

PROPOSED SINGLE FAMILY DWELLING FOR:
RIVER RIDGE ESTATES

66.69 - 1 - 2.3
214 SOUTH BLVD. (LOT 2 - MODEL #1A), NYACK, NY 10960
TOWN OF ORANGETOWN, ROCKLAND COUNTY, NY

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SEAL:

DATES:

02.10.26 FOR REVIEW ONLY

PROJECT NO. I-1124

DRAWN BY: Y.F.

SCALE: 3/16" = 1'-0"

CONTEXT OF THIS SHEET:

EXTERIOR ELEVATIONS

SHEET NO.



1 FRONT ELEVATION
SCALE : 3/16" = 1'-0"



2 RIGHT ELEVATION
SCALE : 3/16" = 1'-0"



3 REAR ELEVATION
SCALE : 3/16" = 1'-0"



4 LEFT ELEVATION
SCALE : 3/16" = 1'-0"

GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH ALL PREVAILING CODES, LAWS AND ORDINANCES OF 2020 RESIDENTIAL CODE OF NEW YORK STATE, ZONING, EGRESS CODES AND OF THE LOCAL TOWN OR VILLAGE OF WHICH THE PROJECT IS LOCATED.
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY RISK, DURING AND AFTER CONSTRUCTION, ALL NECESSARY LICENSES AND INSURANCES PER THE N.Y.S. LOCAL AND ALL GOVERNING REGULATIONS.
- THE OWNER SHOULD READ AND REVIEW HIS/HER ENTIRE SET OF CONTRACT DOCUMENTS (PLANS & SPECIFICATIONS) PRIOR TO GIVING IT TO THE CONTRACTOR. OWNER SHALL CONFIRM THAT ALL INFORMATION IS CORRECT. SHOULD THE OWNER FIND ANYTHING THAT WASN'T WHAT THEY INTENDED TO BE DONE, THEN THEY SHALL HAVE THE ARCHITECT AWARE IT AS REQUIRED.
- THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION AND/OR PROJECT SITE.
- THE GENERAL PUBLIC, PROSPECTIVE BUYERS AND ALL OTHER NON-CONSTRUCTION RELATED PERSONS ARE NOT TO ENTER THE CONSTRUCTION WORK AREA UNTIL A VALID CERTIFICATE OF OCCUPANCY IS ISSUED BY THE LOCAL BUILDING DEPARTMENT.
- THE PROJECT SITE SHALL BE PROPERLY POSTED AND TAPED AND/OR FENCED OFF TO ENSURE PUBLIC SAFETY AND SAFEBARAD THE PUBLIC AT ALL TIMES.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS (PLANS & SPECIFICATIONS) PRIOR TO ANY ERECTION/CONSTRUCTION. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES OR OMISSIONS TO THE ARCHITECT IMMEDIATELY. ALWAYS USE DIMENSIONS AS SHOWN AND THE CONTRACTOR SHOULD REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED.
- ALL CHANGES MADE BY THE CONTRACTOR SHALL FIRST BE APPROVED BY THE ARCHITECT AND OWNER AND BUILDING DEPARTMENT PRIOR TO STARTING WITH THE WORK. ANY UNAUTHORIZED CHANGES MADE BY THE CONTRACTOR AND ULTIMATELY NOT BEING APPROVED BY THE OWNER AND ARCHITECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND TO BE CORRECTED AT HIS OWN EXPENSE.
- THE ARCHITECT HAS NOT BEEN RETAINED FOR ANY MECHANICAL DESIGN SYSTEMS, DUCTS, CHASE OPENINGS, SIZE OF FINISHES AND FRESH AIR REQUIREMENTS. THESE ARE NOT SHOWN AND SHALL BE DETERMINED BY A MECHANICAL ENGINEER PRIOR TO COMMENCING THE WORK.
- THE ARCHITECT HAS NOT BEEN RETAINED FOR SUPERVISION, CONSTRUCTION INSPECTIONS AND/OR THE REVIEW OF SHOP DRAWINGS. THE ARCHITECT HAS ONLY BEEN RETAINED FOR DESIGN PURPOSES. THEREFORE, THE ARCHITECT ASSUMES NO LIABILITY FOR WORKMANSHIP CODE AND/OR PLAN COMPLIANCE.
- THE ARCHITECT'S RESPONSIBILITY IS STRICTLY LIMITED TO THESE PLANS AND RELATED SPECIFICATIONS ONLY.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION METHODS, METHODS, DEVIATIONS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR ANY SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE DOCUMENTS.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURES AND OR ANY UNFORESEEN PROBLEMS PRIOR TO NEW CONSTRUCTION.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY DEMOLITION SITE WORK, NEW CONSTRUCTION OPERATION AND METHODS.
- ALL AREAS THAT ARE AFFECTED BY ALL ADDITIONS SHALL BE REPAIRED AND/OR PATCHED TO A LIKE NEW CONDITION UNLESS NOTED OTHERWISE.
- THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS BY THE LOCAL AND STATE AS REQUIRED AND TO DELIVER TO THE OWNER A COPI OF COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL PROVIDE A CONTAINER FOR THE REMOVAL OF DEBRIS DURING CONSTRUCTION.
- THE CONTRACTOR AND ALL SUBCONTRACTORS WORKING WITH THIS PROJECT SHALL KEEP THE SITE CLEAN AND MAINTAIN ACCESS AT ALL TIMES AND TO ORDER ALL WASH AND ALL OTHER SAFETY REGULATIONS.
- THE CONTRACTOR SHALL LEAVE PREMISES BROOM CLEAN DAILY.
- THE CONTRACTOR SHALL GUARANTEE ALL WORK SPECIFIED AND/OR DESCRIBED IN THESE DRAWINGS AND IS TO COLLECT ALL NATIONALLY ACCEPTED TRADE PRACTICES.

SITE NOTES

- THESE PLANS ARE BASED ACCORDANCE TO THE SURVEY INFORMATION PROVIDED TO THE ARCHITECT BY THE OWNER. THEY SHOULD BE REVIEWED BY A LICENSED LAND SURVEYOR AND OR ENGINEER TO VERIFY ALL BUILDING LINES, AND SET BACKS PRIOR TO CONSTRUCTION.
- THE ELEVATION SHOWN ON THE PLAN MAY NOT BE ACCURATE IN EVERY DETAIL, THE OWNER SHALL REVIEW THE PLANS WITH THE CONTRACTOR TO INSURE ACCURACY OF DETAILS AND METHODS PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE OF NOTIFYING ALL UTILITY COMPANIES, AND VERIFYING THE LOCATION OF THE SAME UTILITY COMPANIES LINES, SERVICES AND ALL OTHER POSSIBLE EQUIPMENTS OF UTILITY COMPANIES, THE CONTRACTOR SHALL LOCATE AND IDENTIFY THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES, AND PROVIDE UNDERGROUND CONNECTIONS TO THEM.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY GROUND WATER, EXCESSIVE ORGANIC MATERIAL, OR ANY OTHER UNSUITABLE CONDITIONS DISCOVERED DURING SITE PREPARATION AND OR EDUCATION.
- THE CONTRACTOR SHALL PROVIDE ONE PROPERLY MAINTAINED, PORTABLE TOILET FOR THE ENTIRE DURATION OF THE CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE FROM A REGISTERED LAND SURVEYOR A WRITTEN CERTIFICATE THAT THE OWNER PORTION OF THE FIRST REQUIRED SETBACK IS MAINTAINED.
- ALL DRIVEWAYS AND WALKWAYS FORM WORK SHALL BE APPROVED BY DEVELOPMENT REVIEW REPRESENTATIVE BEFORE ANY WORK COMMENCES.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE ALL RUBBISH, VEGETATION, STUMPS, ROOTS, AND TREES AS SHOWN ON THE PLANS. ALL AREAS TO BE COVERED WITH FILL AND GRADED DOWN.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES SHOWN TO REMAIN AS REQUIRED.
- EXCEPT WHERE SHOWN OTHERWISE, ALL EXISTING BUILDINGS, THE CONTRACTOR SHALL OBSERVE ANY VARIATIONS AND/OR ANY INCREASED DISCREPANCIES WITH THE PLANS, AND SHOULD REPORT IMMEDIATELY TO THE ARCHITECT.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND SOFFITS PROTECTED ON THE ENCLOSED SPACE W/ 1/2" GYP. DR.
- BEFORE REMOVING THE EXISTING WALLS, WALLS, AND CEILING, THE CONTRACTOR SHALL VERIFY THE MAXIMUM RISER HEIGHT IS 7 1/2". THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 1/4".
- THE MINIMUM TREAD DEPTH IS 10". THE GREATEST TREAD DEPTH SHALL NOT EXCEED THE SMALLEST BY MORE THAN 1/4".
- WHERE TREADS ARE PERMITTED PROVIDED THAT THE WIDTH OF THE TREAD AT A POINT IS NOT MORE THAN 12" AND FROM THE WARRON SIDE IS NOT LESS THAN 10". HINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 6" AT ANY POINT. THE GREATEST HINDER TREAD DEPTH AT THE 12" HALL LINE SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/4". A WOSING NOT LESS OF 1" AND NOT GREATER THAN 1/2" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST MOLD PROJECTION SHALL NOT EXCEED THE SMALLEST BY MORE THAN 1/4".
- OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE.
- HANDRAIL HEIGHT SHALL BE A MINIMUM OF 34" AND 38" MAXIMUM FOR WITHIN THE INDEPENDENT UNITS, OPEN RAILINGS AND GUARDS SHALL NOT BE GREATER THAN 4". DECKS OR PLATFORMS ARE 0'-0" AND GREATER ABOVE THE FINISHED GRADE THAN THE HANDRAIL SHALL BE 42" IN HEIGHT.

