVY IMPACTS - MIN. OF 8" OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK
 - LIGHT IMPACTS ONLY - INSTALLATION OF 3/4" OF PLYWOOD OR BOARDING OR EQUAL OVER THE AREA TO BE PROTECTED.
- THE BUILDER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED THE FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED BY MORE THAN 6" TREES DESIGNATED TO BE PRESERVED SHALL BE HELD AND/OR PRESERVED IN A RAISED BED WITH THE TREE WELL A RADIUS OF 2' LARGER THAN THE TREE CANOPY.
- ALL LANDSCAPING SHOWN ON THE SITE PLANS SHALL BE MAINTAINED IN A HEALTHY CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT GROWING SEASON.
- PRIOR TO THE COMMENCEMENT OF ANY SITE WORK INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENTATION CONTROL AS REQUIRED BY THE PLANNING BOARD, PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK. THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING (EM&E) SHALL INSPECT FOR NON-COMPLIANCE WITH THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE APPLICANT SHALL CONTACT EM&E AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.
- THE CONTRACTOR'S TRAILER IF ANY IS PROPOSED SHALL BE LOCATED AS APPROVED BY THE PLANNING BOARD.
- IF THE APPLICANT DURING THE COURSE OF CONSTRUCTION ENCOUNTERS ANY UNUSUAL CONDITIONS OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT MAY BE NEARLY IDENTICAL TO THOSE OF THE APPLICANT SHALL REPORT SUCH CONDITIONS IMMEDIATELY TO THE APPLICANT AND TO THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING (EM&E) TO CORRECT THE CONDITIONS OR OBTAIN A MODIFICATION THEREOF. IN THE EVENT OF THE APPLICANT'S AGREEMENT WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING (EM&E) IN THE EVENT OF A SIGNIFICANT CHANGE RESULTING IN A MODIFICATION TO THE SITE PLAN OR ANY CHANGE THAT INVOLVES A MATERIAL CHANGE TO THE AREA, THE APPLICANT SHALL CONTACT THE AGENCY WITH JURISDICTION IN THAT AREA BE METLANDS-US ARMY CORPS OF ENGINEERS.
- PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE RESTORED ON THE SITE WITHIN THIRTY (30) DAYS OF THE COMPLETION OF CONSTRUCTION.
- PRIOR TO LEAVING THE SITE TO THE PLACING OF ANY ROAD SUB-PAVE THE APPLICANT SHALL PROVIDE THE TOWN OF ORANGETOWN SPECIFIC INFORMATION AND REPORTS TO THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING (EM&E) TO CORRECT THE CONDITIONS OR OBTAIN A MODIFICATION THEREOF. IN THE EVENT OF THE APPLICANT'S AGREEMENT WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING (EM&E) IN THE EVENT OF A SIGNIFICANT CHANGE RESULTING IN A MODIFICATION TO THE SITE PLAN OR ANY CHANGE THAT INVOLVES A MATERIAL CHANGE TO THE AREA, THE APPLICANT SHALL CONTACT THE AGENCY WITH JURISDICTION IN THAT AREA BE METLANDS-US ARMY CORPS OF ENGINEERS.
- THE PLANNING BOARD SHALL RETAIN JURISDICTION OVER LIGHTING, LANDSCAPING, SIGNS AND RETAIL CENTER.
- LOT DRAINAGE SHOWN SHALL CONSTITUTE CATCHMENTS RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED.
- ALL UTILITIES INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND.
- CERTIFICATE OF OCCUPANCY SHALL NOT BE REQUESTED FROM THE TOWN OF ORANGETOWN BUILDING DEPARTMENT UNTIL RESULTS OF INFILTRATION AND CONCENTRATION TESTS FOR SANITARY SEWERS ARE OBTAINED BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER AND APPROVED BY THE DIRECTOR, DIVISION OF SEWERS.
- CLEARING LIMIT AREAS MUST BE MARKED IN THE FIELD PRIOR TO ANY GRADING OR CONSTRUCTION TO AVOID ANY ENCROACHMENTS INTO THE METLAND AREA.
- ALL EXISTING CATCH BASINS TO BE RETROFITTED WITH ENVIRONMENTAL. SEE DETAIL ON SHEET 5 OF 5.

