

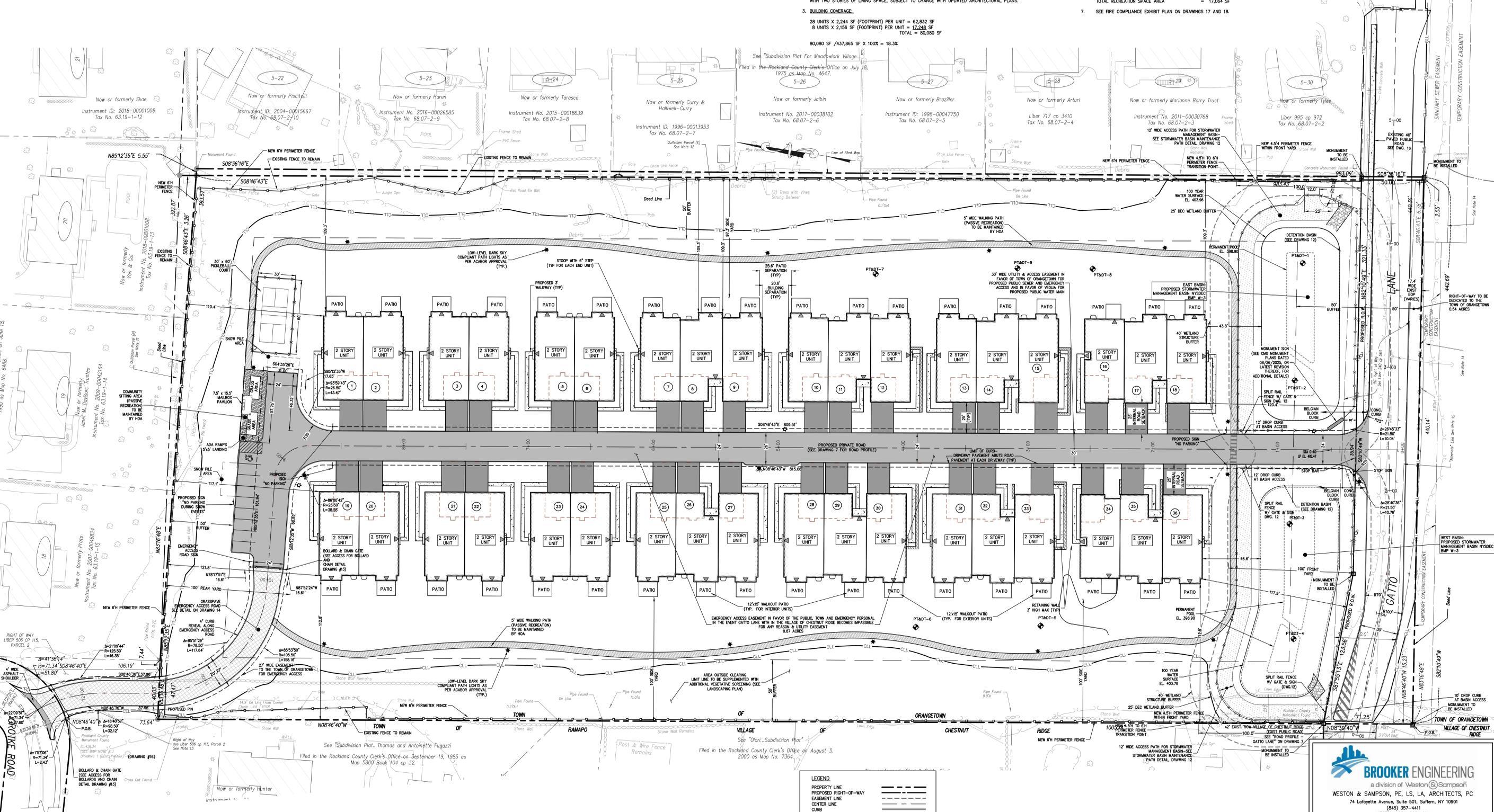
**BULK TABLE - PROPOSED PLANNED ADULT COMMUNITY**

