

ZONING BOARD OF APPEALS

Town of Orangetown
26 Orangeburg Road
Orangeburg, New York 10962
(845) 359-8410 (ex. 4316)

Date: February 11, 2026

TO: OBAPAE

NYS Dept of Environmental Conservation
New York State Dept. of Transportation
Palisades Interstate Park Commission
NYS Thruway Authority
ACOE

Rockland County Drainage
Rockland County Health
Rockland County Planning
Rockland County Highway
Rockland County Swr Dstrt
Orange and Rockland
Veolia

This matter is scheduled for: March 18, 2026

Review of Plans: Kuppachi, 81 Tweed Blvd., Nyack, NY

Section 71.17 Block 1 Lot 27 ; R-22 zone

Chapter 43, Section 3.12, R-22 District, Group I, Column 8(front yard: 40' required, 25'-7" proposed), Column 12(max height: 19' permitted, 28.67' proposed) for a new single-family residence on an existing vacant lot of land. The premises are located at 81 Tweed Blvd, Nyack, New York and identified on the Orangetown Tax Map as Section 71.17, Block 1, Lot 27 in the R-22 zoning district.

Please review the information enclosed and provide comments.
These comments may be mailed, or e-mailed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 26 Orangeburg Road, Orangeburg, NY 10962
- Email to Zoning Board: KBettmann@orangetown.com

Zoning Board Meeting Date: March 18, 2026

- () Comments attached
- () Received and Comments to be provided prior to meeting date.
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

This project is before the **Zoning Board** on **Wednesday, March 18, 2026.**
Kindly forward your completed review to this office BEFORE March 18, 2026
Reviewing Agency_____

Name:_____Date:_____

Signature: _____

Thank you, **Katlyn Bettmann (EXT. 4316)**

Name of Municipality: TOWN OF ORANGETOWN Date Submitted: 02/11/2026

LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial <input type="checkbox"/> Residential <input type="checkbox"/> Planning Board <input checked="" type="checkbox"/> Zoning Board of Appeals <input type="checkbox"/> Subdivision <input type="checkbox"/> Number of Lots <input type="checkbox"/> Site Plan <input type="checkbox"/> Conditional Use <input type="checkbox"/> Special Permit <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Performance Standards Review <input type="checkbox"/> Use Variance <input type="checkbox"/> Other (specify): _____	<input type="checkbox"/> Historical Board <input type="checkbox"/> Architectural Board <input type="checkbox"/> Consultation <input type="checkbox"/> Pre-Preliminary/Sketch <input type="checkbox"/> Preliminary <input type="checkbox"/> Final <input type="checkbox"/> Interpretation
--	--

PERMIT#: _____
ASSIGNED _____
INSPECTOR: _____

Referred from Planning Board: YES / NO
If yes provide date of Planning Board meeting: _____

Project Name: 81 Tweed Blvd

Street Address: 81 Tweed Blvd Nyack, NY 10960

Tax Map Designation:

Section: 71.17 Block: 1 Lot(s): 27
Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the East side of Tweed Blvd, approximately 835 feet North of the intersection of Nike Lane and Tweed Blvd, in the Town of ORANGETOWN in the hamlet/village of N/A.

Acreage of Parcel <u>0.93</u>	Zoning District <u>R-22</u>
School District <u>SO ORNGTN CSD 392401</u>	Postal District <u>10960</u>
Ambulance District <u>BLVT AM 001/NYK AM 002</u>	Fire District <u>ORNGBRG FD002/ UPGRND FD007</u>
Water District <u>N/A</u>	Sewer District <u>N/A</u>

Project Description: (If additional space required, please attach a narrative summary.)

PROPOSED SINGLE FAMILY DWELLING WITH NEW DRIVEWAY, WELL, SEPTIC AND STORM WATER MANAGEMENT SYSTEM

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 2/11/2026 Applicant's Signature: _____

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APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage 0 SF OF 40,492 SF SITE
- 2) Total square footage 3,626 SF OF 40,492 SF SITE
- 3) Number of dwelling units 1

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area YES, 26,971 SF > 25%

Are there **streams** on the site? If yes, please provide the names. no

Are there **wetlands** on the site? If yes, please provide the names and type:

no

Project History:

Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

N/A

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TOWN OF ORANGETOWN
LAND USE BOARDS



