

JRZ  
**Jenny R. Zuniga-Casal Architecture LLC.**

77 Sierra Vista Lane,  
Valley Cottage, NY 10989

T.845.598.1613

March, 2020

To: Jane Slavin

Director of Building; zoning; Planning administration and enforcement.

Project: New Construction; One Family Residence

1050 Rt  
9W Plans

Property Location: 1050 Route 9W Upper Nyack NY, 10960

Tax Map Designation: 71.09-1-28

Applicant: Cornielle Real Estate Enterprises P.E.

Architect: Jenny R. Zuniga-Casal

The Project in mention will be located in the reference address; zoning district R-22. Lot area 49,730.31 sq. ft. the new proposed total area 4,059.5 Sq. Ft.

**Project Description:**

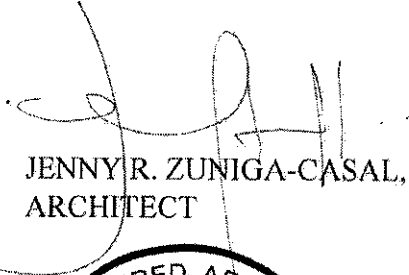
The proposed residence is a new structure designed with the intent maintain and compliant with the surrounding area. Kept the context of a residential area and environment protection, as their natural development. The architecture try to accomplish an integration of the interior and exterior space with large openings and balconies on direction of the amazing and beautiful view of the River Hudson. The new proposed consist in one family residence (2 stories building and cellar). With the following configuration :First floor with a traditional entrance Lobby; living room ; dining area ; family room; kitchen; Laundry ; pantry and two car garage; total area of 2,403.5 sq. '. Second floor that consist on 3 bedrooms with their respective closet and one bathroom; Master bedroom with their own Master bathroom and two walking closet, total area of 1,656 sq. ft. And cellar were will be located the mechanical room. Both floor sum area is 4,059.5Sq. Ft.

**Location of the new proposed structure criteria:**

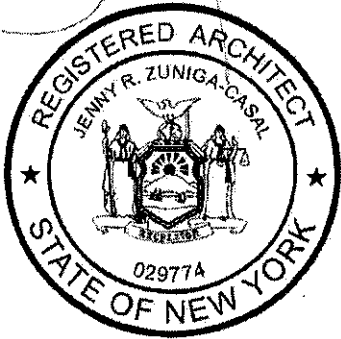
This property was purchased in 2016; with and existing traditional two stories house and basement; that had been severely affected by a fire. In 2017, the above-mentioned applicant confirmed that Orange and Rockland had retired the gas services at the curb, as well the electrical service and water services. In late 2018, the property was allowed a demo permit only for a structural demolition, as the structure was a hazard; the original foundation was left untouched. The current state of the lot is a structure-less one, with the original foundation.

The new structure will be built keeping its original use two story building, and one family residence. However, it will be located and occupied the flat space area where was located the prior building structure . We proposed improvements to accommodate the new one family residential structure comprised of two superior levels, and cellar as well as a two car garage. As a part of the improvements the existing driveway will be eliminated and we proposed a "S"

driyeway that will be comfortable to access to the new residence. Lastly, a considerable portion of the site (surrounding tress) will remain untouched and undeveloped keeping the nature of the surround area and environment. As a part of this proposed we are submitting plans with existing trees location.



JENNY R. ZUNIGA-CASAL,  
ARCHITECT



# Architectural & Community Appearance Board of Review

Date: \_\_\_\_\_ Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot: \_\_\_\_\_

Project Name: \_\_\_\_\_

Project Address 1050 RT 9W MACK, NY 10960

Questions to be answered and returned to ACABOR with your completed application. Please state the Brand Name, Type, Style, Model and color numbers, etc. Actual material samples will need to be produced at the hearing.

1. Roof Shingles: Timberline
2. Siding Type: Stucco
3. Windows/Trim/Rail/etc: Pella Windows
4. Any stone or rock being used on the structure and/or walkway(s):  
Natural Stone Colors see Rendering
5. Facade color schemes: Brown/greys
6. Any other specific materials being used in the construction and/or renovation:  
\_\_\_\_\_  
\_\_\_\_\_
7. Do you have a landscape drawing attached? If not, please explain. (An explanation could be that the applicant is not changing the existing landscape.)  
\_\_\_\_\_  
\_\_\_\_\_
8. Where will any exterior air conditioning units be placed?  
Basement
9. What type of lighting will be used in this project? And where will the lighting be placed on the property? Please provide a description.  
Exterior lights will be placed at exterior walls.
10. Other Important Site and/or Architectural Features:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: \_\_\_\_\_

### 2020 LAND USE BOARD APPLICATION

*Please check all that apply:*

<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input checked="" type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

**PERMIT#:** \_\_\_\_\_  
**ASSIGNED** \_\_\_\_\_  
**INSPECTOR:** \_\_\_\_\_

Referred from Planning Board: YES / NO  
If yes provide date of Planning Board meeting: \_\_\_\_\_

Project Name: 1050 Route 9W - New Residence

Street Address: 1050 Route 9W

**Tax Map Designation:**

Section: 7109 Block: 1 Lot(s): 28  
Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

Directional Location: see site plan

On the \_\_\_\_\_ side of \_\_\_\_\_, approximately \_\_\_\_\_ feet \_\_\_\_\_ of the intersection of \_\_\_\_\_, in the Town of ORANGETOWN in the hamlet/village of \_\_\_\_\_.

Acreage of Parcel <u>49,730.31 SF</u>	Zoning District <u>R-22</u>
School District _____	Postal District _____
Ambulance District _____	Fire District _____
Water District _____	Sewer District _____

**Project Description:** (If additional space required, please attach a narrative summary.)

IT IS ATTACHED NARRATIVE SUMMARY

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 03/04/20 Applicant's Signature: [Signature]

**APPLICATION REVIEW FORM**

**Applicant:** Paola Cornielle Phone # 646-369-0287  
**Address:** 162 Princeton Tappan NY 10983  
Street Name & Number (Post Office) City State Zip Code

**Property Owner:** Paola Cornielle Phone # 646-369-0287  
**Address:** 162 Princeton Dr Tappan NY 10983  
Street Name & Number (Post Office) City State Zip Code

**Engineer/Architect/Surveyor:** Jenny R. Zuniga-Cast Phone # 845-598-1613  
**Address:** 77 Sierra Vista Ln. Valley Cottage NY 10989  
Street Name & Number (Post Office) City State Zip Code

**Attorney:** \_\_\_\_\_ Phone # \_\_\_\_\_  
**Address:** \_\_\_\_\_  
Street Name & Number (Post Office) City State Zip Code

**Contact Person:** BRIAN Boachin Phone # 1-914-261-8372  
**Address:** 118 RT 59 WYACK NY 16960  
Street Name & Number (Post Office) City State Zip Code

**GENERAL MUNICIPAL LAW REVIEW:**

This property is within 500 feet of:  
(Check all that apply)

**IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.**

- |   |   |
|---|---|
| <input type="checkbox"/> State or County Road | <input type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path            | <input type="checkbox"/> County Stream        |
| <input type="checkbox"/> Municipal Boundary   | <input type="checkbox"/> County Facility      |

List name(s) of facility checked above:

**Referral Agencies:**

- |  |  |
|--|--|
| <input type="checkbox"/> RC Highway Department       | <input type="checkbox"/> RC Division of Environmental Resources  |
| <input type="checkbox"/> RC Drainage Agency          | <input type="checkbox"/> RC Dept. of Health                      |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority       | <input type="checkbox"/> Palsades Interstate Park Commission     |
| <input type="checkbox"/> Adjacent Municipality _____ |  |
| <input type="checkbox"/> Other _____                 |  |

FREE SHIPPING on Most Orders\*

OPEN BOX | ACCOUNT | STORES | CHAT | 800-782-1967

**LAMPS PLUS**  
THE NATION'S LARGEST LIGHTING RETAILER

Search



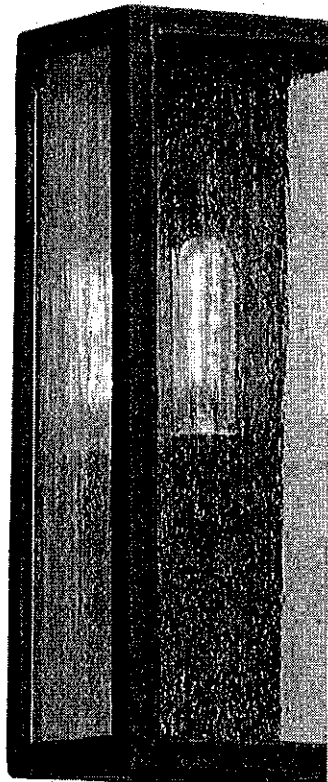
INSPIRATION

SAVED

CART 0

Home / Outdoor Lighting / Contemporary / Troy / Dixon 16 3/4" High Vintage Bronze Outdoor Wall Light

< Go Back



### Dixon 16 3/4" High Vintage Bronze Outdoor Wall Light

- Style # 1W032

1 Review | 2 Questions, 2 Answers

**\$228.00**

FREE SHIPPING & FREE RETURNS\* | [Low Price Guarantee](#)

IN STOCK - [Ships in 1 to 2 Days](#)

1

ADD TO CART

SAVE

With its panes of clear seeded glass, the Dixon industrial outdoor wall light by Troy Lighting is finished in vintage bronze.

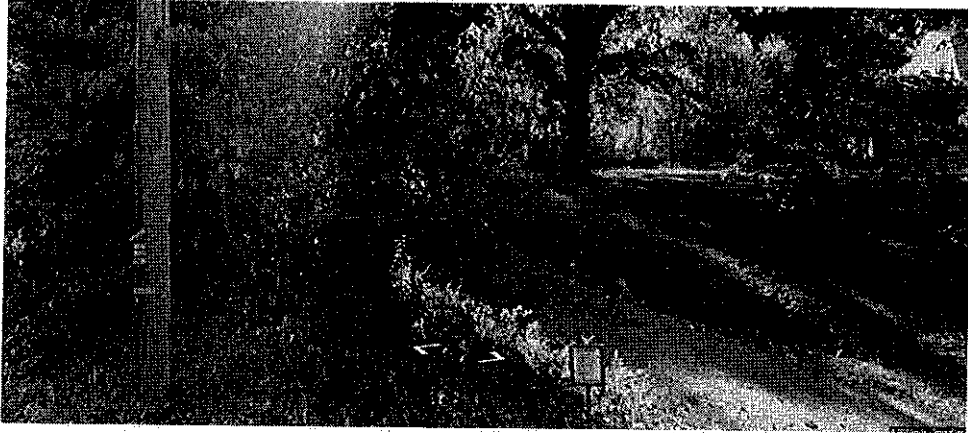
[MORE DETAILS >](#)



CHAT

VIEW IN YOUR ROOM

1050 9W ROUTE-EXISTING HOUSE AFTER FIRE  
REMAINED FOUNDATION AND INSTALLATIONS; EXISTING DRIVEWAY



1050 9W ROUTE- RIGTH SIDE EXISTING HOUSE



1050 9W ROUTE-LEFT SIDE EXISTING HOUSE



# 1050 9W ROUTE-CROSS STREET RESIDENCES





**PB #19-20: 1050 Route 9W Site Plan  
Critical Environmental Area  
Final Site Plan Approval Subject to Conditions  
Neg. Dec.**

**Permit #48371**

**Town of Orangetown Planning Board Decision  
February 26, 2020  
Page 1 of 12**

**TO: Brian Joachim, 118 Route 59, and Nyack, New York  
FROM: Orangetown Planning Board**

**RE: 1050 Route 9W Site Plan - Critical Environmental Area:**  
The application of Cornielle Real Estate, owner, for a Prepreliminary/ Preliminary/ Final Site Plan Review at a site to be known as "1050 Route 9W Site Plan", in accordance with Article 16 of the Town Law of the State of New York, the Land Development Regulations of the Town of Orangetown, Chapter 21A of the Code of the Town of Orangetown and to determine the environmental significance of the application pursuant to the requirements of the New York State Environmental Quality Review Act. The site is located at 1050 Route 9W, Upper Grandview, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 71.09, Block 1, Lot 28; in the R-22 zoning district.

Heard by the Planning Board of the Town of Orangetown at meetings held **March 27 & November 13, 2019, and February 26, 2020**, at which time the Board made the following determinations:

**March 27, 2019**

Brian Joachim and Paula Cornielle appeared and testified.

The Board received the following communications:

1. A Project Review Report dated March 20, 2019.
2. An Interdepartmental memorandum from the Office of Building, Zoning, Planning Administration and Enforcement, Town of Orangetown, signed by Jane Slavin, R.A., A.I.A., Director, dated March 22, 2019.
3. An Interdepartmental memorandum from the Department of Environmental Management and Engineering (DEME), Town of Orangetown, signed by Bruce Peters, P.E., dated March 21, 2019.
4. A letter from Brooker Engineering, signed by Kenneth DeGennaro, P.E., dated March 19, 2019.
5. A letter from Rockland County Department of Planning, signed by Douglas Schuetz, Acting Commissioner of Planning, dated March 27, 2019.
6. Letters from Rockland County Highway Department, signed by Dyan Rajasingham, Engineer III, dated March 7, 2019 and Joseph Arena, dated March 11, 2018.
7. Letters from Rockland County Department of Health, signed by Elizabeth Mello, P.E., dated March 12, 2019.
8. A letter from the Town of Orangetown Zoning Board of Appeals, signed by Daniel W. Sullivan, Chairman, dated March 6, 2019.
9. A Project Narrative prepared by Jenny Zuniga-Casal Architecture LLC, dated February, 2019.

TOWN OF ORANGETOWN  
TOWN CLERK'S OFFICE  
2020 MAR 19 4 17

**PB #19-20: 1050 Route 9W Site Plan  
Critical Environmental Area  
Final Site Plan Approval Subject to Conditions  
Neg. Dec.**

**Permit #48371**

**Town of Orangetown Planning Board Decision  
February 26, 2020  
Page 2 of 12**

10. Site Plan entitled Proposed Dwelling for 1050 Route 9W, prepared by Anthony Celentano, P.E., dated March 20, 2017, last revision date of February 19, 2019.

11. Architectural Plans entitled New Construction Cornielli Real Estate Enterprises, 1050 Route 9W, prepared by Jenny Zuniga-Casal, R.A., dated October 24, 2018, last revision date of November 7, 2018.

12. A Short Environmental Assessment Form signed by Brian Joachim, dated December 24, 2018.

13. Building Permit Referral to the Planning Board dated November 28, 2018 prepared by Rick Oliver, Building Inspector.

The Board reviewed the plans. The hearing was opened to the Public.

**Public Comment:**

Peter Roy, 160 Route 9W, Upper Grandview, raised concerns regarding the impact of the proposed development on drainage in the neighborhood to the north. At this time, there is a water problem especially in the winter.

The applicant requested a **CONTINUATION**.

**November 13, 2019**

Paola Corniello and Anthony Celantano appeared and testified.

The Board received the following communications:

1. Project Review Reports dated October 16 and November 8, 2019.

2. An Interdepartmental memorandum from the Office of Building, Zoning, Planning Administration and Enforcement, Town of Orangetown, signed by Jane Slavin, R.A., A.I.A., Director, dated October 18, 2019.

3. An Interdepartmental memorandum from the Department of Environmental Management and Engineering (DEME), Town of Orangetown, signed by Bruce Peters, P.E., dated October 18, 2019.

4. A letter from Brooker Engineering, signed by Kenneth DeGennaro, P.E., dated October 23, 2019.

5. A letter from Rockland County Department of Planning, signed by Douglas Schuetz, Acting Commissioner of Planning, dated October 7, 2019.

6. A letter from Rockland County Department of Health, signed by Elizabeth Mello, P.E., dated October 21, 2019.

7. Site Plan entitled Proposed Dwelling for 1050 Route 9W, prepared by Anthony Celentano, P.E., dated March 20, 2017, last revision date of May 11, 2019.

TOWN CLERK'S OFFICE

2020 MAR 16 A 9 11

TOWN OF ORANGETOWN

**PB #19-20: 1050 Route 9W Site Plan  
Critical Environmental Area  
Final Site Plan Approval Subject to Conditions  
Neg. Dec.**

**Permit #48371**

**Town of Orangetown Planning Board Decision  
February 26, 2020  
Page 3 of 12**

8. Architectural Plans entitled New Construction Cornielli Real Estate Enterprises, 1050 Route 9W, prepared by Jenny Zuniga-Casal, R.A., dated October 24, 2018, last revision date of April 10, 2019.
9. A letter from Paola Cornielle, Cornielle Real Estate, dated October 29, 2019.

The Board reviewed the plans. The hearing was opened to the Public.

The applicant requested a **CONTINUATION**.

**February 26, 2020**

Jenny Zuniga-Casal and Anthony Celantano appeared and testified. The Board received the following communications:

1. Project Review Reports dated January 22 and February 21, 2020.
2. Interdepartmental memorandum from the Office of Building, Zoning, Planning Administration and Enforcement, Town of Orangetown, signed by Jane Slavin, R.A., A.I.A., Director, dated January 24 & February 24, 2020.
3. An Interdepartmental memorandum from the Department of Environmental Management and Engineering (DEME), Town of Orangetown, signed by Bruce Peters, P.E., dated January 24 & February 24, 2020.
4. A letter from Brooker Engineering, signed by Kenneth DeGennaro, P.E., dated February 26, 2020.
5. Plans entitled Proposed Dwelling for 1050 Route 9W, prepared by Anthony Celantano, P.E., dated March 20, 2017, last revision date of February 7, 2020, with an attachment of a memo dated February 7, 2020:
  - Sheet 1 of 6: Site Plan
  - Sheet 2 of 6: Proposed Erosion Control Plan
  - Sheet 3 of 6: Proposed Landscape & Lighting Plan
  - Sheet 4 of 6: Existing Plan
  - Sheet 5 of 6: Proposed Profile Plan
6. Architectural Plans entitled New Construction Cornielli Real Estate Enterprises, 1050 Route 9W, prepared by Jenny Zuniga-Casal, R.A., dated October 24, 2018, last revision date of January 29, 2020.

The Board reviewed the plans. The hearing was opened to the Public.

There being no one from the Public, a motion was made to close the Public Hearing portion of the meeting by Michael Mandel and second by Stephen Sweeney and carried as follows: Thomas Warren - Chairman, absent; William Young- Vice Chairman, aye; Michael Mandel, aye; Andrew Andrews, aye; Bruce Bond, aye; Robert Dell, aye; Stephen Sweeney, aye, and Michael McCrory, aye.

