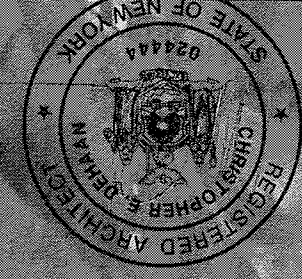
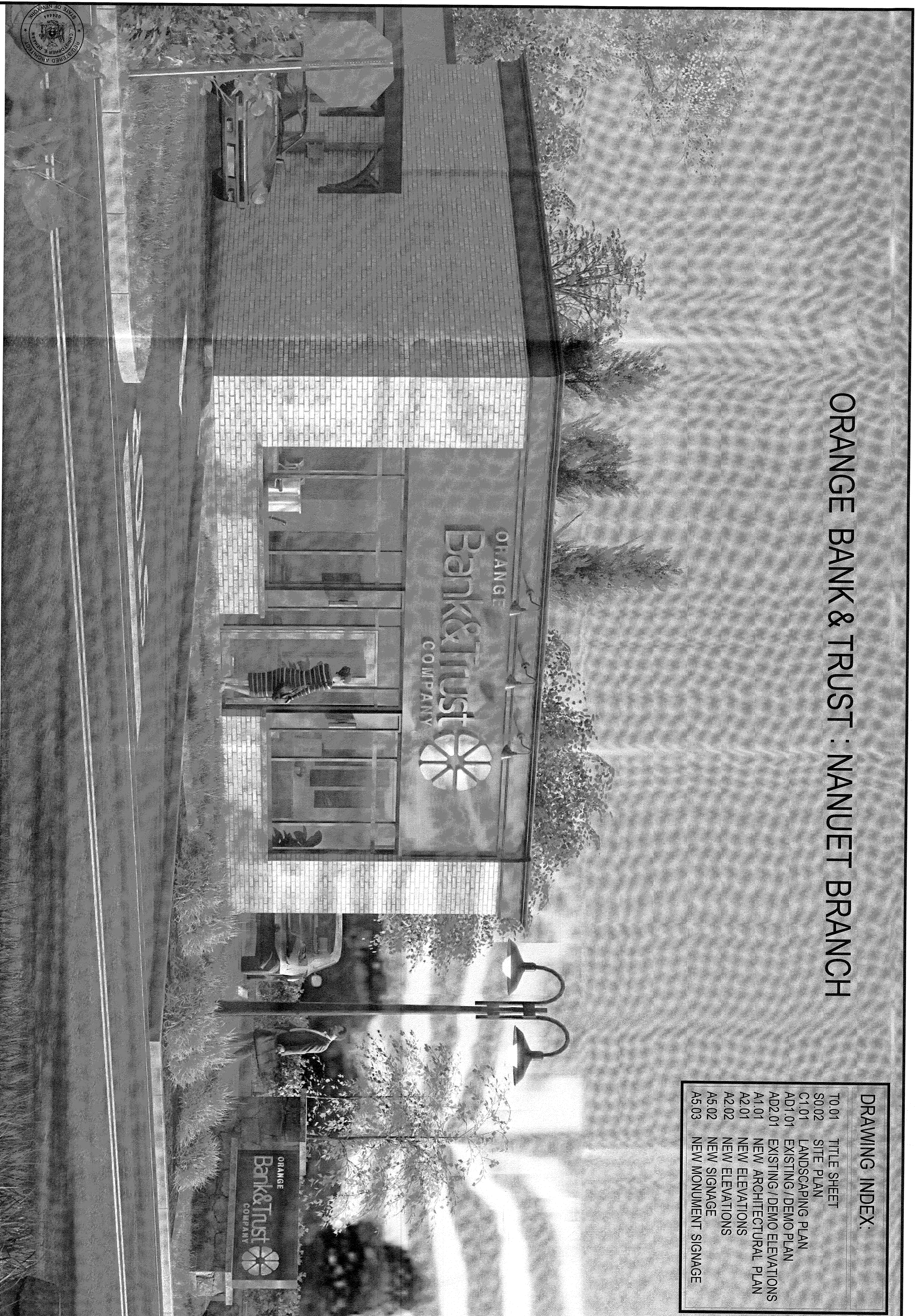


ORANGE BANK & TRUST : NANUJET BRANCH

DRAWING INDEX:

T0.01	TITLE SHEET
S0.02	SITE PLAN
C1.01	LANDSCAPING PLAN
AD1.01	EXISTING / DEMO PLAN
AD2.01	EXISTING / DEMO ELEVATIONS
A1.01	NEW ARCHITECTURAL PLAN
A2.01	NEW ELEVATIONS
A2.02	NEW ELEVATIONS
A5.02	NEW SIGNAGE
A5.03	NEW MONUMENT SIGNAGE



1
T0.01
Proposed Street Perspective Rendering
Scale: N.T.S.

Consultants:

BID DRAWINGS REVISIONS DATE: June 22, 2020 Prior dated documents voided by this issue
FOR BIDDING

Date	Description	Drawn	Check
01/07/2020	Bldg_Dep Comments	BGD	TJD
06/15/2020	Addendum #1	BGD	TJD
09/17/2020	ACABOR Revisions	BGD	TJD

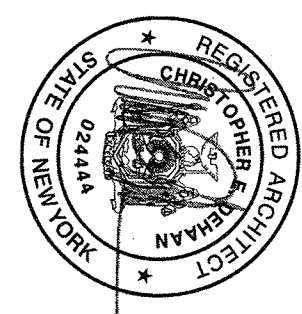
Drawings on this page:
New Reflected Ceiling Plan