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

26 Orangeburg Road
Orangeburg, N.Y. 10962

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: 2/10/26 Section: 71.17 Block: 1 Lot: 27

Applicant: Kuppachi

Address: 81 Tweedd Blvd. Nyack NY 10960

RE: Application Made at: Same

Referred For: Chapter 43 sec 3.12 R-22 Group I

Column #8 Front Yard Required 40' / 25'-7" Proposed

Column #12 Maximum Height Allowed 19' / 28'.67' Proposed

Comments:

New Single Family Residence

Dear Kuppachi :

Please be advised that the Building Permit Application # 7331-25, which you submitted on 6/2/25, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Katlyn Bettmann can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4316 or kbettmann@orangetown.com

Sincerely,

Glenn E. Maier
Assistant Building Inspector

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TOWN OF ORANGETOWN
LAND USE BOARDS

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
10-01-2024: emd

2/10/26
Date

CC: Katlyn Bettmann
Elizabeth Decort



OFFICE OF BUILDING, ZONING, PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
26 ORANGEBURG ROAD
ORANGEBURG, N.Y. 10962

Rick Oliver
Acting Director

(845) 359-8410

Fax: (845) 359-8526

Date: January 12, 2026

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To: PLANNING BOARD

JAN 13 2026

From: RICK OLIVER
ACTING DIRECTOR - O.B.Z.P.A.E.

TOWN OF ORANGETOWN
LAND USE BOARDS

Subject:

PB#25-52B

Kuppachi Residence Site Plan Review - Critical Environmental Area Continued
from September 25, 2025 Planning Board Meeting
Pre-preliminary, Preliminary, & Final Site Plan Review
And SEQRA Review
81 Tweed Boulevard, Nyack
71.17-1-27; R-22 Zoning
District

Submission Reviewed:

Site Plans drawn by Krypton Engineering Jorel Vaccaro PE, dated 11/20/25

PERMIT #7331-25

COMMENTS:

1. Please provide a survey by PLS, or the surveyor shall sign engineers' site plan
2. Engineer shall reference survey used for Site Plan
3. Bulk Table shall be placed on same page as Site Plan
4. Submit Rockland County Health Dept signed/approved Plan for Septic System
5. ZBA Variances required for Frint Yard and Height
6. Show location of nearest fire hydrant
7. ACABOR Approval required
8. All abbreviations and symbols shall be entered into legend on all drawings.

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TOWN OF ORANGETOWN
LAND USE BOARD



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

26 Orangeburg Road
Orangeburg, NY 10962

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE PLANNING BOARD

Date: 6/19/25 Section: 71.17 Block: 1 Lot: 27

Applicant: Kuppachi

Address: 81 Tweed Blv. Nyack NY

RE: Application Made at: same

Referred For: § 10.223 (g) [1][a] Planning board approval required.

[a] Applications for a permit for new construction, additions or exterior modifications within these designated critical environmental areas shall be accompanied by a site plan which shows the existing contours (at two-foot intervals), all existing trees (as hereinafter specified), construction limit lines, all proposed construction and site alterations, drainage calculations and soils data as required by the Inspector. Said applications shall be referred by the Inspector to the Planning Board for site plan approval.

Comments: New Single Family Residence

Dear Kuppachi,

Please be advised that the Building Permit Application # 7331-25, which you submitted on 6/2/25, has been referred to the Orangetown Planning Board. Please contact Audry Lupachino at 845-389-8410 x2218 or alupachino@orangetown.com

Sincerely,

Glenn E. Maier

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
10-01-2024 : emd

6/20/25

Date
CC: Audry Lupachino
Elizabeth Decort

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TOWN OF ORANGETOWN
LAND USE BOARD

APPLICATION FOR BUILDING/DEMOLITION PERMIT
APPLICANT MUST COMPLETE OR APPLICATION WILL NOT BE ACCEPTED

ZONING BULK REQUIREMENTS			
Zone: <u>22</u>	Group:	Use:	
	Required	Existing	Proposed
Floor area ratio	.20	5401.3	3626sf-9%
Lot area	22,500	40,510sf	27,007 per slope deduction
Lot width	125 min.	210'	210'
Street frontage	75ft.min	210'	210'
Front yard setback	40' min	-new house	25'-7"
Side yard setback	25' min. each	-new house	south-50', north, 65'
Total side yard setback	60' total	-new house	115'
Rear yard setback	45' min.	-new house	185'-1"
Maximum building height	30' max.	-new house	28'-8"