TOWN CLERK'S OFFICE  
2020 MAR 16 A 9:17  
TOWN OF ORANGETOWN

**PB #19-20: 1050 Route 9W Site Plan  
Critical Environmental Area  
Final Site Plan Approval Subject to Conditions  
Neg. Dec.**

**Permit #48371**

**Town of Orangetown Planning Board Decision  
February 26, 2020  
Page 4 of 12**

The proposed action is classified as an "unlisted action" as defined by Section 617.2 (ak) of the New York State Environmental Quality Review Regulations (SEQRR). No agency, other than the Orangetown Planning Board will have any significant involvement in the review process, pursuant to Section 617.6 of SEQRA. On motion by Bruce Bond and second by Stephen Sweeney and carried as follows: Thomas Warren - Chairman, absent; William Young- Vice Chairman, aye; Michael Mandel, aye; Bruce Bond, aye; Andrew Andrews, aye; Robert Dell, aye; Stephen Sweeney, aye, and Michael McCrory, aye, the Board declared itself Lead Agency.

Pursuant to New York Code, Rules & Regulations (NYCRR) Section 617.7, the Town of Orangetown Planning Board, as lead agency, for the reasons articulated in this Board's analysis of all of the submissions by the applicant, interested agencies, departments and the public, with respect to this project including the Environmental Assessment Form, which reasons are summarized in the motion, hereby determines that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared.

After having identified the relevant areas of environmental concern, namely drainage, surface water runoff, land clearing, vegetation, fauna, traffic and noise levels, and after having taken a hard look at said environmental issues, and after having deliberated regarding such concerns, and having heard from the applicant, and having heard from the following offices, officials and/or Departments: (Town of Orangetown): Office of Building, Zoning, Planning Administration and Enforcement and Department of Environmental Management and Engineering; and having heard from the following involved and interested agencies: Town of Orangetown Zoning Board of Appeals, Rockland County Department of Highway, Rockland County Health Department, Rockland County Sewer District #1 and New York State Department of Transportation and having reviewed the drawings presented by the applicant's professional consultant; Anthony Celentano, P.E., a summary of the reasons supporting this determination are, and the Planning Board finds that the proposed action:

- Will not significantly affect existing air quality or noise levels;
- Will not significantly affect existing surface water quality or quantity or drainage;
- Will not significantly affect existing ground water quality or quantity;
- Will not significantly affect existing traffic levels;
- Will not create a substantial increase in solid waste production;
- Will not create a potential for erosion, flooding, leaching or drainage problems;

TOWN CLERK'S OFFICE

2020 MAR 19 A 9 17

TOWN OF ORANGETOWN

**PB #19-20: 1050 Route 9W Site Plan  
Critical Environmental Area  
Final Site Plan Approval Subject to Conditions  
Neg. Dec.**

**Permit #48371**

**Town of Orangetown Planning Board Decision  
February 26, 2020  
Page 5 of 12**

- Will not have a significant adverse impact on the environmental characteristics of our critical environmental area or environmentally sensitive sites or features;
- Will not have an impairment of the character or quality of important historical, archeological or architectural resources;
- Will not have an impairment of the character or quality of important aesthetic resources;
- Will not have an impairment of existing community or neighborhood character;
- Will not remove or destroy large quantities of vegetation or fauna;
- Will not remove or destroy large quantities of wildlife species or migratory fish;
- Will not have a significant adverse impact to natural resources;
- Is consistent with the Town of Orangetown Comprehensive/Master Plan;
- Will not have adverse economic or social impacts upon the Town;
- Will not create a hazard to human health; and
- Will not create a substantial change in the use of land, open space or recreational resources.

On motion by Bruce Bond and second by Michael Mandel and carried as follows: Thomas Warren - Chairman, absent; William Young- Vice Chairman, aye; Michael Mandel, aye; Michael McCrory, aye; Robert Dell, aye; Bruce Bond, aye; Stephen Sweeney, aye, and Andrew Andrews, aye, the Board made a Negative Declaration pursuant to SEQRA.

**DECISION:** In view of the foregoing and the testimony before the Board, the application was granted **Final Site Plan Approval Subject to the Following Conditions:**

1. The following note shall be placed on the Site Plan: "At least one week prior to the commencement of any work, including the installation of erosion control devices or the removal of trees and vegetation, a pre-construction meeting must be held with the Town of Orangetown Department of Environmental Management and Engineering, Superintendent of Highways and the Office of Building, Zoning and Planning Administration and Enforcement. It is the responsibility and obligation of the property owner to arrange such a meeting."

TOWN OF ORANGETOWN  
2020 MAR 16 A 9 17  
TOWN CLERK'S OFFICE

**PB #19-20: 1050 Route 9W Site Plan  
Critical Environmental Area  
Final Site Plan Approval Subject to Conditions  
Neg. Dec.**

**Permit #48371**

**Town of Orangetown Planning Board Decision  
February 26, 2020  
Page 6 of 12**

2. The following note shall be placed on the Site Plan regarding Stormwater Management Phase II Regulations: Additional certification, by an appropriate licensed or certified design professional shall be required for all matters before the Planning Board indicating that the drawings and project are in compliance with the Stormwater Management Phase II Regulations.
3. All outdoor construction activities, including site clearing operations if applicable, shall take place between the hours of 7:00 a.m. and 7:00 p.m., Monday through Saturday. No such activities shall take place on Sunday or a legal holiday. The same criteria shall apply to indoor construction activities, except that such activities may take place between the hours of 7:00 a.m. and 10:00 p.m.
4. The application shall be reviewed by the Town of Orangetown Architecture and Community Appearance Board of Review.
5. The drainage calculations provided are under review by DEME. The cover letter to the drainage calculations states that "Percolation test were performed and they failed, therefore..." The location of these test(s) shall be shown on the plan. Copies of these tests shall be submitted to the Planning Board and DEME. If the perc tests failed, how will that impact the proposed 18 inch perforated HDPE? Also, an analysis of the capacity of the NYS's existing drainage system shall be submitted. All of this information shall be added to a revised set of drainage calculations.
6. Determination of groundwater elevation, in the location of the proposed subsurface detention system, shall be administered at the proposed drywell location. This test shall be performed **PRIOR** to this proposal receiving **Final Approval** to ensure the adequacy of the proposed design. This information shall be added to the drainage calculations. The test shall be performed in the spring when the ground water table is typically at its highest. The applicant's engineer shall provide a copy of the groundwater determination test results to the Planning Board, Building Department and DEME for review and approval.
7. Specifications for the proposed subsurface detention system shall be added to the drainage calculations.
8. Profiles for the proposed catch basin and drain line in Route 9W shall be added to the plans.
9. The Soil erosion and sediment control symbols shall be added to the required legend. Also, the proposed stabilized construction entrance shall conform to NYSDEC standards symbols.

TOWN CLERK'S OFFICE  
2020 MAR 19 A 9 11  
TOWN OF ORANGETOWN

**PB #19-20: 1050 Route 9W Site Plan  
Critical Environmental Area  
Final Site Plan Approval Subject to Conditions  
Neg. Dec.**

**Permit #48371**

**Town of Orangetown Planning Board Decision  
February 26, 2020  
Page 7 of 12**

10. A post construction stormwater maintenance agreement (PC-SWMA) provided for the proposed stormwater system, does not conform to the Town Standards. The applicant/ applicant's attorney shall obtain the standard boiler plate from the Town Attorney's Office. Also, no checklist/ inspection forms were attached to the agreement. The applicant's engineer shall prepare/ provide checklists/ inspection forms for all of the drainage facilities proposed (subsurface detention system, piping, trench drain, catch basins, etc.) The revised PC-SWMA shall be submitted for review and approval by DEME and the Town Attorney's office. Once approved, the maintenance plan shall be made part of the site plan approval and attached as an amendment or schedule to the deed for this lot.

11. The applicant is reminded that a Permit from the New York State Department of Transportation will be required for both the installation of the sanitary house connection and the installation of a new catch basin along Route 9W. The drainage design and calculations shall be submitted to the NYSDOT for their review and approval PRIOR to the signing of the plan. Copies of all correspondence with the NYSDOT shall be submitted to the Planning Board and DEME.

**12. Drainage Review Recommendation – Brooker Engineering**

The application has provided additional information that demonstrates the stormwater detention system can mitigate potential significant impacts with respect to stormwater runoff. The Drainage Consultant recommend that the 1050 Route 9W Site Plan be approved for drainage subject to the following comments.

**Project Description**

This is the fourth drainage review report for this project. The site is located on the west side of Route 9W, north of Treeline Terrace. There are foundation remains of a pervious dwelling on the site. There is an existing driveway entrance for the site located north of the property that is to be removed and a new driveway entrance is proposed along the southern corner of the lot.

Increases in impervious area and stormwater runoff have quantified for this submission. An underground detention area is shown schematically along the northeast corner of the property but no details have been provided.

TOWN OF ORANGETOWN  
MAR 19 A 9 18  
TOWN CLERK'S OFFICE

**PB #19-20: 1050 Route 9W Site Plan  
Critical Environmental Area  
Final Site Plan Approval Subject to Conditions  
Neg. Dec.**

**Permit #48371**

**Town of Orangetown Planning Board Decision  
February 26, 2020  
Page 8 of 12**

**Continuation of Condition #12...**

1. As per the November 13, 2019 report, provide a plan view of the detention system layout. Show how each 48-inch diameter pipe will be connected to catch basins.
  2. As per the November 13, 2019 report, provide a drainage subbasin map that shows the area to be diverted to the detention system. Provide a breakdown of the proposed impervious surfaces on the subbasin map.
  3. As per the November 13, 2019 report, no infiltration is proposed and the low flow opening of 6-inches located at the invert of the system will allow lower frequency storms to flow through the system with little routing. Provide a small diameter outlet at the invert of the system to provide some routing of the lower frequency storms.
  4. As per the November 13, 2019 report, provide back-up calculations to verify how the available storage is calculated on page 7 of the Pond report.
  5. As per the November 13, 2019 report, the drainage report shall be compiled in one document with a table of contents and not a series of stapled computer output files.
  6. As per the November 13, 2019 report, Verify the use of the infiltration pipe will be effective given the map note of "percolation failure no good use enclosed system".
  7. As per the November 13, 2019 report, the outlet structure detail shows a 6-inch low flow opening but does not show the additional openings included in the routing calculations. Manual access to the one foot wide section on the outlet structure shall be demonstrated. The rim elevation shall be added to the outlet structure detail.
  8. The silt fence located along the uphill portion of the limit of disturbance (west side) shall be designed to ensure no stormwater runoff is directed to the neighboring properties.
  9. A drawing list shall be added to Drawing 1. Sheets 5 and 6 was not included in the Site Plan set that was submitted.
13. Rockland County Department of Planning had the following comments which are incorporated herein as conditions of approval:
- A review must be completed by the New York State Department of Transportation, any comments or concerns addressed, and all required permits obtained.
  - An updated review must be completed by the Rockland County Department of Health. In addition, the comments in their March 12, 2019 letter must be met.

TOWN OF ORANGETOWN  
2020 MAR 19 A 9 18  
TOWN CLERK'S OFFICE



**PB #19-20: 1050 Route 9W Site Plan  
Critical Environmental Area  
Final Site Plan Approval Subject to Conditions  
Neg. Dec.**

**Permit #48371**

**Town of Orangetown Planning Board Decision  
February 26, 2020  
Page 9 of 12**

**Continuation of Condition#13...**

- Prior to the start of construction or grading, a soil and erosion control plan shall be developed and in place for the entire site that meets the latest edition of the New York State Standards for Urban Erosion and Sediment Control.
- There shall be no net increase in the peak rate of discharge from the site at all design points.
- Retaining walls that are over four (4) feet in vertical height shall be designed by a licensed New York State Professional Engineer and be in compliance with the NYS Fire Prevention and Building Code. Design plans shall be signed and sealed by the licensed NYS Professional Engineer.
- The Village of Grand View-on-Hudson is one of the reasons the proposal was referred to this department for review. The municipal boundary is approximately 380 feet east of the property line of the site. As required under Section 239nn of the State General Municipal Law, the Village of Grand View-on-Hudson must be given the opportunity to review the proposed site plan and provide any concerns related to the project to the Town of Orangetown.
- The Site Plan must include the map notes which include district information. The applicant's engineer has been reminded of the importance of including such details.
- The bulk table shall include a map note denoting that the lot width is a pre-existing, non-conforming condition, and therefore no variance is required.

**14. The Rockland County Department of Health reviewed the information and offered the following comments;**

- Application is to be made to the Rockland County Department of Health for review of the system for compliance with the County Mosquito Code.
- Application is to be made to RCDOH for decommissioning of the well.

**15. A Rockland County Highway Department (RCHD) reviewed the information submitted and offered the following comments:**

- The proposed action would have a de-minimis impact upon the County highway system. Therefore, the department poses no objection to the local determination unless major changes are proposed to the site plan in the future.

TOWN OF ORANGETOWN  
2020 MAR 19 A 9:18  
TOWN CLERK'S OFFICE

**PB #19-20: 1050 Route 9W Site Plan  
Critical Environmental Area  
Final Site Plan Approval Subject to Conditions  
Neg. Dec.**

**Permit #48371**

**Town of Orangetown Planning Board Decision  
February 26, 2020  
Page 10 of 12**

**16.** The following agencies do not object to the Town of Orangetown Planning Board assuming responsibilities of lead agency for SEQRA purposes:

- Town of Orangetown Zoning Board of Appeals
- Rockland County Department of Highway
- Rockland County Health Department
- Rockland County Sewer District #1
- New York State Department of Transportation

**17.** The applicant shall comply with all pertinent items in the Guide to the Preparation of Site Plans and Board Decisions prior to signing the final plans.

**18.** All reviews and approvals from various governmental agencies must be obtained prior to stamping of the Site Plan.

**19.** All of the conditions of this decision, shall be binding upon the owner of the subject property, its successors and/or assigns, including the requirement to maintain the property in accordance with the conditions of this decision and the requirement, if any, to install improvements pursuant to Town Code §21A-9. Failure to abide by the conditions of this decision as set forth herein shall be considered a violation of Site Plan Approval pursuant to Town Code §21A-4.

**20. TREE PROTECTION:** The following note shall be placed on the Site Plan: The Tree Protection and Preservation Guidelines adopted pursuant to Section 21-24 of the Land Development Regulations of the Town of Orangetown will be implemented in order to protect and preserve both individual specimen trees and buffer area with many trees. Steps that will be taken to reserve and protect existing trees to remain are as follows:

- a. No construction equipment shall be parked under the tree canopy.
- b. There will be no excavation or stockpiling of earth underneath the trees.
- c. Trees designated to be preserved shall be marked conspicuously on all sides at a 5 to 10 foot height.
- d. The Tree Protection Zone for trees designated to be preserved will be established by one of the following methods:
  - One (1) foot radius from trunk per inch DBH
  - Drip line of the Tree Canopy. The method chosen should be based on providing the maximum protection zone possible. A barrier of snow fence or equal is to be placed and maintained one yard beyond the established tree protection zone. If it is agreed that the tree protection zone of a selected tree must be violated, one of the following methods must be employed to mitigate the impact:

TOWN OF ORANGETOWN  
2020 MAR 19 A 9 18  
TOWN CLERK'S OFFICE

**Continuation of Condition #20...**

- Light to Heavy Impacts – Minimum of eight inches of wood chips installed in the area to be protected. Chips shall be removed upon completion of work.
  - Light Impacts Only – Installation of ¾ inch of plywood or boards, or equal over the area to be protected.
- The builder or its agent may not change grade within the tree protection zone of a preserved tree unless such grade change has received final approval from the Planning Board. If the grade level is to be changed more than six (6) inches, trees designated to be preserved shall be welled and/or preserved in a raised bed, with the tree well a radius of three (3) feet larger than the tree canopy.

21. All landscaping shown on the site plans shall be maintained in a vigorous growing condition throughout the duration of the use of this site. Any plants not so maintained shall be replaced with new plants at the beginning of the next immediately following growing season.
22. Prior to the commencement of any site work, including the removal of trees, the applicant shall install the soil erosion and sedimentation control as required by the Planning Board. Prior to the authorization to proceed with any phase of the site work, the Town of Orangetown Department of Environmental Management and Engineering (DEME) shall inspect the installation of all required soil erosion and sedimentation control measures. The applicant shall contact DEME at least 48 hours in advance for an inspection.
23. The contractor's trailer, if any is proposed, shall be located as approved by the Planning Board.
24. If the applicant, during the course of construction of any required public improvements or private sanitary or storm sewer improvements, encounters such conditions as flood areas, underground water, soft or silty areas, improper drainage, or any other unusual circumstances or conditions that were not foreseen in the original planning, such conditions shall be reported immediately to DEME. The applicant (or the applicant's engineer) shall submit their recommendations as to the special treatment or design modification to be given such areas to secure adequate, permanent and satisfactory construction. DEME shall investigate the condition(s), and shall either approve the applicant's (applicant's engineer's) recommendations to correct the condition(s), or order a modification thereof. In the event of the applicant's (applicant's engineer's) disagreement with the decision of DEME, or in the event of a significant change resulting to the subdivision plan or site plan or any change that involves a wetland regulated area, the matter shall be decided by the agency with jurisdiction in that area (i.e. Federal Wetlands - U.S. Army Corps of Engineers).

TOWN OF ORANGETOWN  
2020 MAR 16 A 9 18  
TOWN CLERK'S OFFICE

**PB #19-20: 1050 Route 9W Site Plan  
Critical Environmental Area  
Final Site Plan Approval Subject to Conditions  
Neg. Dec.**

**Permit #48371**

**Town of Orangetown Planning Board Decision  
February 26, 2020  
Page 12 of 12**

**25.** Permanent vegetation cover of disturbed areas shall be established on the site within thirty (30) days of the completion of construction.

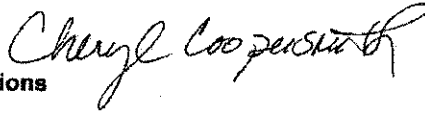
**26.** Prior (at least 14 days) to the placing of any road sub-base, the applicant shall provide the Town of Orangetown Superintendent of Highways and DEME with a plan and profile of the graded road to be paved in order that these departments may review the drawings conformance to the approved construction plans and the Town Street Specifications

**27.** The Planning Board shall retain jurisdiction over lighting, landscaping, signs and refuse control.

The foregoing Resolution was made and moved by Bruce Bond and second by Stephen Sweeney and carried as follows: Thomas Warren - Chairman, absent; William Young- Vice Chairman, aye; Michael Mandel, aye; Michael McCrory, aye; Robert Dell, aye; Stephen Sweeney, aye; Bruce Bond, aye, and Andrew Andrews, aye.

The Clerk to the Board is hereby authorized, directed and empowered to sign this **DECISION** and file a certified copy in the Office of the Town Clerk and the Office of the Planning Board.