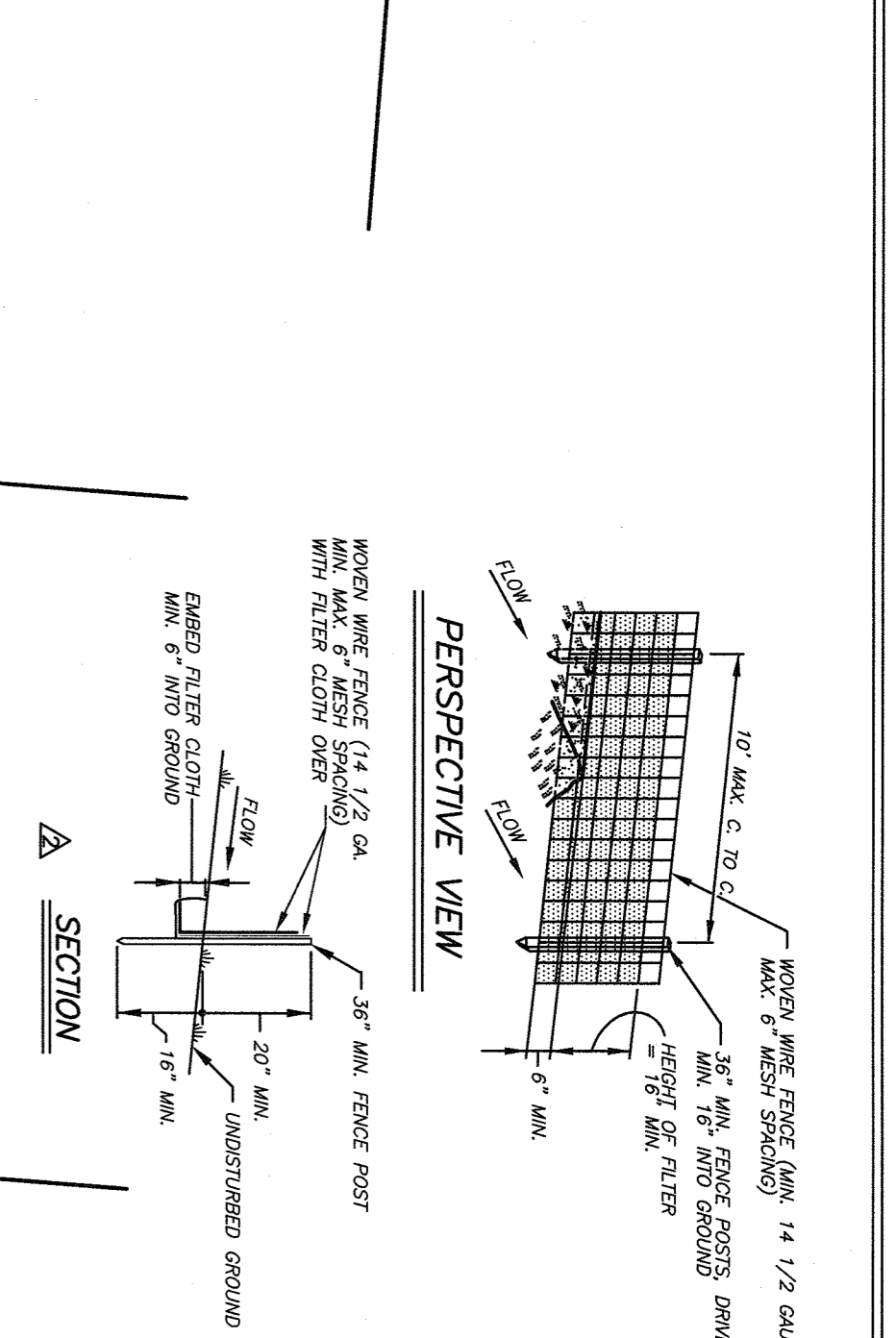
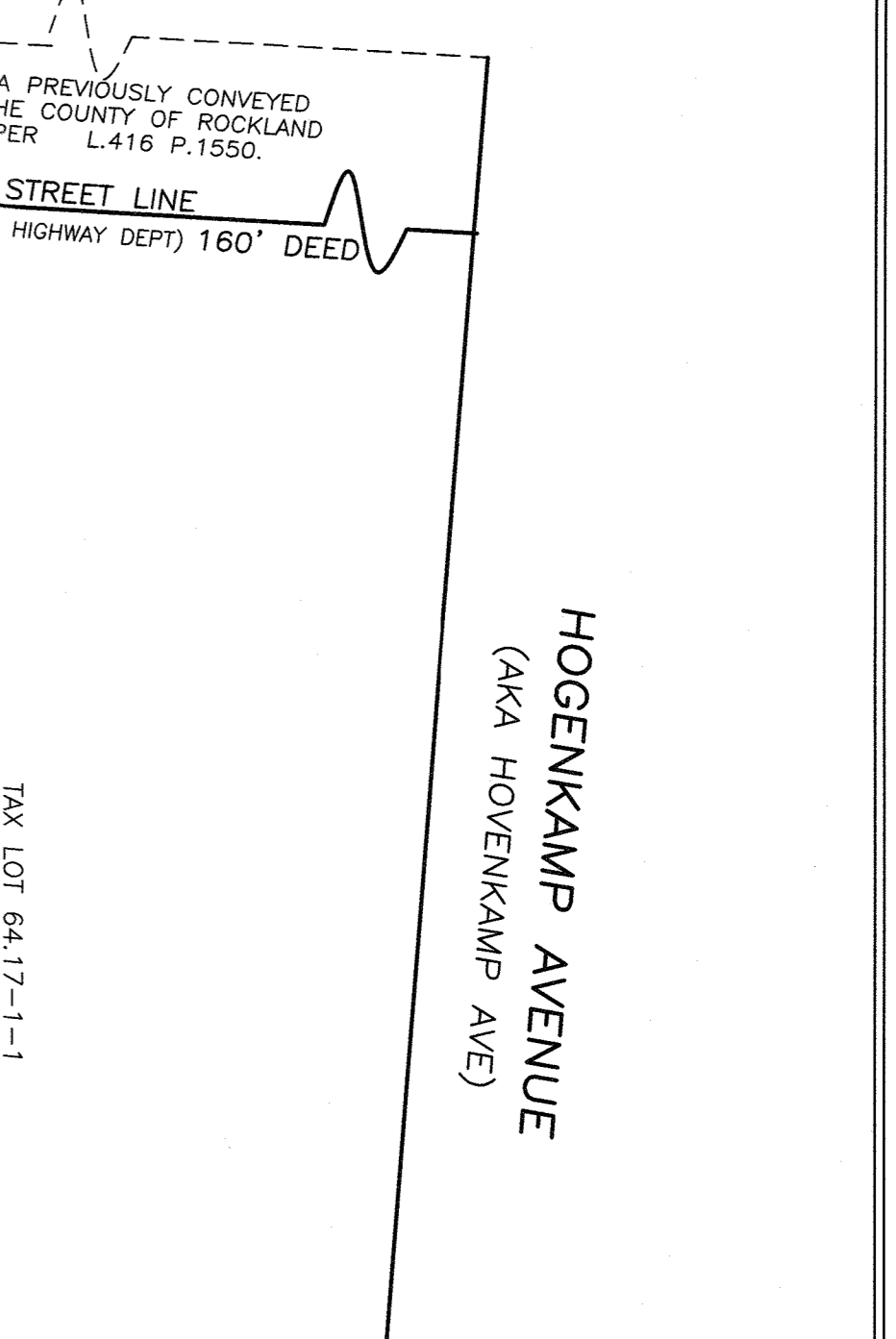
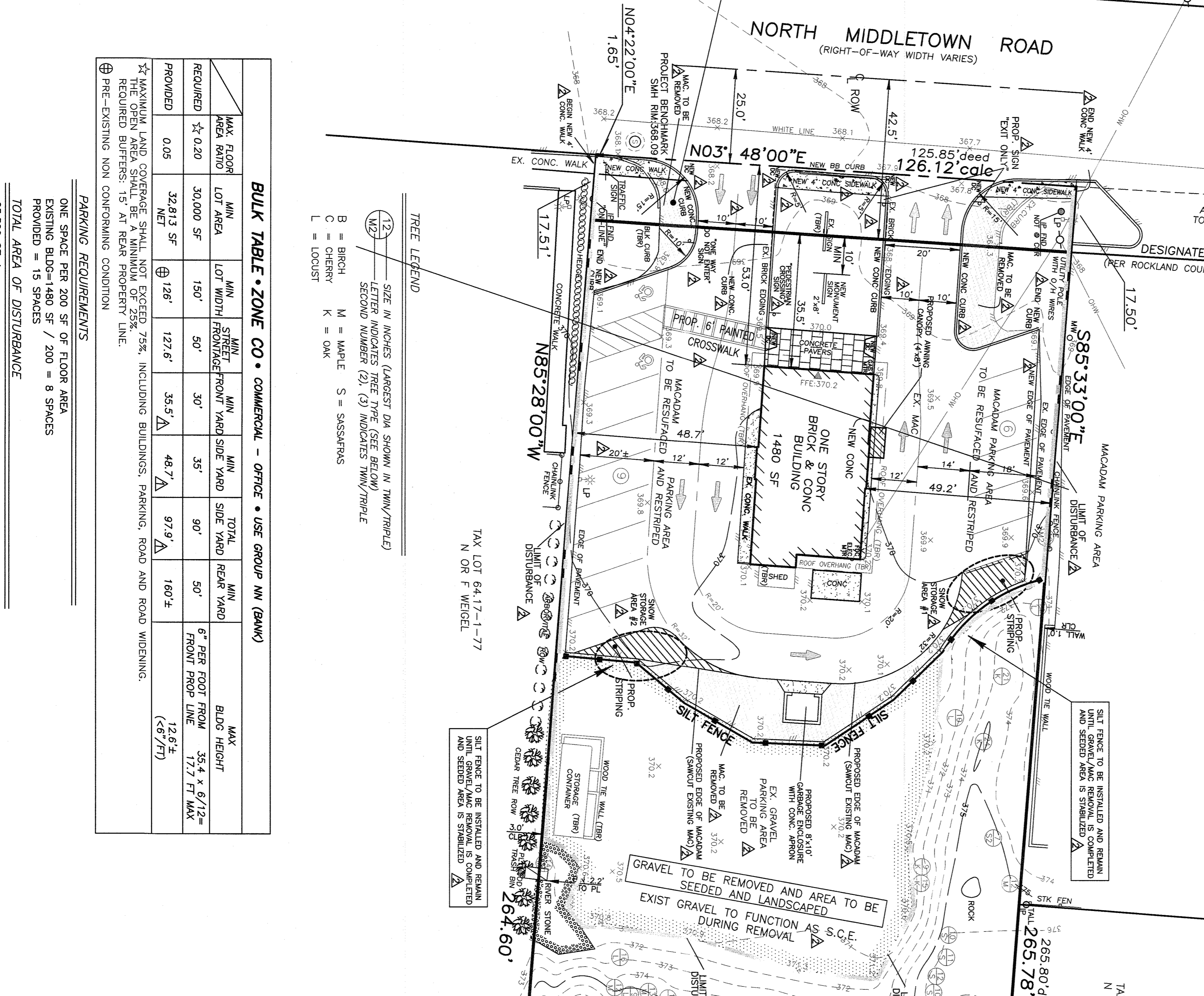
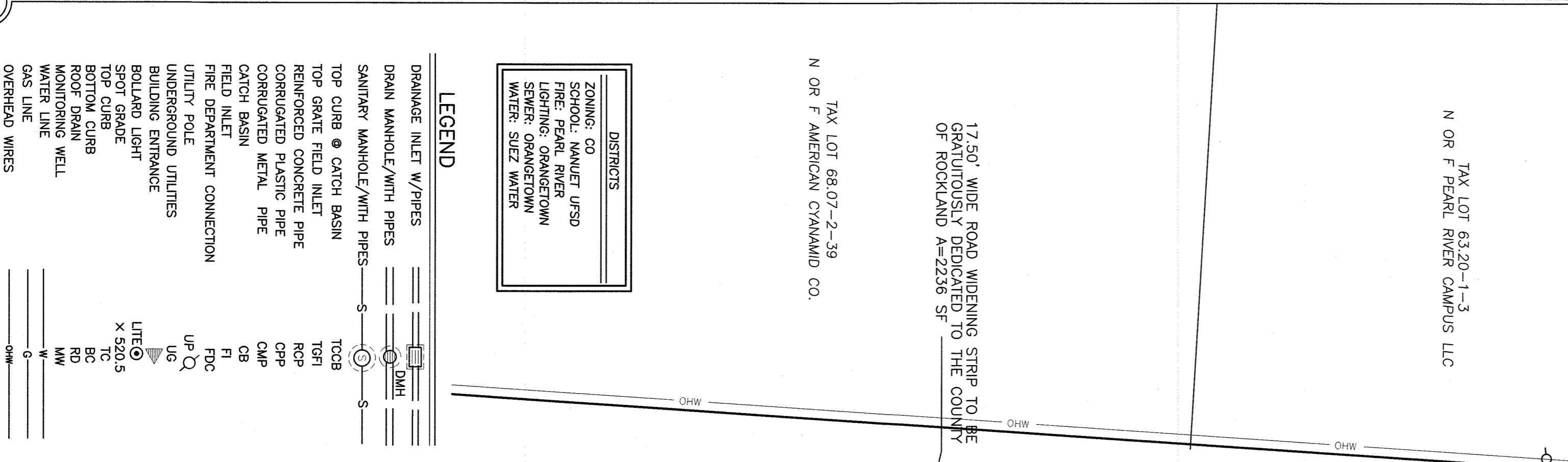
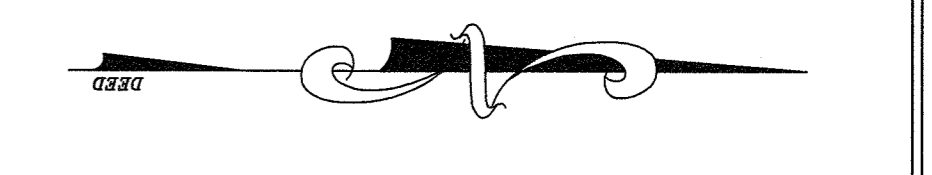
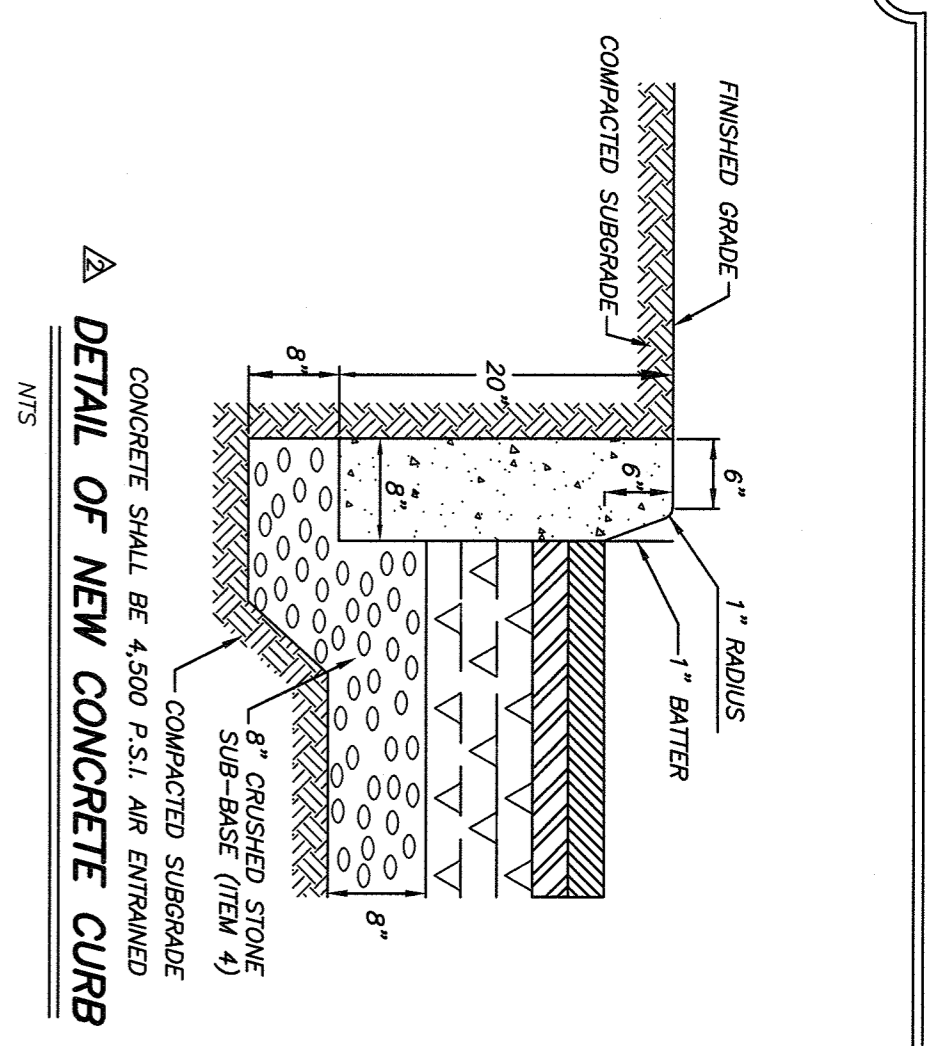
Nanuet Branch
Orange Bank & Trust Company
374 S. Middletown Road
Nanuet, New York 10954
Town of Orangetown
Section 64.17, Block 1, Lot 78

**DEGRAW
DEHMAN
ARCHITECTS**
FIFTY FIVE
SUITE 101
NEW YORK
NEW YORK
PHONE: 845.444.4151
FAX: 845.444.4151

Project
Nanuet Branch
374 S. Middletown Rd
Title Sheet

Seal
Date: 01/16/2020
Drawn By: BGD
Checked By: TJD
Drawing No: T0.01





LEGEND

DRAINAGE INLET W/PIPES
 DRAIN MANHOLE WITH PIPES
 SANITARY MANHOLE WITH PIPES
 TOP CURB @ CATCH BASIN
 TOP GRADE FIELD INLET
 REINFORCED CONCRETE PIPE
 CORRUGATED PLASTIC PIPE
 CORRUGATED METAL PIPE
 CATCH BASIN
 FIRE DEPARTMENT CONNECTION
 UNDERGROUND UTILITIES
 BUILDING ENTRANCE
 BOLLARD LIGHT
 SPOT GRADE
 SLOPE
 ROOF DRAIN
 MONITORING WELL
 WATER LINE
 GAS LINE
 OVERHEAD WIRES