FOUNDATION NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND COORDINATE DIMENSIONS BETWEEN FOUNDATION AND FLOOR PLANS PRIOR TO CONSTRUCTION.
- ALL EXCAVATIONS SHALL BE SUBSTANTIALLY FREE OF WATER DURING FOUNDATION CONSTRUCTION WORK.
- THIS PROJECT HAS BEEN DESIGNED BY ASSUMING THAT ALL THE SOIL BEARING IS 3 KIPS/SQ. FT. (3,000).
- ALL STRUCTURAL CONCRETE SHALL BE A STONE CONCRETE WITH A 1:3:5 MIX AND HAVE A MINIMUM STRENGTH OF 3000 PSI FOR NOT EXPOSED TO THE WEATHER, CONCRETE EXPOSED TO THE WEATHER SHALL HAVE A MINIMUM OF 3000 PSI AT THE END OF 28 DAYS.
- ALL FOOTINGS TO REST ON UNDISTURBED SOIL, CAPABLE OF SUPPORTING 3 KIPS/50 SQ. FT. (3,000).
- REFERENCE THE PLANS FOR SIZE AND QUANTITY OF REINFORCING BARS.
- ALL FOOTINGS SHALL BE BELOW THE FINISHED GRADE MINIMUM OF 3'-6" IN ROCKLAND AND ORANGE COUNTY, AND 4'-0" IN SULLYMAN COUNTY OR OTHERWISE SHOWN ON THE PLAN.
- ALL INTERIOR FOOTINGS SHALL STEP DOWN TO PERMITER WALL FOOTING DEPTH AT ALL FOOTING INTERSECTIONS.
- ALL SUB GRADE FILL MATERIAL SHALL BE COMPACTED TO A DENSITY OF 98%.
- ALL CONCRETE SLABS SHALL BE A MINIMUM OF 4" THICK - REINFORCED WITH 6X6 #10 WELDED WIRE MESH ON 6" HIL VAPOR BARRIERS ON 4" OF 3/4" GRAVEL UNDER SHOOTS OTHERWISE AND TO RECEIVE A SMOOTH FINISH. ALL CONCRETE PAVING SHALL RECEIVE A FINE BROOM FINISH UNLESS SHOWN OTHERWISE.
- ALL CONCRETE SLABS TO RECEIVE CONTROL JOINTS (1" SAW CUTS) AT A MAXIMUM OF 10'X10' TO CONTROL CRACKING WITH SHRINKAGE.
- SLOPE ALL CONCRETE SLABS TO DRAIN TO EXTERIOR. SLABS IN GARAGES SHALL BE A MINIMUM OF 1/8"-1" OF UNLESS SHOWN OTHERWISE.
- PROVIDE EXPANSION JOINTS AT PERIMETERS OF ALL CONCRETE SLABS.
- MASONRY AND CONCRETE CONSTRUCTION SHALL INSTALL ALL ANCHOR BOLTS, PLATES, GRASS, SLOTS, SLEEVES, ETC. AS REQUIRED BY TRADES. CALL WEATHER-TIGHT ALL OPENINGS.

DECK NOTES

- NO TRADES OTHER THAN QUALIFIED TRADES INVOLVED WITH CONSTRUCTION OF DECKS, PORCHES SHALL ENTER SAID PREMISES PRIOR TO ISSUANCE OF C.O. FROM THE TOWN WITHOUT BEING ACCOMPANIED BY THE GENERAL CONTRACTOR, AND WRITTEN PERMISSION FROM THE OWNER.
- ALL DECK LINERS SHALL BE ASO FRESHLY TREATED.
- ALL FASTENERS SHALL BE DOUBLE HOT DIP GALVANIZED, STAINLESS STEEL, SILICONE BRONZE OR COPPER - CONFORMING TO THE LATEST ASTM STANDARDS.
- ALL FLASHING USED WITH ASO LINER SHALL BE COPPER.

DOOR & WINDOW NOTES

- ALL WINDOWS AND EXTERIOR DOORS SHALL COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, AND FOR THE COUNTY THIS PROJECT IS LOCATED.
- ALL DOORS SHALL CONFORM TO THE STATE CODE SIZE REQUIREMENTS.
- WINDOW SCHEDULE IS FOR DESIGN INTENT ONLY. THE CONTRACTOR SHALL VERIFY WITH OWNER ALL WINDOWS, DOOR, AND ADDITIONAL OPTIONS SUCH AS COLOR, HARDWARE PRIOR TO ORDERING.
- ALL WINDOWS AND DOORS SHALL BE INSTALLED WITH STRICT ACCORDANCE TO THEIR PARTICULAR MANUFACTURERS SPECIFICATIONS AND TO VERIFY WINDOW ROUGH OPENINGS WITH THE MANUFACTURER.
- ALL HEADER HEIGHTS TO BE 6" ABOVE THE FINISHED FLOOR, UNLESS NOTED OTHERWISE.
- ALL WINDOWS IN HABITABLE SPACES SHALL COMPLY WITH THE RESIDENTIAL CODE OF THE N.Y.S. EGRESS REQUIREMENTS. THESE WINDOWS SHALL HAVE A HEIGHT OF 48" ABOVE FINISHED FLOOR. THESE WINDOWS SHALL HAVE A MIN. OF 57 SQ. FT. CLEAR OPENING AND 0.3 SQ. FT. OF GLASS AREA FOR NATURAL LIGHT.
- AT ALL EGRESS BASEMENT WINDOWS THERE ARE BELOW THE FINISHED GRADE SHALL BE PROVIDED WITH AN APPROVED WINDOW WELL AND DRAINAGE AS PER THE N.Y.S. AND LOCAL CODES.
- ALL GLAZING LESS THAN 10" ABOVE FINISHED FLOOR/SURFACE, AND ALL GLASS TUB AND/OR SHOWER ENCLOSURES SHALL BE SAFETY GLASS.
- ALL FIXED GLASS SHALL BE IN FRAMES TO MATCH THE MANUFACTURER OF OPERABLE WINDOWS.
- ALL WINDOWS SHALL BE MANUFACTURED BY ANDERSEN OR EQUAL, UNLESS SHOWN OTHERWISE.
- ALL EXTERIOR SHING DOORS SHALL BE MANUFACTURED BY THURMOUD OR EQUAL, UNLESS SHOWN OTHERWISE.
- ALL EXTERIOR DOORS WHICH HAVE GLASS SHALL BE OF SAFETY GLASS. ALL SAFETY GLASS SHALL BE TESTED IN ACCORDANCE WITH CPSC & CFR 1201 OR ANSI Z97.1, AS APPLICABLE.

FRAMING NOTES

- DIMENSIONS ARE TO THE NEAREST INCH. ACTUAL ROOM SIZES MAY VARY DUE TO GYPSUM BOARD.
- ALL WOOD FRAMING IN DIRECT CONTACT WITH SOIL, CONCRETE, MASONRY OR WEATHER SHALL BE PRESSURE TREATED STANDARD OF APPROVAL.
- ALL FRAMING BELOW FINISHED FLOOR ELEVATION AS SET FORTH BY FEMA AND LOCAL BUILDING OFFICIALS, MODELS, COLORS ETC. PRIOR TO ORDERING.
- SECURE ALL TEMPORARY RAILINGS WITH STAIRS TO BE INSTALLED AROUND ALL FLOOR OPENINGS AND OPEN DOOR OPENINGS.
- PROVIDE TEMPORARY RAMPS AND GUARDS TO BE INSTALLED AT ALL LEVELS.
- ALL LUMBER TO BE DOUGLAS FIR-LARCH #2 OR BETTER.
- ALL OPENINGS TO BE SAWN DRY AND FREE FROM KNOTS, SPLITS, AND OTHER DEFECTS.
- ALL FRAMING SHALL BE FRAMED AT 16" O.C. UNLESS SHOWN OTHERWISE.
- FOR ALL CONVENTIONAL FLOOR FRAMING PROVIDE A MINIMUM OF 3X8 CROSS BRIDGING FOR ALL JOISTS WITH SPANS OVER 12'-0" OR SHOWN OTHERWISE ON THE PLANS.
- PROVIDE A MINIMUM OF DOUBLE JOISTS BELOW ALL PARALLEL PARTITIONS, WALL JOISTS, BATH FIXTURES, AND AT ALL CANTILEVERS, UNLESS SHOWN OTHERWISE.
- PROVIDE A MINIMUM OF DOUBLE ALL JOISTS AT OPENINGS IN FLOORS, CEILING AND ROOFS.
- PROVIDE A MINIMUM OF DOUBLE JOISTS ABOVE ALL STOPS AROUND ALL WALL OPENINGS, JACK STOPS UNDER ALL HEADERS, TRIPLE STUDS AT ALL CORNERS.
- PROVIDE POSTS AT 4' HORIZ. RIP AND VALLEY INTERSECTIONS DOWN IN VALLEY OF TRIPLE 2X8 CROSS BRIDGING JOISTS.
- ALL FRAMING SHALL BE FRAMED CROWN UP UNLESS AT CANTILEVERS OR SHOWN OTHERWISE.
- SOLID BLOCKING SHALL BE PROVIDED UNDER ALL POSTS THAT DON'T REST DIRECTLY ON JOISTS.
- BRACE ALL WALLS DURING CONSTRUCTION.
- ALL WALL FRAMING OF 4'-0" AND GREATER SHALL HAVE CATS (SOLID BLOCKING) AT MID HEIGHT OF ALL WALLS.
- FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERT. & HORIZ.) AND TO FORM AN EFFECTIVE BARRIER BET. STORIES AND BET. A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
 - IN CONCEALED SPACES OF SOLID WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING & FLOOR LEVELS. CONCEALED HORIZ. FURRED SPACES SHALL ALSO BE FIRE BLOCKED AT INTERVAL NOT EXCEEDING 10 FEET. BATTIS OR BLENKETS OF MINERAL OR GLASS FIBER SHALL BE ALLOWED AS LONG AS BLOCKING IN WALLS CONSTRUCTED USING RODS OR STAGGERED STUDS.
 - AT ALL INTERSECTIONS BETWEEN VERT. CONCEALED VERT. & HORIZ. SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND GUE CEILING.
 - IN CONCEALED SPACES BET. STAR STRIPPERS AT TOP & BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH BUILDING CODE OF THE NEW YORK STATE.
 - AT OPENINGS AROUND VENTS, PIPES AND DUCTS AT CEILING AND FLOOR LEVEL, W/ AN APPROV. MATERIAL TO PREVENT THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
 - FOR THE FIREBLOCKING OF CHIMNEYS & FIREPLACES, SEE SECTION R302.3.
 - FOR BLOCKINGS OF CORNICES OF 2 FAMILY DWELLING IS REGO AT THE LINE OF DWELLING UNIT SEPARATION.
 - ALL HEADERS AND BEAMS SHALL BE SIZED AND NAILED 6" O.C. AT TOP AND BOTTOM.
 - PROVIDE FASTENER NAILED AS FOLLOWS, 10D AT ALL GENERAL FRAMING AND 8D AT ALL PLYWOOD 6" O.C. MAX. AT ALL PLYWOOD EDGES AND 12" AT INTERIOR STUDS OR NOTED OTHERWISE.
 - ALL WOOD FRAMING THAT IS SUPPORTED BY OTHER WOOD FRAMING MEMBERS AT THE SAME ELEVATION (FLASH) SHALL BE FASTENED BY MEANS OF METAL JOIST HANGERS OF THE APPROPRIATE SIZE AND LOADING CAPABILITIES.
 - ALL HANGERS, ANCHORS AND CONNECTORS SHALL BE SIMPSON STRONG TIE OR EQUAL.
 - ALL PLYWOOD SUB FLOORING SHALL BE GLEUED AND NAILED TO TOP OF JOISTS.
 - ALL ENGINEERED BEAMS INDICATED ON THE PLANS ARE DESIGNED USING THIS SPECIFIC MANUFACTURER AND SHALL BE INSTALLED PER THE MANUFACTURERS SPECIFICATIONS ONLY.
 - WHEN USING MULTIPLE MEMBER ENGINEERED BEAMS, THE FRAEMER SHALL REFERENCE WITH THE SPECIFIC MANUFACTURERS NAILING GUIDE.
 - PROVIDE METAL FLASHING AT ALL EXTERIOR DOORS, WINDOWS AND OPENINGS UNLESS SHOWN OTHERWISE.
 - INSTALL 3/4" HIPS OVER 1/2" WATER SHIELD AT ALL ROOF EAVES, WALLS & AGAINST WALL JOINTS, OVER HIPS AND HARP OVER ALL FACIAS. THE SHIELD SHALL COVER MINIMUM 24" BEYOND INTERIOR FACE OF EXTERIOR WALLS.
 - PROVIDE SHOWN-GUARDS AS REQUIRED WITH THE STANDARD SPACINGS ALONG THE BOTTOM EDGE OF THE ROOF, ROOFING, GUTTERS, TRIM AND OTHER MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THEIR RESPECTIVE MANUFACTURERS SPECIFICATIONS AND INDUSTRY STANDARDS.
 - PROVIDE 6" ALUMINUM GUTTERS AND 4"X6" ALUMINUM LEADERS, OWNER TO PROVIDE COLOR SELECT.
 - ALL SOFFITS, METAL FLASH, VENTS, SLOTTES OR ANY OTHER ROOF ACCESSORIES THAT REQUIRE FLASHING SHALL BE INSTALLED AS PER THE MANUFACTURERS SPECIFICATIONS.
 - PROVIDE ADDITIONAL ALUMINUM BLIND FLASHING WHERE REQUIRED TO INSURE WATER TIGHT CONDITIONS.
 - INSTALL FLASHING AT ALL ENTRANCE SLABS ADJACENT TO WALL CONSTRUCTION.