**Dated: February 26, 2020  
Cheryl Coopersmith  
Chief Clerk Boards and Commissions  
Attachment**



TOWN CLERK'S OFFICE  
2020 MAR 19 A 9:18  
TOWN OF ORANGETOWN

**State Environmental Quality Review Regulations  
NEGATIVE DECLARATION  
Notice of Determination of Non-Significance**

**PB #19-20: 1050 Route 9W Site Plan  
Critical Environmental Area  
Final Site Plan Approval Subject to Conditions  
Neg. Dec.  
February 26, 2020**

**Permit #48371**

This notice is issued pursuant to Part 617 of the implementing regulations pertaining to Article 8 (State Environmental Quality Review Regulation) of the Environmental Conservation Law.

The PLANNING BOARD, TOWN OF ORANGETOWN, as Lead Agency, has determined that the proposed action described below will not have a significant impact on the environment and a Draft Environmental Impact Statement will not be prepared.

**NAME OF ACTION: 1050 Route 9W Site - Critical Environmental Area  
Final Site Plan Approval Subject to Conditions/ Neg. Dec.**

SEQR STATUS: Type I \_\_\_\_\_ Unlisted XXXXXX  
CONDITIONED NEGATIVE DECLARATION: Yes \_\_\_\_\_ No XXXXXX

**DESCRIPTION OF ACTION: Site Plan Review in the Critical Environmental Area**

**LOCATION:** The site is located at 1050 Route 9W, Upper Grandview, Town of Orangetown, Rockland County, New York, and as shown on the Orangetown Tax Map as Section 71.09, Block 1, Lot 28; in the R-22 zoning district.

**REASONS SUPPORTING THIS DETERMINATION:**

The Orangetown Planning Board, as Lead Agency, determined that the proposed action will not have a significant impact on the environment and a Draft Environmental Impact Statement (DEIS) will not be prepared. The reasons supporting this determination are as follows:

The project will not have a significant impact upon the environment and a DEIS need not be prepared because the proposed action does not significantly affect air quality, surface or ground water quality, noise levels or existing external traffic patterns. In addition, it will have no impact upon the aesthetic, agricultural or cultural resources of the neighborhood. No vegetation, fauna or wildlife species will be affected as a result of this proposed action. The proposed action is consistent with the Town of Orangetown Master Plan and will not have any adverse economic or social impacts upon the Town or its businesses or residences.

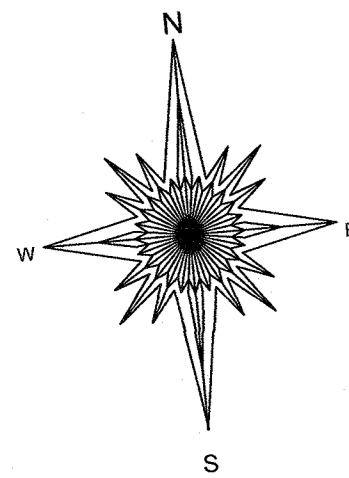
If Conditioned Negative Declaration, the specific mitigation is provided on an attachment.

For Further Information contact:

Office of Building, Zoning and Planning  
Administration and Enforcement  
Town of Orangetown  
20 Greenbush Road, Orangeburg, NY 10962  
Telephone Number: 845-359-5100

For Type I Actions and Conditioned Negative Declarations, a copy of this notice is sent: - Commissioner, New York State Department of Environmental Conservation, - Region 3 Headquarters, NYSDEC, - Town Supervisor, Applicant, Involved Agencies

TOWN OF ORANGETOWN

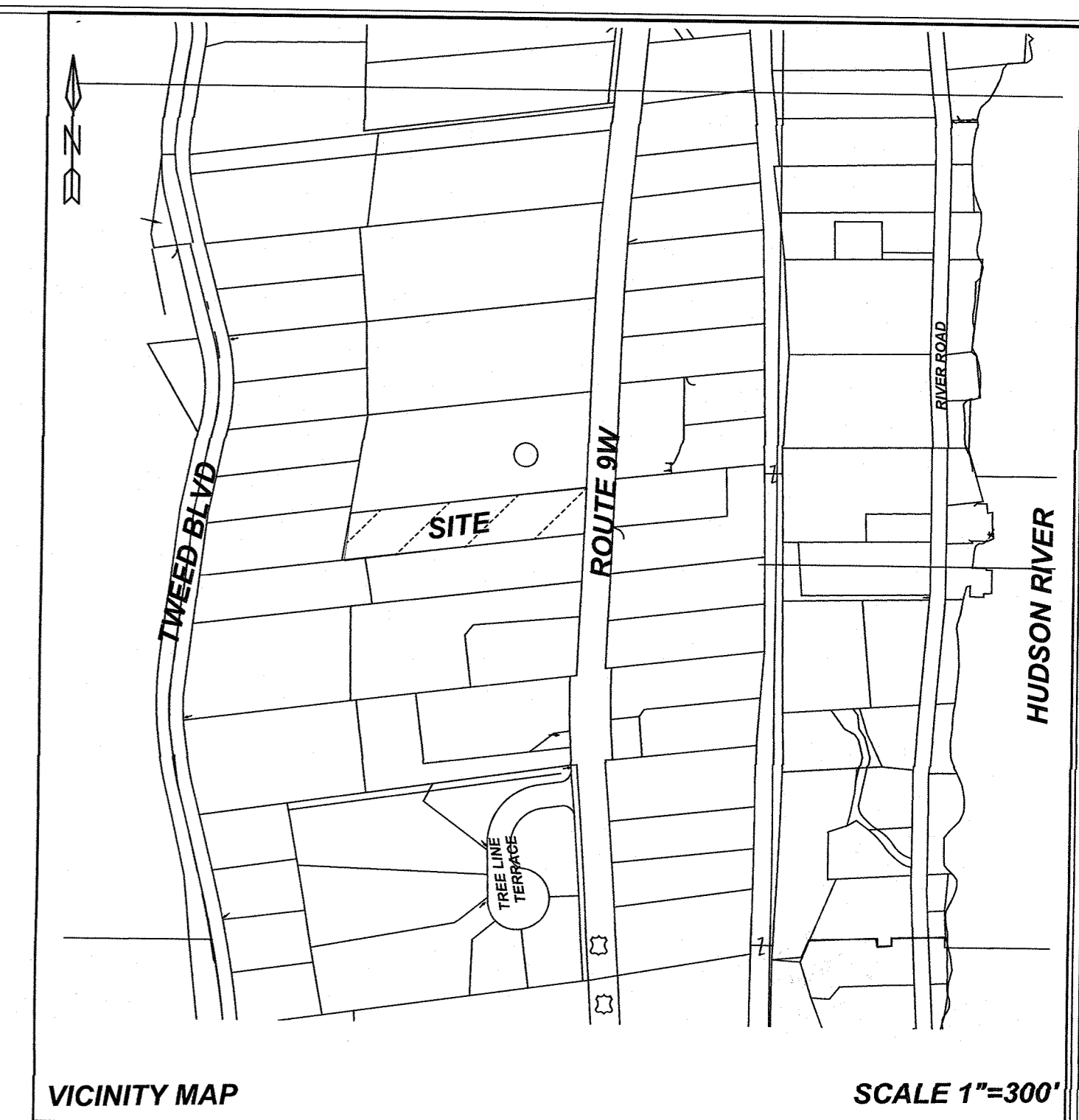


THE TOWN OF ORANGETOWN SEWER  
INSPECTOR SHALL BE NOTIFIED AT LEAST 48  
HOURS PRIOR TO ANY AND ALL  
CONSTRUCTION RELATING TO THE PROPOSED  
SANITARY HOUSE CONNECTION

SOURCE BENCH MARK SQUARE CUT ON HEAD  
WALL WEST SIDE OF ROUTE 303 "BM 43"  
ELEVATION 124.76

LEGEND

- EXISTING MACADAM
- EXISTING SANITARY SEWER
- EXISTING STORM DRAIN
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL
- EXISTING OVERHEAD ELECTRIC
- EXISTING UTILITY POLE
- EXISTING MANHOLE
- EXISTING BASIN
- PROPOSED CURB
- PROPOSED WALL
- EXISTING CONTOUR
- PROPOSED CONTOUR
- HYDRANT
- EXISTING SPOT ELEVATION
- PROPOSED STORM DRAIN
- PROPOSED SANITARY SEWER
- IRON PIN SET



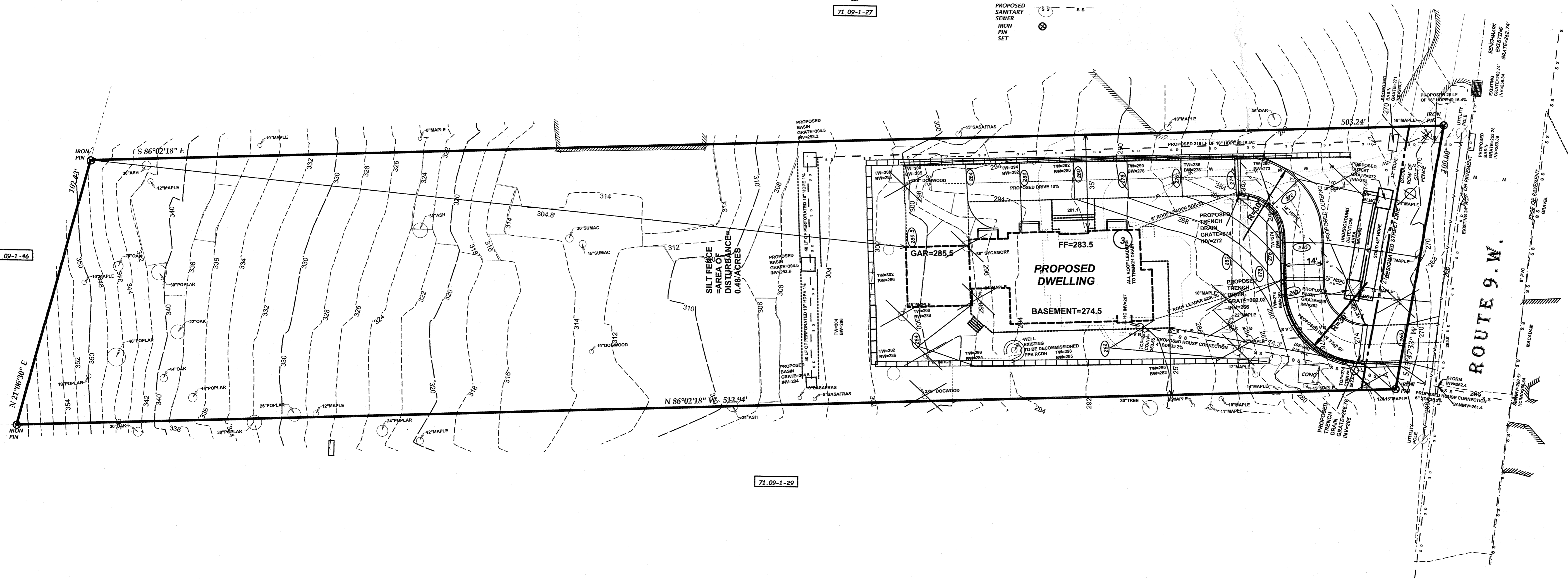
VICINITY MAP

SCALE 1"=300'

2  
71.09-1-27

71.09-1-46

71.09-1-29



PLANNING BOARD  
MEETING  
FEB 6 2020  
Town of Orangetown



TAX MAP DESIGNATION: 71.09-1-28  
PROPOSED  
SITE PLAN FOR  
**1050 ROUTE 9W**

TOWN OF ORANGETOWN, ROCKLAND COUNTY  
rev 2/19/19  
NYACK, NEW YORK  
rev 2/12/19  
rev 5/11/19  
MARCH 20, 2017 SCALE: 1" = 20'

ANTHONY R. CELENTANO P.E.  
31 ROSMAN ROAD  
THIELLS, N.Y. 10984  
845 429 5290 FAX 429 5974

BULK REQUIREMENTS ZONE: R-22 ONE-FAMILY DETACHED DWELLING

USE GROUP	FLOOR AREA	MINIMUM LOT AREA	MINIMUM LOT WIDTH	MINIMUM STREET FRONTAGE	MINIMUM FRONT YARD	MINIMUM SIDE YARD	MINIMUM REAR YARD	TOTAL SIDE YARDS	MINIMUM REAR YARD	MAXIMUM HEIGHT
REQUIRED	0.20	22,500 S.F.	125	75'	40'	25'	60'	45'	25'	
PROPOSED	0.102	44,656 S.F.	100'	100'	74.3'	25'	60'	304.8'	25'	