CURRENT ZONE - R-40  
 PROPOSED ZONE - R-15 WITH PAC OVERLAY  
 PROPOSED USE GROUP: ATTACHED ADULT HOUSING

PAC REQUIRED (SECTION 4.69, TABLE 1, "OTHER SITES")	BASE DENSITY, UNITS PER ACRE	BONUS DENSITY, UNITS PER ACRE	MAXIMUM FLOOR AREA RATIO	MAXIMUM BUILDING COVERAGE, %	MINIMUM OPEN SPACE, %	MINIMUM LOT AREA, SF/AC	STREET FRONTAGE, FT	MINIMUM FRONT YARD, FT	MINIMUM SIDE YARD, FT	TOTAL SIDE YARD, FT	MINIMUM REAR YARD, FT	MINIMUM BUILDING SETBACK FROM INTERNAL ROAD, FT	MINIMUM PERMETER BUFFER, FT	MINIMUM BUILDING SEPARATION, FT	MAXIMUM BUILDING HEIGHT	RECREATION SPACE	OFFSTREET PARKING
PROPOSED	3.58 <sup>1</sup>	0	0.35 <sup>2</sup>	18.3 <sup>3</sup>	70.15 <sup>4</sup>	437,865/10.052	440.14	120.8	109.3	222.1	110.4	26.0	50	20.6, 24.9 <sup>5</sup>	2 STORY, <35 FT <sup>7</sup>	17,064 SF <sup>6</sup>	1.75 SPACES/UNIT = 63 SPACES (36 GARAGE, 36 DRIVEWAY, 9 OVERFLOW SPACES)

- BASE DENSITY CALCULATIONS**  
 REQUIRED (PER SECTION 4.64 OF ZONING CODE): MAXIMUM 4 UNITS PER 1 ACRE (MINIMUM 75% TWO BEDROOM UNITS, NO MORE THAN 10% THREE BEDROOM UNITS)  
 PROVIDED: 36 UNITS / 10.05 AC = 3.58 UNITS PER ACRE (36 2-BEDROOM UNITS)
- FLOOR AREA RATIO**  
 FIRST FLOOR  
 28 UNITS X 2,045 SF PER UNIT = 62,832 SF  
 8 UNITS X 2,304 SF PER UNIT = 17,248 SF  
 TOTAL = 75,892 SF (FIRST FLOOR) = 62,440 SF  
 SECOND FLOOR  
 138,132 SF / 437,865 SF = 0.32
- BUILDING COVERAGE**  
 28 UNITS X 2,244 SF (FOOTPRINT) PER UNIT = 62,832 SF  
 8 UNITS X 2,156 SF (FOOTPRINT) PER UNIT = 17,248 SF  
 TOTAL = 80,080 SF  
 80,080 SF / 437,865 SF X 100% = 18.3%

- OPEN SPACE CALCULATIONS**  
 SITE AREA - 10.05 ACRES  
 NON-RECREATIONAL / NON-LANDSCAPED IMPERVIOUS COVERAGE (I.E. BUILDINGS / ROADWAYS) = 3 ACRE  
 OPEN SPACE = 10.05 ACRES - 3 ACRES = 7.05 ACRES (70.15 %)
- RECREATION SPACE CALCULATIONS**  
 WALKING TRAIL LOOP: 5 WIDE X 1,800 LF = 10,629 SF  
 COMMUNITY GATHERING SPACE = 1,035 SF  
 PRIVATE PATIO AREA: 150 SF/UNIT X 36 UNIT = 5,400 SF  
 TOTAL RECREATION SPACE AREA = 17,064 SF
- SEE FIRE COMPLIANCE EXHIBIT PLAN ON DRAWINGS 17 AND 18.**



NOTE: AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS, AND THE OFFICE OF BUILDING, ZONING, AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.

NOTE: ADDITIONAL CERTIFICATION BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INCLUDING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH THE STORMWATER MANAGEMENT PLAN & REGULATIONS.

NOTE: PER PA-27 REVISED FINAL APPROVAL ON JULY 10, 2024 AND SITE PLANS WERE STAMPED AND SIGNED MARCH 28, 2025. THIS APPLICATION IS AN AMENDMENT TO THAT APPROVAL.

NOTE: SUBDIVISION PLAT FOR MEADOWLARK VILLAGE, FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON JULY 18, 1975 AS MAP NO. 4647.

NOTE: SUBDIVISION PLAT FOR THOMAS AND ANTOINETTE FUGAZZI, FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON SEPTEMBER 19, 1985 AS MAP 5800 BOOK 104 CP 32.