BULK TABLE • ZONE CO • COMMERCIAL - OFFICE • USE GROUP MW (BANK)

MAX FLOOR AREA (SQ FT)	MIN LOT AREA	MIN LOT WIDTH	MIN STREET FRONTAGE	MIN YARD SIDE YARD	MIN SIDE YARD	MIN REAR YARD	MAX BLDG HEIGHT
REQUIRED	30,000 SF	150'	50'	30'	35'	90'	6' PER FOOT FROM FRONT PROP LINE, 17.7' FT MAX
PROVIDED	32,813 SF	128'	127.6'	35.5'	48.7'	97.9'	12.6' ± (28' FT)

PARKING REQUIREMENTS

ONE SPACE PER 200 SF OF FLOOR AREA
 EXISTING BLDG=1480 SF / 200 = 8 SPACES
 PROVIDED = 15 SPACES
 TOTAL AREA OF DISTURBANCE = 23,500 SF ±

APPROVED FOR FILING

DATE: 06/05/20
 DATE: 11/20/19
 DATE: 11/19/19

REVISIONS: 18" CURBS

OWNER

JAY A. GREENWELL, PLS, LLC
 85 LAVAYETTE AVENUE, SUFFERN, NEW YORK 10901
 PHONE: 845-357-0830 FAX: 845-357-0756

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

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- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
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WIRE REINFORCED SILT FENCE

POSTS: STEEL EITHER 7" OR 2" TYPE OR 2" HARDWOOD.

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FILTER CLOTH: FILTER # 4987100X, STRAINLUM 1740W, OR APPROVED EQUAL.

UNIT: GEORGIA EMERGENCE OR APPROVED EQUAL.

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- OWNER & APPLICANT: LALE REALTY LLC
- TAX LOT NUMBER: 64.17-1-7B
- ADJACENT PROPERTY: ADJACENT TO TAX LOT 64.17-1-2 N OR F HERNANDEZ
- TAX LOT AREA: 33,931 SF
- ZONING DISTRICT: CO COMMERCIAL OFFICE
- LOT DRAINAGE SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND SHALL NOT BE DISTURBED.
- ALL NEW UTILITIES, INCLUDING ELECTRIC AND TELEPHONE, SHALL BE INSTALLED UNDERGROUND.
- NO BUILDING PERMIT SHALL BE ISSUED UNTIL SITE AND ARCHITECTURAL PLANS HAVE BEEN APPROVED BY ACBOR, AND SITE AND DRAINAGE PLANS BY THE ORANGETOWN PLANNING BOARD.
- IN SECTION 229 (ART 16) OF THE GENERAL MUNICIPAL LAW, THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.
- PROPOSED REMAINING WALLS GREATER THAN 4 FEET MUST BE DESIGNED, SIGNED, AND BUILT BY A NEW YORK STATE LICENSED PROFESSIONAL ENGINEER, AND SUBMITTED TO THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING AND THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL UPON COMPLETION OF THE WORK, SIGNED AND SEALED "AS-BUILT" OF THE WALLS SHALL BE SUBMITTED TO BOTH DEPARTMENTS, CERTIFYING THAT THE WALLS WERE CONSTRUCTED IN ACCORDANCE WITH THE DESIGN PLANS.
- THE DURATION OF THE USE OF THIS SITE ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY GROWING SEASON.
- THE CONTRACTOR'S TRAILER, IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE ORANGETOWN PLANNING BOARD.
- IF THE APPLICANT, DURING THE COURSE OF CONSTRUCTION, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREAS, UNDERGROUND WATER, SOFT OR SILTY AREAS, IMPROPER DRAINAGE, OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL MANAGEMENT AND ENGINEERING, THE APPLICANTS SHALL OBTAIN THE NECESSARY PERMITS AND APPROVALS FROM THE DEPT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING SHALL INVESTIGATE THE CONDITIONS, OR ORDER A MODIFICATION THEREOF, OR ISSUE ITS OWN SPECIFICATIONS FOR THE CORRECTION OF THE CONDITIONS. IN THE EVENT OF THE APPLICANT'S DISAGREEMENT WITH THE DESIGN OF THE PLAN OR ANY CHANGE THAT INVOLVES A WETLAND REGULATED AREA, THE MATTER SHALL BE DECIDED BY THE AGENCY WITH JURISDICTION IN THAT AREA.
- PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN 30 DAYS OF THE 17 THE PLANNING BOARD SHALL RETAIN JURISDICTION OVER LIGHTING, LANDSCAPING, SIGNS AND REFUSE CONTROL DEVICES OR THE REMOVAL OF TREES & VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING AND THE BUILDING DEPARTMENT PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL MEASURES. THE RESPONSIBILITY AND OBLIGATION OF THE PRO-PROTECTOR SHALL BE TO MAINTAIN AND PRESERVE THE TREE PROTECTION, THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE THE PRO-PROTECTOR'S TREES AND BUFFER ZONES WITH MANY TREES/STEMPS THAT WILL BE TAKEN TO PRESERVE.
- NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
- THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH TREES.
- TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
 - ONE (1) FOOT RADIIUS FROM TRUNK PER INCH DBH.
 - THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MINIMIZE THE IMPACTS OF THE VIOLATION:
 - PROTECTED CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
 - LIGHT IMPACTS ONLY - INSTALLATION OF 3/4" INCH OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED.
 - TO BE PROTECTED SHALL NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELDED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.
- PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE TOWN DEPT. SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION & SEDIMENTATION CONTROL MEASURES. THE APPLICANT SHALL CONTACT DEPT. AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.
- PREPARE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH THE STORM WATER MANAGEMENT PHASE II REGULATIONS. A SWPPP WILL BE REQUIRED FOR MORE THAN 1 ACRE OF DISTURBANCE.
- DISBURSE COUNTY HIGHWAY DEPARTMENT WORK REPAIR WILL BE REQUIRED PRIOR TO THE COMMENCEMENT OF ON-SITE IMPROVEMENT.
- THE APPLICANT SHALL NOTIFY THE PLANNING BOARD OF ANY CHANGES TO THE PLANNING BOARD'S APPROVAL OF THE PROJECT PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES. THE APPLICANT SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES THROUGHOUT THE PROJECT.
- ALL MATTERS BEFORE THE PLANNING BOARD, INCLUDING THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH THE STORM WATER MANAGEMENT PHASE II REGULATIONS. A SWPPP WILL BE REQUIRED FOR MORE THAN 1 ACRE OF DISTURBANCE. THE APPLICANT SHALL CONTACT THE DEPT. AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.

SITE PLAN FOR LALE REALTY LLC

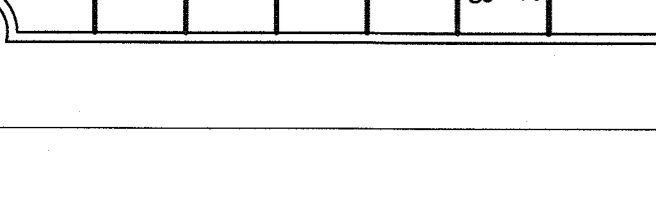
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 ROCKLAND COUNTY, NEW YORK

JAY A. GREENWELL, PLS, LLC

LAND SURVEYING - LAND PLANNING
 85 LAVAYETTE AVENUE, SUFFERN, NEW YORK 10901
 PHONE 845-357-0830 FAX 845-357-0756

TAX LOT # 64.17-1-7B
 AREA 33,931 SF
 FILE 21933/SITE
 SCALE 1"=20'

DATE 11/13/19
 JOB NO. 219333



APPROVED FOR FILING

DATE: 06/05/20

DATE: 11/20/19

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REVISIONS: 18" CURBS

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JAY A. GREENWELL, PLS, LLC

85 LAVAYETTE AVENUE, SUFFERN, NEW YORK 10901

PHONE: 845-357-0830 FAX: 845-357-0756

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.

2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.

3. WHEN TOP SECTIONS OF FILTER CLOTH JOIN, EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.

4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN BUILDERS DEVELOP IN THE SILT FENCE.

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

POSTS: STEEL EITHER 7" OR 2" TYPE OR 2" HARDWOOD.

FENCE: WOVEN WIRE 14 1/2 GA. 6" MAX MESH OPENING.

FILTER CLOTH: FILTER # 4987100X, STRAINLUM 1740W, OR APPROVED EQUAL.

UNIT: GEORGIA EMERGENCE OR APPROVED EQUAL.

SITE PLAN FOR LALE REALTY LLC

TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK

JAY A. GREENWELL, PLS, LLC

LAND SURVEYING - LAND PLANNING
 85 LAVAYETTE AVENUE, SUFFERN, NEW YORK 10901
 PHONE 845-357-0830 FAX 845-357-0756

TAX LOT # 64.17-1-7B
 AREA 33,931 SF
 FILE 21933/SITE
 SCALE 1"=20'

DATE 11/13/19
 JOB NO. 219333

VICINITY MAP SCALE 1"=300'

APPROVED FOR FILING

DATE: 06/05/20

DATE: 11/20/19

DATE: 11/19/19

REVISIONS: 18" CURBS

JAY A. GREENWELL, PLS, LLC

85 LAVAYETTE AVENUE, SUFFERN, NEW YORK 10901

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SITE PLAN FOR LALE REALTY LLC

TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK

JAY A. GREENWELL, PLS, LLC

LAND SURVEYING - LAND PLANNING
 85 LAVAYETTE AVENUE, SUFFERN, NEW YORK 10901
 PHONE 845-357-0830 FAX 845-357-0756

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SITE PLAN FOR LALE REALTY LLC

TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK

JAY A. GREENWELL, PLS, LLC

LAND SURVEYING - LAND PLANNING
 85 LAVAYETTE AVENUE, SUFFERN, NEW YORK 10901
 PHONE 845-357-0830 FAX 845-357-0756

TAX LOT # 64.17-1-7B
 AREA 33,931 SF
 FILE 21933/SITE
 SCALE 1"=20'

DATE 11/13/19
 JOB NO. 219333

VICINITY MAP SCALE 1"=300'