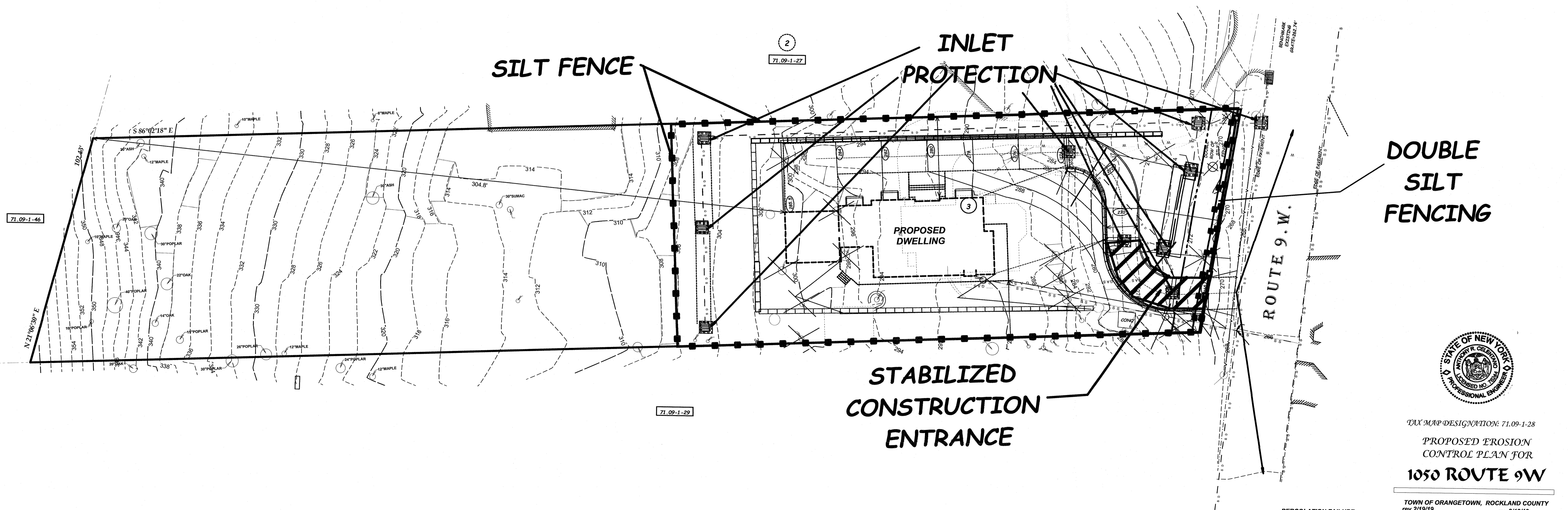
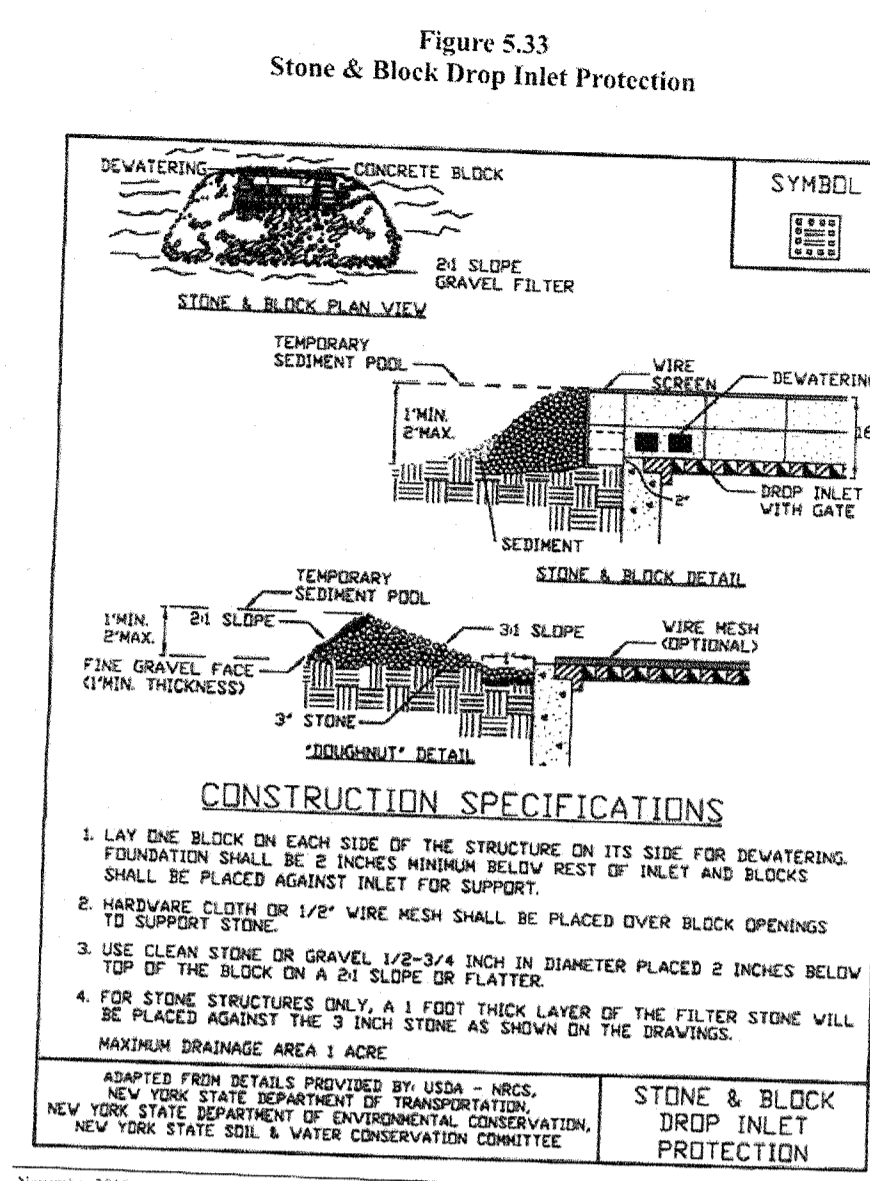
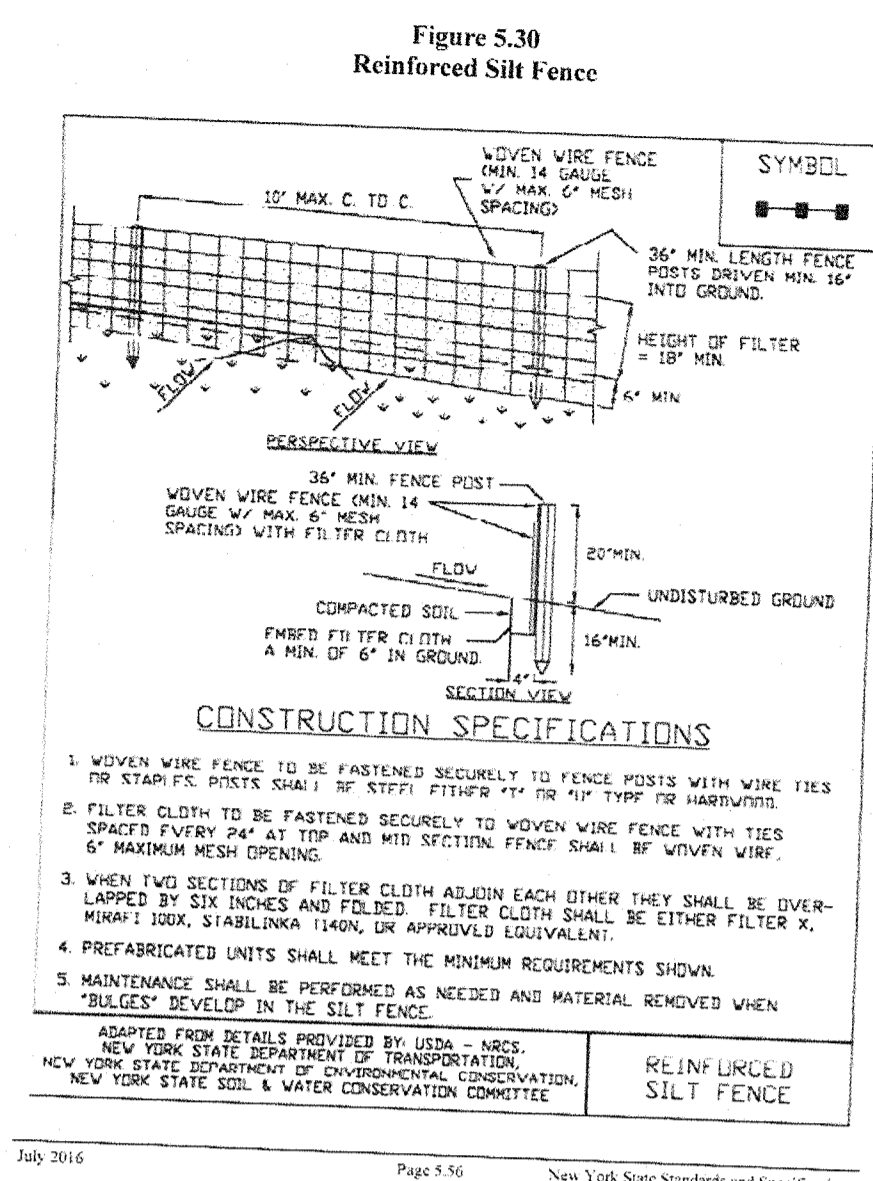
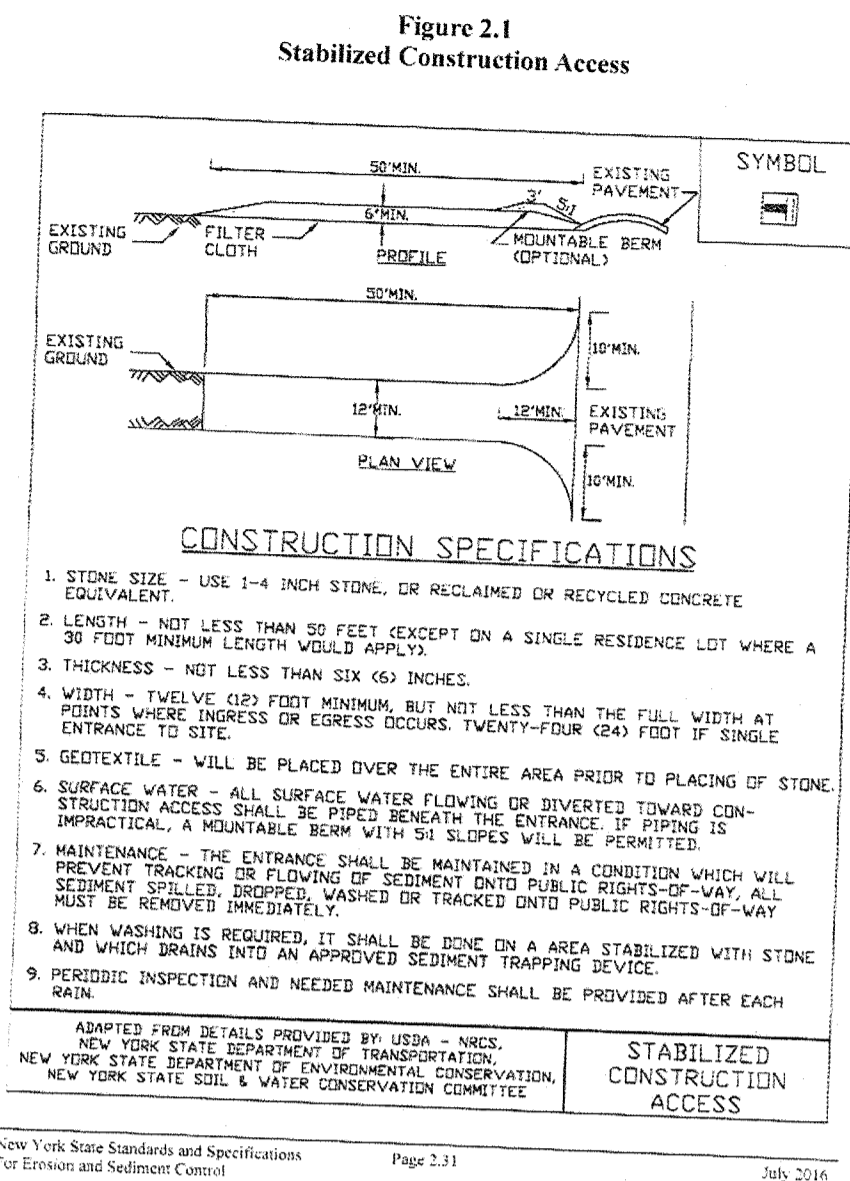
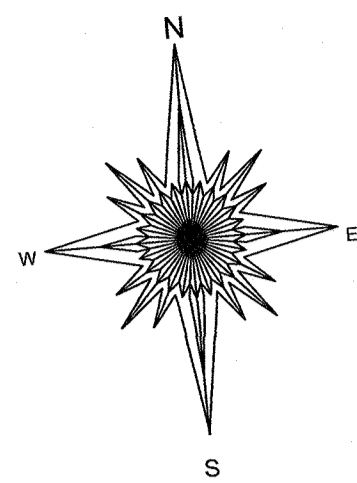
PERCOLATION FAILURE  
NO GOOD  
USE ENCLOSED  
SYSTEM

REV 1/3/20  
REV 2/7/2020



LOT AREA=49,730.31 SQUARE FEET-1/2DSL(1250 SQFT)-1/2LANDS GREATER THAN 25%(8898 SQFT)=44,656 SQFT

FAR=4988.5/44,656=0.102



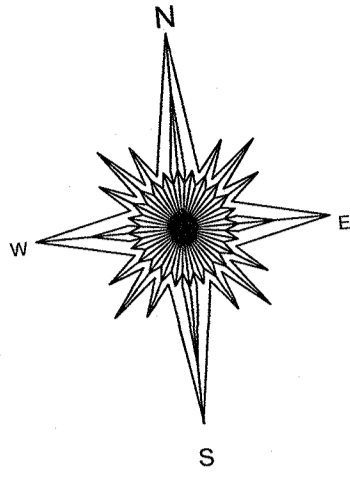
TAX MAP DESIGNATION: 71.09-1-28

PROPOSED EROSION CONTROL PLAN FOR 1050 ROUTE 9W

TOWN OF ORANGETOWN, ROCKLAND COUNTY  
rev 2/19/19  
NYACK, NEW YORK  
rev 5/11/19  
MARCH 20, 2017 SCALE: 1" = 20'

ANTHONY R. CELENTANO P.E.  
31 ROSMAN ROAD  
THIELLS, N.Y. 10984  
845 429 5290 FAX 429 5974

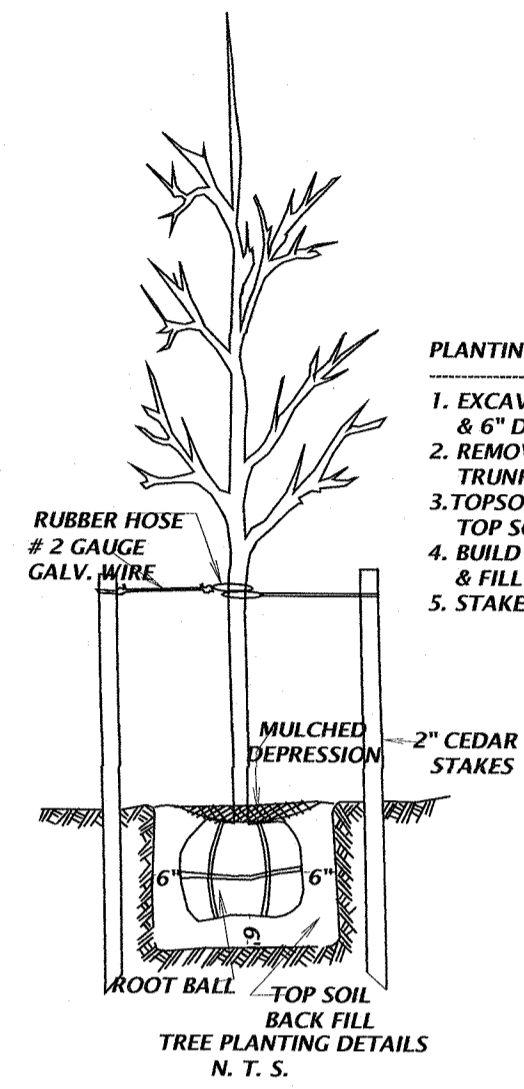
ANTHONY R. CELENTANO LIC#76244



**NOTES:**

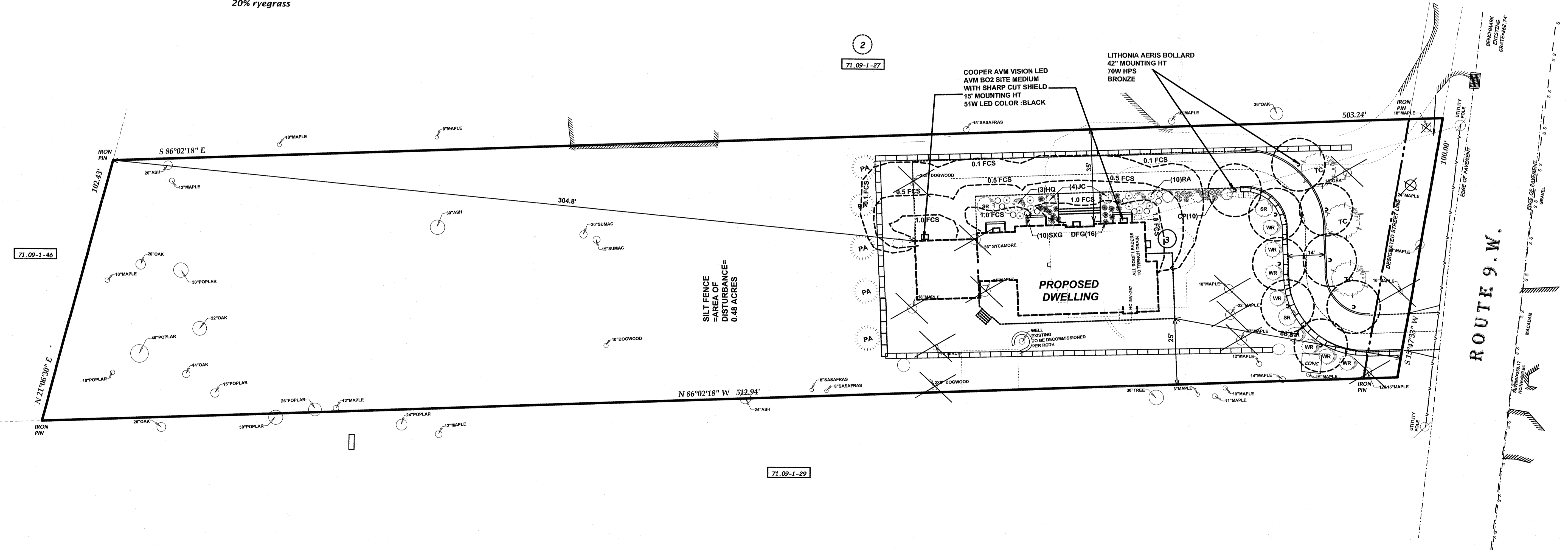
1. ALL EXISTING SOIL FROM PLANTING PITS SHALL BE REMOVED AND PITS SHALL BE BACKFILLED WITH A MIXTURE OF ONE PART PEAT-HUMUS, ONE PART MANURE TO FOUR PARTS TOPSOIL.
  2. ALL PLANTS AND WORKMANSHIP SHALL BE GUARANTEED FOR TWO YEAR AFTER FINAL ACCEPTANCE AND COMPLETION OF WORK. ANY LANDSCAPING REQUIRED AS A BUFFER TO SHIELD THE PARKING LOT SHALL REMAIN IN PERPETUITY AS LONG AS THE PARKING LOT EXISTS.
  3. ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN'S "AMERICAN STANDARD FOR NURSERY STOCK", CURRENT EDITION.
  4. ALL PLANT BEDS SHALL CONTAIN 3" MINIMUM SHREDDED BARK MULCH ON LANDSCAPE FILTER FABRIC. HOLES FOR PLANTS SHALL BE 2X DIAMETER OF ROOTBALL AND MINIMUM 6" DEEPER THAN THE DEPTH OF THE BALL.
  5. THE VILLAGE SHALL BE NOTIFIED 48 HOURS PRIOR TO PLANTING FOR AN INSPECTION OF PLANT MATERIALS.
  6. ALL AREAS OUTSIDE MULCH BEDS AND SAUCERS SHALL BE SEEDED UNLESS OTHERWISE NOTED.
  7. TREES SHOWN TO REMAIN SHALL BE PROTECTED WITH CONSTRUCTION FENCING AT THE DRIP LINE. IF DURING CONSTRUCTION, IT IS DETERMINED THAT A TREE PROPOSED TO REMAIN NEEDS TO BE REMOVED, THE APPLICANT SHALL CONTACT THE BUILDING INSPECTOR OR THE VILLAGE PLANNER TO DETERMINE APPROPRIATE MITIGATION. A SIMILAR SIZE AND TYPE OF TREE WILL BE SELECTED FOR ITS REPLACEMENT.
  8. LAWN AREAS PREPARATION PER 1000 SF: (SHOW SPECIFICATIONS)  
 90 LBS HAY MULCH  
 15 LBS 5-10-10 FERTILIZER, 50% SLOW RELEASE.  
 70 LBS GRANULATED LIMESTONE.
- SEED MIXTURE: 30% tall fescue  
 30% red fescue  
 20% blue grass  
 20% ryegrass

1. ALL LIGHTING SHOWN ON THIS PLAN SHALL BE DIRECTED AND/OR SHIELDED SO AS TO PRECLUDE OBJECTIONABLE GLARE FROM BEING OBSERVABLE FROM ADJOINING STREETS AND PROPERTIES.
2. ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE OF THE SITE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW COMPARABLE VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.



- PLANTING NOTES:**
1. EXCAVATE A HOLE THAT IS 12" WIDER & 6" DEEPER THEN THE ROOT BALL
  2. REMOVE ANY STRINGS TIED AROUND TRUNK OR STEM, BUT LEAVE BURLAP INTACT.
  3. TOPSOIL MIX FOR BACKFILL TO BE 2 PARTS TOP SOIL, 1 PART SAND & ONE PART HUMUS.
  4. BUILD DEPRESSION AROUND PLANT & FILL WITH MULCH.
  5. STAKE ALL TREES WITH 2" CEDAR STAKES.

