

PROPERTY INFORMATION

ADDRESS: 27 SUNRISE LANE PEARL RIVER, NY 10965
 TAX MAP SECTION: 691B
 BLOCK NUMBER: 3
 LOT NUMBER: 431
 LOT AREA: 17,997 SF
 ALLOWABLE F.A.R.: 2.0
 GROSS FLOOR AREA PROPOSED: NO CHANGE DECK EXCLUDED FROM FLOOR AREA
 SEE SITE PLAN FOR ALL REQUIRED SETBACKS AND PROPOSED BUILDING SETBACKS.

GENERAL NOTES

THESE SIGNED & SEALED DOCUMENTS HAVE BEEN PREPARED TO ILLUSTRATE AND DOCUMENT THE EXISTING CONDITIONS OF A WOOD FRAMED UNENCLOSED EXTERIOR DECK AND ARE LIMITED TO BASIC STRUCTURAL & ARCHITECTURAL INFORMATION. NO FURTHER LIABILITY SHALL BE ASSUMED BEYOND THE CONTENTS HEREIN. NOTES INCLUDED BELOW FOR REFERENCE ONLY.

ALL WORK SHALL COMPLY WITH NYC BUILDING CODE, NFPA, NYC ELECTRICAL CODE & ALL OTHER APPLICABLE CODES & ORDINANCES AND IN ACCORDANCE WITH MUNICIPALITY RULES. APPLICABLE CODES INCLUDE:

2015 INTERNATIONAL BUILDING CODE NY STATE / 2015 INTERNATIONAL RESIDENTIAL CODE
 2021 UNIFORM CONSTRUCTION CODE WITH NY STATE SUPPLEMENT

IN ADDITION TO WORKMAN'S COMPENSATION AND DISABILITY INSURANCE REQUIRED BY THE DEPARTMENT OF BUILDINGS, ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK IN THE PREMISES SHALL PROVIDE LIABILITY INSURANCE IN AMOUNTS DETERMINED BY THE BUILDING DEPARTMENT.

IN THE EVENT OF CONFLICTS BETWEEN THE DOCUMENTS AND THE REQUIREMENTS OF THE BUILDING CODE, THE MORE STRINGENT REQUIREMENT GOVERNS.

IN THE EVENT OF ERRORS OR INCONSISTENCIES IN THE DOCUMENTS, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT. THE ARCHITECT SHALL PROVIDE CLARIFYING INFORMATION TO THE CONTRACTOR. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY STRUCTURAL CONDITIONS NOT SHOWN ON THESE PLANS.

THE INTENT OF THESE DOCUMENTS IS TO ILLUSTRATE AND INCLUDE BASIC ITEMS NECESSARY FOR THE PROPER EXECUTION OF THE WORK. THE CONTRACTOR SHALL FURNISH OR CONTRACT FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT AND OTHER ITEMS AS MAY BE NECESSARY TO COMPLETE THE WORK CALLED FOR, SHOWN ON OR REASONABLY INFERRED BY THESE DOCUMENTS.

THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, TECHNIQUES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK SINCE THESE ARE SOLELY THE GENERAL CONTRACTOR'S RESPONSIBILITY.

DO NOT SCALE DIMENSIONS TO OBTAIN DIMENSIONS. IF UNCERTAINTY ARISES REGARDING DIMENSIONS, ALIGNMENTS, HEIGHTS, ETC. CONTACT THE ARCHITECT FOR CLARIFICATION.

CONSTRUCTION & MATERIALS NOTES

FOR DESIGN PURPOSES, LOAD VALUES FOR THESE DOCUMENTS WERE TAKEN FROM TABLE R601.41, WITH SOILS MAINTAINING A MINIMUM LOAD BEARING PRESSURE OF 2000 PSF. ALL FOOTINGS AND FOUNDATION WORK SHALL ONLY BE INSTALLED ON SOIL WITH PROPER BEARING VALUE.

ALL CONCRETE WORK SHALL BE TRANSPORT-MIXED STONE WITH A BEARING CAPACITY OF 3000 PSI TESTED 28 DAYS AFTER POURING.

ALL LUMBER USED IN THE WORK SHALL BE SOUND, DRY, CONSTRUCTION GRADE DOUGL AS FIR OR KD SPRUCE WITH MINIMUM STRESS VALUES OF #2 - 1300 PSI AND E = 1,750,000.

STAIRS TO BE CONSTRUCTED AND DIMENSIONED AS PER NEW YORK STATE CODE REQUIREMENTS.

MAXIMUM RISER HEIGHT: 8.25"
 MAXIMUM TREAD DEPTH: 3 1/4"
 MINIMUM NOSING DEPTH: 3/4"
 HANDRAIL HEIGHT: 36" ABOVE FINISHED FLOOR
 MAXIMUM SPINDLE GAPS: 4"