NOTE: SUBDIVISION PLAT FOR ORANGETOWN VILLAGE, FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON AUGUST 3, 2000 AS MAP NO. 7364.

NOTE: FLOOR AREA RATIO CALCULATED USING GROSS FOOTPRINT SQUARE FOOTAGE & SAMPLE ARCHITECTURAL PLANS WITH TWO STORIES OF LIVING SPACE, SUBJECT TO CHANGE WITH UPDATED ARCHITECTURAL PLANS.

NOTE: 5' WIDE WALKING PATH (PASSIVE RECREATION) TO BE MAINTAINED BY HOA.

NOTE: EMERGENCY ACCESS EASEMENT IN FAVOR OF THE PUBLIC, TOWN AND EMERGENCY PERSONAL IN THE EVENT GATTO LANE WITHIN THE VILLAGE OF CHESTNUT RIDGE BECOMES IMPASSIBLE FOR ANY REASON & TRAFFIC EASEMENT 0.87 ACRES.

NOTE: AREA OUTSIDE CLEARING LIMIT LINE TO BE SUPPLEMENTED WITH ADDITIONAL VEGETATIVE SCREENING (SEE LANDSCAPING PLAN).

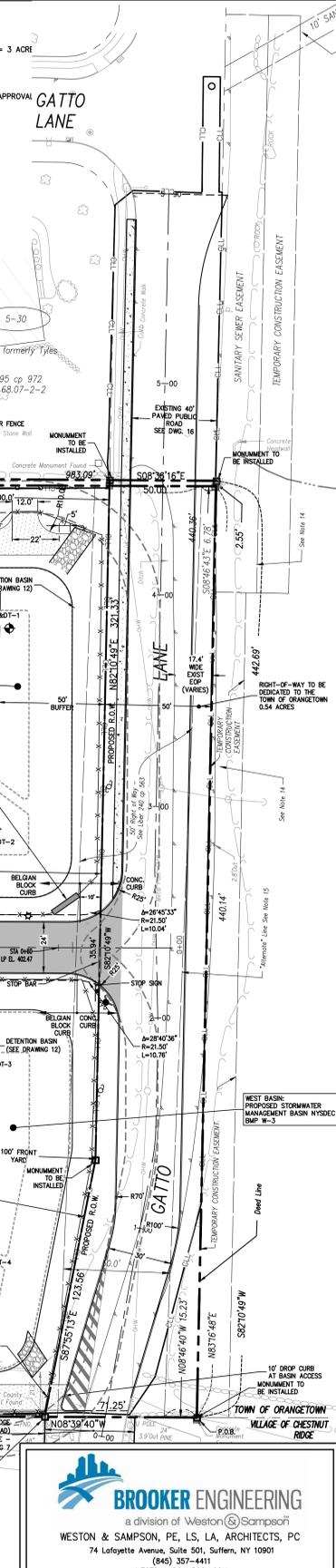
**LEGEND**

PROPERTY LINE	---
PROPOSED RIGHT-OF-WAY	----
EASEMENT LINE	- - - -
CENTER LINE	----
CURB	=====
BUFFER	=====
PROPOSED SIGN	+
MONUMENT	⊕
LIGHT POLE	⊙
SIDEWALK	=====
BUILDING	=====
BUILDING ENTRANCE	▽
NEW PRIVATE DRIVE HATCH	=====
GRASSPAVE (EMERGENCY ACCESS)	=====
WALKING PATH	=====
PAVERS	=====
CLEARING LIMIT LINE	-----
SPLIT RAIL FENCE	-----
PERC TEST / DEEP HOLE TEST	⊕

NOTE: PROPOSED BUILDING FOOTPRINTS, PATIOS, AND DECKS ARE SHOWN FOR ZONING AND ILLUSTRATIVE PURPOSES ONLY.