Number of stories: 2.5 Construction Type: VB Occupancy Class: R-3

Zoning Chart Information Completed by: _____

- Sewage: (circle one) Town County Private
- How many kitchens on the property? 1
- Are there any renters, tenants, lessees or boarders at this property? YES NO
- Are there any other building permits on this property? YES NO
- Is the property in a flood plain? YES / NO

AFFIDAVIT

State of New York
 County of Rockland) SS.: ORANGETOWN
 Town / Village of ORANGETOWN

I, X Michael Acerra, being duly sworn, deposes and says that he/she is the (circle one) owner, lessee, engineer, surveyor, architect, builder, or agent of the owner) in fee of the premises to which this application applies; that he/she (the applicant) is duly authorized to make this application and that the statements contained in the papers submitted herein are true to the best of his/her knowledge and belief, and that the work will be performed in the manner set forth in the application and in the plans and specifications filed therewith, and in accordance with the State Uniform Building Code and all other applicable laws, ordinances and regulations of the municipality. I also declare that the structure or area described in this application will not be occupied or used until I have obtained a Certificate of Occupancy or Certificate of Compliance.

Signature and Mailing Address
X Michael Acerra
X 283 River Road,
Grandview on Hudson,
Rockland City, N.Y. 10960

SWORN to before me this 2 day of JUNE, 20 25

Witness: [Signature]
 (If not witnessed by Building Department personnel, Notary signature is required.)

_____, Notary Public

OFFICIAL USE ONLY:	
Checked by: _____	Date: _____
Permit Granted for: _____	

Signature: _____	Date: _____
Director, OBZPAE	

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TOWN OF ORANGETOWN
 LAND USE BOARD

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TOWN OF ORANGETOWN
BUILDING DEPARTMENT

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
81 Tweed Blvd Kuppachi			
Name of Action or Project: 81 Tweed Blvd			
Project Location (describe, and attach a location map): 81 Tweed Blvd Nyack, New York			
Brief Description of Proposed Action: Single family dwelling proposed at project location			
Name of Applicant or Sponsor: Jorel Vaccaro, PE		Telephone: (917) 475-6138	
		E-Mail: jorel@kryptoneng.com	
Address: 307 McLean Avenue			
City/PO: Yonkers		State: New York	Zip Code: 10705
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Health Department septic, HD Mosquito control, Town of Orangetown Board approvals			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		0.93 acres	
b. Total acreage to be physically disturbed?		0.51 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0.0 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? Reason:Exceptional or unique character, Agency:Orangetown, Town of, Date:10-16-88	NO	YES	
If Yes, identify: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ new/proposed water well to be installed	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ new/proposed septic system to be installed	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

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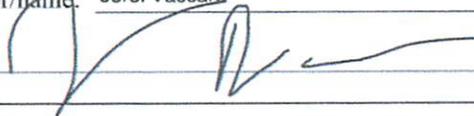
FEB 05 2026

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline	<input checked="" type="checkbox"/> Forest	<input type="checkbox"/> Agricultural/grasslands
<input type="checkbox"/> Wetland	<input type="checkbox"/> Urban	<input checked="" type="checkbox"/> Suburban
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
Shortnose Sturgeon, Atlanti...	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		
stormwater flow will be detained and released below pre-existing rates through the use of detention facility and control flow orifice.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
stormwater detention facility comprised of 42" diameter HDPE piping with control flow outlet orifice.		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Hudson River PCB Sediments - Site Code: 546031 Program: State Superfund Program Classification: 2		

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: Jorel Vaccaro

Date: 2/5/2026

Signature: 

Title: Professional Engineer

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TOWN OF ORANGETOWN
LAND USE BOARDS