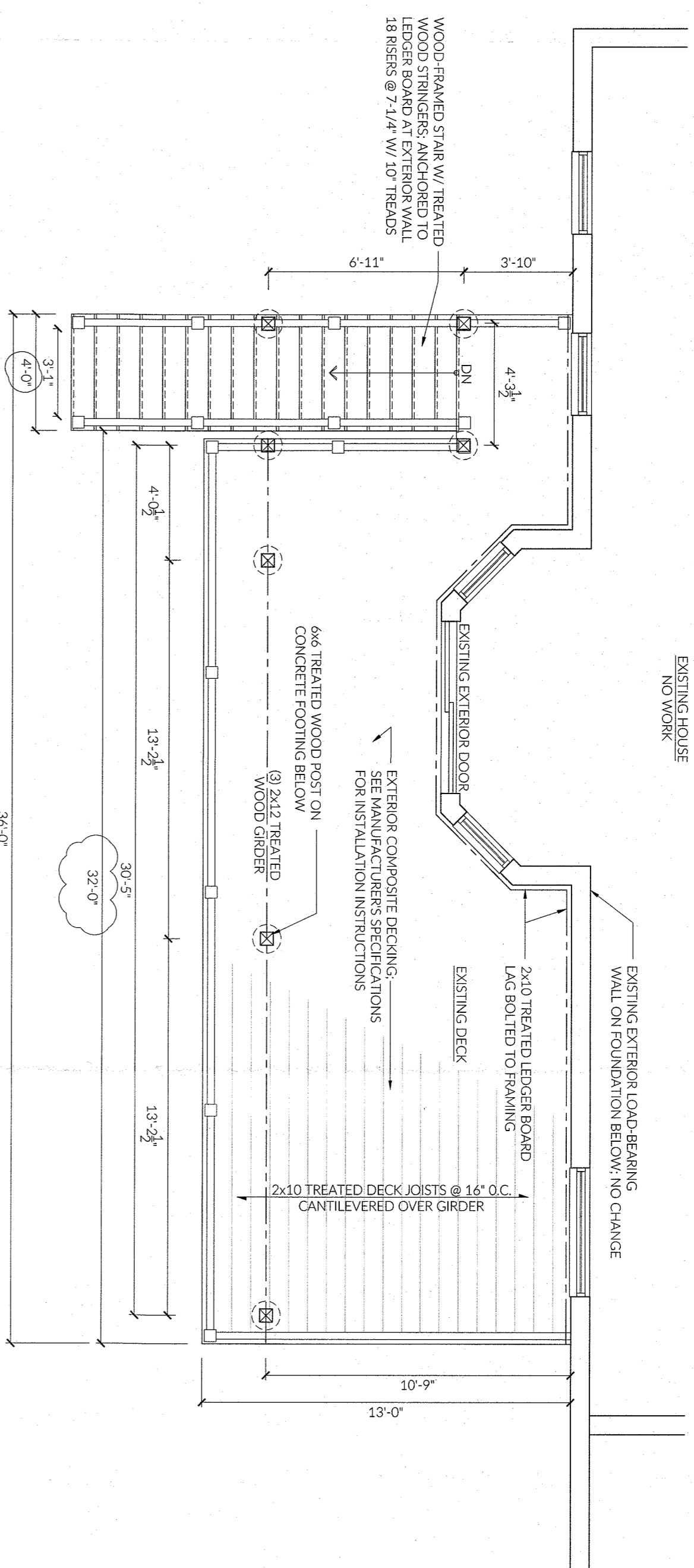
STRUCTURAL DESIGN LOADING CHART

LOCATION	LIVE LOAD REQUIRED	DEAD LOAD APPLIED	TOTAL LOAD VALUE
GUARDRAIL & HANDRAIL	200 LBS / SF	20 LBS / SF	220 PSF
STAIRS	40 LBS / SF	10 LBS / SF	50 PSF
DECKS & PORCHES	40 LBS / SF	10 LBS / SF	50 PSF

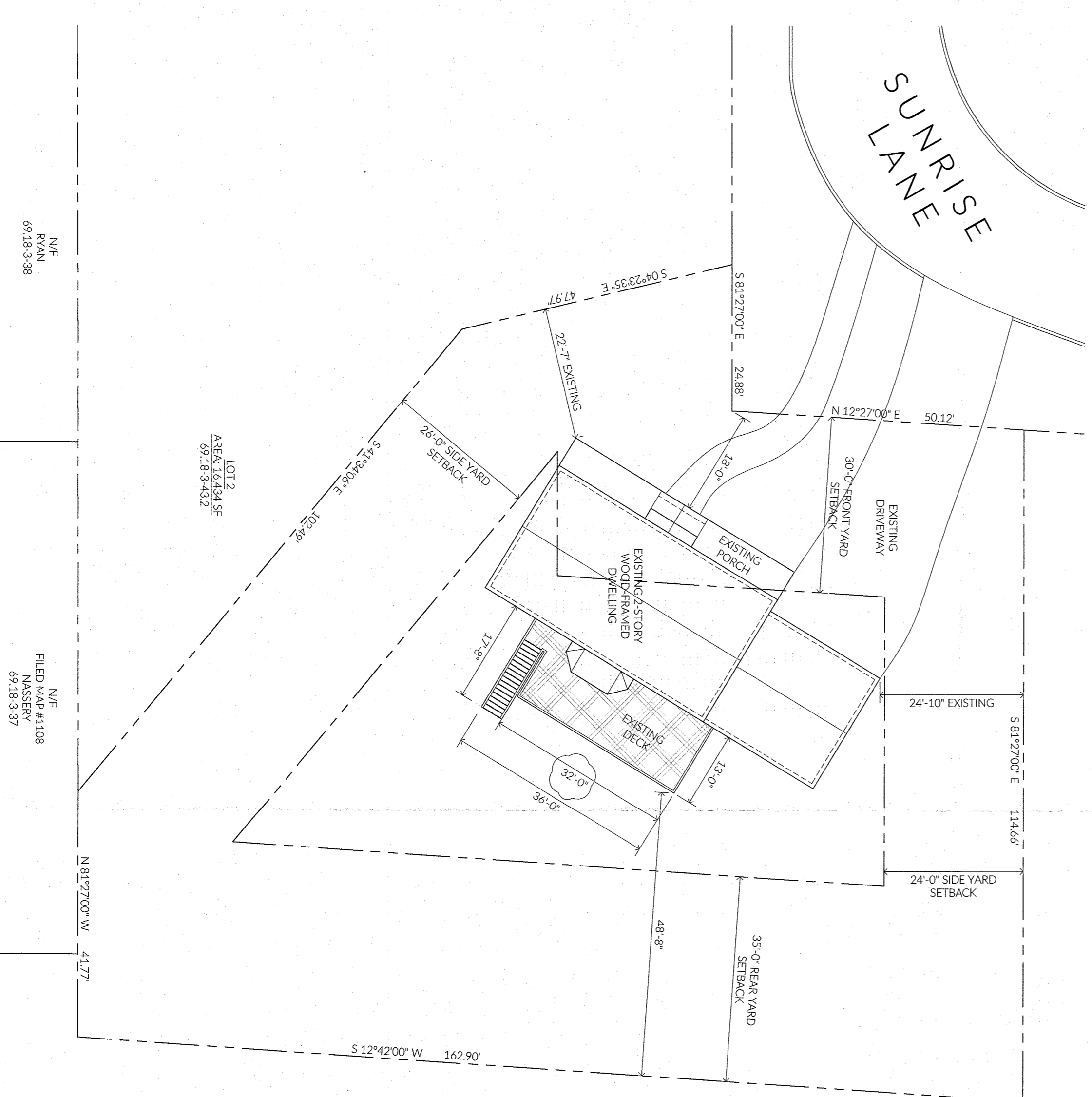
BULK REQUIREMENTS: ZONE R-15

USE GROUP	MIN. LOT AREA	LOT WIDTH	FRONT YARD	SIDE YARD	TOTAL SIDE YARD	REAR YARD	STREET FRONT.	MAX. HEIGHT	FLOOR AREA RATIO
M	15,000 SF	100'-0"	30'-0"	20'-0"	50'-0"	35'-0"	75'-0"	11'-0"/1'-0" FROM LL	0.20
EXISTING	17,997 SF	122'-0"	18'-0"	22'-7"	46'-7"	48'-8"	75'-0"	< 9'-0"	0.16