APPROVED FOR FILING

DATE: 06/05/20

DATE: 11/20/19

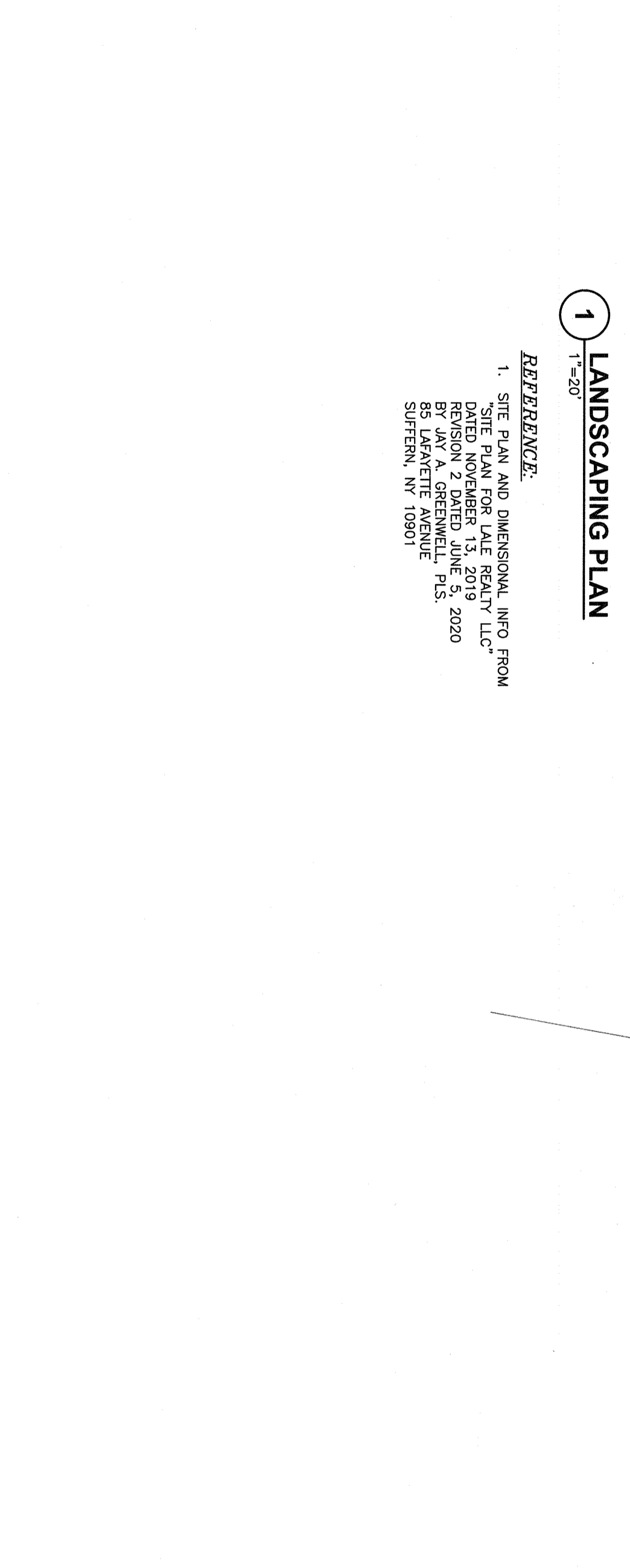
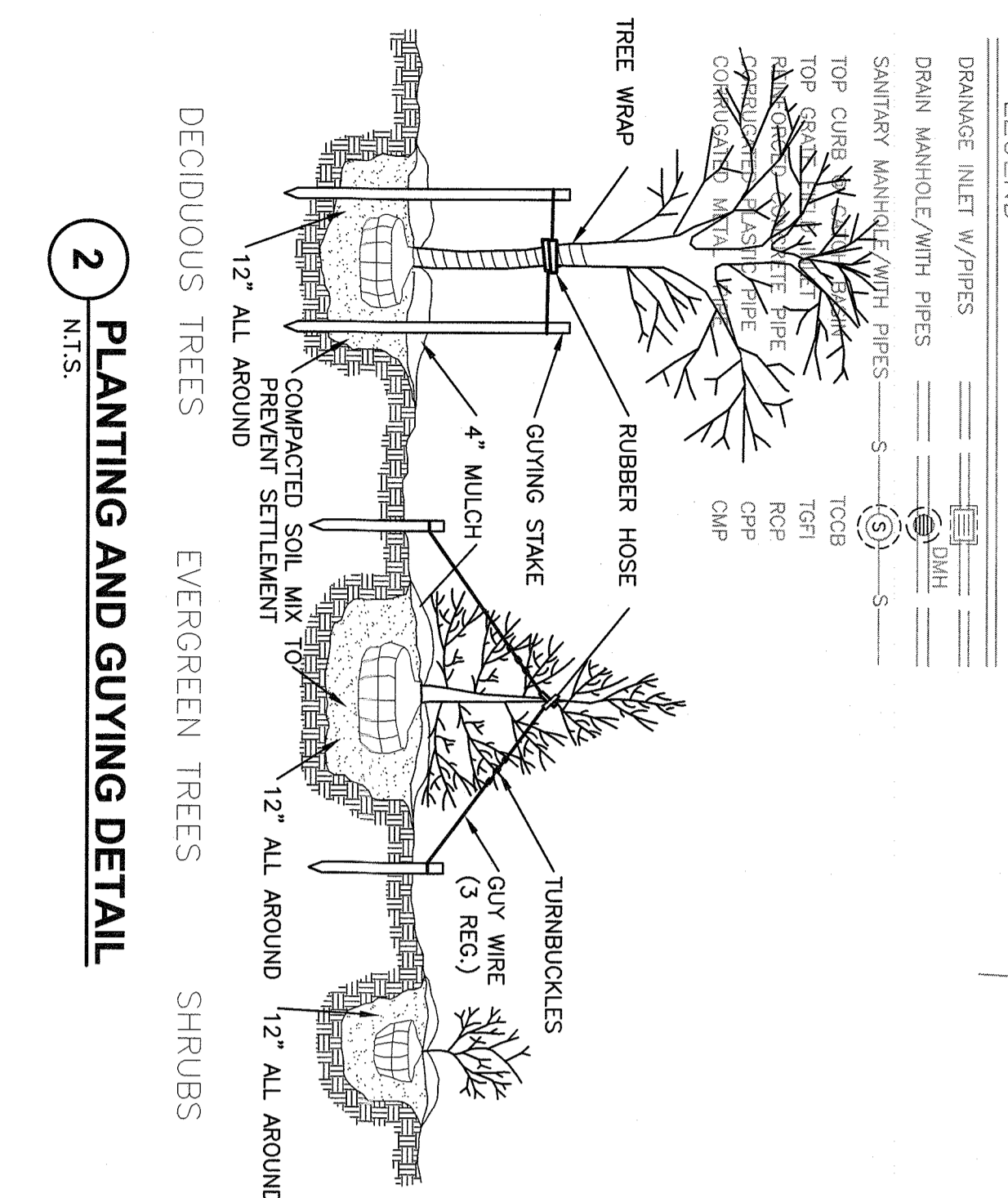
DATE: 11/19/19

REVISIONS: 18" CURBS

JAY A. GREENWELL, PLS, LLC

85 LAVAYETTE AVENUE, SUFFERN, NEW YORK 10901

PHONE: 845-357-0830 FAX: 845-357-0756



TYPE	KEY	QTY	BOTANICAL NAME	COMMON NAME	MIN. SIZE
EVERGREEN TREES	12	24	Juniperus virginiana	Red Cedar	4' - 5' hgt
EVERGREEN SHRUBS	7	14	Ilex glabra "Skamrock"	Ink berry	36"-48" Spread
DECIDUOUS SHRUBS	21	42	Juniperus communis var. depressa	Old Field Juniper	24"-36" Spread
	40	80	Cotonaster Adpress "Little gem"	Little gem Cotonaster	24"-36" Spread
			Indigofera pseudotinctoria	Rose Carpet	24"-36" Spread

NOTE: APPROXIMATELY 2,650 SQ.FT. OF DECORATIVE STONE SHOWN ON PLAN. COORDINATE WITH OWNER/ARCHITECT FOR SPECIFIC QUANTITIES, LOCATIONS, AND AESTHETIC.

REV #	DATE	PLANNING BOARD REVISIONS	ISSUE #	DATE	ISSUED FOR:
1	7/2/20				

UNAUTHORIZED ALTERATION OR ADDITION TO A PLAN BEARING A LICENSED PROFESSIONAL ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

FELLENGER ENGINEERING LLP
 www.fellp.com

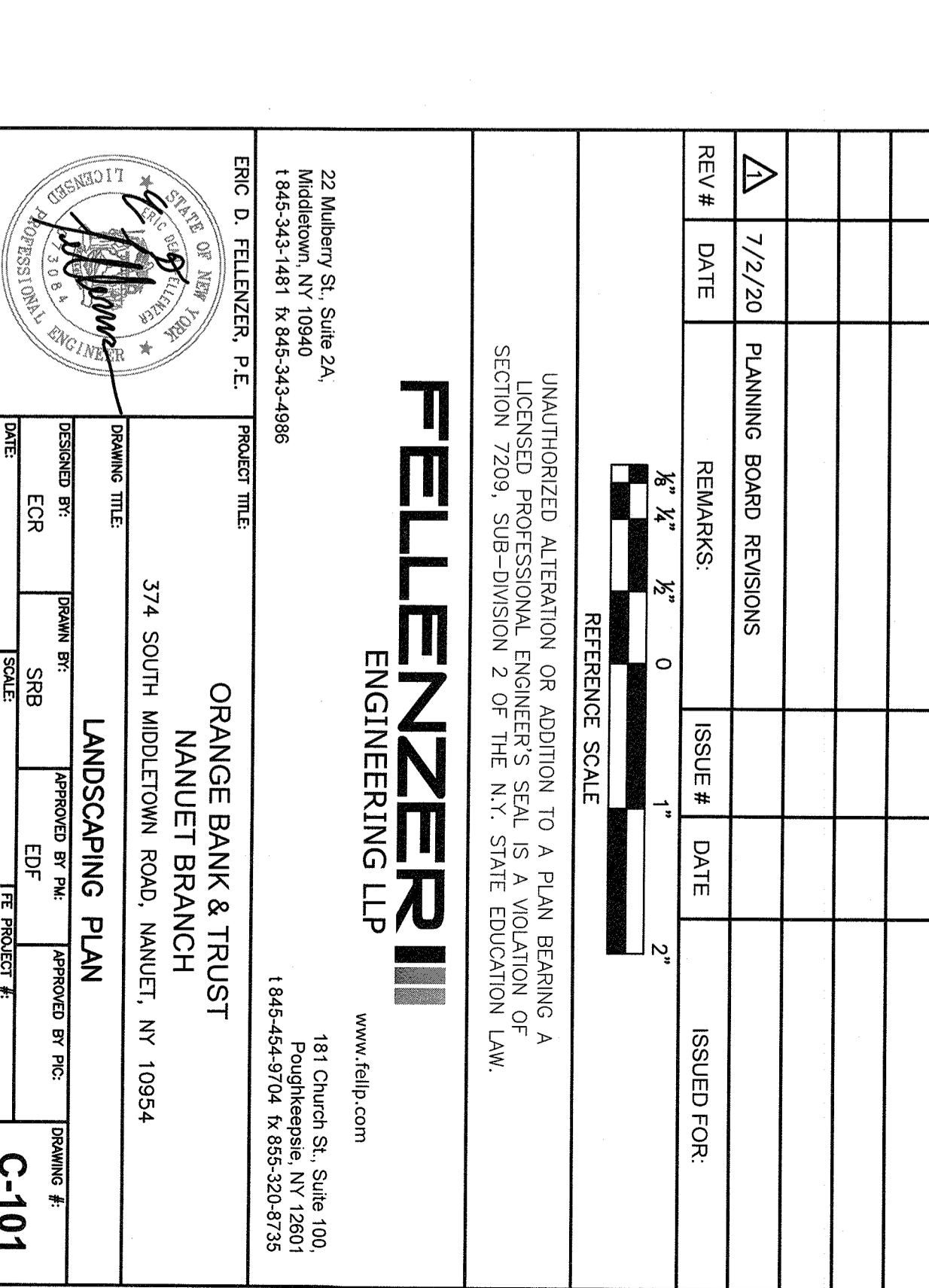
22 Mulberry St., Suite 2A
 Middletown, NY 10940
 T 845-343-1481 F 845-343-4886