DRY-WALL NOTES

- ALL GYPSUM BOARD DRYWALL CUT JOINTS SHALL BE ADJACENT TO CORNERS, NO BUTT JOINTS IN HALL SHALL BE PERMITTED.
- ALL CORNERS AND JOINTS SHALL RECEIVE TWO COATS OF JOINT COMPOUND FEATHERED SMOOTH AND ALL DIMITES CREATED BY FASTENERS SHALL RECEIVE THREE COATS OF JOINT COMPOUND FEATHERED SMOOTH.
- ALL GYPSUM BOARD SHALL BE IN ACCORDANCE WITH THE GYPSUM CONSTRUCTION HANDBOOK, PUBLISHED BY THE UNITED STATES GYPSUM COMPANY.
- ALL MATERIALS SHALL BE FURNISHED BY THE UNITED STATES GYPSUM COMPANY, NATIONAL GYPSUM COMPANY, CELESTO CORP. OR OTHER APPROVED MANUFACTURER.
- ALL LEADS, STOPS AND TRIM SHALL BE MANUFACTURED FROM RESIST MATERIALS.
- USE WATERPROOF GYPSUM BOARD AT ALL TUBS, SHOWER SURROUNDS AND OTHER NEAT LOCATIONS.

STAIRS & RAILING NOTES

- ALL STAIRS AND RAILINGS SHALL COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
- ALL STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE ALL RUBBISH, VEGETATION, STUMPS, ROOTS, AND TREES AS SHOWN ON THE PLANS. ALL AREAS TO BE COVERED WITH FILL AND GRADED DOWN.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES SHOWN TO REMAIN AS REQUIRED.
- EXCEPT WHERE SHOWN OTHERWISE, ALL EXISTING BUILDINGS, THE CONTRACTOR SHALL OBSERVE ANY VARIATIONS AND/OR ANY INCREASED DISCREPANCIES WITH THE PLANS, AND SHOULD REPORT IMMEDIATELY TO THE ARCHITECT.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND SOFFITS PROTECTED ON THE ENCLOSED SPACE W/ 1/2" GYP. DR.
- BEFORE REMOVING THE EXISTING WALLS, WALLS, AND CEILING, THE CONTRACTOR SHALL VERIFY THE MAXIMUM RISER HEIGHT IS 7 1/2". THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 1/4".
- THE MINIMUM TREAD DEPTH IS 10". THE GREATEST TREAD DEPTH SHALL NOT EXCEED THE SMALLEST BY MORE THAN 1/4".
- WHERE TREADS ARE PERMITTED PROVIDED THAT THE WIDTH OF THE TREAD AT A POINT IS NOT MORE THAN 12" AND FROM THE WARRON SIDE IS NOT LESS THAN 10". HINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 6" AT ANY POINT. THE GREATEST HINDER TREAD DEPTH AT THE 12" HALL LINE SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/4". A WOSING NOT LESS OF 1" AND NOT GREATER THAN 1/2" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST MOLD PROJECTION SHALL NOT EXCEED THE SMALLEST BY MORE THAN 1/4".
- OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE.
- HANDRAIL HEIGHT SHALL BE A MINIMUM OF 34" AND 38" MAXIMUM FOR WITHIN THE INDEPENDENT UNITS, OPEN RAILINGS AND GUARDS SHALL NOT BE GREATER THAN 4". DECKS OR PLATFORMS ARE 0'-0" AND GREATER ABOVE THE FINISHED GRADE THAN THE HANDRAIL SHALL BE 42" IN HEIGHT.

CLOSET & CABINETS NOTES

- ALL CLOSETS SHALL HAVE A MINIMUM OF ONE (1) HIGH SHELF AND ONE (1) ROD FOR HANGING CLOTHING.
- PROVIDE FIVE (5) SHELVES IN LINEN CLOSETS.
- THE CONTRACTOR SHALL DOUBLE CHECK AND VERIFY ALL AS BUILT DIMENSIONS AND CONDITIONS PRIOR TO ORDERING CABINETS, COUNTER TOPS AND VANITIES.
- ALL EXPOSED BASES CABINET SETS SHALL HAVE 1/8" SPACE UNLESS SHOWN OTHERWISE.

TOILET ACCESSORIES

- PROVIDE ONE REGESSED TOILET TISSUE HOLDER PER TOILET.
- PROVIDE ONE (1) TOWEL BAR PER VANITY.
- PROVIDE ONE (1) 8" TOWEL BAR PER BIDET.
- PROVIDE TWO (2) 24" TOWEL BARS PER BATH AND SHOWER.
- PROVIDE 1/4" THICK GLASS MIRROR WITH A MIRROR GREIST ABOVE EACH VANITY UNLESS SHOWN OTHERWISE.
- PROVIDE A CERAMIC TILE SOAP DISH PER BATH AND/OR SHOWER WITH CERAMIC TILES BATH AND/OR SHOWER SURROUNDS UNLESS SHOWN OTHERWISE.

PAINTING NOTES

- ALL PAINTS AND STAINS SHALL BE OF A MANUFACTURER AS SCHEDULED OR AS DIRECTED BY OWNER.
- ALL INTERIOR GYPSUM BOARDS, WALLS AND CEILING, SHALL RECEIVE ONE COAT PRIMER AND TWO COATS OF PAINT OF BENJAMIN MOORE OR EQUAL.
- ALL INTERIOR WOOD, TRIM, SHELVEING AND OAK FLOORS SHALL BE FINISHED AS SCHEDULED OR AS DIRECTED BY OWNER.
- ALL INTERIOR DOORS, TRIM AND EXPOSED WOOD SHALL BE SANDED COMPLETELY SMOOTH PRIOR TO APPLYING FINISH.
- ALL EXPOSED FERROUS METAL SHALL BE PAINTED WITH A RUST INHIBITOR AND TWO COATS OF ENAMEL.

ELECTRICAL NOTES

- ALL OUTLETS, FIXTURES AND ALL OTHER ELECTRICAL WORK SHALL BE PLACED, AND INSTALLED AS PER THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
- ELECTRICAL PANELS SHALL BE FULLY RECESSED AND HAVE ALL CIRCUITS CLEARLY LABELED A MINIMUM OF 20% OF CIRCUITS SHALL BE FOR FUTURE USE FOR EACH PANEL USED.
- TELEPHONE AND TELEVISION OUTLETS SHALL BE WIRED TO LOCAL PROVIDERS SPECIFICATIONS TO A POINT OF ENTRY APPROVED BY OWNER. UNLESS SHOWN OTHERWISE.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE MECHANICAL EXHAUST FANS FOR ALL RANGES, AND IN ALL LAUNDRY, TOILET, TUB, AND SHOWER AREAS.
- ALL FAN MOTORS SHALL BE WIRED SEPARATELY AND VENTED TO THE EXTERIOR.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE A SWITCH FOR THE DISHWASHER LOCATED IN SINK CAB.
- ALL RECEPTACLES SHOWN ABOVE THE COUNTER SHALL HAVE THE BOTTOM FLUSH WITH TOP OF THE BACKSPLASH.
- THE ELECTRICAL CONTRACTOR SHALL NOT DRILL OR CUT ANY STRUCTURAL MEMBERS, BEAMS AND BEAMS WITHOUT RISK CONSENT FROM THE ARCHITECT.
- THE CONTRACTOR SHALL CONSULT AND COORDINATE WITH OTHER TRADES INVOLVED WITH THIS PROJECT PRIOR TO INSTALLATION.
- THE ELECTRICAL CONTRACTOR SHALL VERIFY WITH THE OWNER ALL ELECTRICAL DEVICE AND FIXTURE LOCATIONS.
- THE ELECTRICAL CONTRACTOR SHALL VERIFY WITH THE OWNER ALL ELECTRICAL DEVICE AND FIXTURE OPTIONS SUCH AS COLOR, FINISH AND STYLE PRIOR TO ORDERING.
- ALL SMOKE AND CARBON MONOXIDE ALARMS SHALL BE HARDWIRED AND INTERCONNECTED, EACH WITH BATTERY BACK-UP.
- PROVIDE ONE SMOKE ALARM IN EVERY SLEEPING ROOM, OUTSIDE SLEEPING AREAS AND AT LEAST ONE ON EVERY FLOOR, AND PROVIDE A MINIMUM OF ONE CARBON MONOXIDE ALARM ON EVERY FLOOR.
- LOCATE SMOKE ALARM ON FLAT CEILING, NO CLOSER THAN 18" FROM WALL.
- SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AN THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