- TOWN FIRE PREVENTION NOTES:**
- INSTALL AN NFPA 13 COMPLIANT FIRE SPRINKLER SYSTEM MAINTAINED ACCORDING TO NFPA 25.
 - INSTALL AN NFPA 72 COMPLIANT FIRE ALARM SYSTEM CONNECTED TO ROCKLAND COUNTY 24-HOUR CONTROL, WITH AMBEC AND RED STROBES AS PER ORANGETOWN CODE.
 - INSTALL PORTABLE FIRE EXTINGUISHERS AS PER NFPA 10.
 - INSTALL EMERGENCY LIGHTING AS PER NEC.
 - INSTALL KEY BOX.
 - APPLY FOR AND MAINTAIN CERTIFICATE OF COMPLIANCE FIRE SAFETY WITH FIRE INSPECTORS OFFICE.
 - IF LIGHTWEIGHT TRUSSES ARE USED, A SIGN MUST BE PLACED ON THE EXTERIOR OF THE BUILDING, FACING MAIN ENTRANCE.
- ALL UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

PARKING CALCULATIONS (LOT #1):

UNIT	USE	GROSS FLOOR AREA	ONE SPACE REQUIRED PER	TOTAL SPACES REQUIRED
UNIT 20A-BAKERY	USE RETAIL	1975	1975/200=10	10
UNIT 20B-FRAME SHOP	USE RETAIL	1975	1975/200=10	10
UNIT 20C-INDUSTRIAL CLEANING SERVICE	USE COMMERCIAL	1975	1975/200=10	10
UNIT 20D-PROPOSED RESTAURANT	USE COMMERCIAL	1975	1975/200=10	10
UNIT 20E-RESTAURANT	USE RESTAURANT	5650	5650/100=57	57
UNIT 20F-FIT BODY BOOT CAMP	USE FITNESS CENTER	1975	1975/200=10	10
UNIT 20G-SIGN SHOP	USE RETAIL	1975	1975/200=10	10
TOTAL SPACES REQUIRED				123
EXISTING SPACES				4
SPACES TO BE REMOVED				78
NEW SPACES PROPOSED				123
TOTAL SPACES PROVIDED INCLUDING 4 LC SPACES				123