NOTE: TOTAL AREA OF DISTURBANCE 8.67 ACRES

REV	DESCRIPTION	BY	DATE
15	PER ORANGETOWN PLANNING BOARD COMMENTS	BS	02/06/26
14	REVISED MONUMENT SIGN LOCATION	AP	10/29/25
13	PERMETER FENCE APPLICATION	AP	10/01/25
12	SWPPP AMENDMENT #1	AP	9/04/25
11	AS PER TOWN OF ORANGETOWN DEMO COMMENTS	AP	7/21/25
10	GATTO LANE SANITARY SEWER REALIGNMENT	XC	07/02/25
9	AS PER TOWN OF ORANGETOWN DEMO COMMENTS	AP	2/06/25
8	AS PER TOWN OF ORANGETOWN DEMO COMMENTS	AP	12/20/24
7	FOR CHAIRMAN'S ENDORSEMENT	AP	9/11/24
6	PLANNING BOARD FINAL APPROVAL SUBMISSION	AP	4/14/24
5	PER COLLIGERS COMMENTS	XC	12/19/23
4	PER SWPPP COMMENTS	AP	11/25/23
3	PER PB COMMENTS	XC	09/20/23
2	PER PB COMMENTS	XC	06/19/23
1	PB SUBMISSION	XC	03/20/23



**BROOKER ENGINEERING**  
 a division of Weston & Sampson  
 WESTON & SAMPSON, PE, LS, LA, ARCHITECTS, PC  
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**GATTO LANE PAC SITE PLAN**  
 TOWN OF ORANGETOWN  
 ROCKLAND COUNTY  
 NEW YORK

**FINAL SITE PLAN**

PROJECT NO: 20231  
 SCALE: 1" = 30'  
 GRAPHIC SCALE: 0 30' 60'  
 DATE: 11/10/2022  
 DRAWING NO: 2

PROJECT: GATTO LANE PAC SITE PLAN  
 TITLE: FINAL SITE PLAN

DISCLAIMER: UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 7209, SUBSECTION 2.

**CONSTRUCTION NOTES:**

- CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES AND VERIFY ALL LOCATIONS, ELEVATIONS, INVERTS, ETC. PRIOR TO ANY CONSTRUCTION AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES ON THIS PLAN.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANY AND SHALL ASSUME FULL RESPONSIBILITY AND SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE AND REPAIRS TO ANY DAMAGE.
- PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULING OF NEW SERVICE, WHERE REQUIRED, TO FIT THE CONSTRUCTION SCHEDULING AND SEQUENCE TO ASSURE NO DAMAGE OR INTERFERENCE TO EXISTING SERVICES IF THE CONTRACTOR DAMAGES ANY MATERIALS WHICH ARE TO REMAIN IN PLACE, THE DAMAGED MATERIALS SHALL BE REPAIRED OR REPLACED IN A MANNER SATISFACTORY TO THE ENGINEER AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE TO NOTIFY THE OWNER AND ENGINEER OF ANY UNANTICIPATED UTILITIES ENCOUNTERED AND MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION, PROTECTION AND/OR TEMPORARY SUPPORT OF ANY UTILITIES ENCOUNTERED WITHIN THE WORK AREA.
- THE CONTRACTOR SHALL COORDINATE DIRECTLY WITH EACH AFFECTED UTILITY COMPANY, SHALL APPLY FOR AND OBTAIN THE NECESSARY PERMITS AND APPROVALS, AND SHALL INITIATE AND COORDINATE ALL INSPECTIONS NECESSARY FOR FINAL APPROVAL AND ACCEPTANCE BY THE SUBJECT UTILITY COMPANY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CONTINUOUS SERVICE OF ALL EXISTING UTILITIES WITHIN THE WORK AREA AT ALL TIMES. CONTRACTOR SHALL COORDINATE ANY REPAIR, RELOCATION OR REMOVAL OF EXISTING UTILITIES WITH EACH RESPECTIVE UTILITY COMPANY AND PROVISIONS MUST BE PROVIDED FOR TEMPORARY SERVICE OF ANY RESPECTIVE UTILITY SERVICE AFFECTED BY THE CONSTRUCTION IN THE EVENT OF ANY DISRUPTION TO THE EXISTING UTILITY. SHUT-DOWNS SHALL BE AT THE DISCRETION OF THE RESPECTIVE UTILITY COMPANIES AND COORDINATED WITH THE MUNICIPALITY AND THE ENGINEER FOR