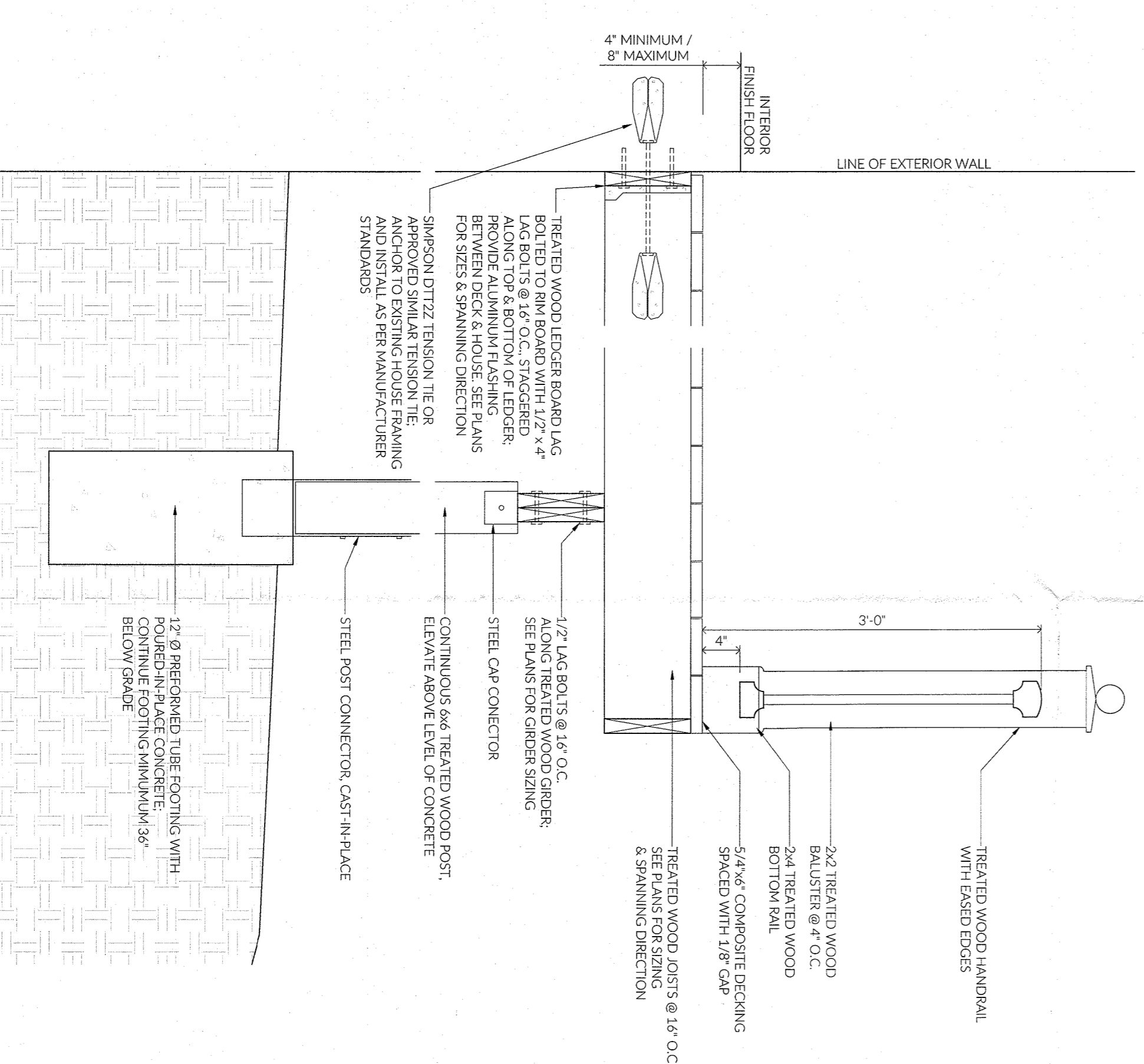
NOTE:
 Z.B.A. #16-70 FRONT YARD VARIANCE LOT 1 JULY 20, 2014
 Z.B.A. #17-53 FRONT YARD & TOTAL SIDE YARD VARIANCE GRANTED SEPT 18, 2017
 BULK REQUIREMENTS TABLE FOR ZONE R-15 DERIVED BY ROBERT E. SCHWENK P.E. FILED UNDER ZONE R-15 2020, MODIFIED AS PER REVISED DECK



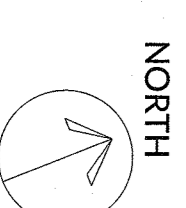
2-A101 EXISTING DECK PLAN
 SCALE: 1/4" = 1'-0"



1-A101 EXISTING SITE PLAN
 SCALE: 1/16" = 1'-0"



3-A101 TYPICAL DECK SECTION
 SCALE: 1" = 1'-0"