PRINT FORM

Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

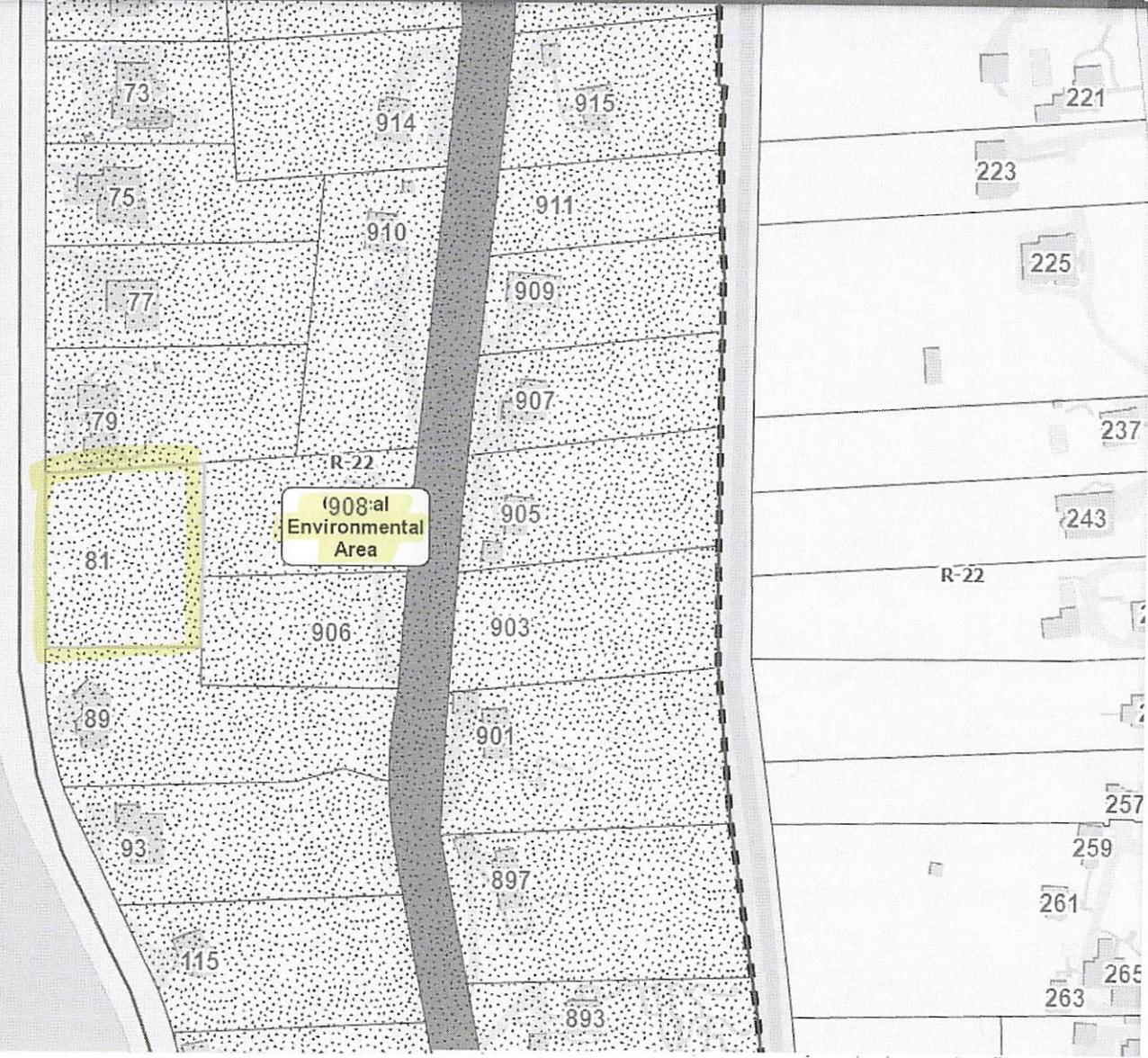
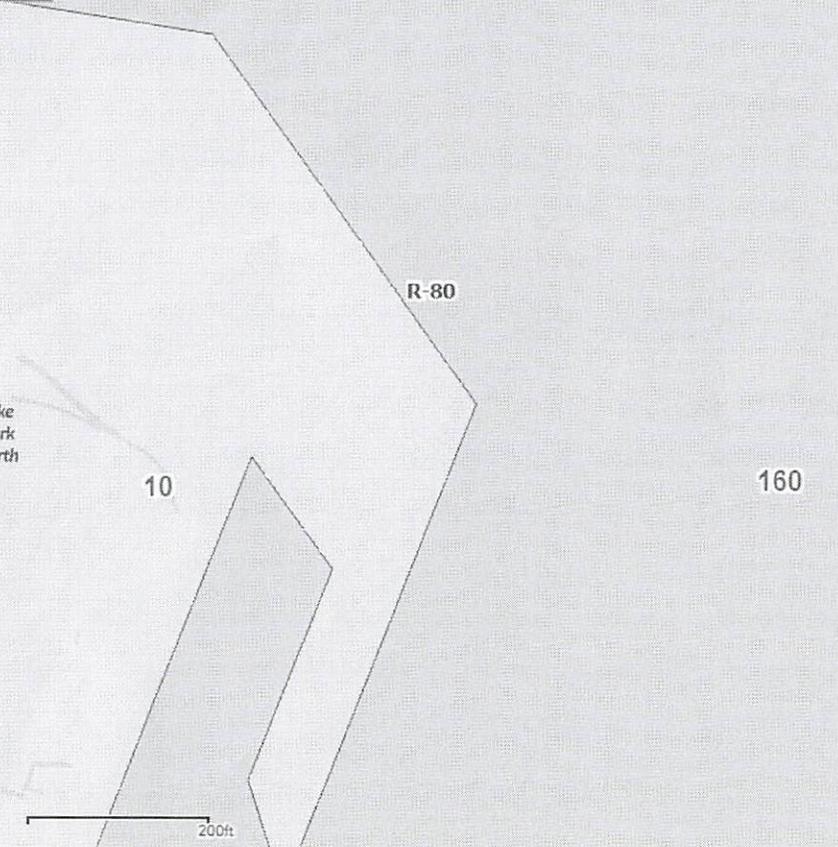
Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENTAL, CANAL, Esri, Japan, METI, Esri, China (Hong Kong), Esri, Korea, Esri, Thailand, NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	, Reason:Exceptional or unique character, Agency:Orangetown, Town of, Date:10-16-88
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Shortnose Sturgeon, Atlantic Sturgeon, Bald Eagle
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