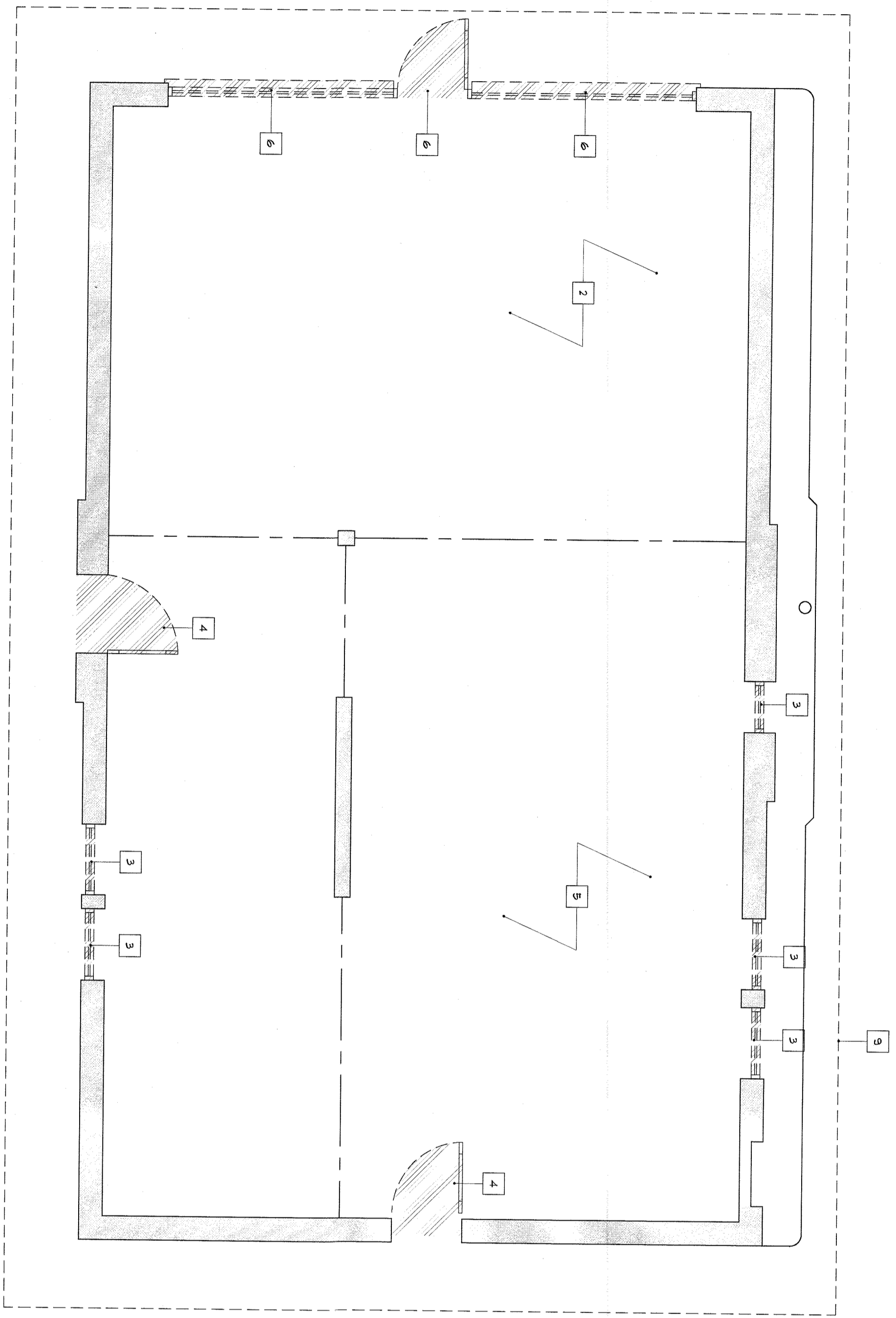
ERIC D. FELLENGER, P.E.

ORANGE BANK & TRUST
 NANUET BRANCH
 374 SOUTH MIDDLETOWN ROAD, NANUET, NY 10954

181 Church St., Suite 100
 Poughkeepsie, NY 12601
 T 845-464-9704 F 855-320-8735

PROJECT TITLE: LANDSCAPING PLAN
 DRAWING # C-101
 DATE: 01/07/2020
 SCALE: AS SHOWN





1 Existing / Demolition Plan
 AD1.01 Scale: 1/4" = 1'-0"

Indication Legend

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED

General Demolition Notes

REMOVE INTERIOR AND EXTERIOR SHORING BRACING OR SETTLEMENT OR COLLAPSE OF AREAS TO BE DEMOLISHED AND ADJACENT FACILITIES CEASE OPERATION AND NOTIFY ARCHITECT IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE COMPROMISED. CONTRACTOR SHALL PROVIDE STRUTTING CALCULATIONS TO DETERMINE IF MADE FOR CONTINUING OPERATIONS. DEMOLITION DRAWINGS DO NOT INCLUDE MECHANICAL/ELECTRICAL/DEMOLITION GENERAL CONSTRUCTION ITEMS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING ELEMENTS TO REMAIN FROM ANY DAMAGE DURING DEMOLITION. THE CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING ADJACENT AREAS AFTER DEMOLITION TO PROVIDE A COMPLETE INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPAIRING ALL EXISTING DAMAGE CAUSED BY DEMOLITION. ALL DEBRIS CONTRACTOR SHALL NOT ALLOW ANY EXCESSIVE DEBRIS TO ACCUMULATE ON THE SITE AT ANY TIME.

Keyed Demolition Notes

DEMOLITION NOTE SYMBOL

1. CONTRACTOR TO REMOVE EXISTING WINDOW FRAMES COMPLETELY INCLUDING SILL, CASING, AND TERMINATE IN ACCORDANCE WITH NEC. CONTRACTOR TO VERIFY IN FIELD ANY NEED FOR STRUCTURAL BRACING AND CONTACT ARCHITECT. BRACE AS NEEDED.
2. CONTRACTOR TO REMOVE EXISTING FLOORING AND FOR NEW AREA OF WORK, CONTRACTOR TO LEVEL FLOOR AS NEEDED.
3. CONTRACTOR TO REMOVE EXISTING EXTERIOR WINDOW FRAME, AND SP TO FILL FOR LIKE CONSTRUCTION.
4. CONTRACTOR TO REMOVE EXISTING EXTERIOR DOOR FRAME AND SP TO FILL FOR LIKE CONSTRUCTION.
5. CONTRACTOR TO REMOVE ALL EXISTING CERAMIC TILE AND GIRD ABOVE FOR ENTIRE AREA OF WORK.
6. CONTRACTOR TO REMOVE EXISTING EXTERIOR DOOR, FRAME, AND SP TO FILL FOR NEW INSTALLATION OF NEW DOOR FRAME.
7. CONTRACTOR TO REMOVE EXISTING EXTERIOR DOOR, FRAME, AND SP TO FILL FOR NEW INSTALLATION OF NEW DOOR FRAME.
8. CONTRACTOR TO CUT EXISTING EXTERIOR WALL INCLUDING THE EXISTING WATER TABLE.
9. CONTRACTOR TO REMOVE EXISTING ROOF CONSTRUCTION SHEATHING, AND ROOFING MATERIALS.
10. CONTRACTOR TO REMOVE EXISTING STUCCO SIDING.
11. CONTRACTOR TO CUT EXISTING WALL CONSTRUCTION TO ACCOMMODATE WINDOW INSTALLATION REFER TO A&S.
12. CONTRACTOR TO REMOVE EXISTING WINDOW AND FRAME FOR NEW WINDOW INSTALLATION OF NEW WINDOW UNIT.

Consultants:

BID DRAWINGS REVISIONS
 DATE: August 7, 2020
 Prior dated documents voided by this issue

FOR BIDDING

Revisions:				
Date	Description	Drawn	Check	
01/07/2020	Bldg. Dep Comments	BGD	TJD	
06/15/2020	Addendum #1	BGD	TJD	
09/17/2020	ACABOR Revisions	BGD	TJD	

Drawings on this page:
 Existing / Demolition Floor Plan

Nanuet Branch

Orange Bank & Trust Company
 374 S. Middletown Road
 Nanuet, New York 10954
 Town of Orangetown
 Section 64.17, Block 1, Lot 78

Unauthorized addition or alteration of these drawings bearing an Architect's seal is a violation of the New York State Commissioner's Regulations Part 69, Architecture, Section 69.5b

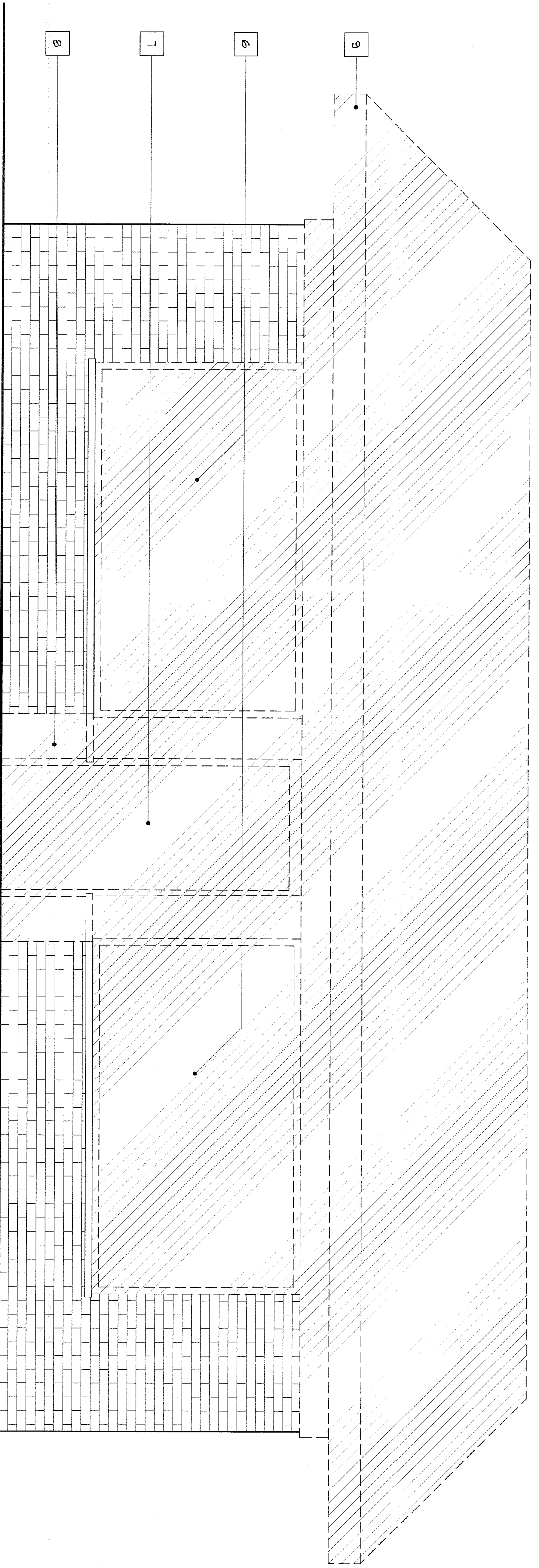
DEGRAW DEHAAN ARCHITECTS
 FIFTY-FIVE
 SITE 151
 NEW YORK
 10964
 PHONE 845.444.4410
 FAX 845.444.4413

Project: **Nanuet Branch**

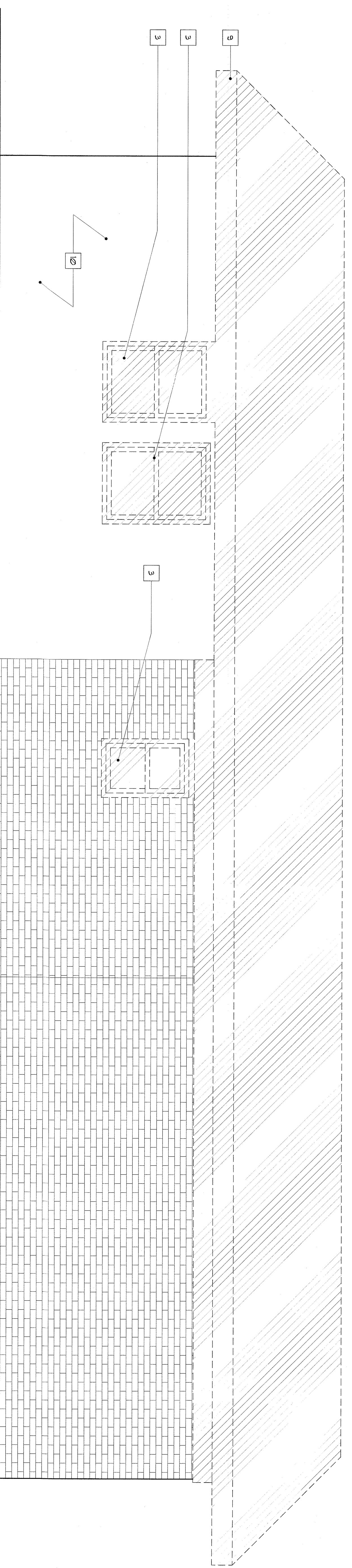
374 S. Middletown Rd
 Existing / Demolition Floor Plan

Scale: 1/4" = 1'-0"

Date: 01/16/2020
 Drawn By: BGD
 Checked By: TJD
 Drawing No: AD1.01



1 Existing / Demolition Front Elevation
 AD2.01 Scale: 1/2" = 1'-0"



2 Existing / Demolition Side Elevation
 AD2.01 Scale: 1/2" = 1'-0"

Indication Legend	
	EXISTING TO BE REMOVED

General Demolition Notes

PROVIDE INTERIOR AND EXTERIOR DEMOLITION DETAILS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF AREAS TO BE DEMOLISHED AND ADJACENT FACILITIES TO REMAIN.