10/12/2020
 ISSUED FOR REVIEW
 12/11/2020
 CORRECTED DECK WIDTH TO 32'-0" AS PER AS-BUILT SURVEY
 ISSUANCE RECORD

OWNER:
 STEVEN GRIFFIN
 27 SUNRISE LANE
 PEARL RIVER, NY 10965

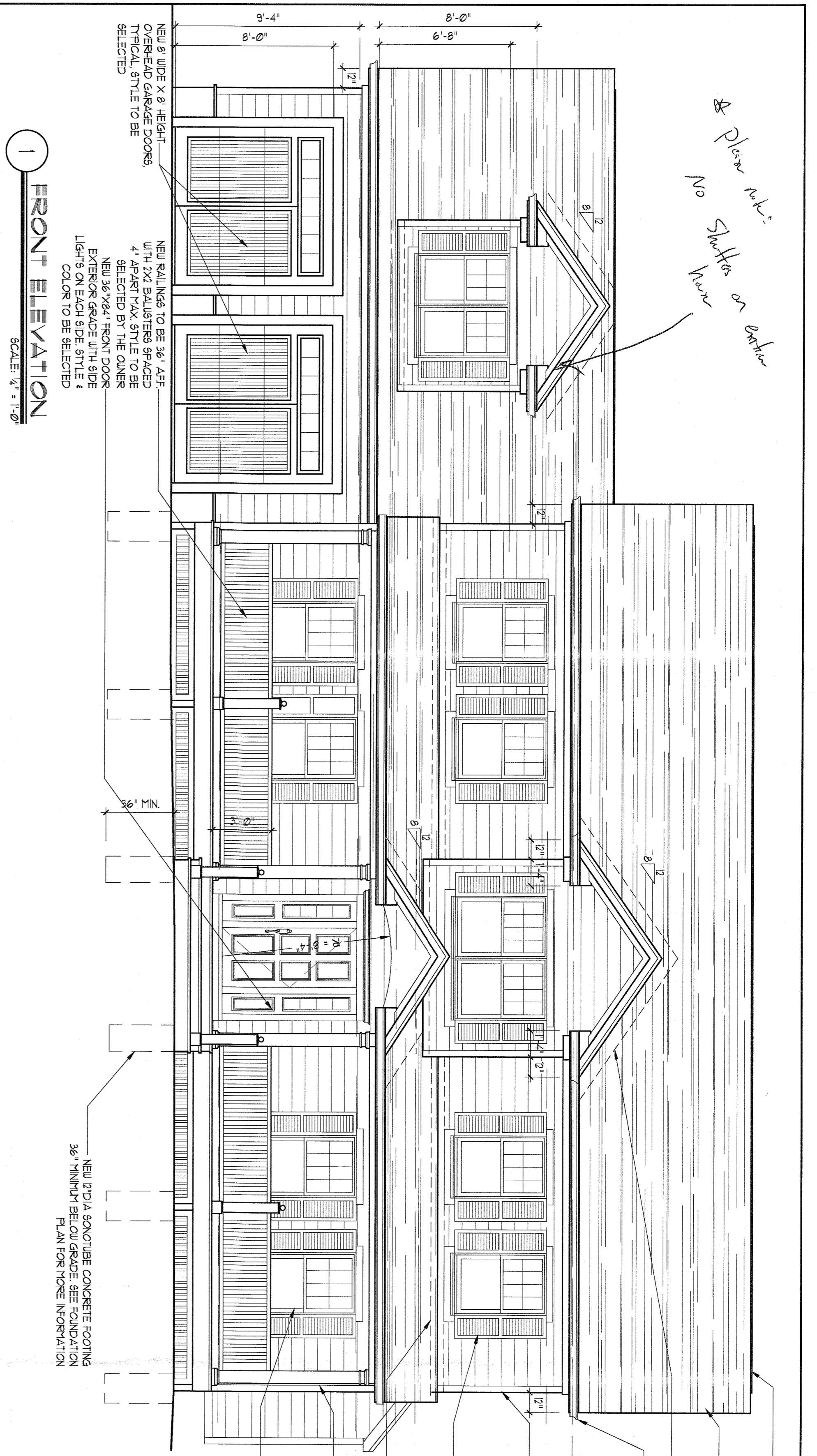
ARCHITECT:
 LUKE PETROCCELLI RA
 51 STRATFORD RD. APT C3
 BROOKLYN, NY 11218

PROJECT ADDRESS:
 27 SUNRISE LANE
 PEARL RIVER, NY
 10965

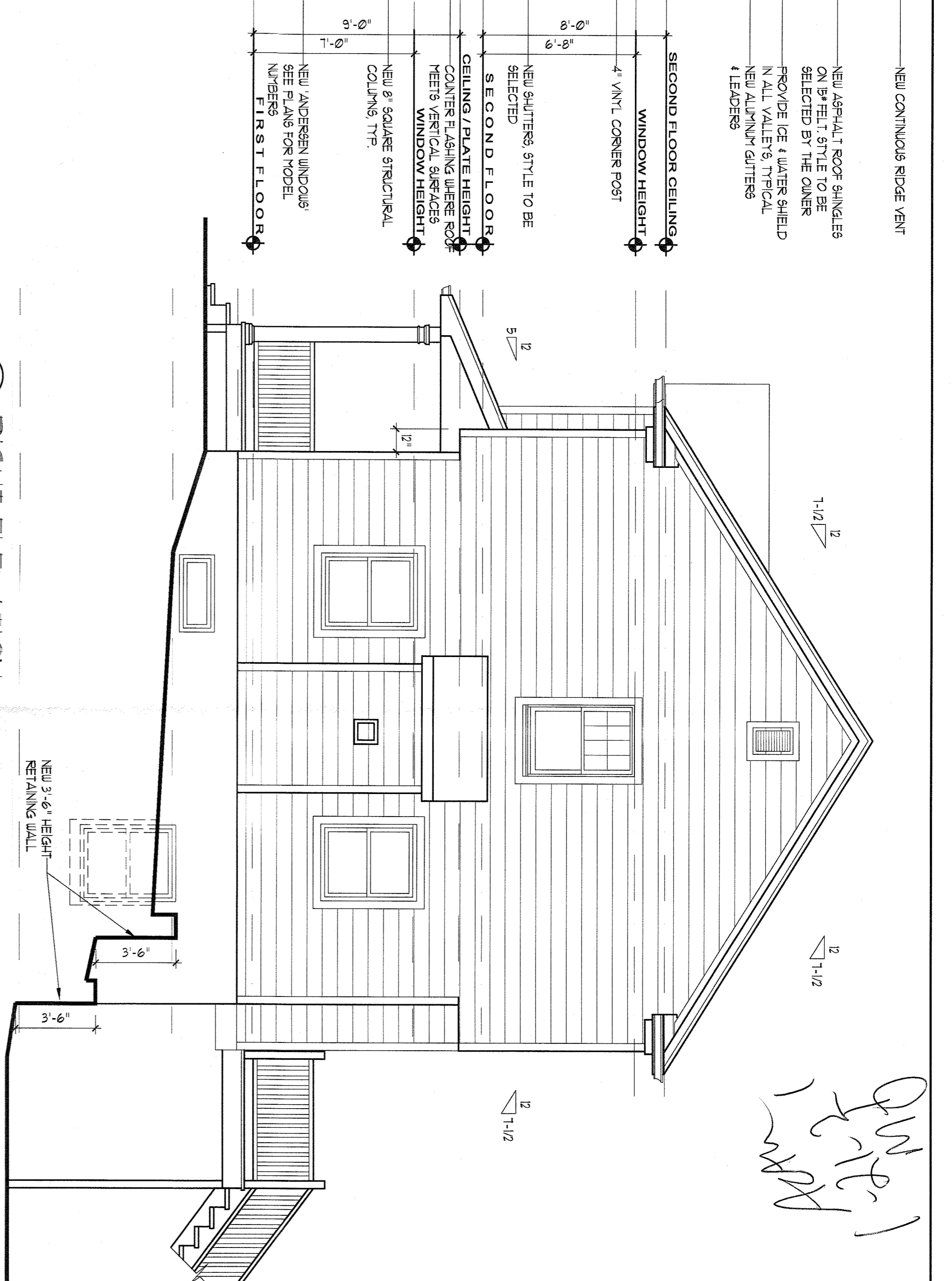
DRAWING TITLE:
 EXISTING DECK

SCALE:
 AS NOTED

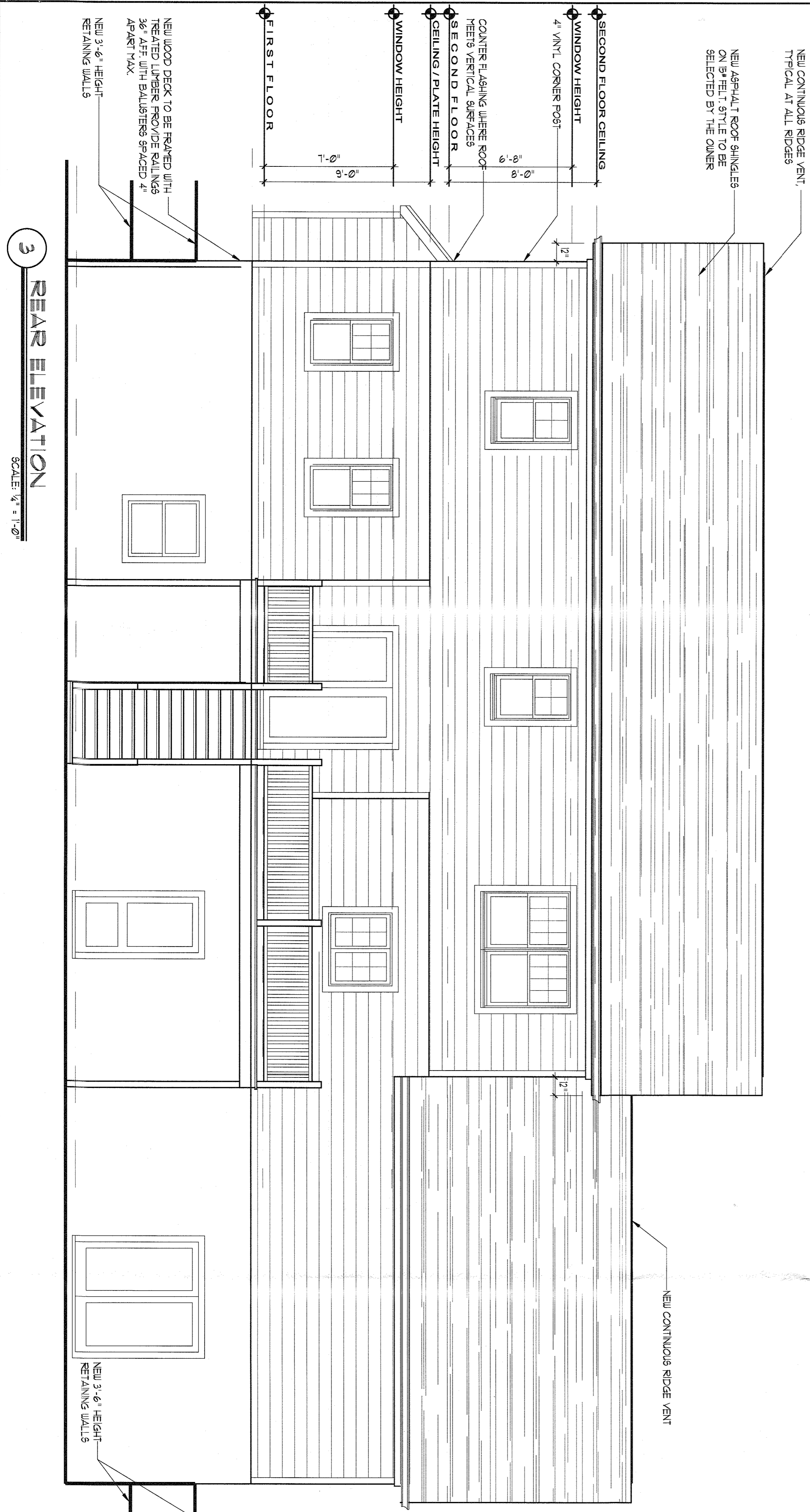
L. PETROCCELLI
 NYS LICENSE #0420885
 DWG. NO. 01 OF 01



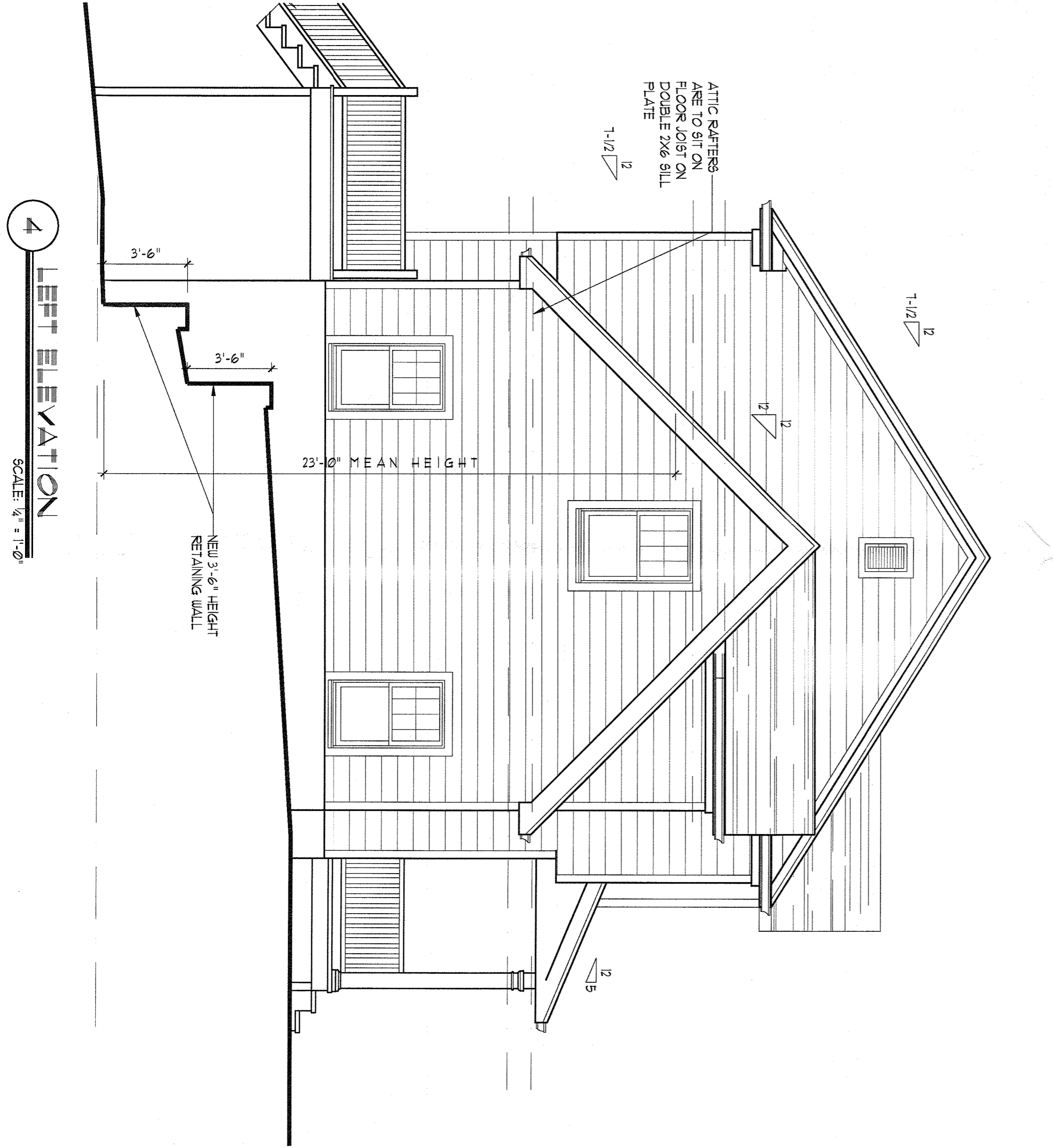
1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"