PLANT SCHEDULE			
TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT
JC	4	HOLLYWOOD JUNIPER / JUNIPERUS CHINENSIS 'TORULOSA'	6-7' HT
PA	5	NORWAY SPRUCE / PICEA ABIES	B & B
SR	3	JAPANESE TREE LILAC / SYRINGA RETICULATA	2" CAL
WR	8	WESTERN RED CEDAR / THUJA PLICATA	8' HT
TC	3	GREENSPIRE LITTLELEAF LINDEN / TILIA CORDATA 'GREENSPIRE'	2-1/2 - 3" CAL
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CONT
CP	10	GOLDEN MOPPS SAWARA FALSE CYPRESS / CHAMAECYPARIS PISIFERA 'GOLDEN MOPPS'	24" HT 3 GAL
HQ	3	OAKLEAF HYDRANGEA / HYDRANGEA QUERCIFOLIA	30 - 36" 5 GAL
SXG	10	GOLDFLAME SPIREA / SPIREA X BUMALDA 'GOLDFLAME'	5 GAL
RA	10	AZALEA / RHODODENDRON AZALEA 'RAMAPO'	5 GAL
GRASSES	QTY	COMMON NAME / BOTANICAL NAME	CONT
DFG	16	DWARF FOUNTAIN GRASS / PANICUM VIRGATUM 'HAMELIN'	1 GAL



TAX MAP DESIGNATION: 71.09-1-28  
 PROPOSED LANDSCAPE & LIGHTING PLAN FOR  
 1050 ROUTE 9W

TOWN OF ORANGETOWN, ROCKLAND COUNTY  
 rev 2/19/19 NEW YORK  
 NYACK rev 5/11/19  