CEASE OPERATION AND NOTIFY ARCHITECT IMMEDIATELY IF STRUCTURE APPEARS TO BE SAFETY OF ENDANGERED. TAKE PRECAUTIONS TO PREVENT COLLAPSE OF AREAS TO BE DEMOLISHED AND ADJACENT FACILITIES TO REMAIN.

DEMOLITION DRAWINGS DO NOT INCLUDE MECHANICAL/ELECTRICAL DEMOLITION AND ITS AFFECTS ON DEMOLITION OF GENERAL CONSTRUCTION ITEMS.

CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFICATION AND EXISTING DAMAGE DURING DEMOLITION.

THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL EXISTING ADJACENT AND CONSTRUCTION AS MAY BE REQUIRED DURING DEMOLITION TO PROVIDE A CONTINUOUS INFRASTRUCTURE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND LEGAL DISPOSAL OF ALL DEBRIS CAUSED BY DEMOLITION. THE QUANTITY OF EXCESSIVE DEBRIS TO ACCUMULATE ON THE SITE AT ANY TIME.

Keyed Demolition Notes	
#	DEMOLITION NOTE SYMBOL

- CONTRACTOR TO REMOVE EXISTING INTERIOR PARTITION WALLS, CEILING, BUILT-IN CASES, AND TERMINATE IN REQUIREMENTS. CONTRACTOR TO VERIFY IN FIELD ANY NEED FOR ARCHITECT BRIDGE AS NEEDED.
- CONTRACTOR TO REMOVE EXISTING FLOOR INSTALL FOR ENTIRE AREA OF FLOOR. CONTRACTOR TO LEVEL FLOOR AS NEEDED.
- CONTRACTOR TO REMOVE EXISTING EXTERIOR WINDOW FRAME, AND REPAIR AND REINSTALL AS NEEDED TO INFILL FOR LIKE CONSTRUCTION.
- CONTRACTOR TO REMOVE EXISTING EXTERIOR DOOR FRAME AND HANDRAIL COMPLETELY. PREP TO INFILL FOR LIKE CONSTRUCTION.
- CONTRACTOR TO REMOVE ALL EXISTING CEILING TILE AND GRID ABOVE FOR ENTIRE AREA OF WORK.
- CONTRACTOR TO REMOVE EXISTING ROOF STRUCTURE AND SHEATHING AND PREP FOR INSTALLATION OF NEW ROOFING.
- CONTRACTOR TO CUT EXISTING EXTERIOR DOOR FRAME AND HANDRAIL PREP FOR INSTALLATION OF NEW ENTRANCE.
- CONTRACTOR TO CUT EXISTING WINDOW FRAME AND REINSTALL AS NEEDED TO INFILL FOR LIKE CONSTRUCTION.
- CONTRACTOR TO REMOVE EXISTING HANGAR ROOF, EXISTING MAIN ROOF STRUCTURE AND SHEATHING TO REMAIN.
- CONTRACTOR TO REMOVE EXISTING STUCCO SIDING.

Consultants:

BID DRAWINGS REVISIONS
 DATE: August 7, 2020
 Prior dated documents voided by this issue

FOR BIDDING

Date	Description	Drawn	Check
01/07/2020	Bldg. Dep Comments	BGD	TJD
06/15/2020	Addendum #1	BGD	TJD
09/17/2020	ACABOR Revisions	BGD	TJD

Drawings on this page:
 Existing / Demolition Front Elevation
 Existing / Demolition Side Elevation

Nanuet Branch

Orange Bank & Trust Company
 374 S. Middletown Road
 Nanuet, New York 10954
 Town of Orangetown
 Section 64.17, Block 1, Lot 78

Unauthorized addition or alteration of these drawings bearing an Architect's seal is a violation of the New York State Commissioner's Regulations Part 69, Architecture, Section 69.5b

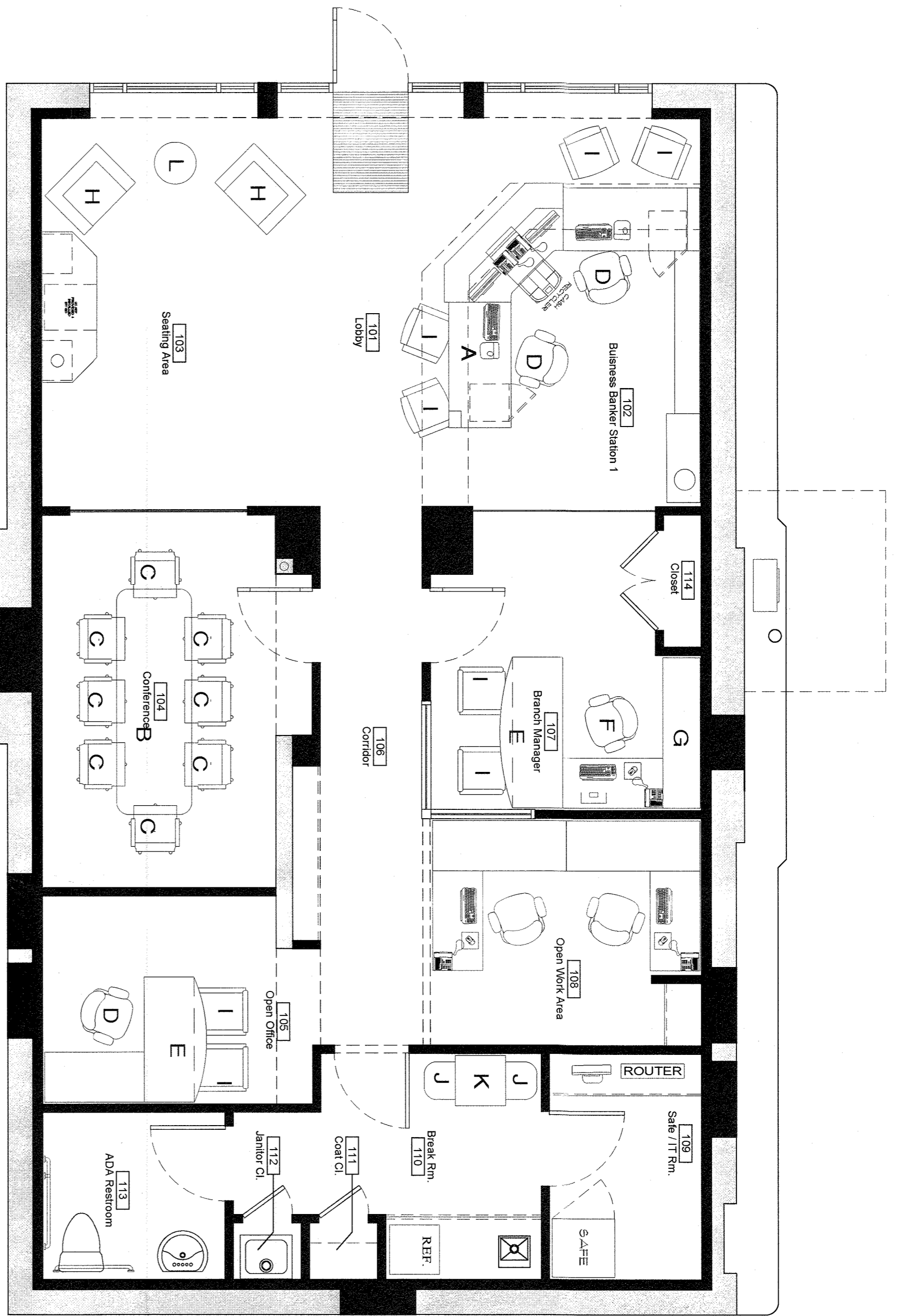
DEGRAW & DEHANN ARCHITECTS
 FIFTY-FIVE
 SUITE 101
 NEW YORK
 10940
 PHONE 845.243.4819
 FAX 845.243.4813

Project
Nanuet Branch
 374 S. Middletown Rd
 Existing / Demolition Front Elevation
 Existing / Demolition Side Elevation

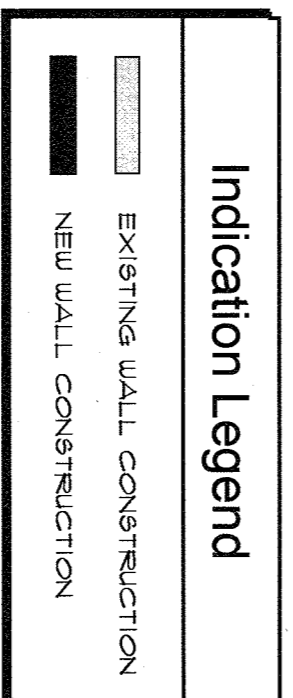
Seal

REGISTRED ARCHITECT
 STATE OF NEW YORK
 DEGRAW & DEHANN ARCHITECTS

Date: 01/16/2020
 Drawn By: BGD
 Checked By: TJD
 Drawing No: AD2.01



1
New Architectural Plan
A1.01
Scale: 1/4" = 1'-0"



Type	Quantity	Description	Manufacturer	Style	Finish/Color	Size	Remarks
A	1	RECEPTION DESK	IOF	N/A	NATURAL MAPLE LAMINATE VENEER	CUSTOM	INSTALL CONDUCTORS TO PROVIDE SOLID SURFACE TOPS
B	1	CONFERENCE TABLE	IOF	N/A	6x46x60" MTL-1 LAMINATE TOP w/ POLISHED CHERRY BASE	36" W X 36" H	EQUIP FOR POWER/DATA
C	9	CONFERENCE SEATING	WOODSTOCK MARKETING	MID-BACK UPRN	BLACK / POLISHED CHERRY BASE	...	
D	4	TASK SEATING	STONIT	TORSA	"FOG" FABRIC / "CHALK" VINTL/WHITE FRAME	...	
E	3	CABEGOODS	IOF	N/A	WOOD GRAIN LAMINATE MTL-1 VINTL/WHITE FRAME	31-1/2" X 31-1/2" H, 31-1/2" W	REMOVE SEATING FOR IOF AS PER INSTRUCTIONS
F	1	MANAGER EXECUTIVE CHAIR	WOODSTOCK MARKETING	HENDERY HIGH BACK	TAN LEATHER / POLISHED NATURAL MAPLE	...	PROVIDE PRICING FOR IOF AS ALTERNATE PRODUCT
G	3	CRENZENZA	IOF	N/A	WOOD GRAIN LAMINATE MTL-1 NATURAL MAPLE	31-1/2" LENGTH	
H	3	LOUNGE SEATING	MODULAY	CHARLES GRANDE ARMCHAIR	TAN LEATHER	35" W X 26.5" D X 27" H	
I	10	QUIET SEATING	WOODSTOCK MARKETING	ARLO	BLACK LEATHER / POLISHED 89 FRAME	...	
J	2	BAR STOOLS	
K	1	BREAK ROOM TABLE	SURFACE WORKS MARKETING	LEADER HOSPITALITY TABLE	6x46x60" MTL-1 LAMINATE TOP w/ POLISHED CHERRY BASE	21-1/2" X 21-1/2" X 24" HT	
L	2	END TABLE	WOODSTOCK MARKETING	HARDEN	WHITE POLISHED 89 BASE	26" ROUND X 24" HT	