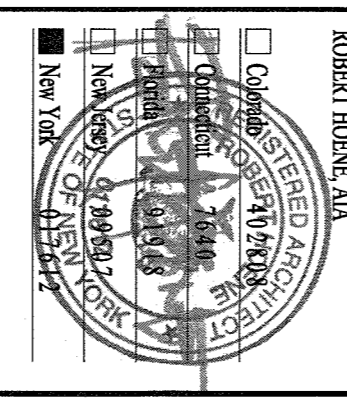


4 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

date	issue	description	by
06-14-2017	1A	ISSUED FOR PERMIT	FN

ELEVATIONS
ADDITION AND ALTERATIONS TO
GRIFIN RESIDENCE
27 SUNRISE LANE
PEARL RIVER, NEW YORK

DRAWN: FN
CHECKED: ROBERT HOENE
DATE: 01-11-2017
SCALE: AS NOTED

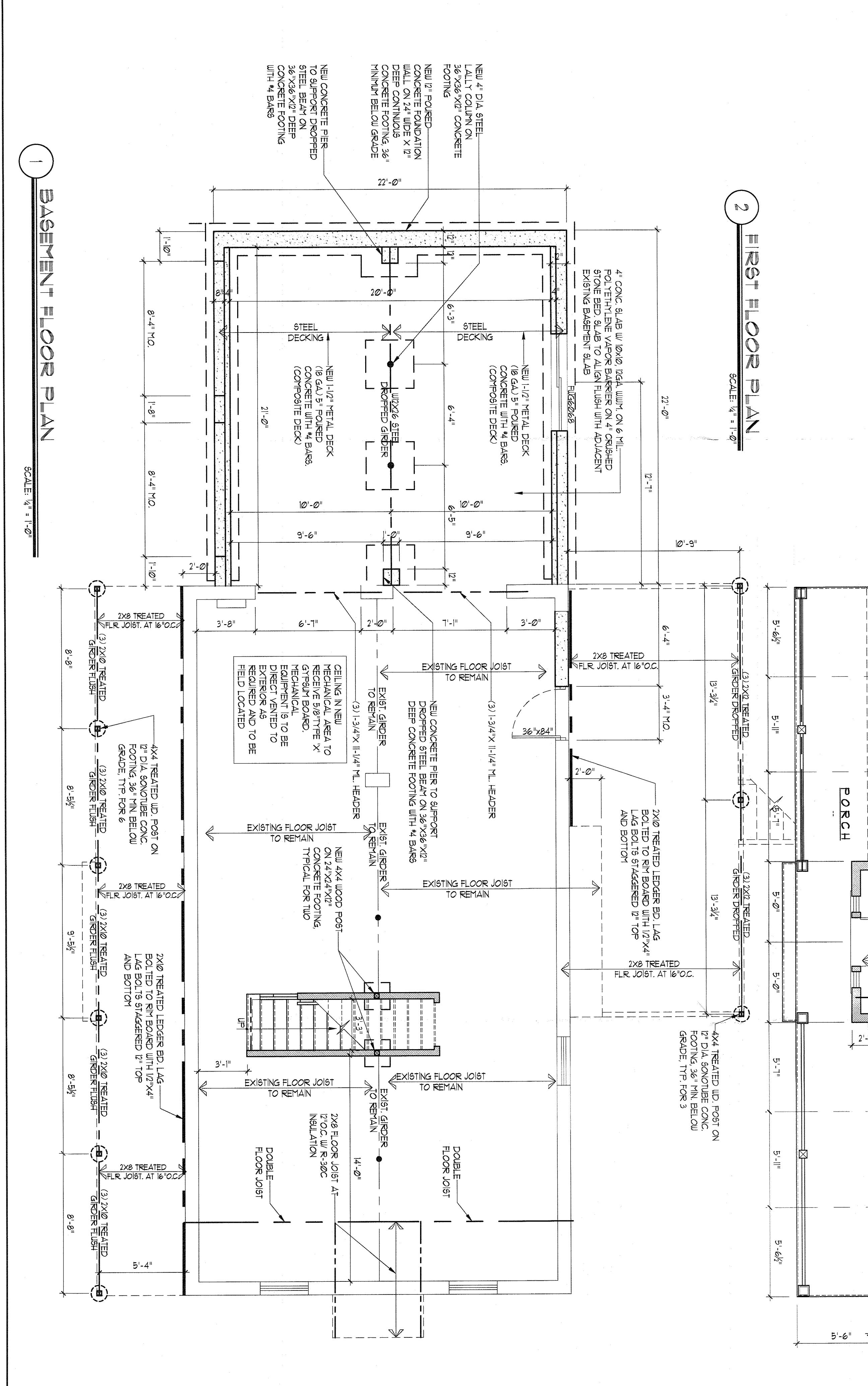