 MARCH 20, 2017 SCALE: 1" = 20'  
 ANTHONY R. CELETANO P.E.  
 31 ROSMAN ROAD  
 THIELLS, N.Y. 10984  
 845 429 5290 FAX 429 5974

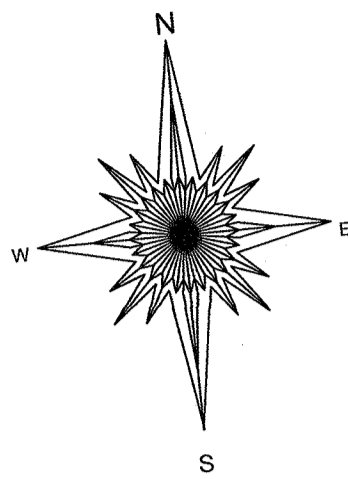
PERCOLATION FAILURE  
 NO GOOD  
 USE ENCLOSED  
 SYSTEM

REV 1/3/20  
 REV 27/2020



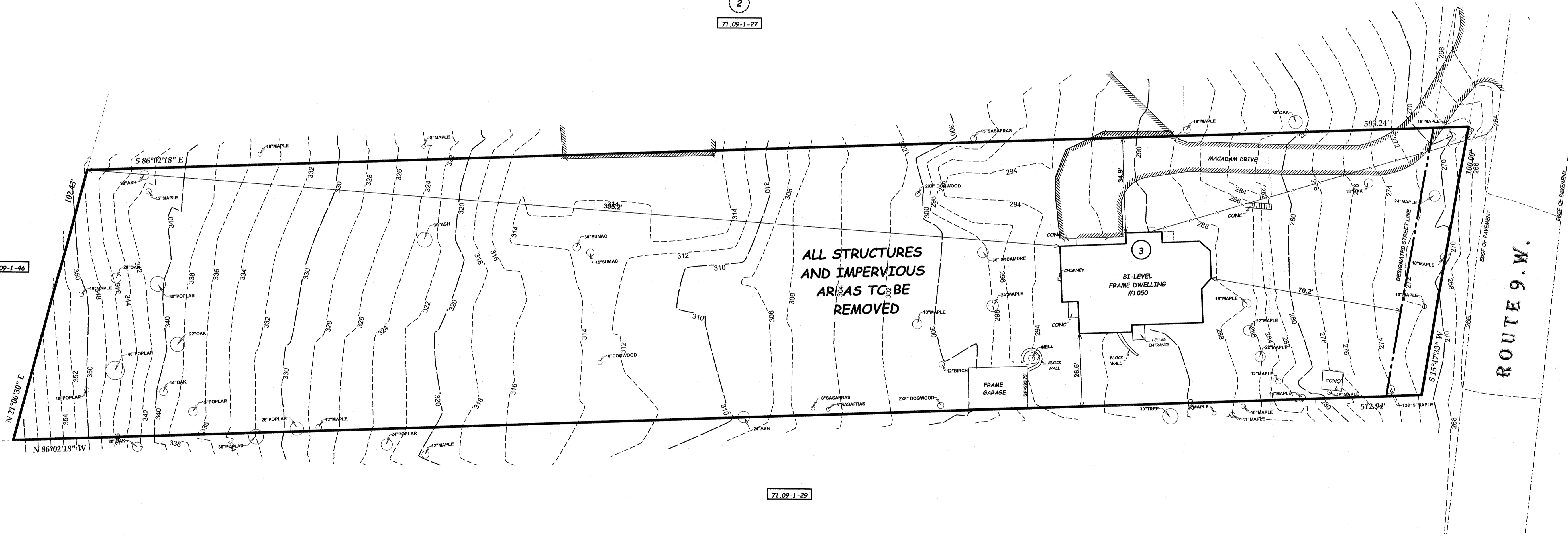
LOT AREA=49,730.31 SQUARE FEET-1/2DLS(1250 SQFT)-1/2LANDS GREATER THAN 25%(8898 SQFT)=44,656 SQFT





2  
71.09-1-27

71.09-1-46



71.09-1-29

TAX MAP DESIGNATION: 71.09-1-28

EXISTING  
PLAN FOR

**1050 ROUTE 9W**

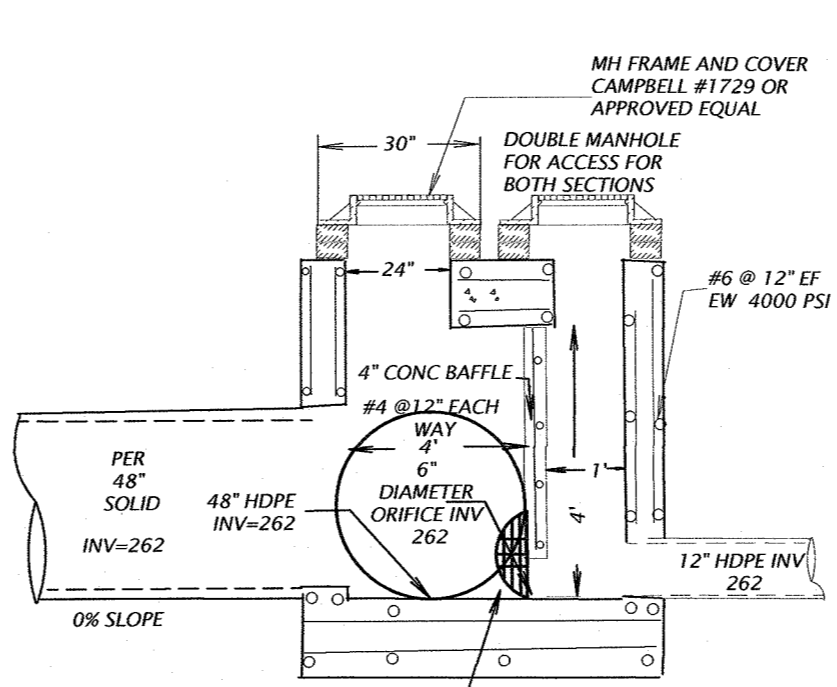
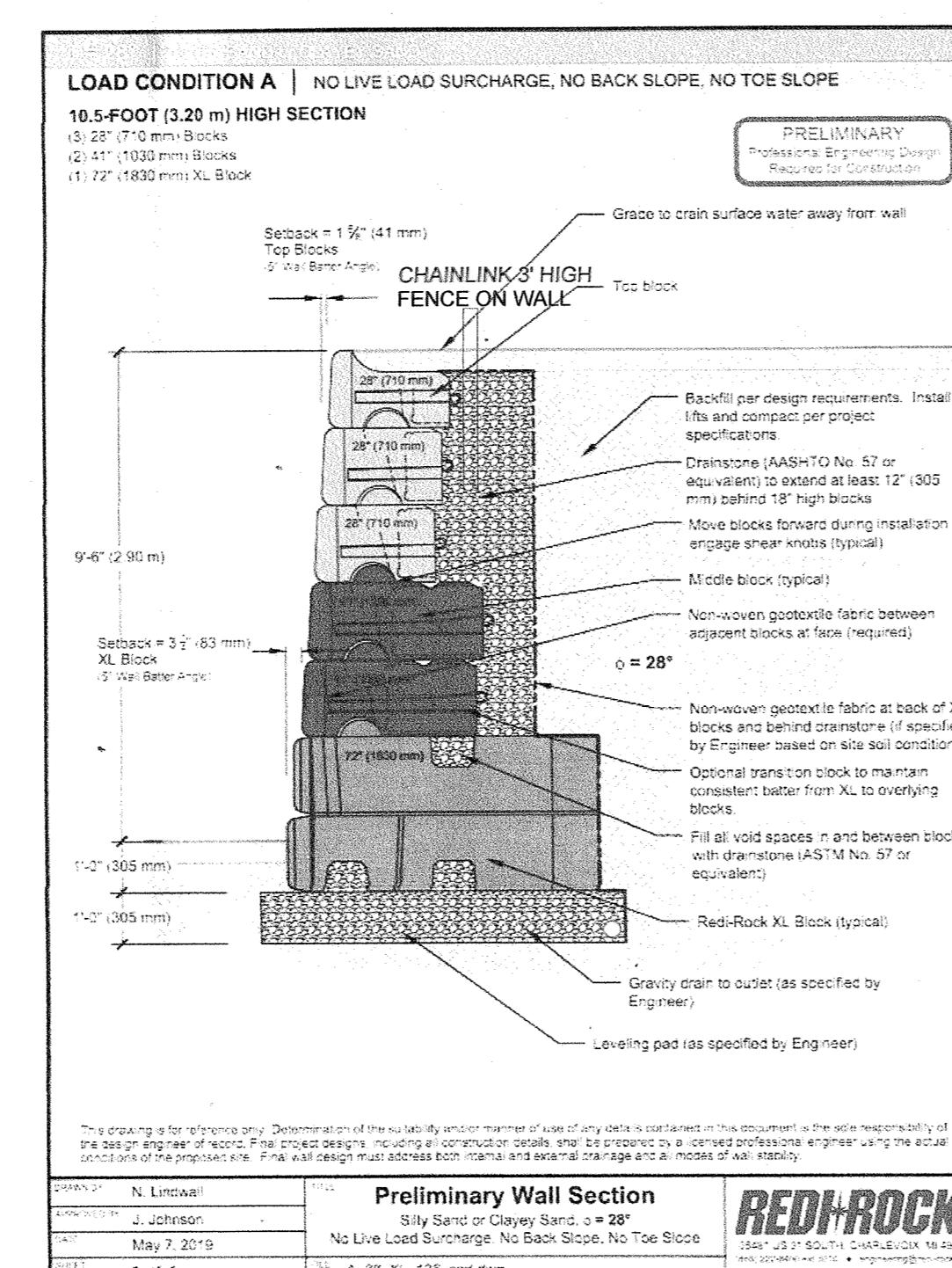
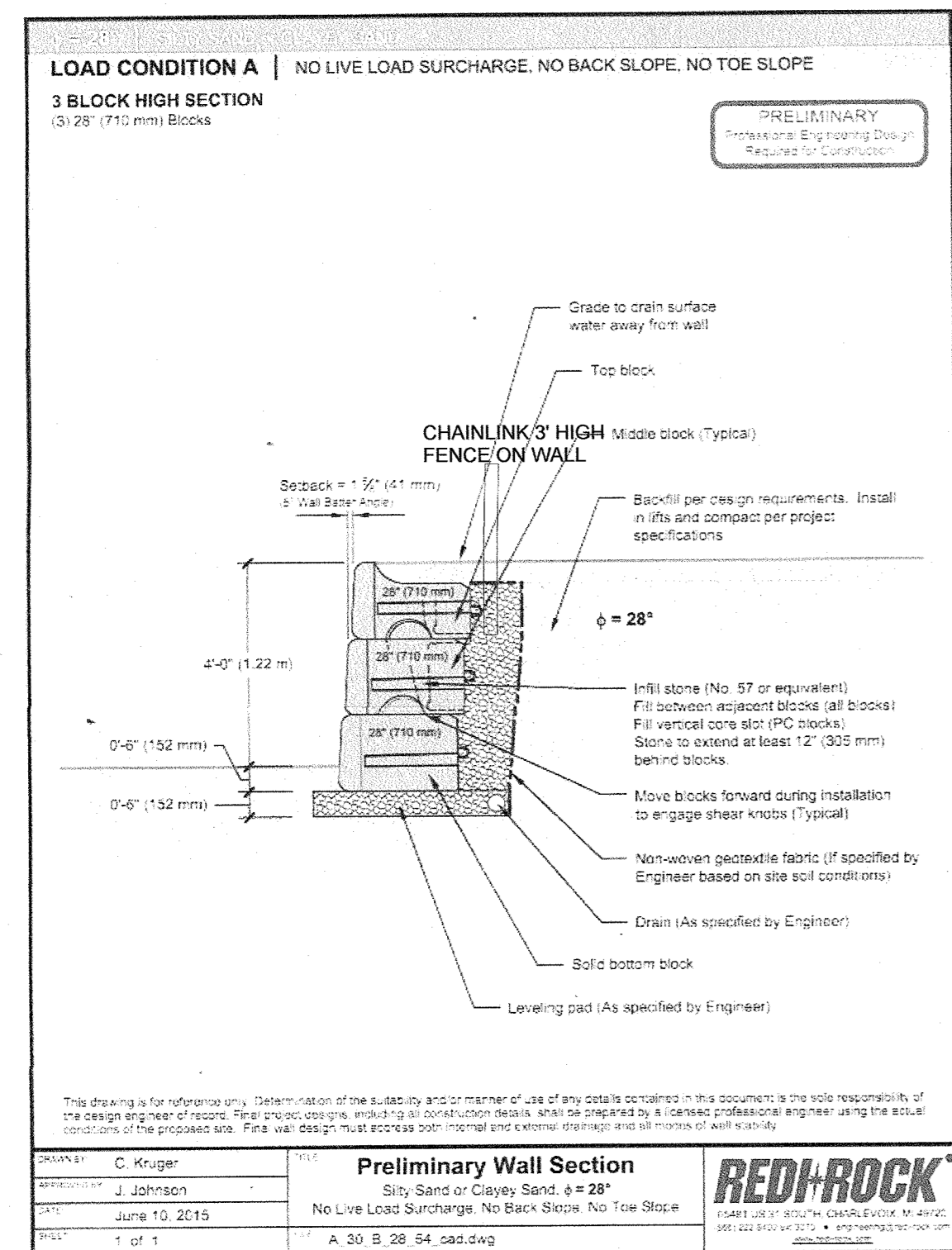
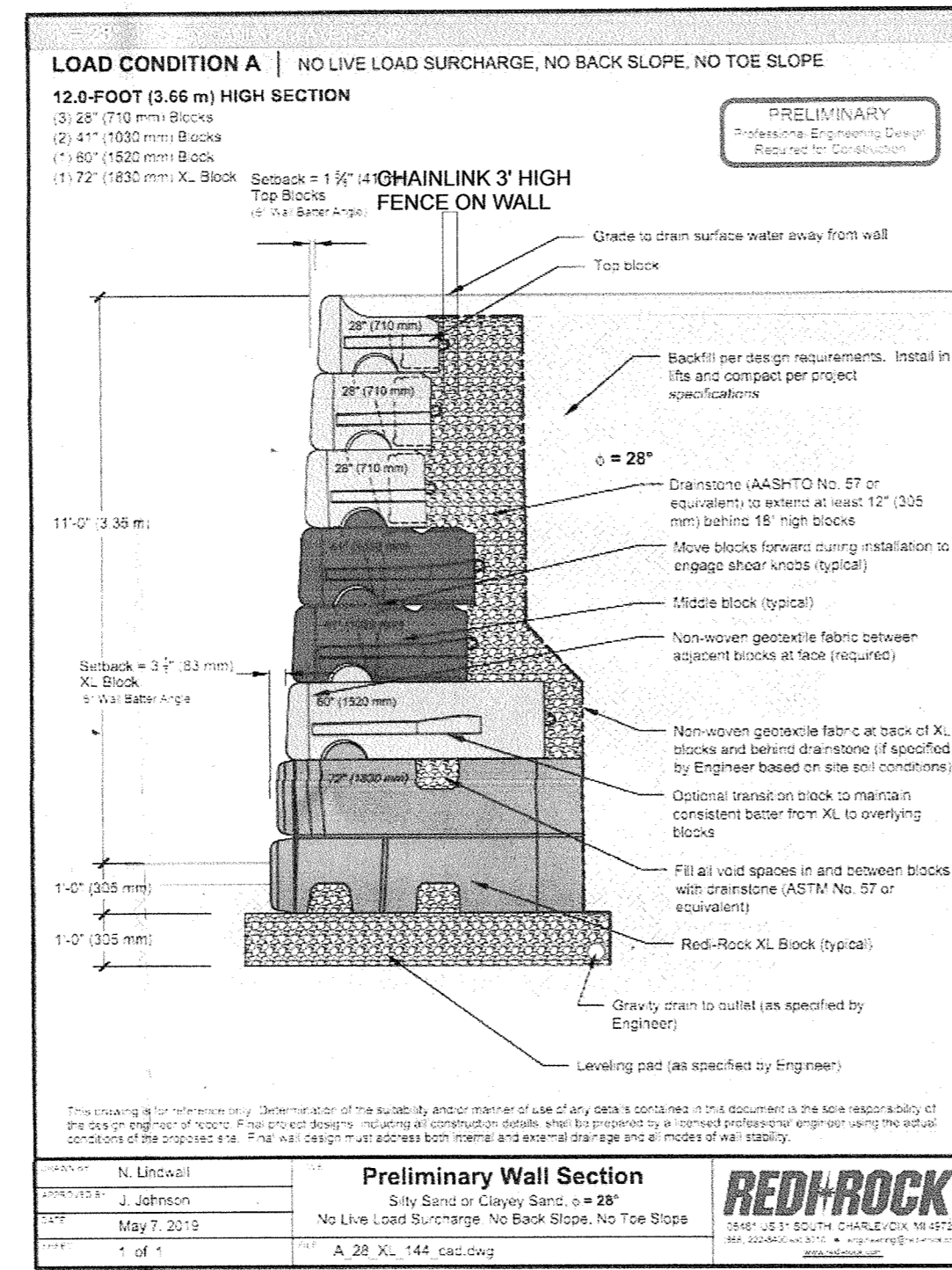
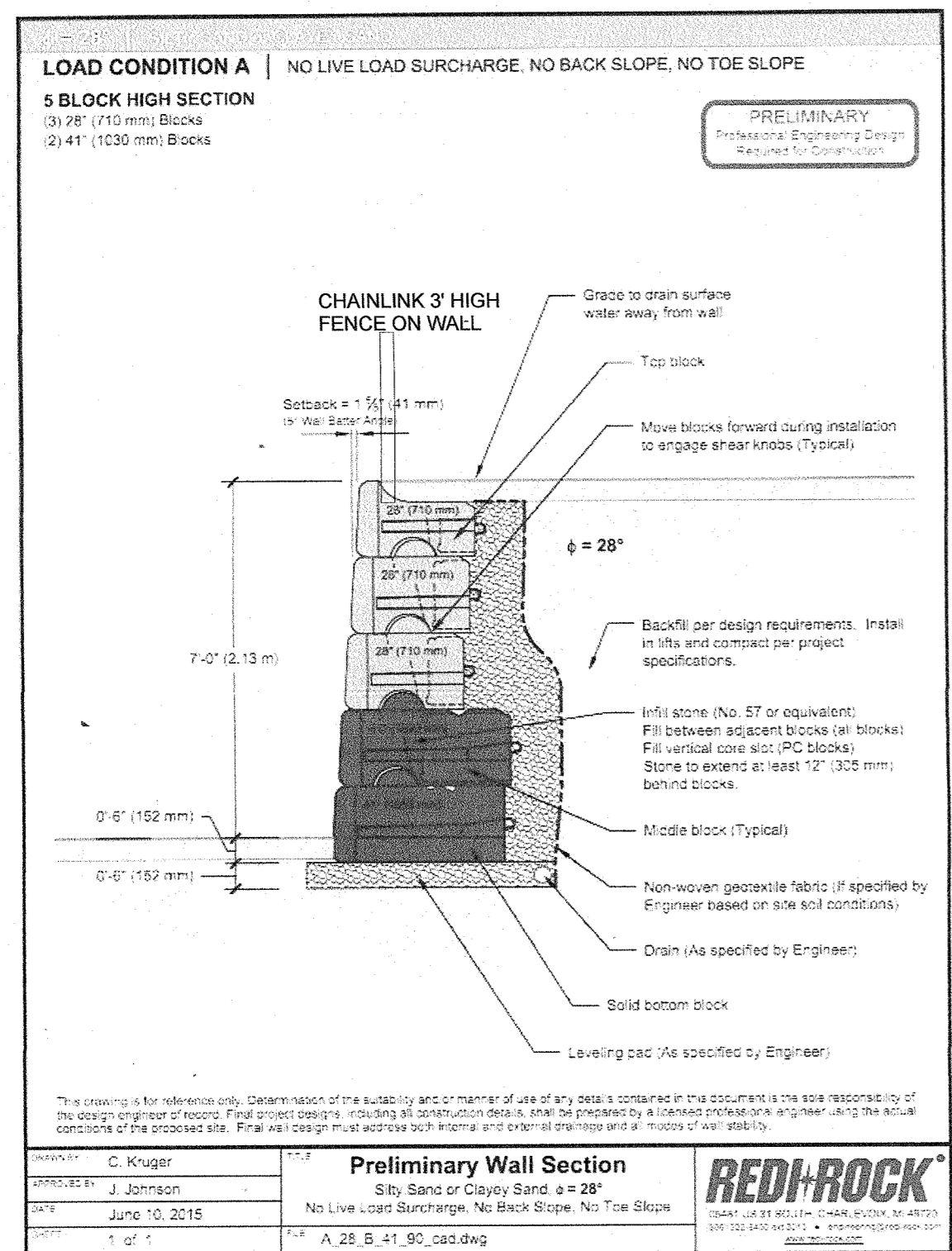
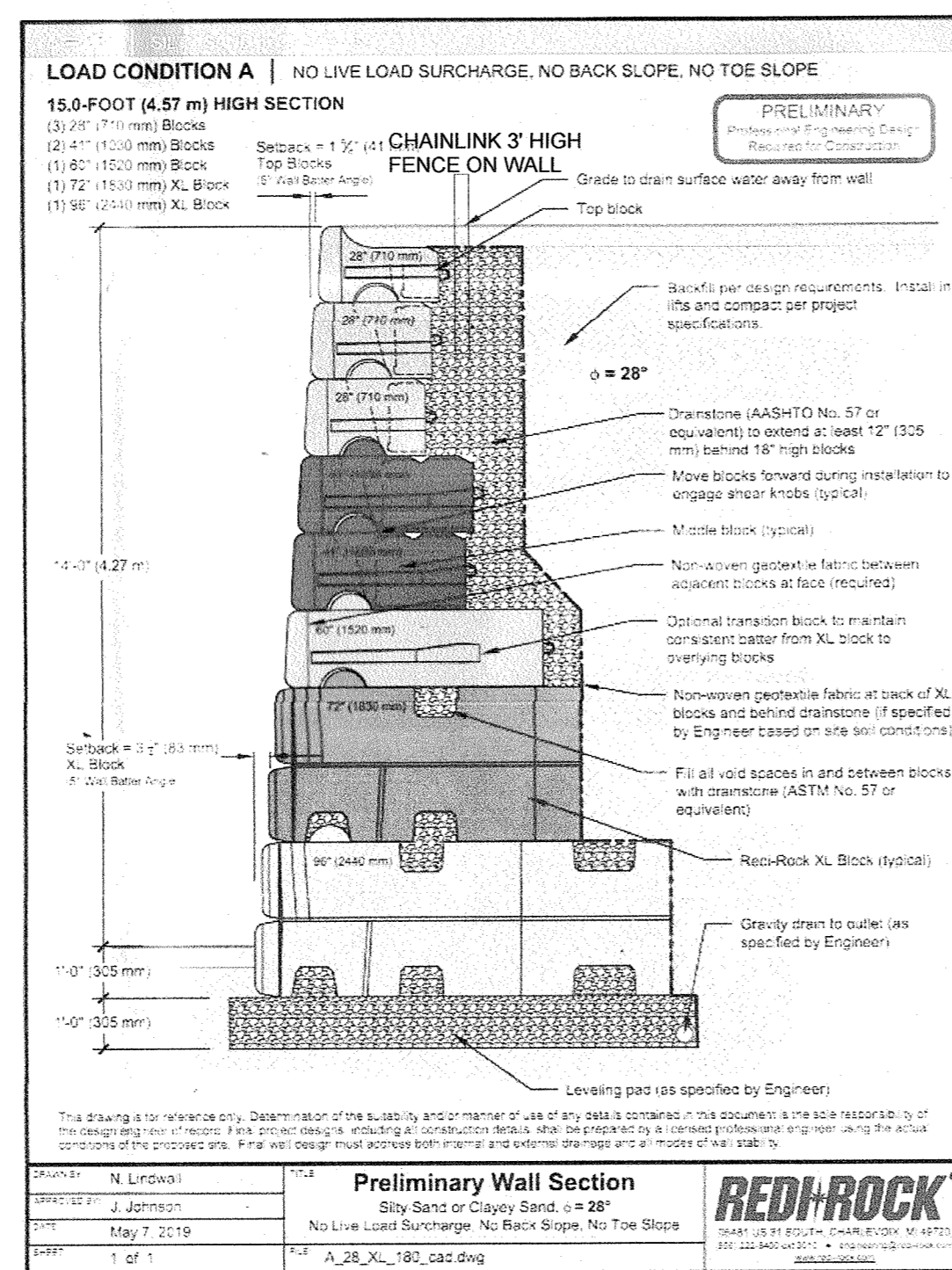
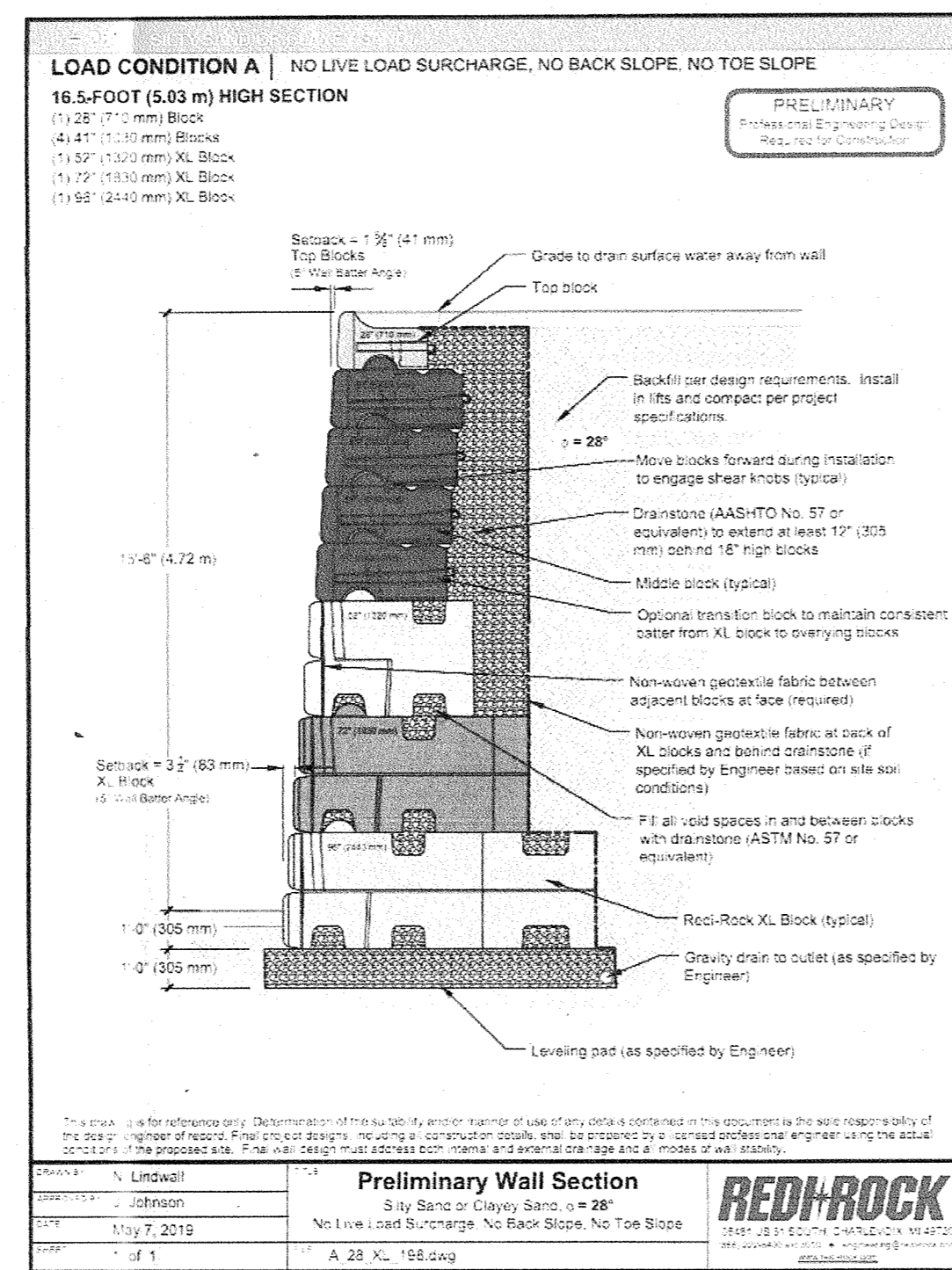
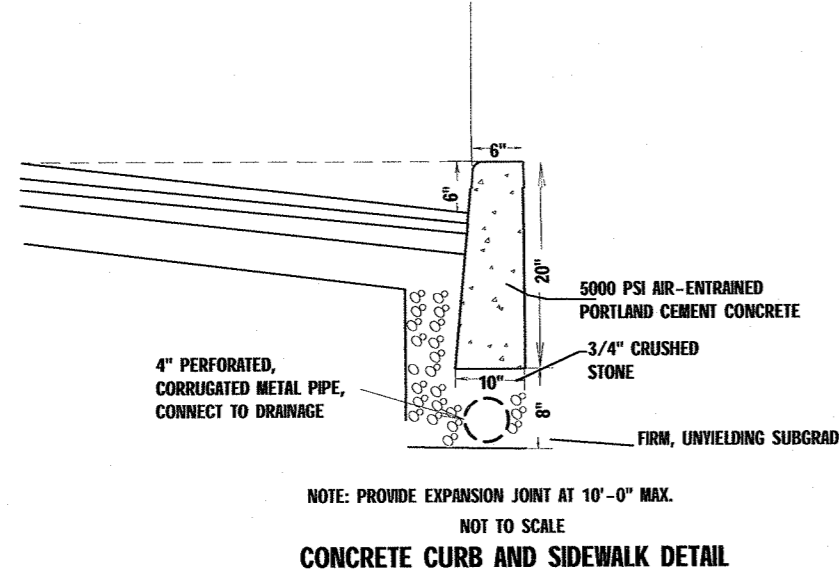
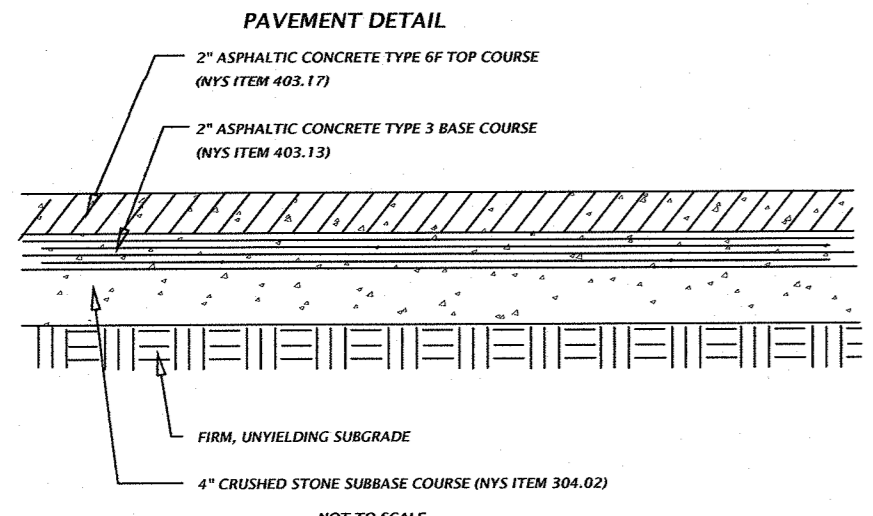
TOWN OF ORANGETOWN, ROCKLAND COUNTY  
rev 2/19/19 NEW YORK rev 2/12/19  
NYACK, NEW YORK  
rev 5/11/19