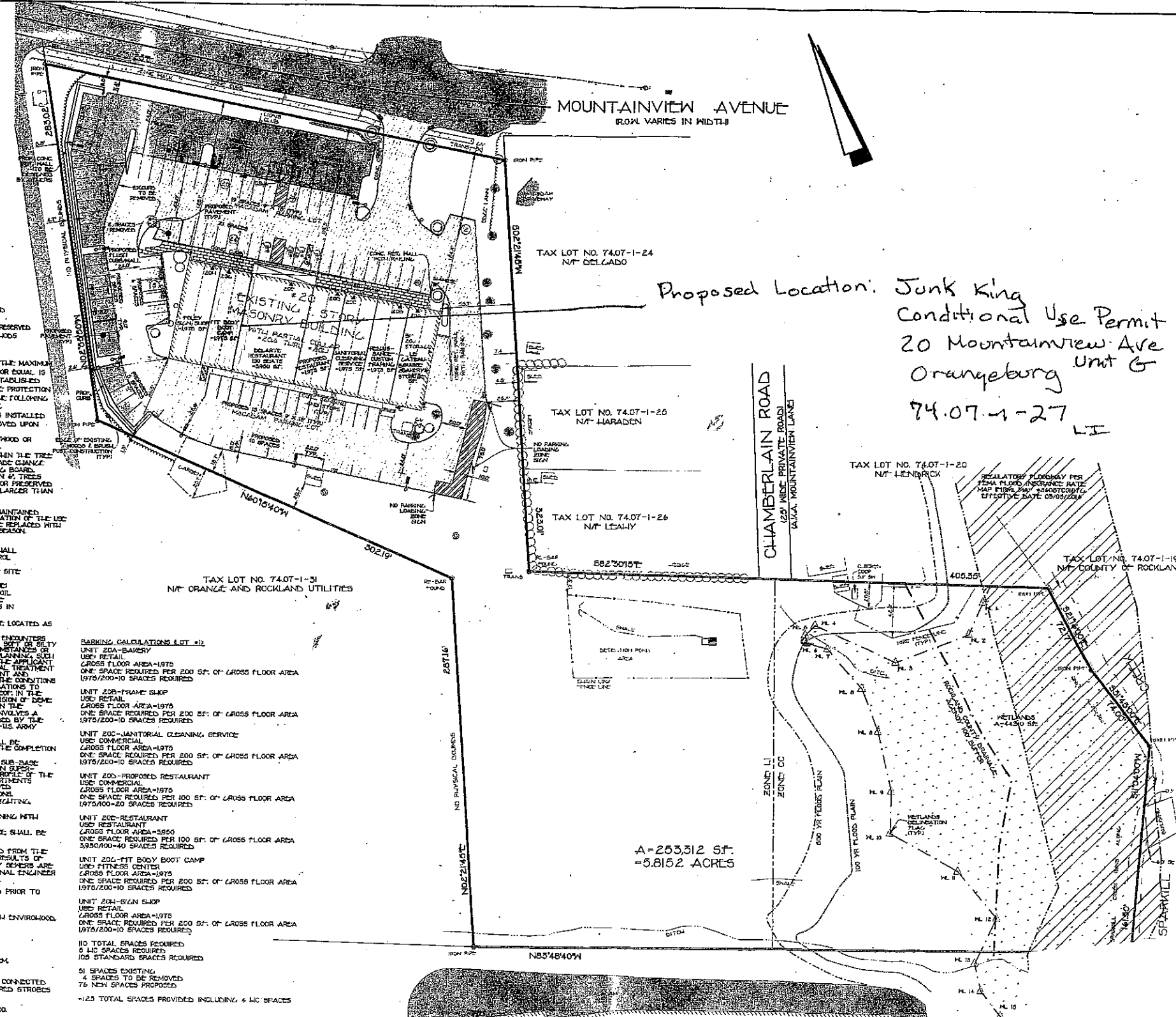
BULK TABLE

USE GROUP	MINIMUM LOT AREA	LOT WIDTH (FEET)	STREET FRONTAGE (FEET)	FRONT YARD (FEET)	SIDE YARD (FEET)	TOTAL SIDE YARD (FEET)	REAR YARD (FEET)	FLOOR AREA RATIO	PARKING	BUILDING HEIGHT (FEET)
EXISTING	253,312	150	367.10	119.4	55.7	118	66.8	.06	51*	22.5
PROPOSED	253,312	352	367.10	119.4	55.7	118	66.8	.06	123	22.5

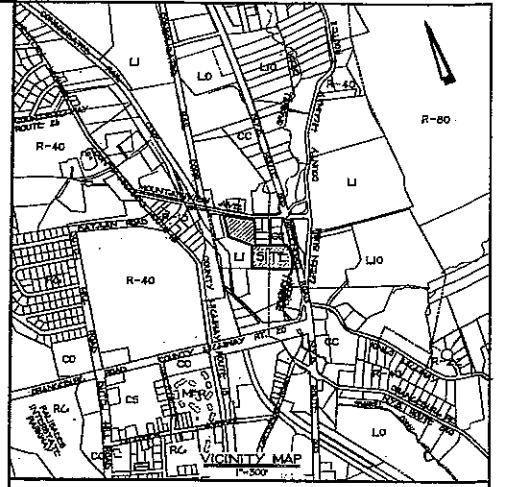
*EXISTING, NON-COMPLYING.

FLOOR AREA RATIO CALCULATIONS:
 FOOTPRINT=15,800 SF.
 15,800/253,312=0.062

IMPERVIOUS SURFACE CALCULATIONS:
 EXISTING IMPERVIOUS SURFACE=39,447 SF. / 253,312 SF. = 0.156
 PROPOSED IMPERVIOUS SURFACE=73,821 SF. / 253,312 SF. = 0.291



Proposed Location: Junk King
 Conditional Use Permit
 20 Mountainview Ave
 Orangeburg Unit G
 74.07-1-27 LI



- NOTES:**
- THIS IS A SITE PLAN OF LOT 27, BLOCK 1, SECTION 74.07 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAP.
 - AREA OF TRACT = 253,312 SF = 5.8152 AC.
 - ZONE LI CC
 - PROPOSED USE COMMERCIAL
 - DATUM: SOURCE BM TEMA MON 230. SOURCE DATUM NAVD83 7458' CONVERTED TO NAVD83 759' USING CORPSON
 - RECORD OWNER AND APPLICANT: ECH REALTY, LLC 20 MOUNTAINVIEW AVENUE ORANGETOWN, NY 10962
 - FIRE DISTRICT: ORANGETOWN
 - SCHOOL DISTRICT: ORANGETOWN SCHOOL DISTRICT
 FIRE DISTRICT: ORANGETOWN FIRE DISTRICT
 WATER DISTRICT: ORANGETOWN WATER DISTRICT
 LIGHTING DISTRICT: ROCKLAND AND ORANGE
 SEWER DISTRICT: ORANGETOWN SEWER DISTRICT
 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 235.06M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
 - AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS, AND THE OFFICE OF BUILDING ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
 - THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
 - NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER TREE CANOPY
 - THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES
- NOTES CONTINUED ON LEFT

REVISIONS

NO.	DATE	DESCRIPTION
1	01/06/2021	APPROVED BY RESOLUTION OF THE PLANNING BOARD OF THE TOWN OF ORANGETOWN ON THE 20th DAY OF 2021. SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF SAID RESOLUTION. ANY CHANGE OR CHANGE MODIFICATION OR CORRECTION TO THIS PLAN AS APPROVED SHALL VOID THIS APPROVAL. DAY OF SIGNED THIS

PLAN INFORMATION
 Owner Name: John Carollo
 Address: 20 Mountainview Ave, Orangeburg
 Unit G
 Sec-Bulk-Lot: 74.07-1-27
 Prepared By: Tom McCabe
 Date: January 6, 2021