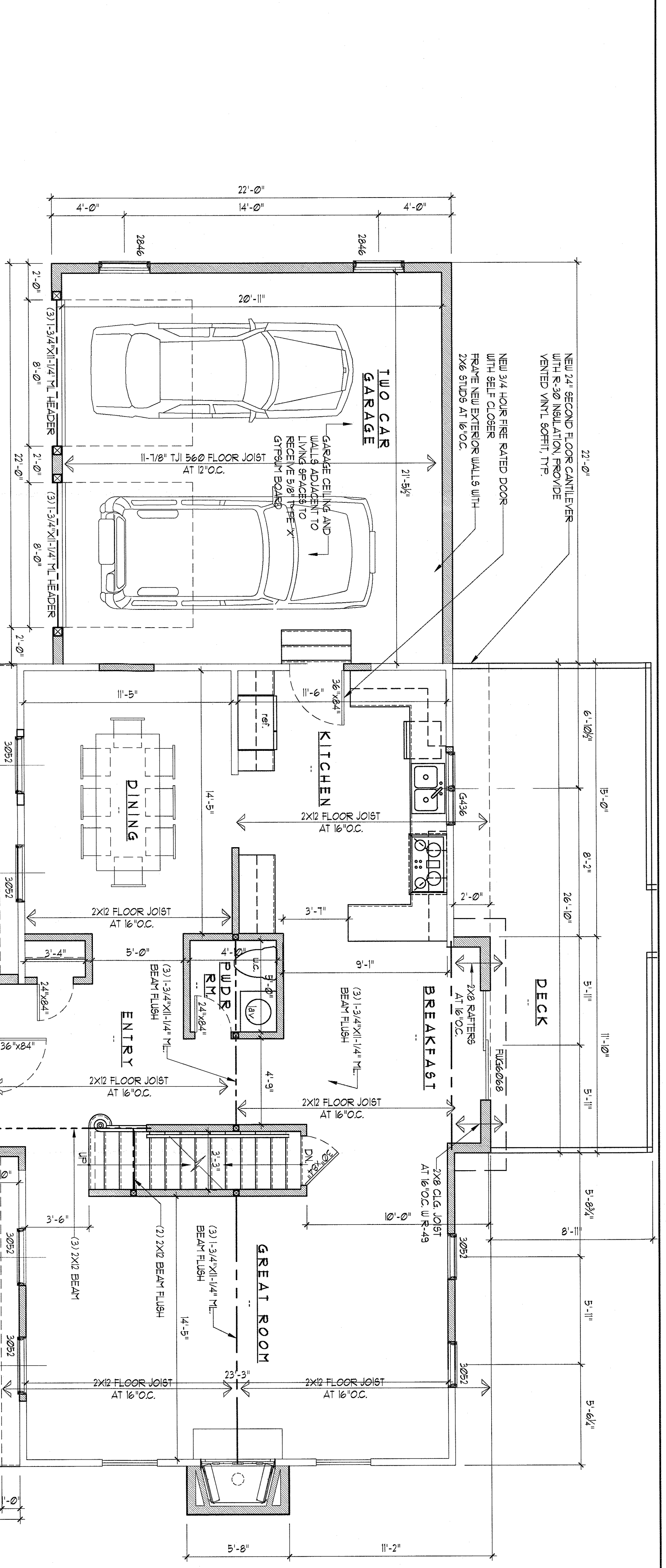
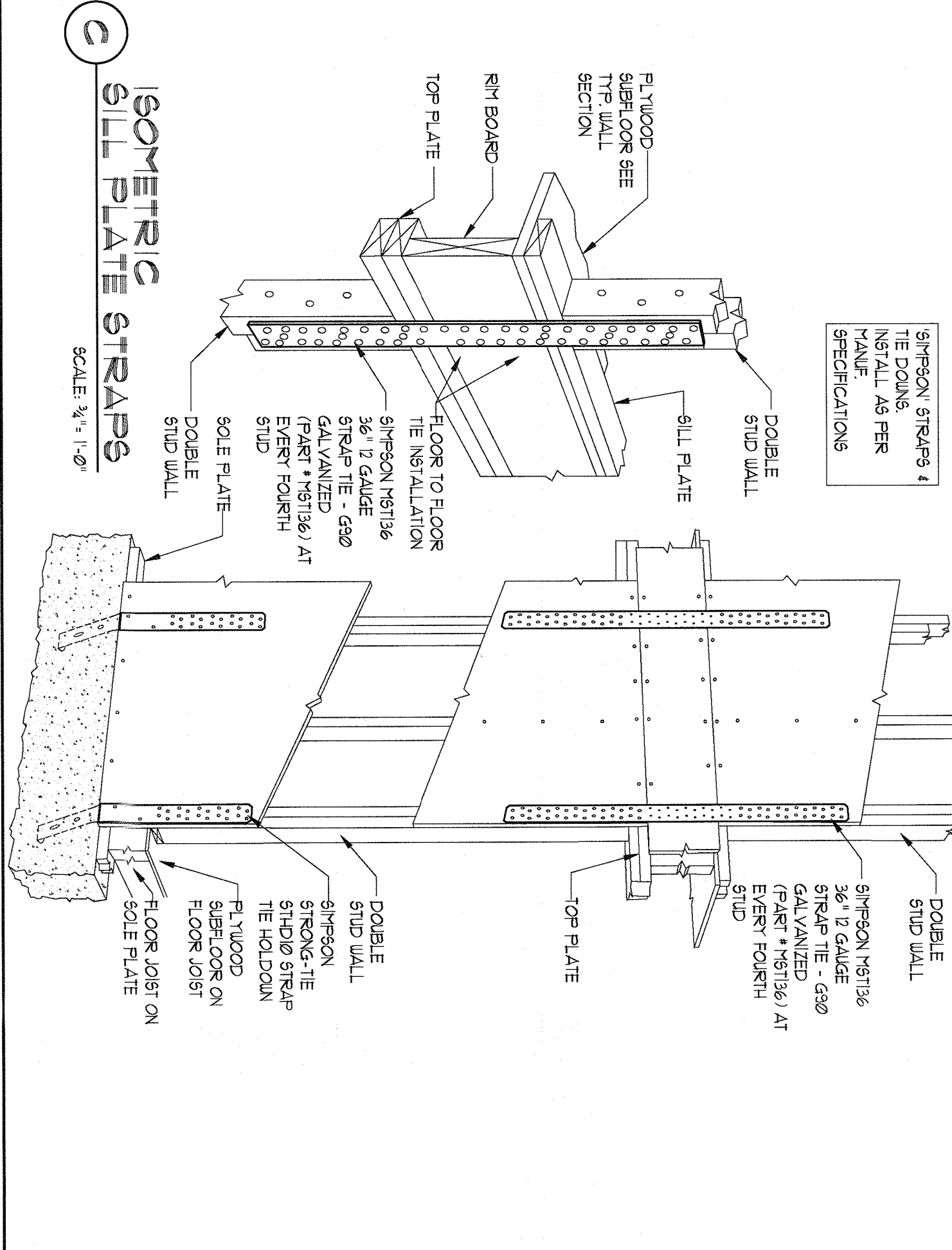
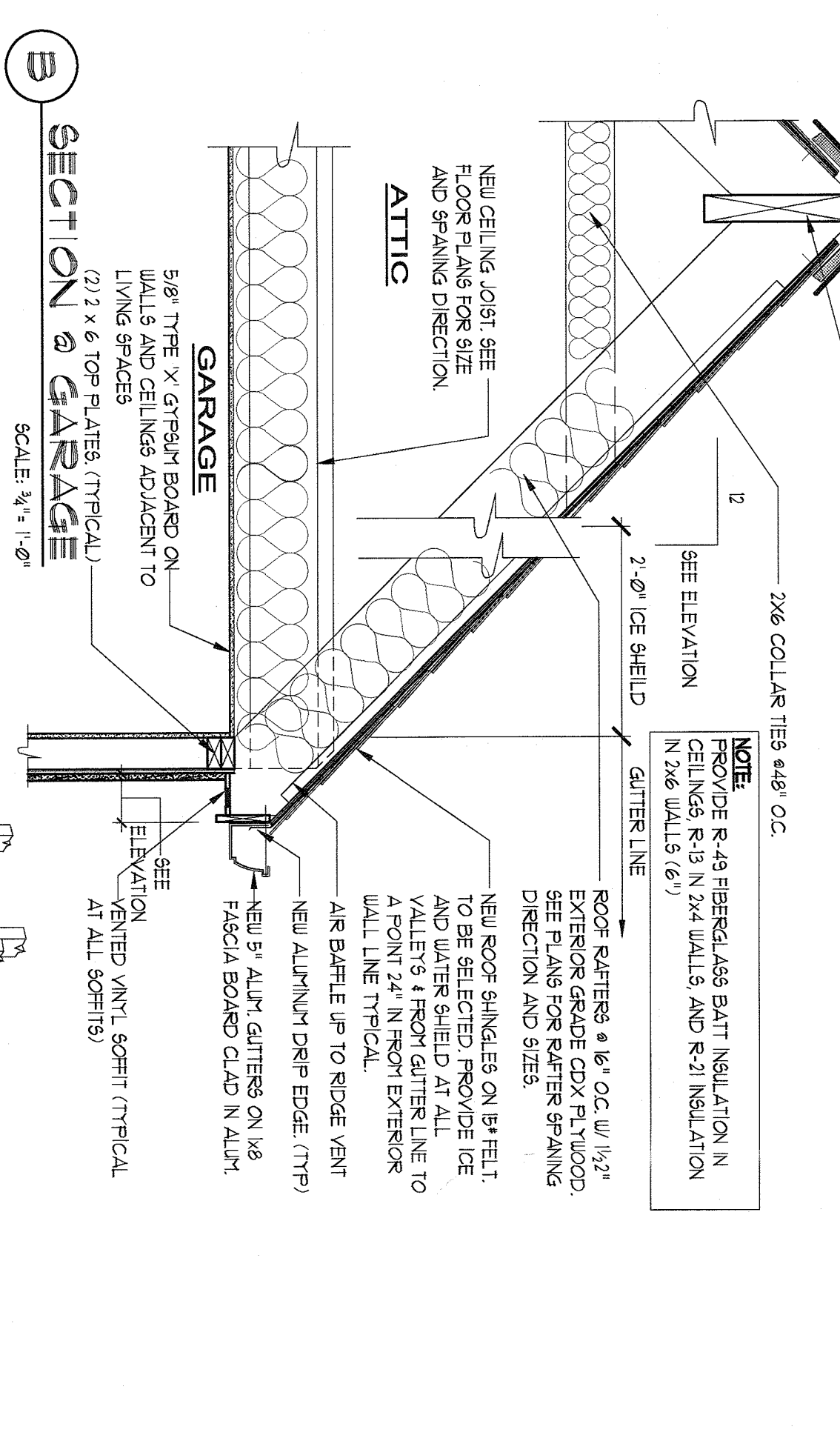
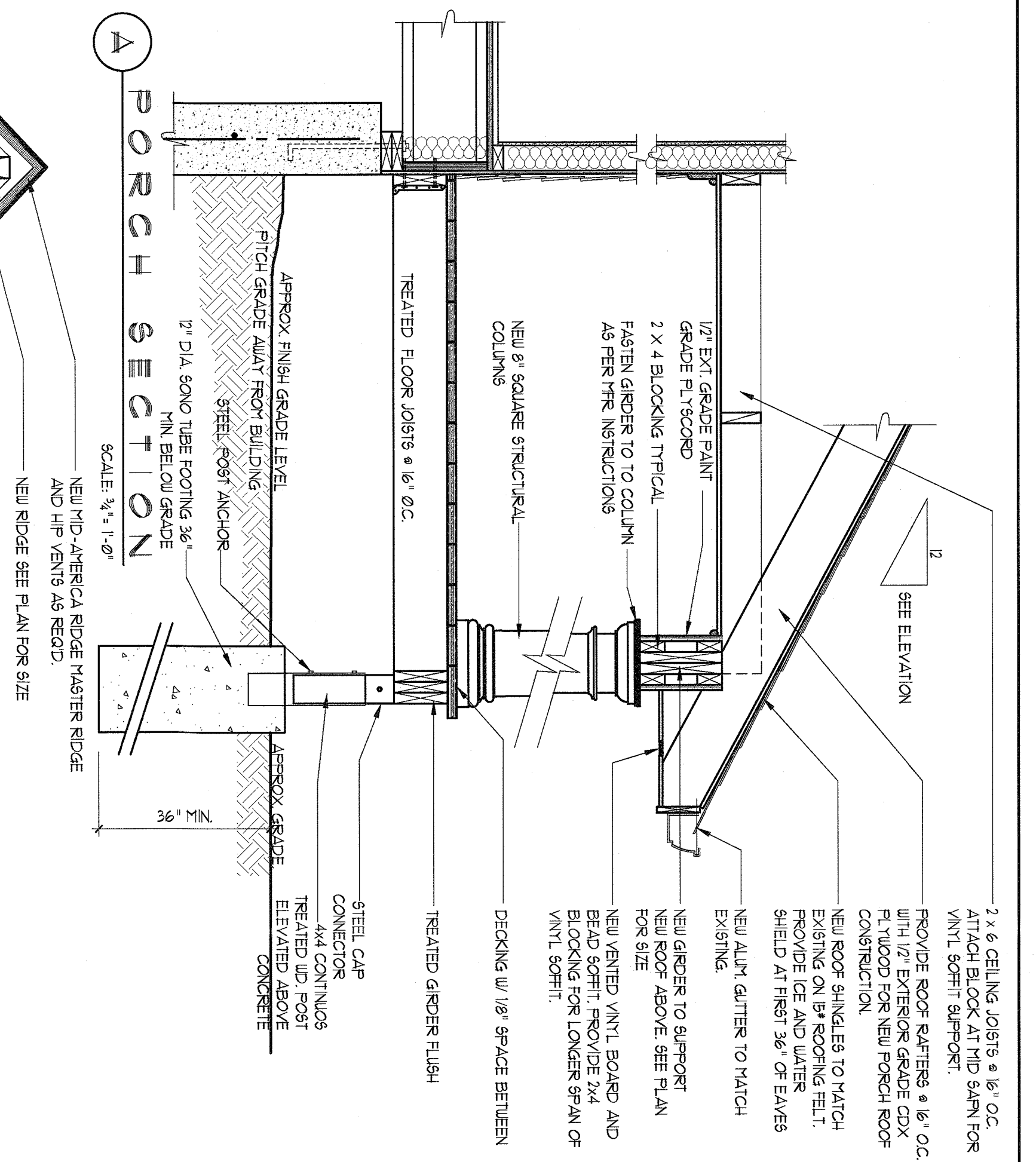


ROBERT HOENE
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— A.I.A. —
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PIERMONT, NEW YORK 10968
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ARCHITECT
JOB# 1657
A1.0
1 of 3

*Please note:
No Shutters on either*

*Printed
1/11/17*



date	issue	description	by
06-14-2017	A'	ISSUED FOR PERMIT	FN

FLOOR PLANS
ADDITION AND ALTERATIONS TO
GRIFIN RESIDENCE
27 SUNRISE LANE
PEARL RIVER, NEW YORK

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A2.0
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 2 of 3