REV 1/3/20  
MARCH 20, 2017 SCALE: 1" = 20'  
REV 2/7/2020



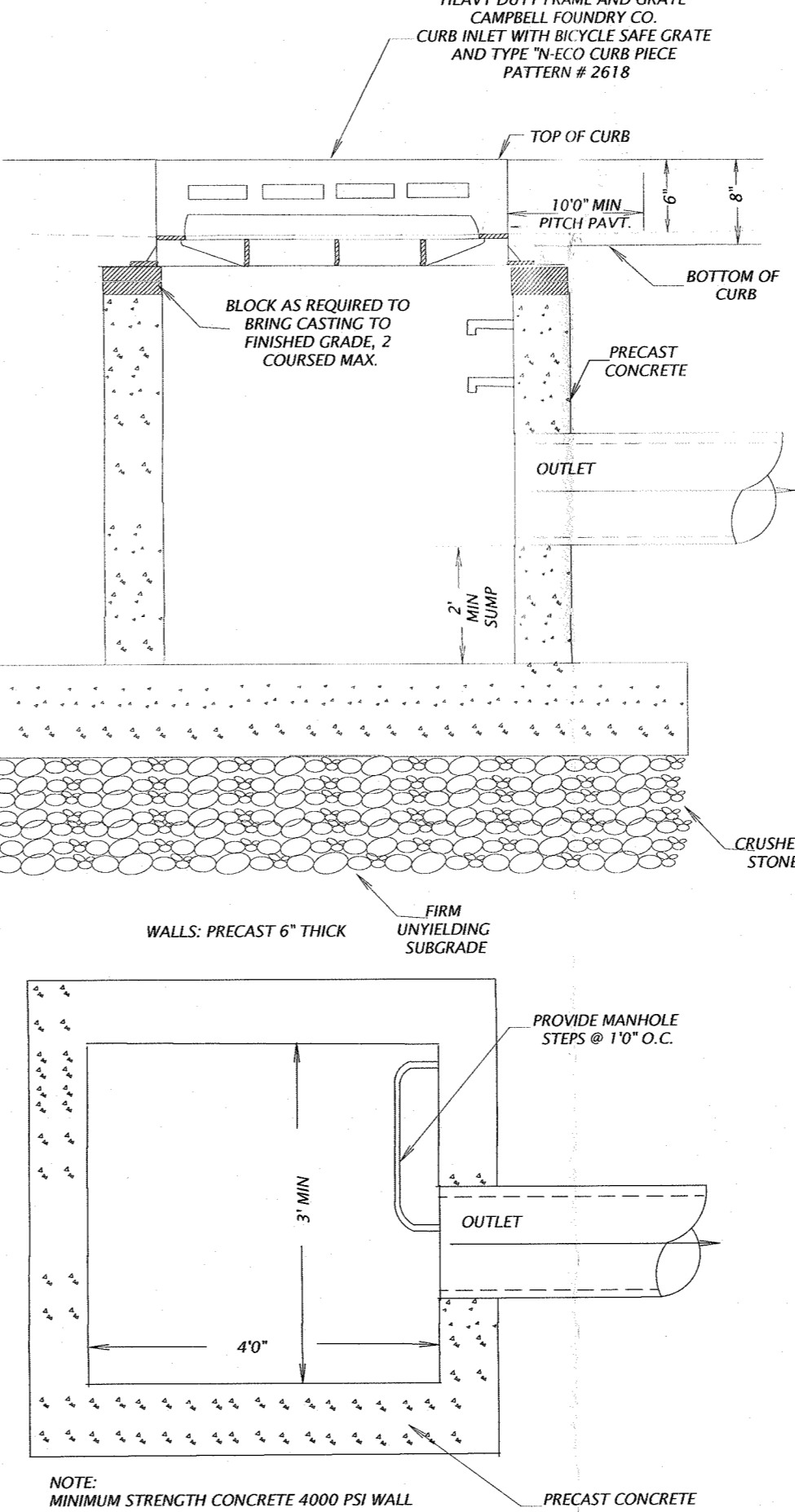
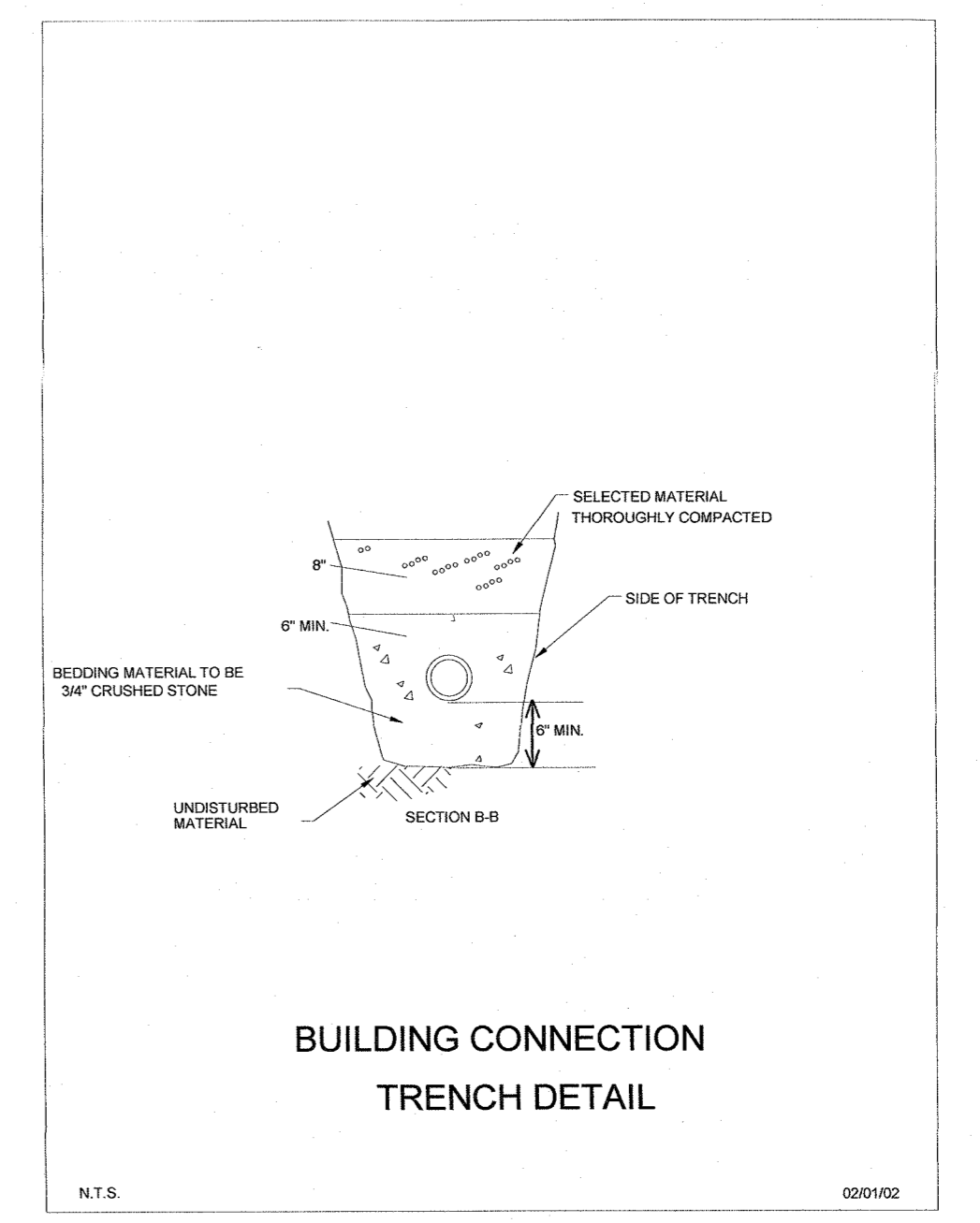
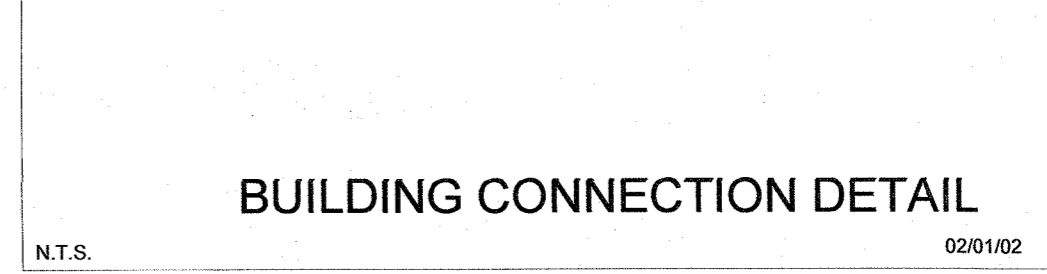
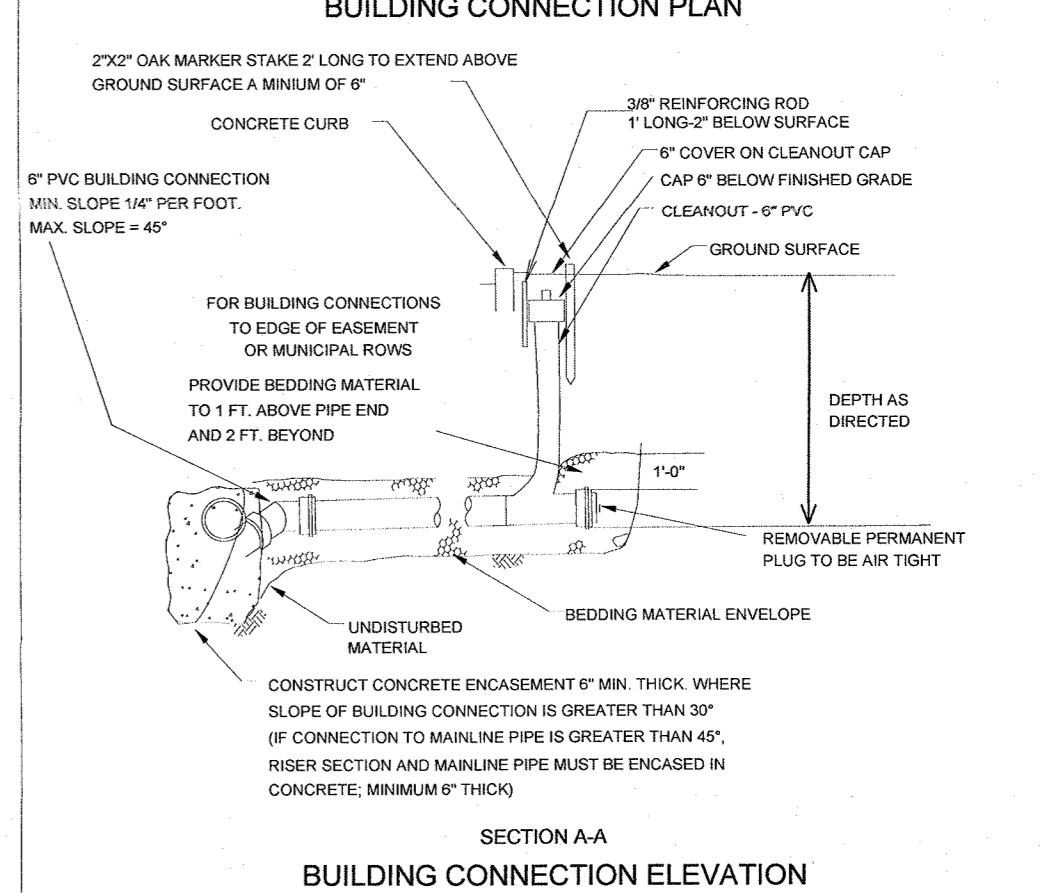
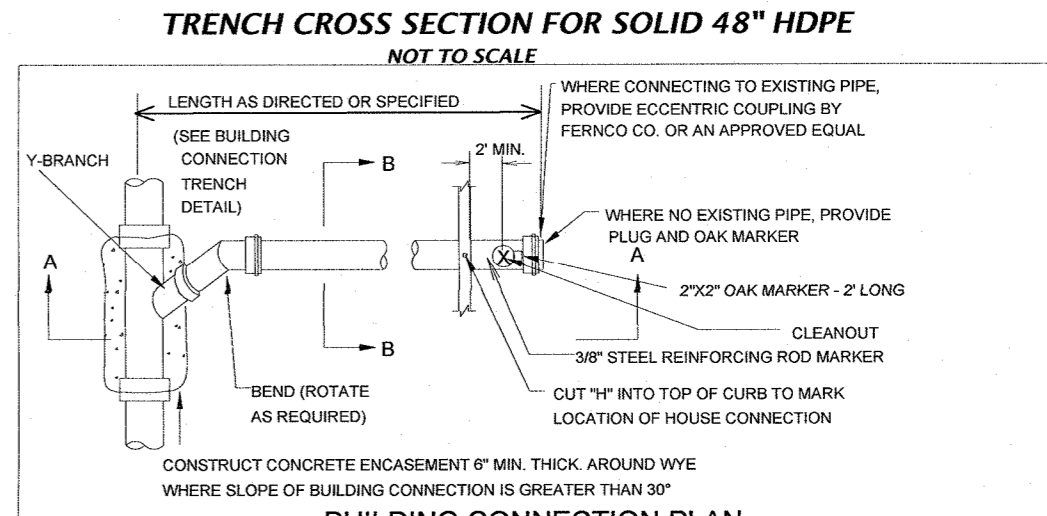
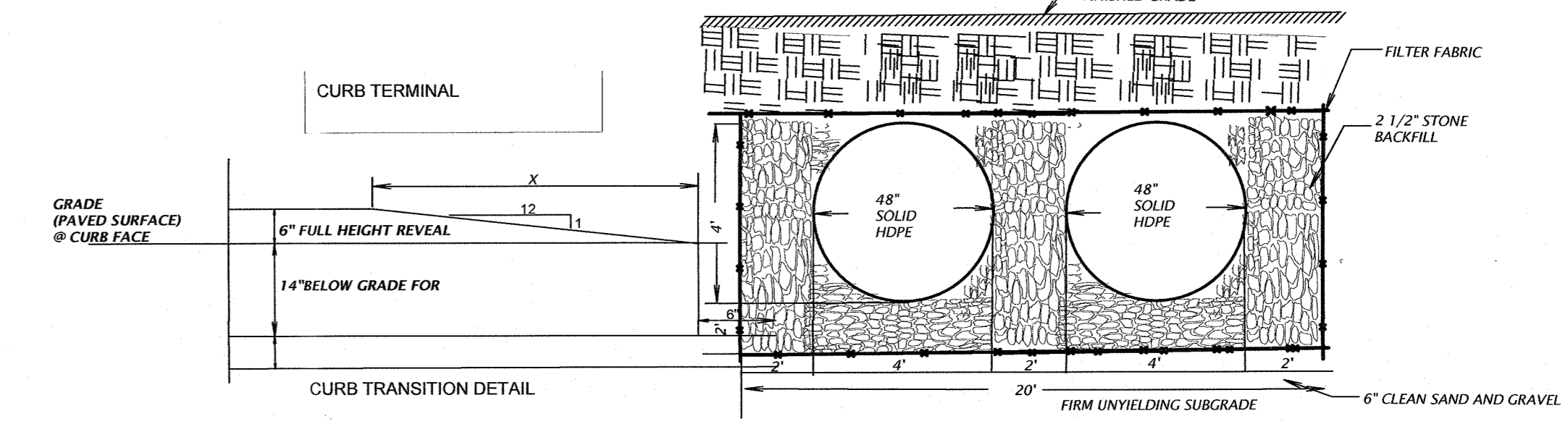
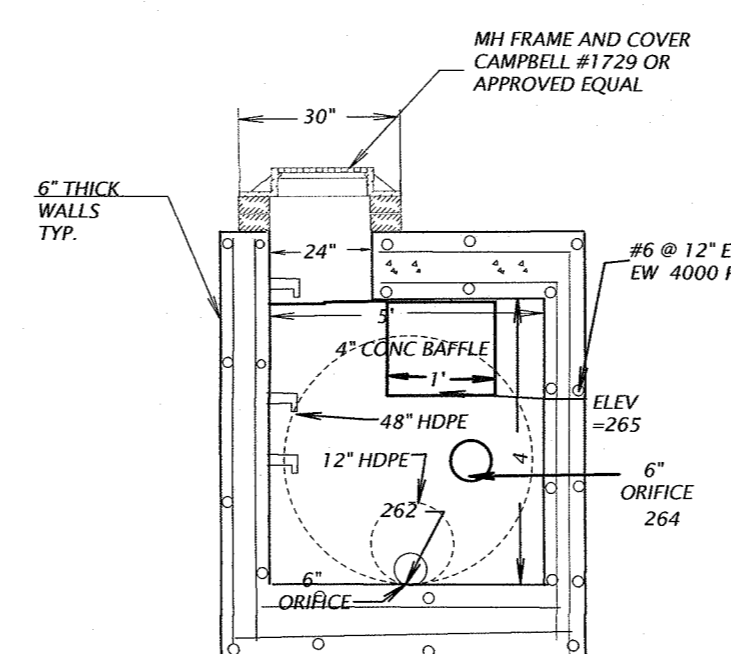
ANTHONY R. CELENTANO P.E.  
31 ROSMAN ROAD  
THIELLS, N.Y. 10984  
845 429 5290 FAX 429 5974

*Anthony R. Celetano* LIC#76244

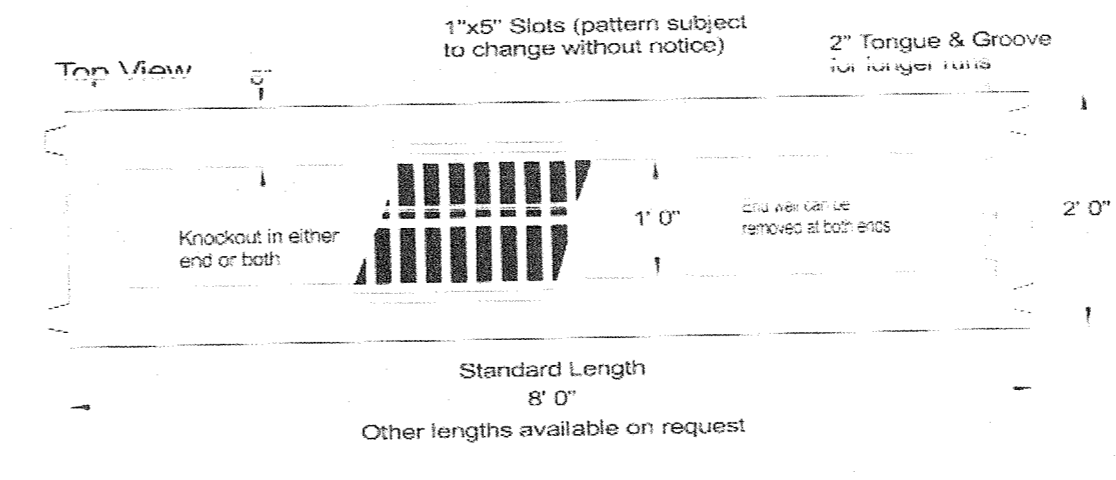
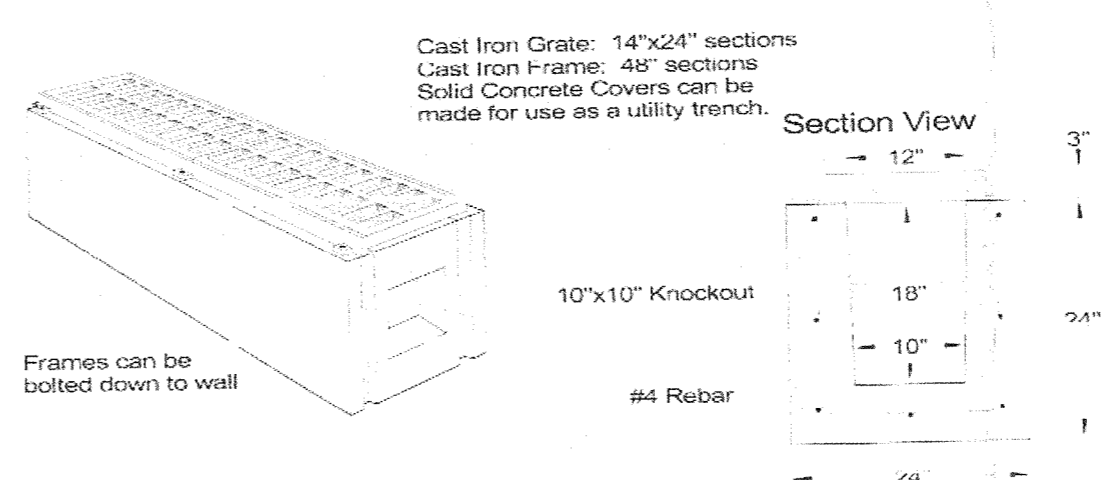


**OUTLET STRUCTURE**  
NOT TO SCALE

**ALL CONCRETE STRUCTURES MUST BE PRECAST**

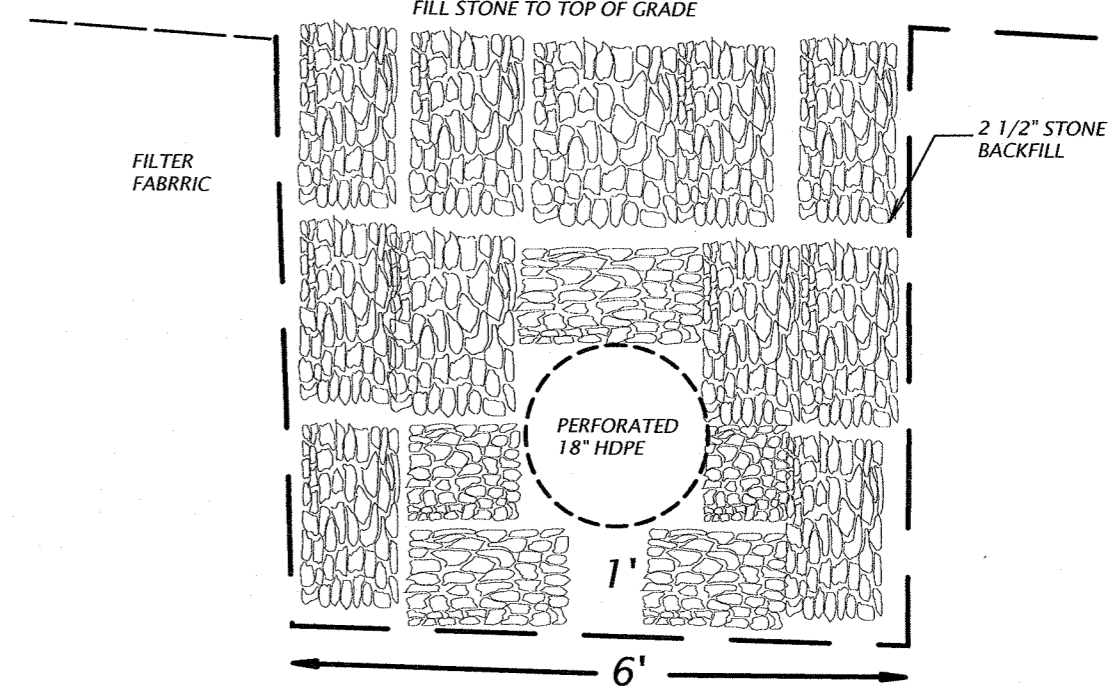


**PRECAST CATCH BASIN**  
NOT TO SCALE



**SPECIFICATIONS**  
Concrete Min. Strength: 4,000 psi at 28 days  
Reinforcement: #4 Rebar / ASTM A615  
Air Entrainment: 5%  
Weight = 3,000 lbs  
Load Rating: H20 / ASTM C857

**PRECAST TRENCH DRAIN HEAVY DUTY MODEL TD-HD**  
WOODBARD'S CONCRETE PRODUCTS, INC.  
6201 BURLING ROAD, BURLINGAME, NY 11015  
(845) 361-3471 / FAX 361-1050  
Page 31 12.31.09



TAX MAP DESIGNATION: 71.09-1-28  
**PROPOSED DETAIL PLAN FOR 1050 ROUTE 9W**  
TOWN OF ORANGETOWN, ROCKLAND COUNTY  
rev 2/19/19  
rev 2/12/19  
NYACK, NEW YORK  
rev 5/11/19  
MARCH 20, 2017 SCALE: N/A

REV 1/3/20  
REV 2/7/2020  
ANTHONY R. CELENTANO P.E.  
31 ROSMAN ROAD  
THIELS, N.Y. 10984  
845 429 5290 FAX 429 5974  
SHEET 6 OF 6