PLUMBING NOTES

- ALL PLUMBING WORK EQUIPMENT AND FIXTURES SHALL BE PLACED AND INSTALLED PER THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND INDUSTRY STANDARDS. THE CONTRACTOR SHALL VERIFY WITH THE OWNER ALL FINISHES, MODELS, COLORS ETC. PRIOR TO ORDERING.
- INSTALL COPPER PIPING UNDER ALL CONCRETE SLABS.
- PROVIDE A POSITIVE DRAIN FLOW ON ALL PIPING AND DRAINS.
- THE PLUMBING CONTRACTOR SHALL PROVIDE DRYER VENTS AS PER THE 2020 RESIDENTIAL CODE OF N.Y.S.
- THE PLUMBING CONTRACTOR SHALL NOT DRILL OR CUT ANY STRUCTURAL MEMBERS, BEAMS AND BEAMS WITHOUT RISK CONSENT FROM THE ARCHITECT. DRILLING AND CUTTING OF FLOOR, JOISTS SHALL BE IN STRICT ACCORDANCE WITH THE OWNER SAID JOIST MANUFACTURERS SPECIFICATIONS.
- THE PLUMBING CONTRACTOR SHALL VERIFY FIXTURE AND PIPE LOCATIONS WITH OTHER TRADES INVOLVED WITH THIS JOB PRIOR TO INSTALLATION.
- THE PLUMBING CONTRACTOR SHALL PROVIDE AND INSTALL EQUIPMENT FLEES AS REQUIRED BY THE 2020 RESIDENTIAL CODE OF THE NEW YORK STATE.
- ALL HOSE BIBBS SHALL BE FREZE PROOF TYPE. LOCATIONS AND QUANTITY SHALL BE AS PER OWNERS INSTRUCTIONS. UNLESS SHOWN OTHERWISE A MINIMUM OF TWO (2) HOSE BIBBS SHALL BE PROVIDED: ONE (1) LOCATED AT THE FRONT AND ONE (1) LOCATED AT THE REAR OF THE HOUSE.
- HEATED WATER CIRCULATION SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R102.5.1.1. HEAT TRACE TEMPERATURE MAINTENANCE SYSTEMS SHALL BE IN ACCORDANCE WITH SECTION R102.5.1.2. AUTOMATIC CONTROLS, TEMPERATURE SENSORS AND PUMPS SHALL BE ACCESSIBLE/MANUAL CONTROLS SHALL BE READILY ACCESSIBLE.
- HEATED WATER CIRCULATION SYSTEMS SHALL BE PROVIDED WITH A CIRCULATION PUMP. THE SYSTEM RETURN PIPE SHALL BE A DEDICATED RETURN PIPE OR A COLD WATER SUPPLY PIPE. GRAVITY AND THERMO-SYSTRON CIRCULATION SYSTEMS SHALL BE PROHIBITED. CONTROLS FOR CIRCULATING HOT WATER SYSTEMS SHALL START THE PUMP BASED ON THE IDENTIFICATION OF A DEMAND FOR HOT WATER WITHIN THE OCCUPANCY. THE CONTROLS SHALL AUTOMATICALLY TURN OFF THE PUMP WHEN THE WATER IN THE CIRCULATION LOOP IS AT THE DESIRED TEMPERATURE AND WHEN THERE IS NO DEMAND FOR HOT WATER.
- ELECTRIC HEAT TRACE SYSTEMS SHALL COMPLY WITH IEEE 5151 OR UL 515. CONTROLS FOR SUCH SYSTEMS SHALL AUTOMATICALLY ADJUST THE ENERGY INPUT TO THE HEAT TRACING TO MAINTAIN THE DESIRED WATER TEMPERATURE IN THE PIPING IN ACCORDANCE WITH THE TIMES WHEN HEATED WATER IS USED IN THE OCCUPANCY.
- A WATER DISTRIBUTION SYSTEM HAVING ONE OR MORE RECIRCULATION PUMPS THAT PUMP WATER FROM A HEATED WATER SUPPLY PIPE BACK TO THE HEATED WATER SOURCE THROUGH A COLD WATER SUPPLY PIPE SHALL BE A DEMAND RECIRCULATION WATER SYSTEM. PUMPS SHALL HAVE CONTROLS THAT COMPLY WITH BOTH OF THE FOLLOWING:
 - THE CONTROL SHALL START THE PUMP UPON RECEIVING A SIGNAL FROM THE ACTION OF A USER OF A FIXTURE OR APPLIANCE, SENSING THE PRESENCE OF A USER OF A FIXTURE OR SENSING THE FLOW OF HOT OR TEMPERED WATER TO A FIXTURE FITTING OR A APPLIANCE.
 - THE CONTROL SHALL LIMIT THE TEMPERATURE OF THE WATER ENTERING THE COLD WATER PIPING TO 104°F (40°C).
- INSULATION FOR HOT WATER PIPE WITH A MINIMUM THERMAL RESISTANCE (R-VALUE) OF R-3 SHALL BE APPLIED TO THE FOLLOWING:
 - PIPING SERVING MORE THAN ONE DWELLING UNIT.
 - PIPING LOCATED OUTSIDE THE CONDITIONED SPACE.
 - PIPING FROM THE WATER HEATER TO A DISTRIBUTION MANIFOLD.
 - PIPING LOCATED UNDER A FLOOR SLAB.
- BURIED PIPING:
 - SUPPLY AND RETURN PIPING IN RECIRCULATION SYSTEMS OTHER THAN DEMAND RECIRCULATION SYSTEMS.
 - DRAIN/WATER HEAT RECOVERY UNITS SHALL COMPLY WITH CSA 55.2. DRAIN/WATER HEAT RECOVERY UNITS SHALL BE TESTED IN ACCORDANCE WITH CSA 55.1. POTABLE WATER-SIDE PRESSURE LOSS OF DRAIN/WATER HEAT RECOVERY UNITS SHALL BE LESS THAN 3 PSI (207 kPa) FOR INDIVIDUAL UNITS CONNECTED TO ONE OR TWO SHOWERS. POTABLE WATER-SIDE PRESSURE LOSS OF DRAIN/WATER HEAT RECOVERY UNITS SHALL BE LESS THAN 2 PSI (138 kPa) FOR INDIVIDUAL UNITS CONNECTED TO THREE OR MORE SHOWERS.

MECHANICAL NOTES

- ALL MECHANICAL WORK (FURNACE, BOILERS, HVAC, HOT WATER, ETC.) SYSTEMS AND INSTALLATION SHALL COMPLY IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND INDUSTRY STANDARDS.
- THE SYSTEMS SHALL BE DESIGNED AND GUARANTEED BY THE MECHANICAL SUBCONTRACTOR TO MEET AND/OR EXCEED THE FOLLOWING REQUIREMENTS: MAINTAIN 10°F INSIDE WHEN THE OUTSIDE TEMPERATURE IS 100°F AND MAINTAIN 10°F ABOVE THE OUTSIDE TEMPERATURE WHEN THE OUTSIDE TEMPERATURE IS 0°F.
- ALL HEATING LINES SHALL CONTAIN ANTI-FREEZE.
- LOCATE ATTIC MECHANICAL UNITS ON GALVANIZED DRIP PANS, DRAINED.
- ALL DUCTS SHALL BE FIBERGLASS INSULATED TYPE (EXCEPT GALVANIZED UNDER SLAB DUCTWORK).
- EACH SYSTEM SHALL BE SEPARATE AND COMPLETE WITH EACH SYSTEM HAVING SUPPLEMENTAL STRIP HEAT.
- OWNER, TRADE LEADS AND OTHER MANUFACTURERS FOR THE MECHANICAL UNIT. ANY SUBSTITUTES MUST BE APPROVED IN WRITING BY THE ARCHITECT OR OWNER.
- ALL MECHANICAL UNITS IN ATTIC SHALL BE LOCATED IN SUCH MANNER THAT THEY SHALL NOT CAUSE AN OBSTRUCTION TO FUTURE FLOORING.
- FOR FLOORING WITH A FIRE RATED SEPARATION AT THE MECHANICAL ROOM (FURNACE, HVAC, HOT WATER, ETC.) AS PER THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, AND INDUSTRY STANDARDS, NATIONAL CODES:
 - EXHAUST FANS AND DRYER VENTS SHALL VENT DIRECTLY TO THE EXTERIOR AND THE EXHAUST TERMINATION AT THE EXTERIOR WALLS SHALL NOT BE LOCATED WITHIN 3 FEET OF AN OPENING INTO THE BUILDING.
 - SUPPLY AND RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8 WHERE 3 INCHES (76.2 MM) IN DIAMETER OR GREATER AND R-6 WHERE 12 INCHES (304.8 MM) IN DIAMETER. SUPPLY AND RETURN DUCTS IN OTHER PORTIONS OF THE BUILDING SHALL BE INSULATED TO A MINIMUM OF R-6 WHERE 3 INCHES (76.2 MM) IN DIAMETER OR GREATER AND R-4.2 WHERE LESS THAN 3 INCHES (76.2 MM) IN DIAMETER. EXCEPTION: DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING'S THERMAL ENVELOPE. DUCTS, AIR HANDLERS AND FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH EITHER THE INTERNATIONAL MECHANICAL CODE OR SECTION M604.07. USE THIS CODE AS APPLICABLE. EXCEPTIONS:
 - AIR-IMPERMEABLE SPRAY FOAM PRODUCTS SHALL BE PERMITTED TO BE APPLIED WITHOUT ADDITIONAL JOINT SEALS.
 - FOR DUCTS HAVING A STATIC PRESSURE CLASSIFICATION OF LESS THAN 2 INCHES OF WATER COLUMN (50 PA), ADDITIONAL CLOSURE SYSTEMS SHALL NOT BE REQUIRED FOR CONTINUOUSLY HELDED JOINTS AND SEAMS, AND LOCKING-TYPE JOINTS AND SEAMS OF OTHER THAN THE SNAP-LOCK AND BUTT-JOINT TYPES.
 - AIR HANDLERS SHALL HAVE A MANUFACTURER'S DESIGNATION FOR AN AIR LEAKAGE OF NO MORE THAN 2 PERCENT OF THE DESIGN AIR FLOW RATE WHEN TESTED IN ACCORDANCE WITH ASHRAE 183.
 - ROUGH-IN TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH H2O (25 PA) AROUND THE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE IF INSTALLED AT THE TIME OF THE TEST. ALL REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
 - POST-CONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH H2O (25 PA) AROUND THE ENTIRE SYSTEM, INCLUDING THE MANUFACTURER'S AIR HANDLER ENCLOSURE. REGISTERS SHALL BE TAPED OR OTHERWISE SEALED DURING THE TEST.
 - EXCEPTION: A DUCT/AIR LEAKAGE TEST SHALL NOT BE REQUIRED WHERE THE DUCTS AND AIR HANDLERS ARE LOCATED ENTIRELY WITHIN THE BUILDING THERMAL ENVELOPE.
- A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE ARCHITECT IMMEDIATELY UPON COMPLETION OF THE TEST.
- THE TOTAL LEAKAGE OF THE DUCTS, WHERE MEASURED IN ACCORDANCE WITH SECTION R402.3.3, SHALL BE AS FOLLOWS:
 - ROUGH-IN TEST: THE TOTAL LEAKAGE SHALL BE LESS THAN OR EQUAL TO 4 CUBIC FEET PER MINUTE (113.3 L/MIN) PER 100 SQUARE FEET (9.29 M2) OF CONDITIONED FLOOR AREA WHERE THE AIR HANDLER IS INSTALLED AT THE TIME OF THE TEST, WHERE THE AIR HANDLER IS NOT INSTALLED AT THE TIME OF THE TEST, THE TOTAL LEAKAGE SHALL BE LESS THAN OR EQUAL TO 3 CUBIC FEET PER MINUTE (85 L/MIN) PER 100 SQUARE FEET (9.29 M2) OF CONDITIONED FLOOR AREA.
 - POST-CONSTRUCTION TEST: TOTAL LEAKAGE SHALL BE LESS THAN OR EQUAL TO 4 CUBIC FEET PER MINUTE (113.3 L/MIN) PER 100 SQUARE FEET (9.29 M2) OF CONDITIONED FLOOR AREA.
- MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105°F (41°C) OR BELOW 55°F (13°C) SHALL BE INSULATED TO A MINIMUM OF R-5.
- PIPING INSULATION EXPOSED TO WEATHER SHALL BE PROTECTED FROM DAMAGE, INCLUDING THAT CAUSED BY SUNLIGHT, MOISTURE, EQUIPMENT MAINTENANCE AND WIND, AND SHALL PROVIDE SHIELDING FROM SOLAR RADIATION THAT CAN CAUSE DEGRADATION OF THE MATERIAL. ADHESIVE TAPE SHALL NOT BE PERMITTED.