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- ALL MANHOLES TO BE VACUUM TESTED AS REQUIRED BY THE TOWN OF ORANGETOWN AND ORANGETOWN SEWER DISTRICT.
- ROCKLAND COUNTY DEPARTMENT OF HEALTH (RCDH) APPROVAL IS LIMITED TO 5 YEARS FROM THE DATE OF RCDH APPROVAL. TIME EXTENSIONS MAY BE GRANTED BY THE RCDH BASED UPON DEVELOPMENT FACTS AND REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
- SANITARY HOUSE CONNECTIONS TO BE 4" SDR 35 PVC FROM UNIT TO CLEANOUT & 6" SDR 35 PVC FROM CLEANOUT TO SEWER MAIN.
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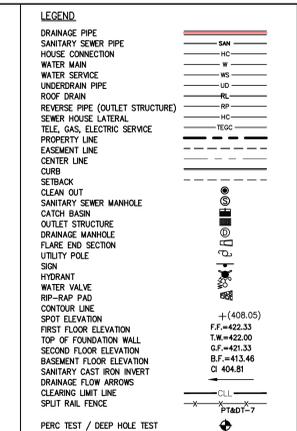
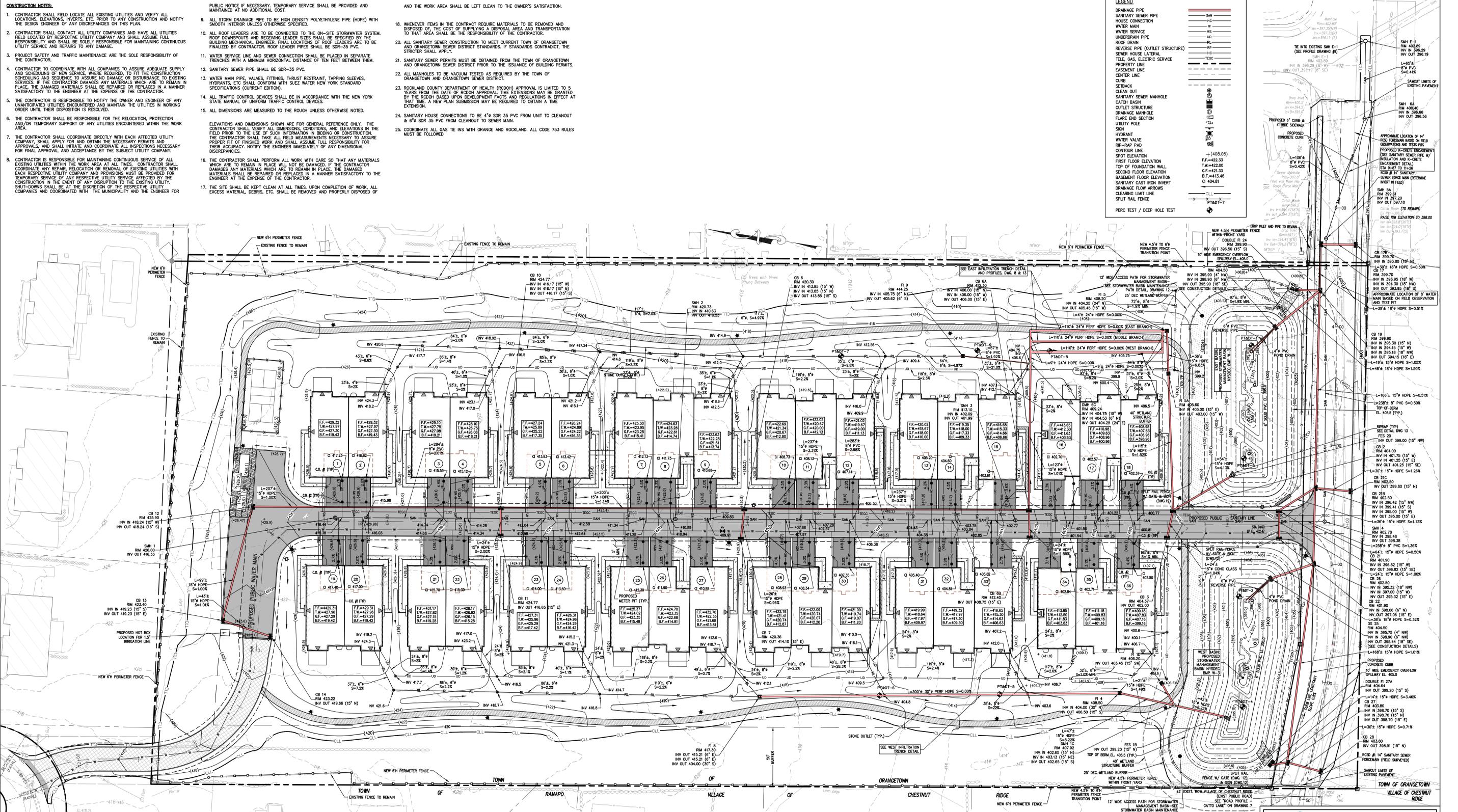
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**SANITARY SEWER NOTES:**