NEW CONSTRUCTION  
**Cornielle Real State Enterprises**  
1050 Route 9W  
Nyack, N.Y. 10960

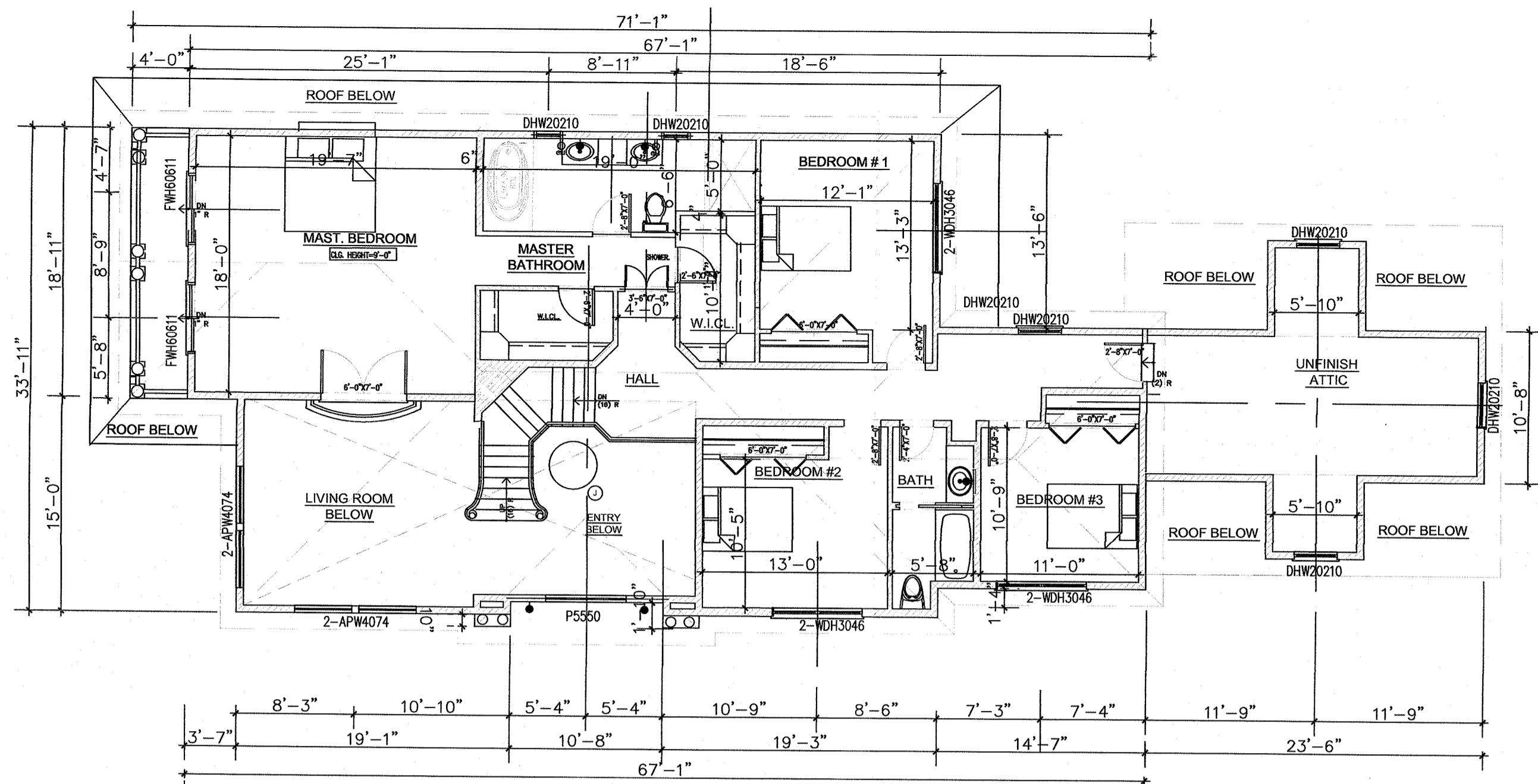


Jenny R. Zuniga-Casal  
ARCHITECT

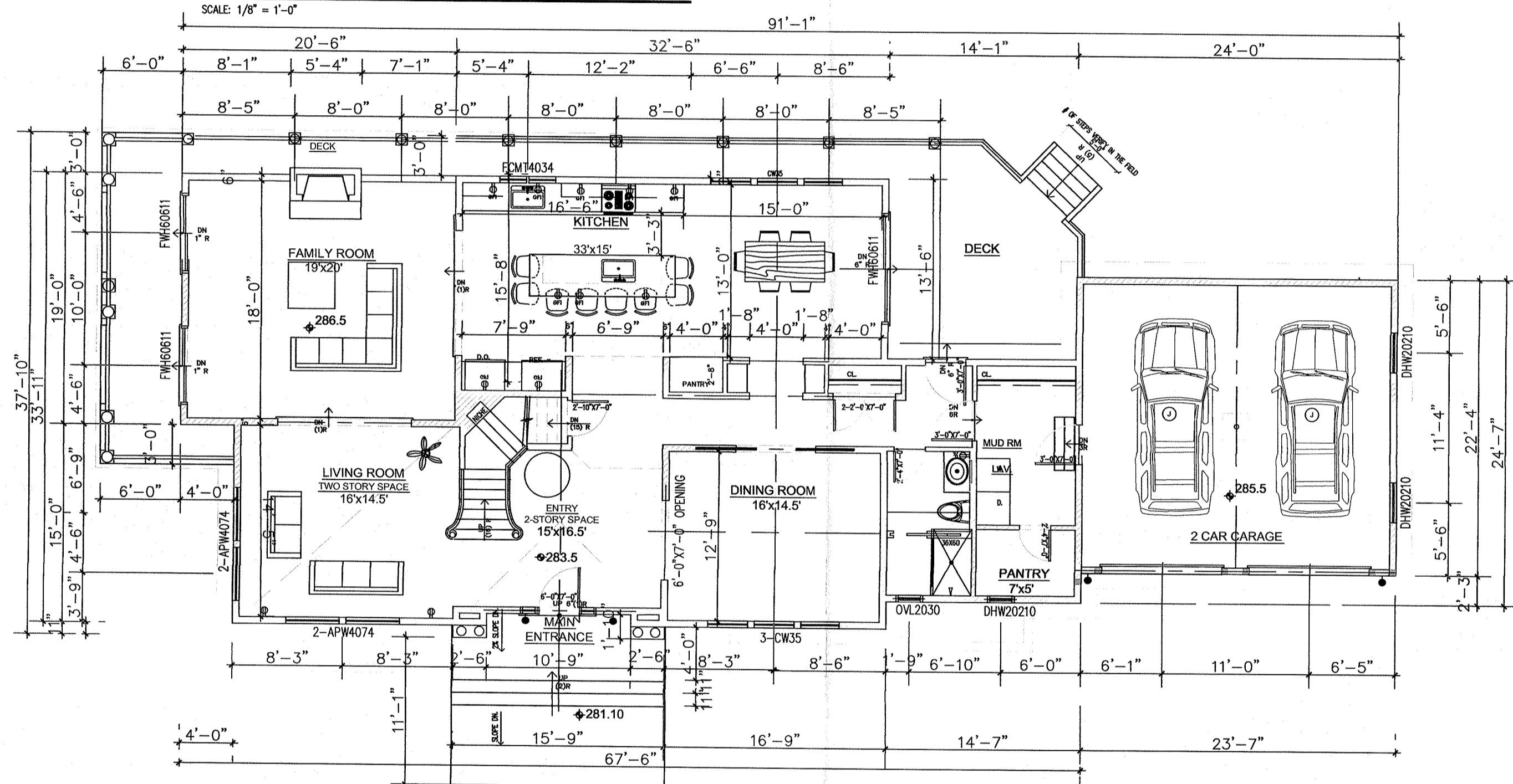
Jenny R. Zuniga-Casal Architecture LLC

77 Sierra Vista Lane, Valley Cottage, NY, 10989  
Tel: 845.598.1613 Fax: 845.512.8290  
Email: jzuniga000@msn.com

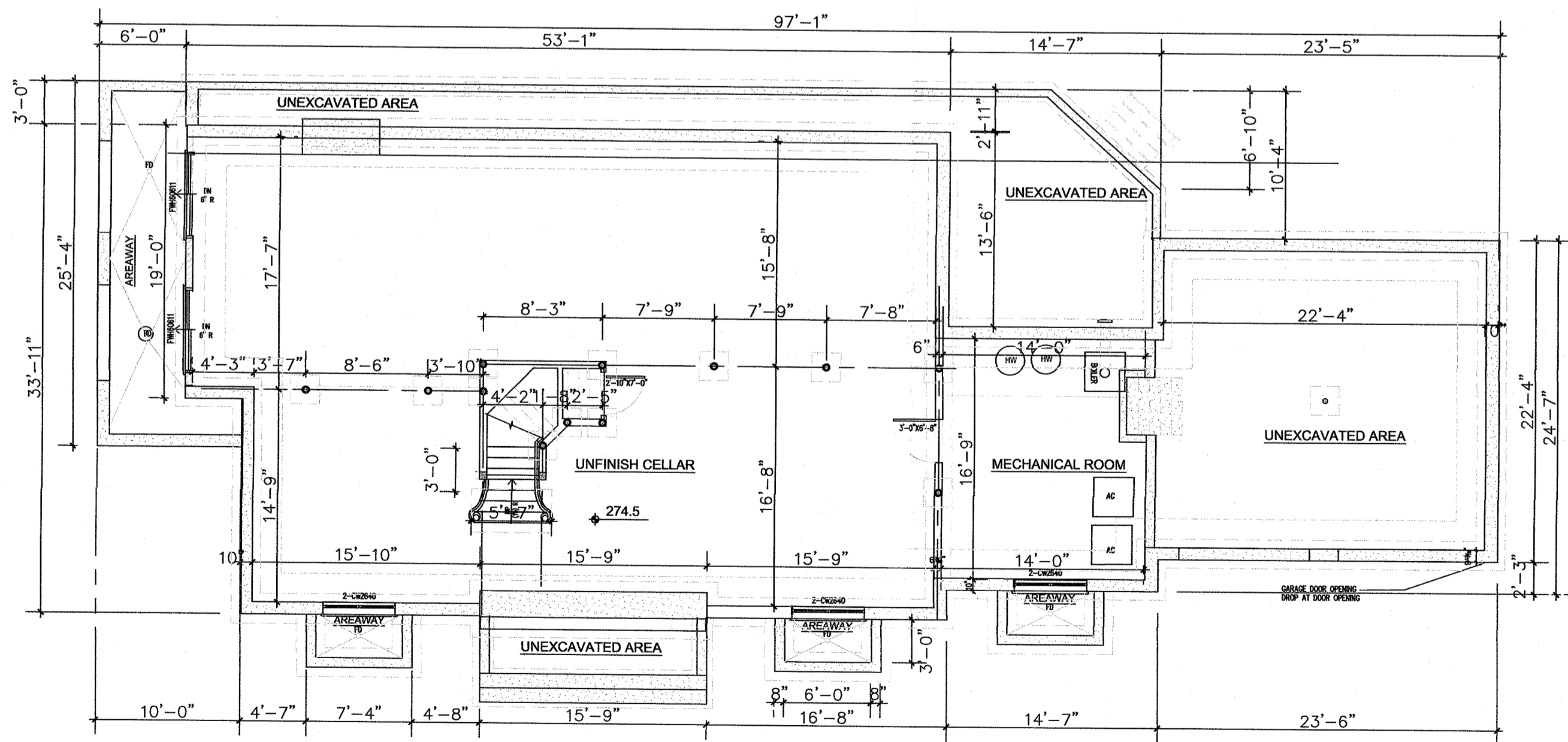




SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



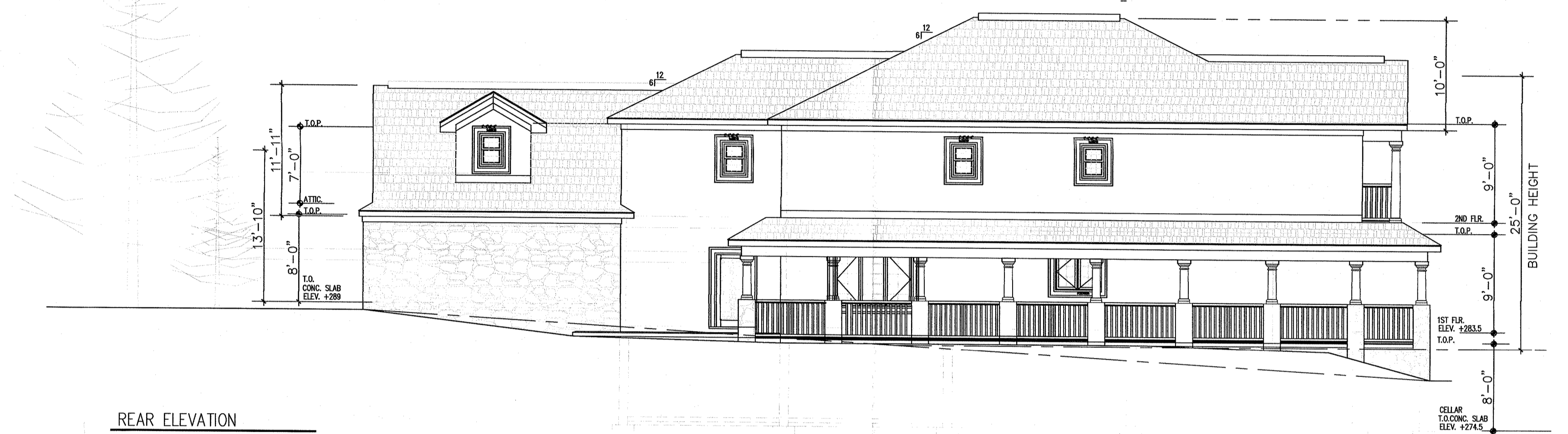
FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



CELLAR FLOOR PLAN  
SCALE: 1/8" = 1'-0"



FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



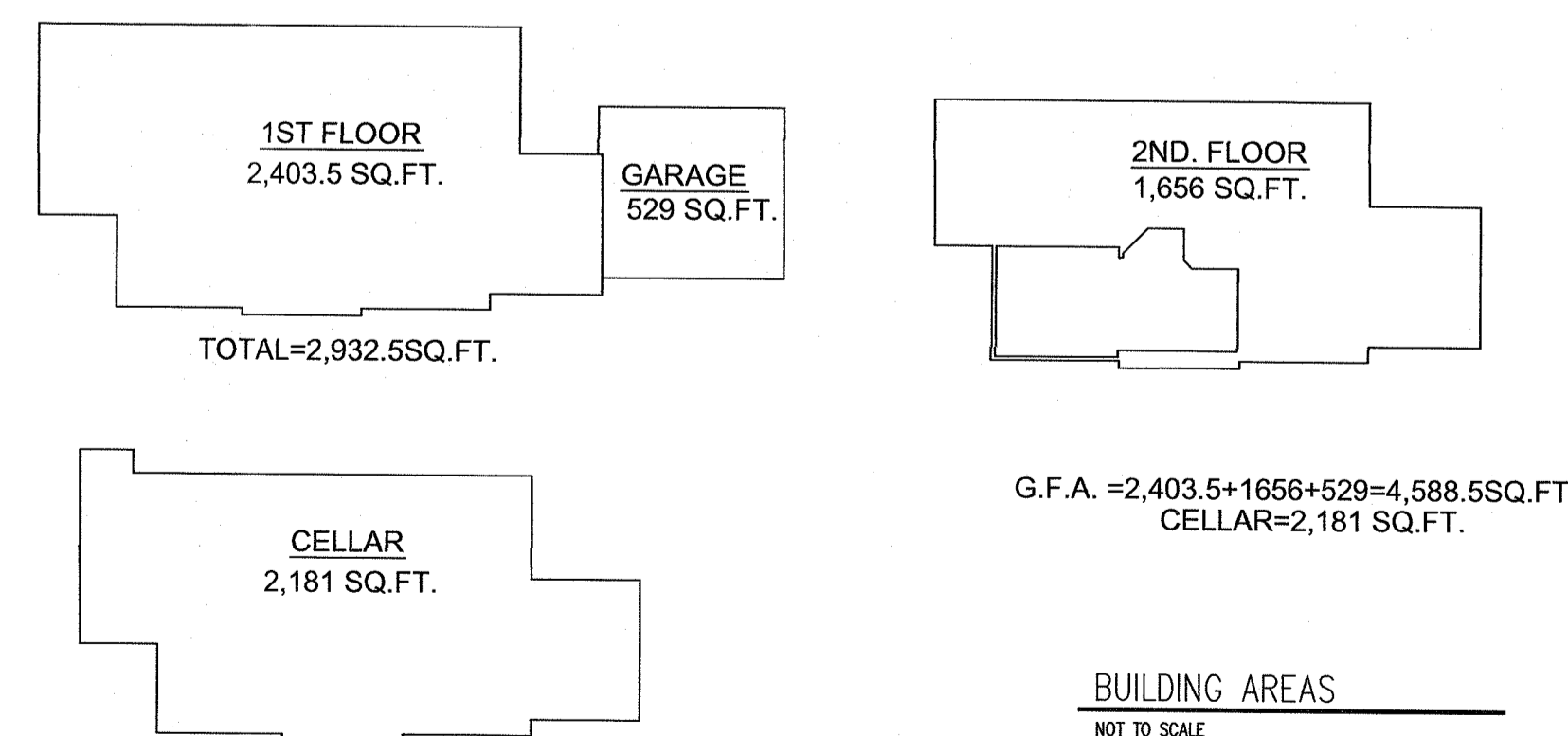
REAR ELEVATION  
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"



LEFT ELEVATION  
SCALE: 1/8" = 1'-0"



ISSUED 10-24-18 FOR REVIEW BY OWNER & CONTRACTOR  
11-7-18 FOR SUBMISSION  
04-10-19 AS PER COMMENTS FOR SUBMISSION  
12-3-19 AS PER PLANNING BOARD MEETING  
01-29-20 AS PER PLANNING BOARD MEETING

**Jenny R. Zuniga-Casal**  
ARCHITECT

Jenny R. Zuniga-Casal Architecture LLC  
77 Sierra Vista Lane, Valley Cottage, NY, 10989  
Tel: 845.598.1613 Fax: 845.512.8290  
Email: jzuniga000@msn.com

**REGISTERED ARCHITECT**  
JENNY R. ZUNIGA-CASAL  
STATE OF NEW YORK  
020174

**NEW CONSTRUCTION**  
Cornielli Real State Enterprises  
1050 Route 9W  
Nyack, N.Y. 10960

DRAWING NO.:  
**A-1**