BUILDING INFORMATION:

BUILDING IS DESIGNED ACCORDING TO THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
CONSTRUCTION TYPE: 5B

FLOOR AREA	
FINISHED AREAS	
FIRST FLOOR	1771 SQ. FT.
SECOND FLOOR	1781 SQ. FT.
TOTAL LIVING FLOOR AREA	3552 SQ. FT.
UNFINISHED AREAS	
CAR GARAGE	794 SQ. FT.
BASEMENT FLOOR	1771 SQ. FT.
TOTAL UNFINISHED AREA	2565 SQ. FT.
SQ. FT. CALCULATIONS ARE ROUNDED OFF TO THE NEAREST FOOT	

CLIMATE & GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQ'D	FLOOD HAZARDS
	SPEED (mph)	TOPOGRAPHIC AFFECTS	SPECIAL WIND REGION	WINDBORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITES			
30 psf	15 mph	No	1500	No	B	SEVERE	3'-6"	MODERATE - HEAVY	13°F	YES	NO

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING	WOOD FRAME R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALLS R-VALUE	SLAB R-VALUE & DEPTH	CRACK SPACE WALL R-VALUE
ZONE 5A	U-30	55	NR	R-4-4	21 or 13-5	13/11	R-30	21	R-10 FOR 2 FT.	15/14

IMPORTANT NOTES

- ALL NEW FRAMING SHALL BE DOUGLAS FIR-LARCH GRADE NO 2 OR BETTER, UNLESS SHOWN OTHERWISE.
- THE CONTRACTOR SHOULD BE RESPONSIBLE FOR ALL SHORING, BRACING AND ALL TEMPORARY SUPPORT WALLS, CEILING, FLOORS AND ROOFS AS PER ALL LOCAL AND OSHA REGULATIONS. PROVIDE WEATHERPROOFING AT THE END OF EACH WORK DAY AS REQUIRED TO BE PREVENTED OF WEATHER DAMAGE.

MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (In pounds per square foot)

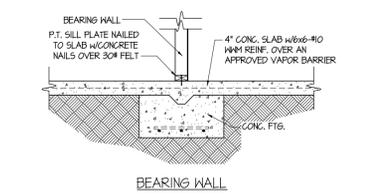
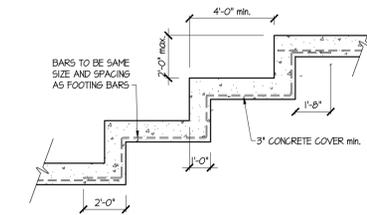
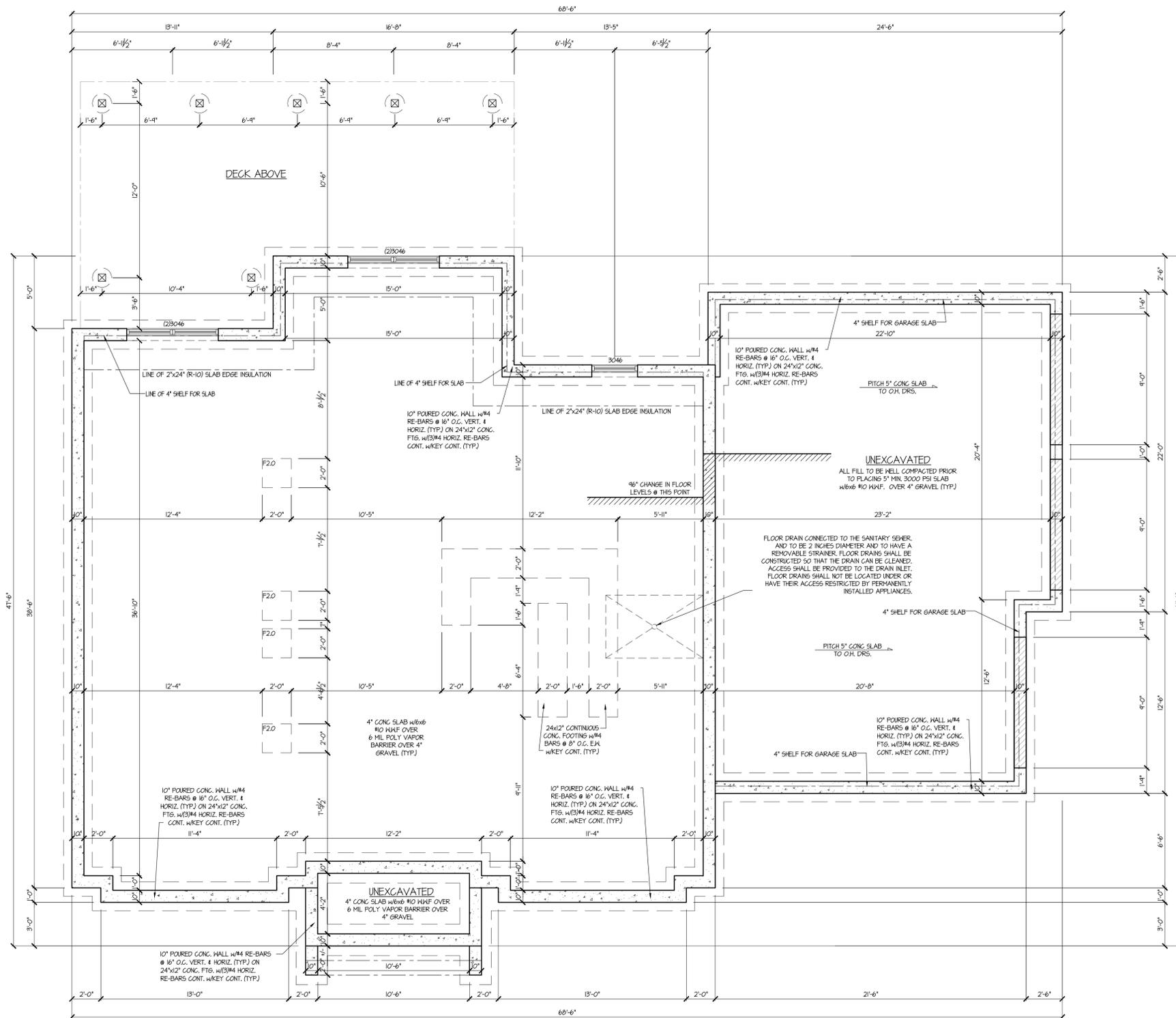
USE	LIVE LOAD
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PROPOSED SINGLE FAMILY DWELLING FOR:
RIVER RIDGE ESTATES

66.69 - 1 - 2.3
214 SOUTH BLVD. (LOT 2 - MODEL #1A), NYACK, NY 10960
TOWN OF ORANGETOWN, ROCKLAND COUNTY, NY

WALL LEGEND

- 2x6 OR 2x4 WALL CONST.
- INTERIOR BEARING PARTITIONS
- POURED CONC. WALL
- STRUCTURAL LINES w/SOLID HD. STUDS
- SMOKE DETECTOR (HARD WIRED w/BATT BACKUP)
- CARBON MONOXIDE DETECTOR (HARD WIRED w/BATT BACKUP)



FOUNDATION SURFACE DRAINAGE IS TO BE DIVERTED AWAY FROM THE FOUNDATION WALLS A MIN. OF 6 INCHES WITHIN THE FIRST 10 FEET TO A POINT OF COLLECTION THAT DOES NOT CREATE HAZARD.

OUTSIDE OPENING PROTECTION SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS OR GRILLES HAVING AN OPENING SIZE 1/4" - 1/2" INCH IN ANY DIMENSION, SHALL BE PROTECTED AGAINST LOCAL WEATHER CONDITIONS AND SHALL MEET THE PROVISIONS FOR EXTERIOR WALL OPENING PROTECTIVE.

FOOTING SCHEDULE

FTG. #	FOOTING SIZE (FT x FT x IN)	REINFORCEMENT
F2.0	2.0 x 2.0 x 12	(3) #4 BARS E.A.

BOTTOM OF FOOTINGS TO BE 42" MIN. BELOW GRADE

1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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SEAL:

DATES:

02.10.26 FOR REVIEW ONLY

PROJECT NO. I-1124

DRAWN BY: Y.F.

SCALE: AS NOTED

CONTEXT OF THIS SHEET:

FOUNDATION PLAN
DETAILS

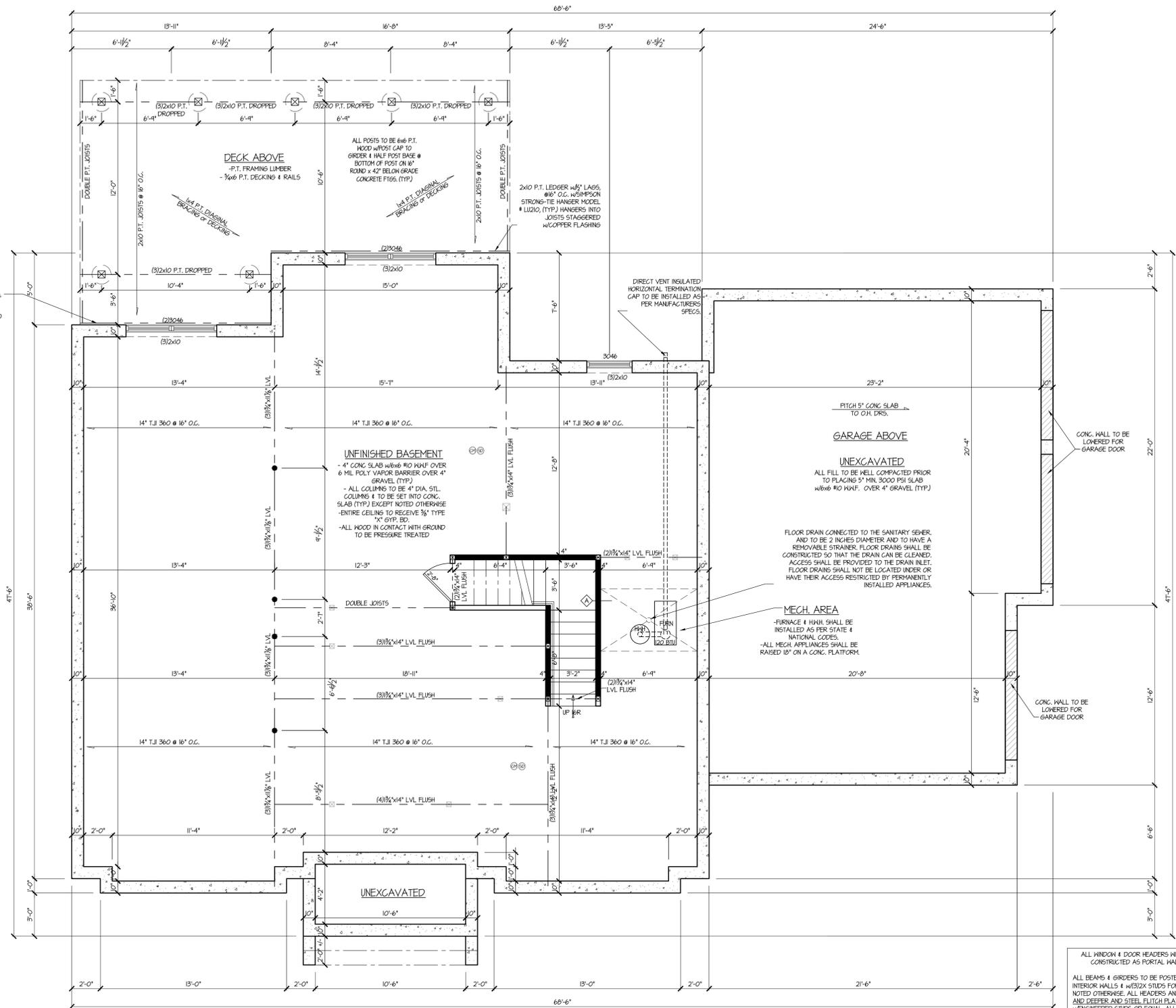
SHEET NO.

A-3 of 9

PROPOSED SINGLE FAMILY DWELLING FOR:
RIVER RIDGE ESTATES

66.69 - 1 - 2.3
214 SOUTH BLVD. (LOT 2 - MODEL #1A), NYACK, NY 10960
TOWN OF ORANGETOWN, ROCKLAND COUNTY, NY

WALL LEGEND	
	2x6 OR 2x4 WALL CONST.
	INTERIOR BEARING PARTITIONS
	POURED CONC. WALL
	STRUCTURAL LINES w/SOLID WD. STUDS
	SMOKE DETECTOR (HARD WIRED w/BATT BACKUP)
	CARBON MONOXIDE DETECTOR (HARD WIRED w/BATT BACKUP)



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

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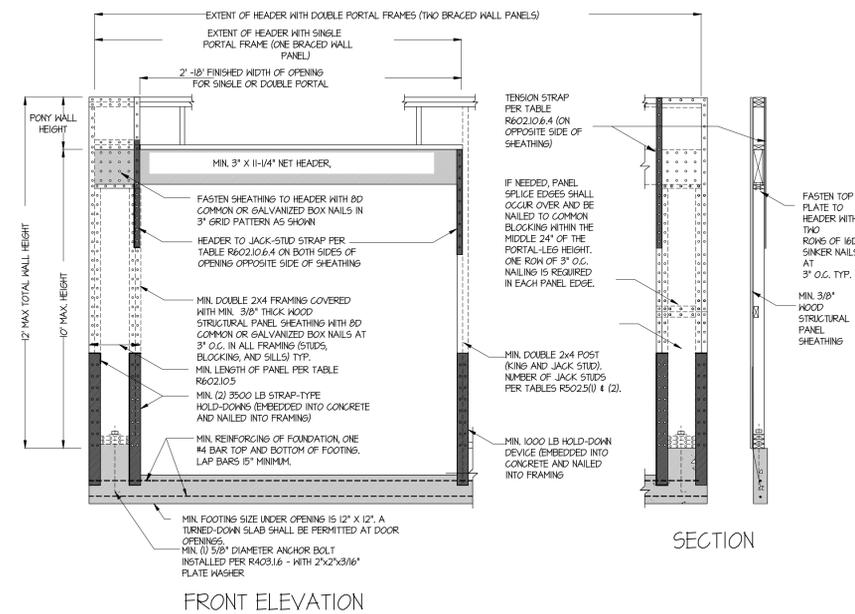
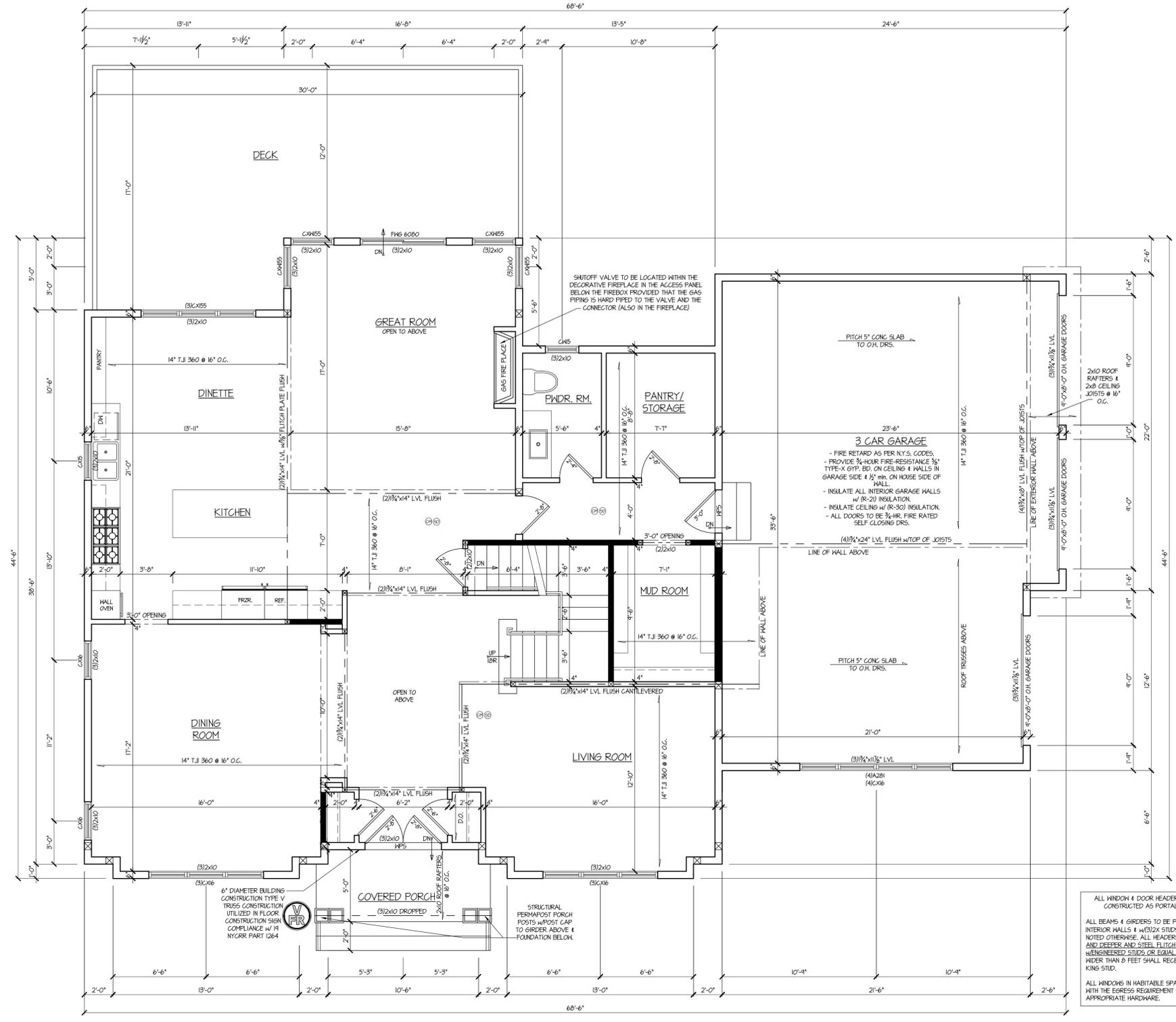
DATES:
02.10.26 FOR REVIEW ONLY

PROJECT NO. I-1124
DRAWN BY: Y.F.
SCALE: 1/4" = 1'-0"
CONTEXT OF THIS SHEET:

BASEMENT FLOOR PLAN

SHEET NO.
A-4 of 9

WALL LEGEND	
	2x6 OR 2x4 WALL CONST.
	INTERIOR BEARING PARTITIONS
	POURED CONC. WALL
	STRUCTURAL LINES w/SOLID W.D. STUDS
	SMOKE DETECTOR (HARD WIRED w/BATT BACKUP)
	CARBON MONOXIDE DETECTOR (HARD WIRED w/BATT BACKUP)



2 PORTAL WALL DETAIL
A-5 SCALE: 3/4" = 1'-0"

ALL WINDOW & DOOR HEADERS WIDER THAN 6'-0" SHALL BE CONSTRUCTED AS PORTAL WALLS. SEE DETAIL 2/A-5.
ALL BEAMS & GIRDERS TO BE POSTED SOLID W/2X2 STUDS FOR INTERIOR WALLS & W/3X2 STUDS FOR EXTERIOR WALLS UNLESS NOTED OTHERWISE. ALL HEADERS AND GIRDERS, BEAMS OF 4" AND DEEPER AND STEEL FLITCH PLATES SHALL BE POSTED SOLID W/ENGINEERED STUDS OR EQUAL. ALL WINDOWS AND DOORS WIDER THAN 6 FEET SHALL RECEIVE (3) TRIMMERS MIN. AND 2X KING STUD.
ALL WINDOWS IN HABITABLE SPACES WHICH REQUIRES TO COMPLY WITH THE EGRESS REQUIREMENT SHALL BE INSTALLED WITH THE APPROPRIATE HARDWARE.