- SANITARY SEWER INFILTRATION AND EXFILTRATION LIMIT IS 25 GALLONS PER INCH DIAMETER PER MILE PER DAY. CERTIFICATES OF OCCUPANCY MAY NOT BE REQUESTED, NOR ANY OCCUPANCY PERMITTED, UNTIL A CERTIFICATE OF COMPLIANCE, CERTIFIED BY A LICENSED NEW YORK STATE PROFESSIONAL ENGINEER, IS SUBMITTED TO AND APPROVED BY THE TOWN OF ORANGETOWN. COPIES OF THIS CERTIFICATE SHOULD ALSO BE SENT TO THE ROCKLAND COUNTY DEPARTMENT OF HEALTH.
- ALL SANITARY SEWER CONSTRUCTION TO MEET CURRENT TOWN OF ORANGETOWN STANDARDS. IF STANDARDS CONTRADICT THE STRICTER SHALL APPLY.
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- ALL MANHOLES TO BE VACUUM TESTED AS REQUIRED BY THE TOWN OF ORANGETOWN.
- IF LOWEST FLOOR TO BE SEWERED IS BELOW THE UPSTREAM RIM ELEVATION, A CHECK VALVE WILL BE INSTALLED ON PRIVATE SANITARY LINE WITHIN THE HOUSE. THE PROPERTY OWNER / HOMEOWNER ASSUMES ALL MAINTENANCE AND LIABILITY FOR SAID CHECK VALVE.
- THE PROPOSED PUBLIC SANITARY SEWER MAIN CONSTRUCTION SHALL BE "TYED", TESTED, AND THE MANHOLES VACUUM TESTED IMMEDIATELY AFTER CONSTRUCTION, PRIOR TO THE PROPOSED NEW MAN BEING TIED INTO THE TOWN SYSTEM.
- TOWN OF ORANGETOWN SEWER INSPECTOR SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY AND ALL CONSTRUCTION ON OR NEAR EXISTING AND PROPOSED SANITARY SEWER FACILITIES.
- ALL HOUSES AND BUILDINGS SHALL BE SERVED BY GRAVITY SEWER CONNECTIONS

**SANITARY SEWER NOTES:**

- THE PROPOSED PUBLIC SANITARY SEWER MAIN EXTENSION SHALL BE INSTALLED (INCLUDING THE NEW BUILDING CONNECTION PIPE), INSPECTED, "TYED", TESTED, AND ACCEPTED PRIOR TO ANY BUILDING'S SANITARY SEWER LINE BEING CONNECTED.
- AS-BUILT SANITARY SEWER PLANS AND PROFILES ARE TO BE SUBMITTED TO THE TOWN OF ORANGETOWN SEWER DEPARTMENT AND THE ROCKLAND COUNTY HEALTH DEPARTMENT FOR REVIEW AND APPROVAL UPON COMPLETION OF THE IMPROVEMENTS.
- THE TOWN OF ORANGETOWN SEWER INSPECTOR SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY WORK BEING DONE ON OR NEAR THE ANY OF THE EXISTING OR PROPOSED SANITARY SEWER IMPROVEMENTS AND OR THE PROPOSED SANITARY HOUSE CONNECTION.