Consultants:

BID DRAWINGS REVISIONS
DATE: August 7, 2020
Prior dated documents voided by this issue

FOR BIDDING

Revisions:	Date	Description	Drawn	Check
▲	01/07/2020	Bldg. Dep Comments	BGD	TJD
▲	06/15/2020	Addendum #1	BGD	TJD
▲	09/17/2020	ACABOR Revisions	BGD	TJD
▲				
▲				
▲				
▲				

Nanuet Branch

Orange Bank & Trust Company
374 S. Middletown Road
Nanuet, New York 10954
Town of Orangetown
Section 64.17, Block 1, Lot 78

Drawings on this page:

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DEGRAW DEHANN ARCHITECTS

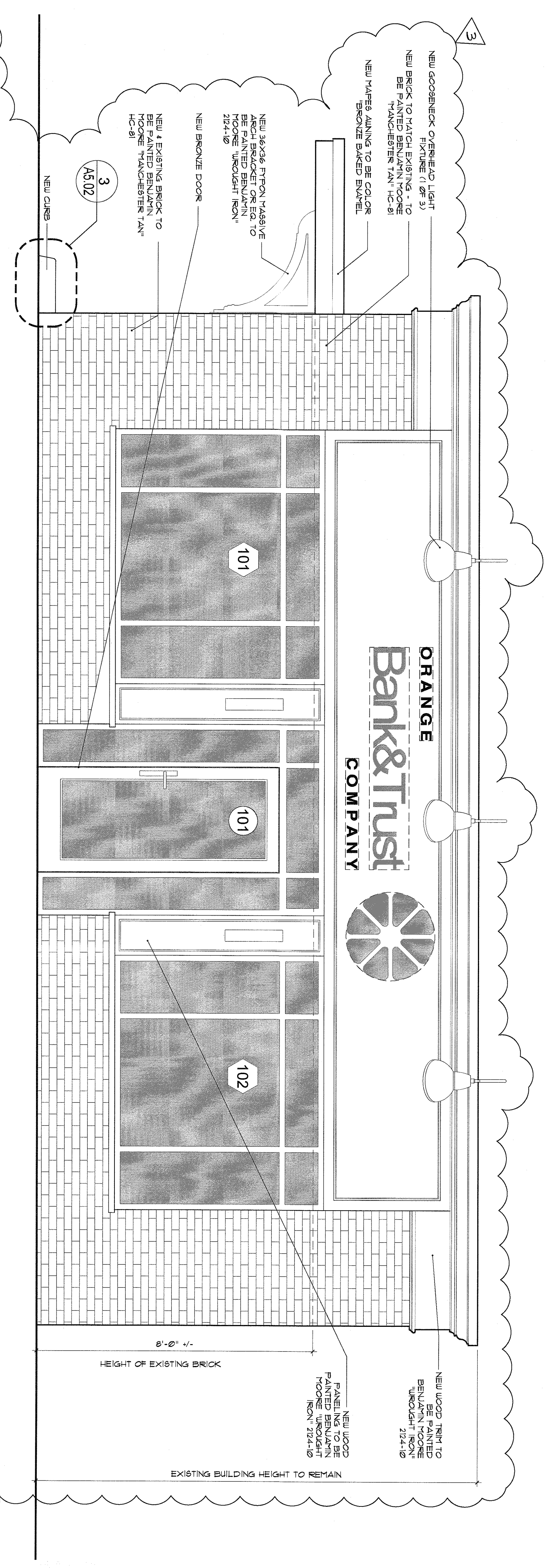
FIFTY-FIVE
ROSE STREET
MIDDLETOWN
NEW YORK
10940
PHONE: 845.242.4150
FAX: 845.242.4151

OWNER: Orange Bank & Trust Company, LLC
PROJECT: Nanuet Branch
DATE: 01/07/2020
DRAWING NO.: A1.01

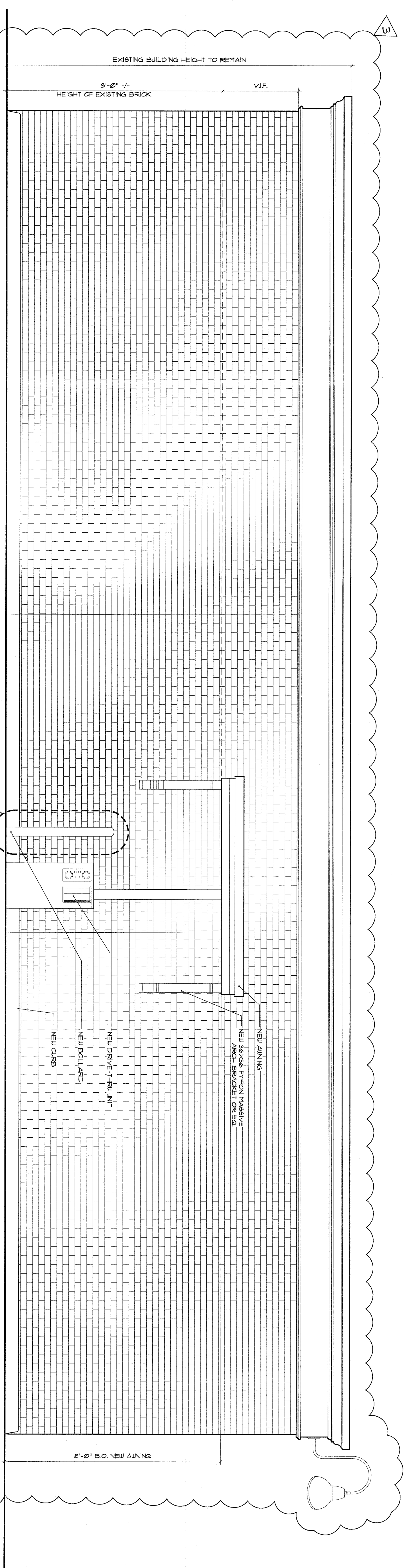
Project
Nanuet Branch
374 S. Middletown Rd
New Architectural Plan
New Furniture Schedule

Seal

DATE: 01/16/2020
DRAWN BY: BGD
CHECKED BY: TJD
DRAWING NO.: A1.01



1 New Front Elevation
 A2.01 Scale: 1/2" = 1'-0"



2 New Left Side Elevation
 A2.01 Scale: 1/2" = 1'-0"

Consultants:

BID DRAWINGS REVISIONS
 DATE: August 7, 2020
 Prior dated documents voided by this issue

FOR BIDDING

Revisions:

Date	Description	Drawn	Check
01/07/2020	Bldg. Dep Comments	BGD	TJD
06/15/2020	Addendum #1	BGD	TJD
09/17/2020	ACABOR Revisions	BGD	TJD

Drawings on this page:
 New Front Elevation
 New Side Elevation

Nanuet Branch
 Orange Bank & Trust Company
 374 S. Middletown Road
 Nanuet, New York 10954
 Town of Orangetown
 Section 64.17, Block 1, Lot 78

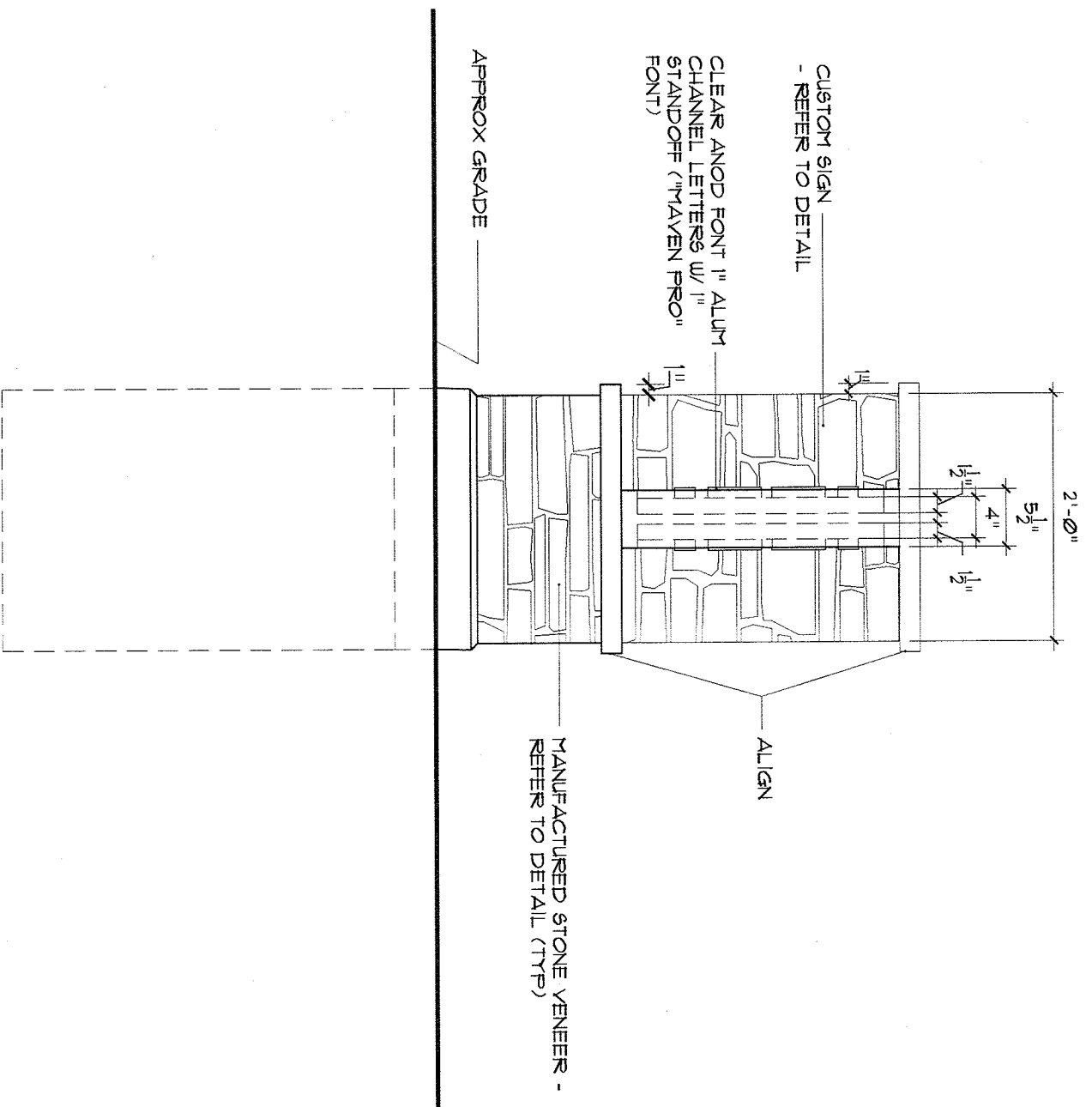
DEGRAW DEHANN ARCHITECTS
 FIFTY FIVE WEST SUITE 401 NEW YORK, NY 10964
 PHONE: 845-441-4410 FAX: 845-441-4410

Nanuet Branch
 374 S. Middletown Rd
 New Front Elevation
 New Left Side Elevation