1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

WILLIAM BATEMAN ARCHITECT

144 Route 59, Suite 2
Suffern, NY 10901
Tel. 845.517.0094
Fax. 845.517.0095

PROPOSED SINGLE FAMILY DWELLING FOR:
RIVER RIDGE ESTATES
66.69 - 1 - 2.3
214 SOUTH BLVD. (LOT 2 - MODEL #1A), NYACK, NY 10960
TOWN OF ORANGETOWN, ROCKLAND COUNTY, NY

SEAL:
DATES:
02.10.26 FOR REVIEW ONLY

PROJECT NO. I-1124
DRAWN BY: Y.F.
SCALE: AS NOTED
CONTEXT OF THIS SHEET:
FIRST FLOOR PLAN

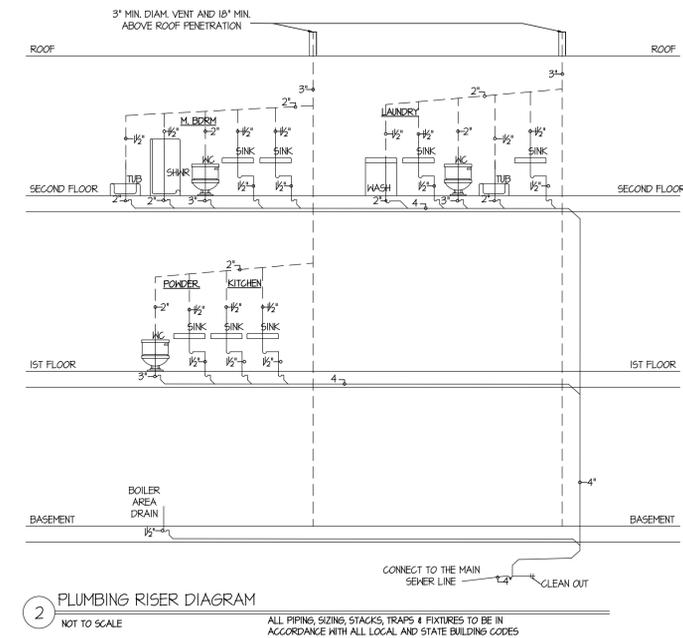
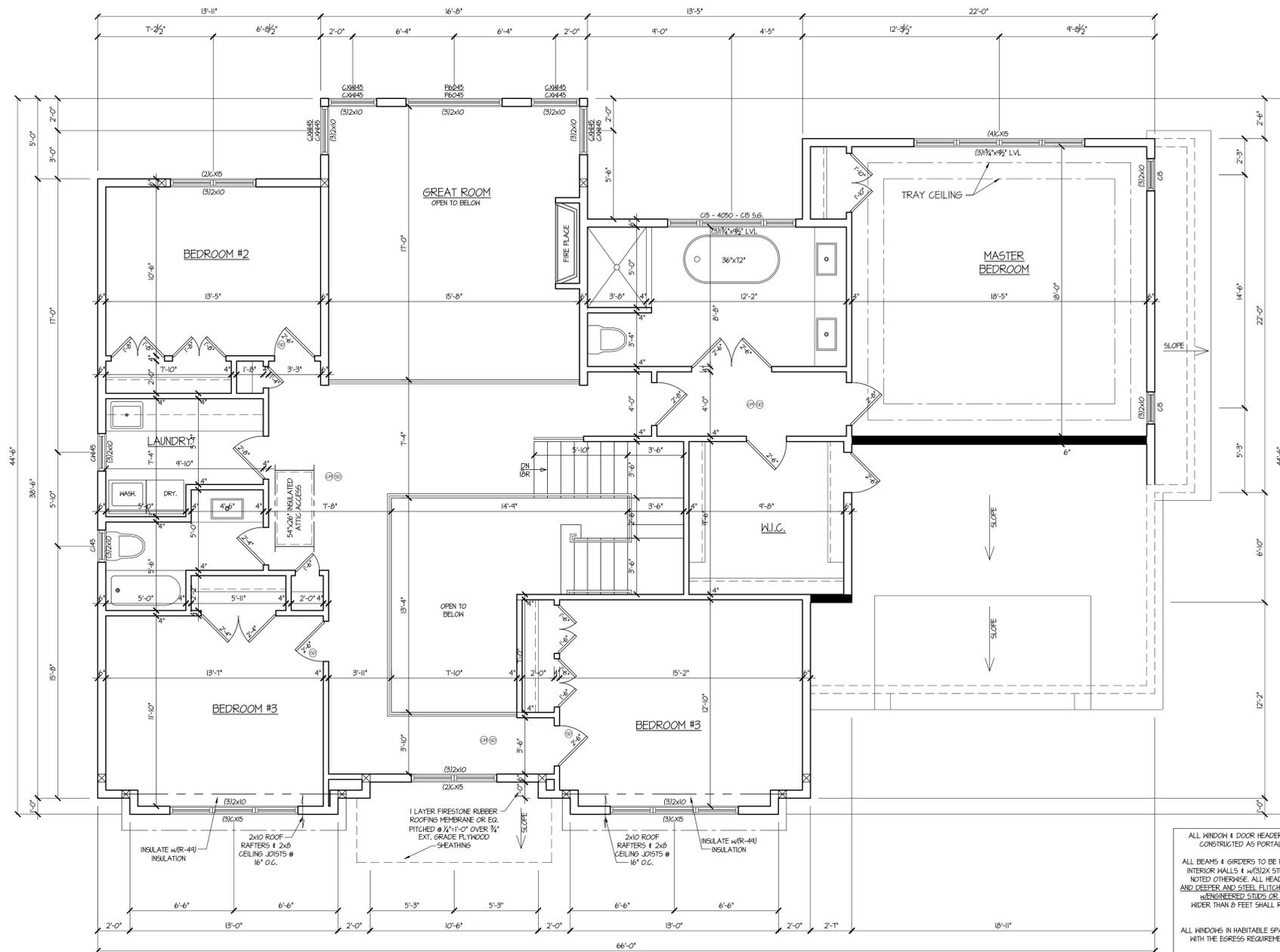
SHEET NO.
A-5 of 9

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PROPOSED SINGLE FAMILY DWELLING FOR:
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WALL LEGEND	
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	INTERIOR BEARING PARTITIONS
	POURED CONC. WALL
	STRUCTURAL LINES w/SOLID NO. STUDS
	SMOKE DETECTOR (HARD WIRED w/BATT BACKUP)
	CARBON MONOXIDE DETECTOR (HARD WIRED w/BATT BACKUP)



ALL WINDOW & DOOR HEADERS WIDER THAN 8'-0" SHALL BE CONSTRUCTED AS PORTAL WALLS. SEE DETAIL 2/A-5.

ALL BEAMS & GIRDERS TO BE POSTED SOLID W/12X STUDS FOR INTERIOR WALLS & W/2X STUDS FOR EXTERIOR WALLS UNLESS NOTED OTHERWISE. ALL HEADERS AND GIRDERS, BEAMS OF 14" AND DEEPER AND STEEL FLITCH PLATES SHALL BE POSTED SOLID W/ENGINEERED STUDS OR EQUAL. ALL WINDOWS AND DOORS WIDER THAN 8 FEET SHALL RECEIVE (5) TRIMMERS MIN. AND 2X KING STUD.

ALL WINDOWS IN HABITABLE SPACES WHICH REQUIRES TO COMPLY WITH THE EGRESS REQUIREMENT SHALL BE INSTALLED WITH THE APPROPRIATE HARDWARE.

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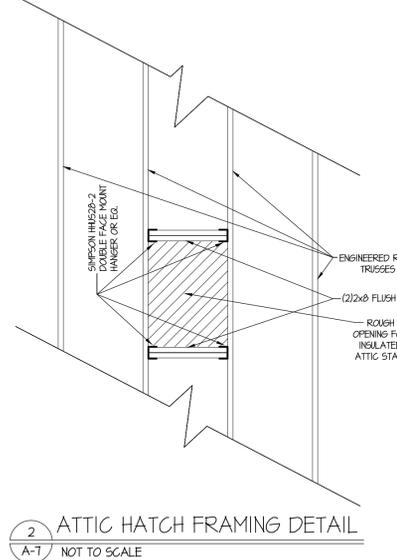
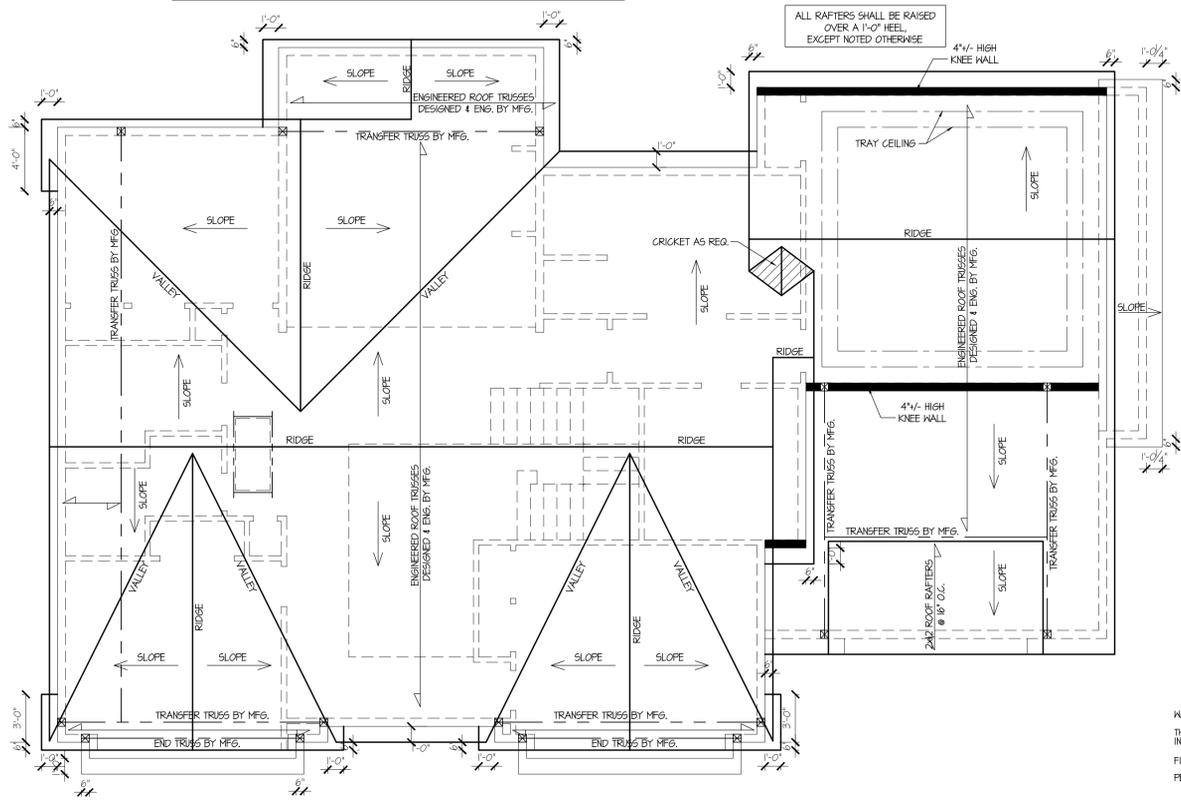
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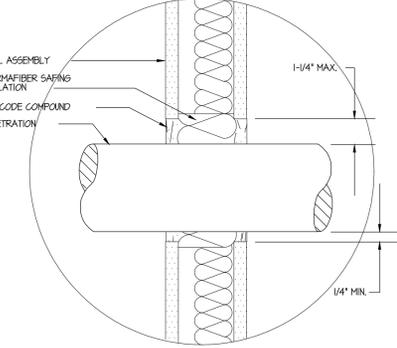
SECOND FLOOR PLAN
PLUMBING RISER DIAG.

SHEET NO.