**SANITARY SEWER NOTES:**

NOTE: CO #1 IS THE CLEANOUT CLOSEST TO THE ROAD, CO #2 IS THE CLEANOUT CLOSEST TO THE UNIT (UPSTREAM)

DESCRIPTION	UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 5	UNIT 6	UNIT 7	UNIT 8	UNIT 9	UNIT 10	UNIT 11	UNIT 12	UNIT 13	UNIT 14	UNIT 15	UNIT 16	UNIT 17	UNIT 18
6" INVERT @ SEWERMAIN CONNECTION	416.38	415.98	414.68	414.28	412.98	412.58	411.28	410.88	409.83	407.88	407.28	406.30	404.35	403.75	402.77	401.50	401.22	400.77
6" C.O. #1 RIM	426.80	426.90	426.10	425.70	424.20	423.80	422.40	422.00	421.20	419.70	419.30	418.60	417.20	416.70	415.80	414.50	411.10	408.60
4" C.O. #1 INVERT	416.64	416.24	414.94	414.54	413.24	412.84	411.54	411.14	410.09	408.15	407.55	406.56	404.61	404.01	403.03	401.76	401.49	401.04
4" C.O. #2 INVERT	416.81	416.41	415.11	414.71	413.41	413.01	411.71	411.31	410.26	408.31	407.72	406.73	404.78	404.18	403.20	401.93	401.65	401.20
4" C.I. INVERT	427.28	427.26	426.95	426.06	425.07	424.16	423.20	422.59	421.56	420.50	419.89	418.96	417.84	417.13	416.16	413.12	411.46	409.40

**SANITARY SEWER NOTES:**

DESCRIPTION	UNIT 19	UNIT 20	UNIT 21	UNIT 22	UNIT 23	UNIT 24	UNIT 25	UNIT 26	UNIT 27	UNIT 28	UNIT 29	UNIT 30	UNIT 31	UNIT 32	UNIT 33	UNIT 34	UNIT 35	UNIT 36
6" INVERT @ SEWERMAIN CONNECTION	416.44	416.03	414.74	414.34	413.04	412.64	411.34	410.94	409.91	407.97	407.37	406.38	404.43	403.84	402.85	401.53	401.26	400.81
6" C.O. #1 RIM	426.60	426.80	426.10	425.60	424.20	423.80	422.30	421.90	421.20	419.70	419.30	418.60	417.10	416.70	415.80	414.50	411.20	408.70
4" C.O. #1 INVERT	416.82	416.42	415.12	414.72	413.42	413.02	411.72	411.32	410.30	408.35	407.75	406.77	404.82	404.22	403.23	401.92	401.64	401.19
4" C.O. #2 INVERT	416.99	416.58	415.28	414.88	413.59	413.19	411.89	411.49	410.46	408.52	407.92	406.93	404.98	404.39	403.40	402.08	401.81	401.36
4" C.I. INVERT	427.08	427.16	426.87	425.96	424.97	424.16	423.01	422.44	421.56	420.41	419.84	418.96	417.94	417.36	416.16	413.32	411.56	409.41

**STORM DRAINAGE NOTES:**

- ALL STORM DRAINAGE STRUCTURES AND STORMWATER MANAGEMENT FACILITIES ON THE SITE ARE TO BE PRIVATELY OWNED AND MAINTAINED BY HOME OWNERS ASSOCIATION.

**STORM DRAINAGE NOTES:**

- PER ORANGETOWN PLANNING BOARD COMMENTS
- REVISED MOMENT SIGN LOCATION
- PERMITS FENCE APPLICATION
- SWPPV AMENDMENT #1
- AS PER TOWN OF ORANGETOWN DEMO COMMENTS
- GATTO LANE SANITARY SEWER REALIGNMENT
- AS PER TOWN OF ORANGETOWN DEMO COMMENTS
- AS PER TOWN OF ORANGETOWN DEMO COMMENTS
- FOR CHAIRMAN'S ENDORSEMENT
- PLANNING BOARD FINAL APPROVAL SUBMISSION
- PER COLLERS COMMENTS
- PER SWPPP COMMENTS
- PER PB COMMENTS
- PER SUB COMMENTS
- PER SUB COMMENTS

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**GATTO LANE PAC SITE PLAN**  
 TOWN OF ORANGETOWN  
 ROCKLAND COUNTY  
 NEW YORK

**FINAL GRADING,  
 UTILITY & DRAINAGE PLAN**

PROJECT NO: 202311  
 DRAWING NO: XC  
 CHECKED: KD

SCALE: 1" = 30'

DATE: 11/10/2022  
 DRAWING NO: 3

BRIAN A. BROOKER, PROFESSIONAL ENGINEER  
 N.Y.S. Lic. No. 80229