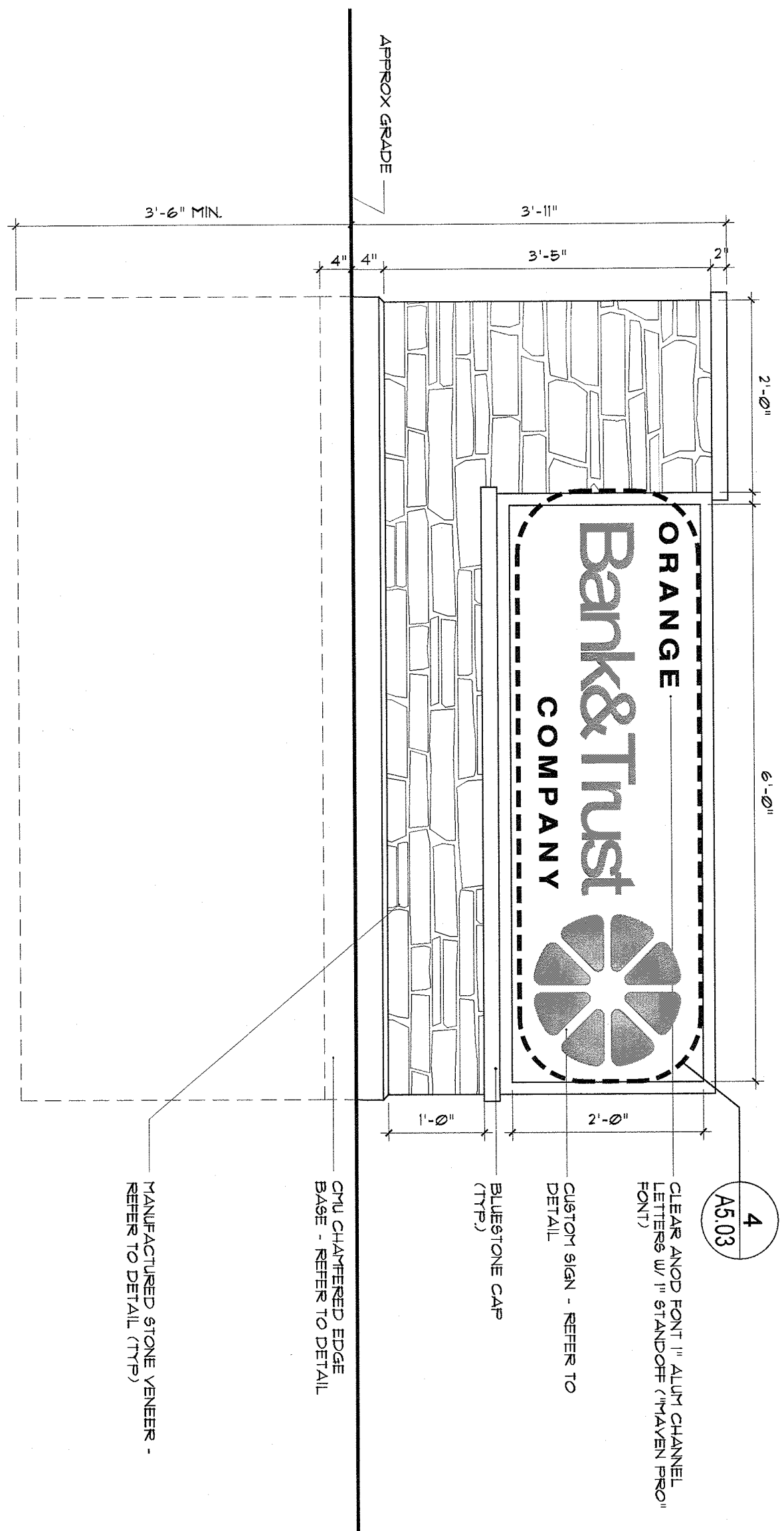
Seal

Date: 01/16/2020
 Drawn By: BGD
 Checked By: TJD
 Drawing No: A2.01

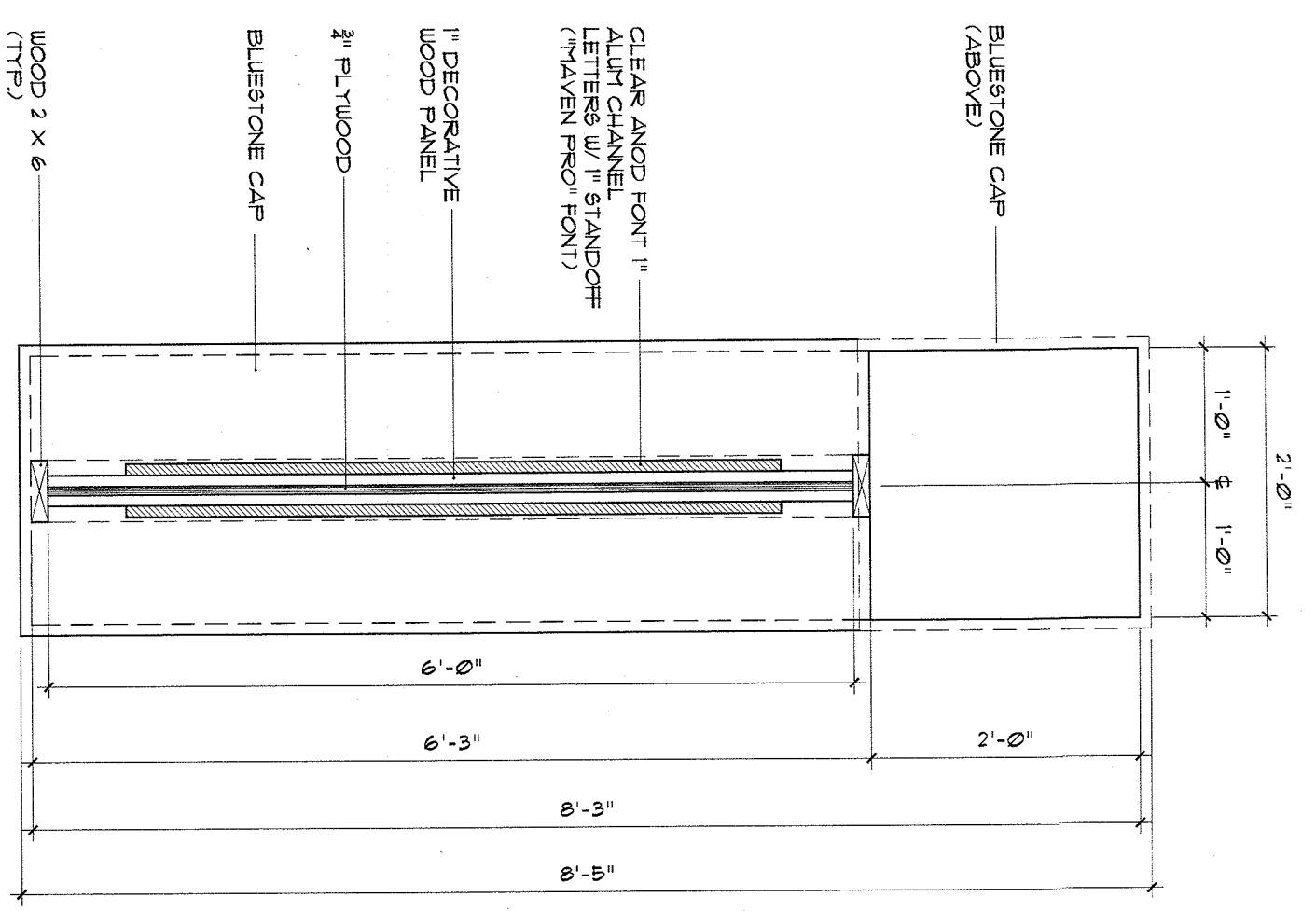
Unauthorized addition or alteration of these drawings bearing an Architect's seal is a violation of the New York State Commissioner's Regulations Part 69, Architecture, Section 69.5b



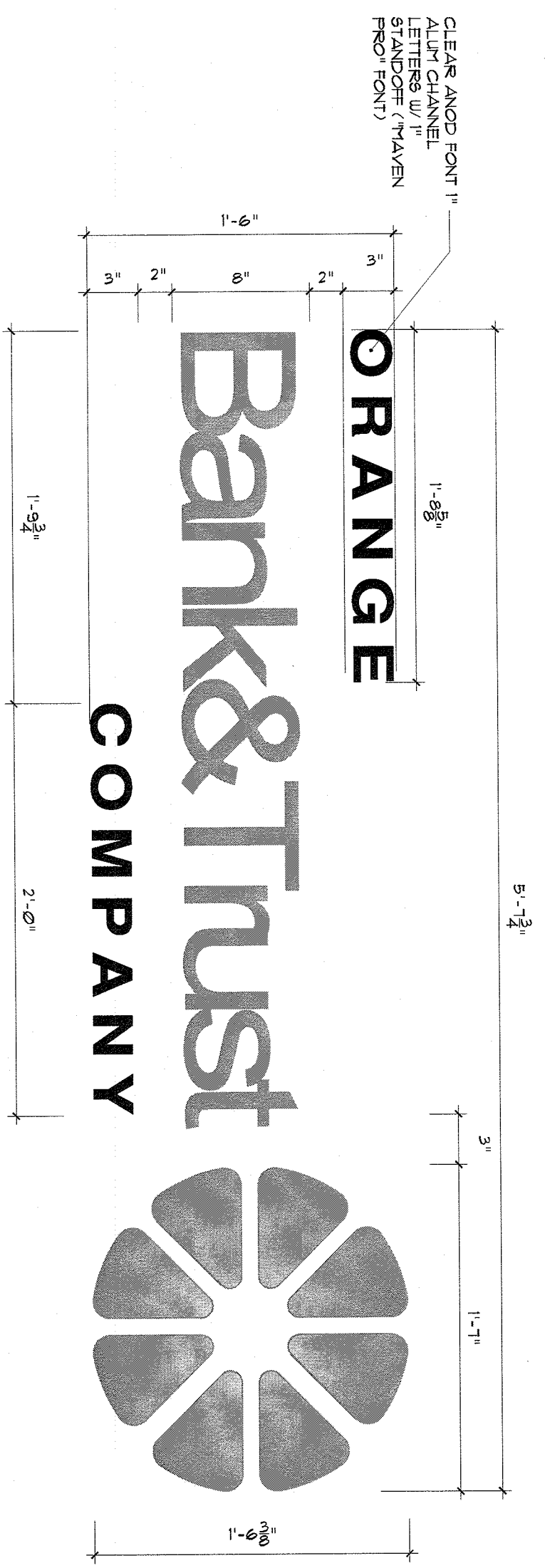
1 Monument Signage Front Elevation
A5.03 Scale: 3/4" = 1'-0"



2 Monument Signage Side Elevation
A5.03 Scale: 3/4" = 1'-0"



3 Monument Signage Plan
A5.03 Scale: 1/4" = 1'-0"



4 Logo Detail
A5.03 Scale: 1-1/2" = 1'-0"

Consultants:

PRICE BID DRAWINGS
DATE: June 15, 2020
Prior dated documents voided by this issue

FOR BIDDING

Revisions:

Date	Description	Drawn	Check
01/07/2020	Bldg. Dep Comments	BGD	TJD
06/15/2020	Addendum #1	BGD	TJD

Drawings on this page:
New Sign Elevation
New Sign Plan
New Sign Details

Nanuet Branch
Orange Bank & Trust Company
374 S. Middletown Road
Nanuet, New York 10954
Town of Orangetown
Section 64.17, Block 1, Lot 78

DEGRAW DEHAAN ARCHITECTS
FIFTY-FIVE NORTH STREET
MIDDLETOWN 10840
PHONE 845-334-9110
FAX 845-838-9513

Project:
Nanuet Branch
374 S. Middletown Rd

New Sign Elevation
New Sign Plan
New Sign Details

Seal: REGISTERED ARCHITECT
CHUBBER & SHANN
ORANGETOWN
STATE OF NEW YORK

Date: 01/16/2020
Drawn By: BGD
Checked By: TJD
Drawing No: **A5.03**

Unauthorized addition or alteration of these drawings bearing an Architect's seal is a violation of the New York State Commissioner's Regulations Part 69, Architecture, Section 69.5b