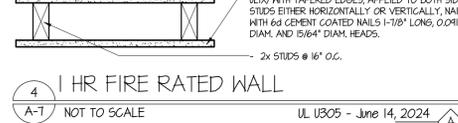
ROOF TRUSSES TO BE DESIGNED AND ENGINEERED BY TRUSS COMPANY (WITH THE FOLLOWING LOADS (min.)
 T.C.L.L. = 30, T.C.D.L. = 10, B.C.D.L.L. = 0, B.C.P.L. = 10
 ROOF TRUSS DESIGN SHALL BE REVIEWED AND APPROVED BY LICENSED DESIGN PROFESSIONAL
 RESPONSIBLE FOR THE PROJECT (ARCHITECT) AND THEN SUBMITTED TO THE BUILDING DEPARTMENT
 FOR REVIEW AND APPROVAL PRIOR TO ANY INSTALLATION IN THE FIELD.
 TRUSS REPORT SHALL BE SUBMITTED STATING INSTALLATION CONCERNING TO TRUSS DESIGN DRAWINGS.
 TRUSSES ARE UNALTERED FROM DESIGN AND ALL BRACINGS AND ATTACHMENTS INSTALLED
 ACCORDING TO DRAWINGS. THIS INSPECTION AND DOCUMENT SHALL BE PERFORMED BY THE TRUSS
 MANUFACTURER OR RESPONSIBLE DESIGN PROFESSIONAL AND SUBMITTED TO THE BUILDING
 DEPARTMENT PRIOR TO SCHEDULING OF FRAMING INSPECTION.



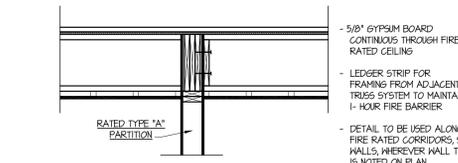
2 ATTIC HATCH FRAMING DETAIL
 A-T NOT TO SCALE



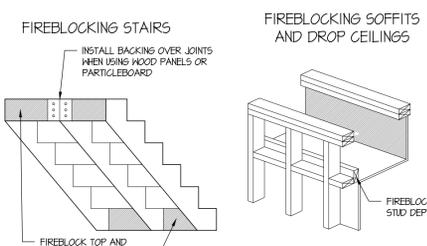
3 FIRESTOP - PENETRATION DETAIL
 A-T NOT TO SCALE



4 1 HR FIRE RATED WALL
 A-T NOT TO SCALE



5 FIREBLOCKING DETAIL
 A-T NOT TO SCALE



"FIREBLOCKS OCCUR IN WALLS AND DRAFTSTOPS OCCUR IN FLOOR/CEILING ASSEMBLIES".

1. IN ANY CONCEALED HALL SPACE IF AN OPENING EXISTS THAT ALLOWS FIRE TO SPREAD FROM ONE STORY TO ANOTHER OR FROM A LOWER STORY INTO THE ATTIC, EX. OPENINGS FOR PLUMBING PIPES, OPENINGS FOR ELECTRICAL WIRES AND CONDUIT, HVAC DUCT CHASES BETWEEN STORIES, LAUNDRY CHUTES AND OPENINGS AT THE TOPS OF FRAMED COLUMNS, NICHEs AND ARCHES.
2. IN CONCEALED WALL SPACES AT EVERY CEILING AND FLOOR LEVEL.
3. WHERE CONCEALED VERTICAL AND HORIZONTAL WALL SPACES INTERSECT, EX. SOFFITS FOR KITCHEN CABINETS AND RECESSED VANITY LIGHTS, AND FOR DROP CEILINGs.
4. BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF EACH FLIGHT OF STAIRS.
5. AROUND CHIMNEYS AND FLUES WHERE THEY INTERSECT FRAMING AT FLOOR AND CEILING LEVELS.
6. IN CONCEALED WALL SPACES IF THE CONCEALED SPACE IS OPEN FOR MORE THAN (5) 10 FEET HORIZONTALLY. EX. A CONCEALED HORIZONTAL WALL SPACE INCLUDE SOME METHODS OF FRAMING LARGE ARCHED OPENINGS BETWEEN ROOMS, AND WALLS BUILT USING TWO ROWS OF STAGGERED STUDS.

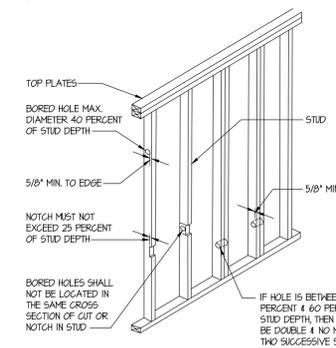
COMMON FIREBLOCK MATERIALS INCLUDE 2-INCH (NOMINAL) THICK LUMBER OR TWO PIECES OF 1-INCH THICK WOOD STRUCTURAL PANELS, 3/4-INCH THICK DRYWALL, PROPERLY SEALED FIBERGLASS INSULATION AND APPROVED FIRE-RESISTANT CAULK. VERIFY THAT VISIBLE JOINTS BETWEEN PIECES OF FIREBLOCKING MATERIAL ARE STAGGERED AND THAT THE MATERIAL IS SECURED IN PLACE SO THAT IT WILL NOT SETTLE OUT OF POSITION OVER TIME. DAMAGE TO FIREBLOCKS AND DRAFTSTOPS SHOULD BE REPAIRED AND PENETRATIONS SUCH AS ELECTRICAL CABLES AND HVAC DUCTS SHOULD BE SEALED.

THE NYS CODE REQUIRES INSTALLING DRAFTSTOPS WHEN USABLE SPACE EXISTS BOTH ABOVE AND BELOW THE FLOOR/CEILING ASSEMBLY AND WHEN THE OPEN AREA WITHIN THE CONCEALED FLOOR/CEILING ASSEMBLY EXCEEDS (5) 1000 SQUARE FEET. THE DRAFTSTOPPED AREAS SHOULD BE APPROXIMATELY EQUAL IN SIZE. COMMON DRAFTSTOP MATERIALS INCLUDE 3/4-INCH THICK DRYWALL AND 3/8-INCH THICK WOOD STRUCTURAL PANELS.

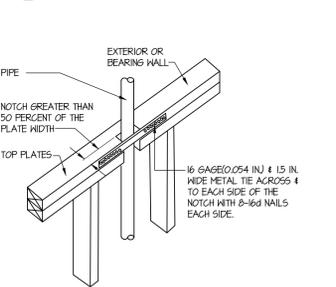
7 FIREBLOCKING - DRAFTSTOPPING DETAILS
 A-T NOT TO SCALE

8 BUILT-UP COLUMN DETAIL
 A-T NOT TO SCALE

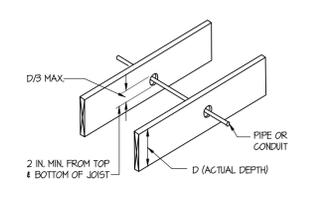
9 BEAM-COLUMN CONNECTION
 A-T NOT TO SCALE



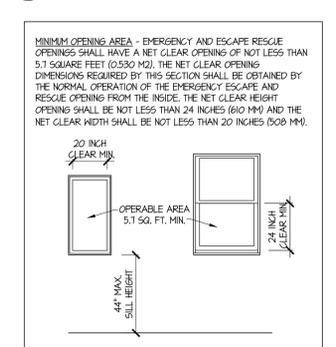
10 NOTCHING & BORING HOLE LIMITATIONS FOR EXTERIOR WALLS & BEARING WALLS
 A-T NOT TO SCALE



11 TOP PLATE FRAMING TO ACCOMMODATE PIPING
 A-T NOT TO SCALE

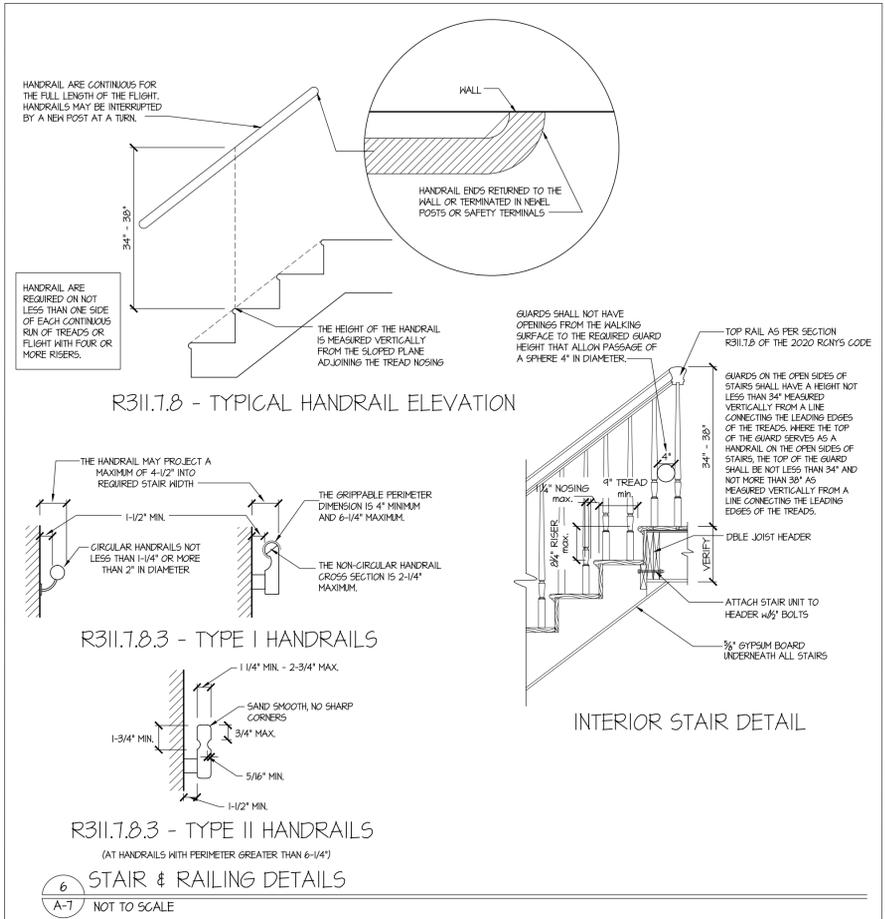


12 CUTTING, NOTCHING & DRILLING
 A-T NOT TO SCALE



13 EMERGENCY ESCAPE & RESCUE OPENING
 A-T NOT TO SCALE

1 ROOF PLAN
 SCALE: 3/16" = 1'-0"



6 STAIR & RAILING DETAILS
 A-T NOT TO SCALE

WILLIAM BATEMAN ARCHITECT

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PROPOSED SINGLE FAMILY DWELLING FOR:
RIVER RIDGE ESTATES
 66.69 - 1 - 2.3
 214 SOUTH BLVD. (LOT 2 - MODEL #1A), NYACK, NY 10960
 TOWN OF ORANGETOWN, ROCKLAND COUNTY, NY

SEAL:

DATES:
 02.10.26 FOR REVIEW ONLY

PROJECT NO. I-1124

DRAWN BY: Y.F.

SCALE: AS NOTED

CONTEXT OF THIS SHEET:

ROOF PLAN DETAILS

SHEET NO.

A-7 of 9

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