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TOWN OF ORANGETOWN
LAND USE BOARDS



GML Sec. 239

Select By ID Buffer Results

Export Search URL Zoom All Clear Report

Features selected: 1 Export All to CSV

- PARCEL DATE: February 2025
- PRINT_KEY: 71.17-1-27
- OLD ID: 65-118-1007.28/6
- SWIS: 392489
- MUNICIPALITY: Orangetown
- TOWN: Orangetown
- VILLAGE: N/A
- ADDRESS: 81 TWEED BLVD
- ADDRESS 2:
- ALTERNATE ADDRESS:
- CITY: NYACK
- STATE: NY
- ZIP: 10960
- OWNER: Krishna Kuppachi
- ADDITIONAL OWNERS:
- DATE OF DEED: 11/21/2024
- BOOK-PAGE: N/A
- INSTRUMENT: 2024-00033179
- DEED_ACRES: 0.93
- GIS CALCULATED ACRES: 0.92732566
- REQUIRES GML_REVIEW: YES
- ROW - PALISADES INTERSTATE PARKWAY: NO
- ROW - NYS THRUWAY: NO
- COUNTY PARK: YES
- ROW COUNTY HWY: YES
- ROW NYS HWY: YES
- COUNTY REGULATED STREAMS: NO
- LONG PATH HIKING TRAIL: NO
- NYS PARK: NO
- NYS FACILITY: NO
- COUNTY FACILITY: NO
- VILLAGE BOUNDARY: NO
- TOWN BOUNDARY: NO
- ORANGE COUNTY BOUNDARY: NO

81 TWEED BLVD NYACK, NEW YORK 10960

PROPERTY AND OWNER INFORMATION

OWNER: KRISHNA KUPPACHI
SECTION: 71.17 BLOCK: 1 LOT: 27
LOT AREA: 0.93 ACRES (GROSS)
ZONE: R-22
GROUP: 1 - SINGLE FAMILY DETACHED RESIDENCES
USE: SINGLE FAMILY DETACHED RESIDENCE

CONSTRUCTION NOTES:

- EXISTING UTILITIES AND UNDERGROUND STRUCTURES SHOWN ON THE PLAN ARE BASED UPON THE BEST AVAILABLE PUBLIC RECORDS, PRIVATE RECORDS AS SUPPLIED BY THE OWNER, OR DATA OBTAINED VERBALLY FROM OWNERS OR OFFICIALS FAMILIAR WITH THE PROJECT SITE. NEITHER THE OWNER NOR THE ENGINEER GUARANTEE ACCURACY OR COMPLETENESS OF THIS INFORMATION AND ASSUME NO RESPONSIBILITY FOR IMPROPER LOCATIONS ON THE CONSTRUCTION PLANS. OTHER UNDERGROUND FACILITIES NOT SHOWN ON THE DRAWINGS MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL INVERT ELEVATIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- IF CHANGED CONDITIONS ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF EITHER (1) PREEXISTING SUBSURFACE CONDITIONS DIFFERING FROM THOSE INDICATED IN THE PLANS, OR (2) PREEXISTING UNKNOWN SUBSURFACE CONDITIONS OF AN UNUSUAL NATURE, DIFFERING MATERIALLY FROM THOSE ORIGINALLY ENCOUNTERED AND GENERALLY RECOGNIZED AS INHERENT IN THE CHARACTER OF THE WORK PROVIDED FOR IN THE CONTRACT. THE CONTRACTOR AND/OR OWNER SHALL MAKE NO CLAIMS TO THE ENGINEER FOR RECOMPENSATION FOR EXTRA WORK RESULTING FROM CHANGED CONDITIONS UNLESS THE ENGINEER HAS APPROVED THE WORK IN WRITING.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND APPROVED CITY ORDINANCES AND SHALL POST SUCH DOCUMENTS AT VISIBLE LOCATIONS AND MAINTAIN UPDATED DOCUMENTATION ACCORDINGLY.
- CONTRACTOR SHALL CALL THE UTILITIES UNDERGROUND LOCATION CENTER FOR FIELD LOCATIONS OF ALL UTILITIES AND SHALL NOT BEGIN EXCAVATION UNTIL ALL KNOWN UNDERGROUND FACILITIES IN THE VICINITY OF THE PROPOSED WORK HAVE BEEN LOCATED AND MARKED. IF THE UTILITY IS NOT A SUBSCRIBER OF THE UTILITIES UNDERGROUND LOCATION CENTER, THEN THE CONTRACTOR SHALL GIVE NOTICE TO THAT UTILITY.
- THE CONTRACTOR IS RESPONSIBLE FOR REVIEW OF ALL INFORMATION PROVIDED BY UTILITY PURVEYORS, AND CITY OR STATE RECORDS RELATED TO THE EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR AVOIDING DAMAGE TO THESE FACILITIES AND SHALL RESTORE ALL UTILITIES AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL NOTIFY ALL UTILITY SERVICES FOR TEMPORARY SHUT OFF AS REQUIRED. CONTRACTOR SHALL MAINTAIN AND PROTECT SERVICES AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
- NO PUBLIC WAYS OR WALKS MAY BE OBSTRUCTED WITHOUT THE WRITTEN PERMISSION OF GOVERNING AUTHORITIES AND OF THE OWNER. WHERE ROUTES ARE PERMITTED TO BE CLOSED, PROVIDE ALTERNATE ROUTES AND SIGNAGE IF REQUIRED.
- WET DEBRIS WITH WATER AS NECESSARY TO LIMIT DUST TO LOWEST PRACTICAL LEVEL. DO NOT WET TO THE EXTENT OF FLOODING, CONTAMINATED RUNOFF, OR ICING.
- ANY PORTIONS OF PAVEMENT TO BE REMOVED MUST BE SEPARATED BY MAKING A NEAT VERTICAL SAW CUT ALONG THE BOUNDARIES OF THE AREA TO BE REMOVED. MAKE CUTS AT CLOSEST PAVING JOINT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT, AND SERVICES TO PROPERLY EXECUTE THE DEMOLITION AND REMOVAL WORK INDICATED ON THESE CONSTRUCTION DOCUMENTS.
- ALL DEMOLITION WORK SHALL BE PERFORMED WITH MINIMUM DAMAGE TO THE EXISTING WORK TO REMAIN. IT SHALL BE RECOGNIZED THAT THE UTMOST CARE BE TAKEN WHEN PERFORMING THE DEMOLITION WORK. PROVIDE BARRICADES, BARRIERS, AND SHORING WHERE REQUIRED TO PROTECT THE PUBLIC, PERSONNEL, CONSTRUCTION, AND VEGETATION TO REMAIN. COMPLY WITH ALL STATE AND LOCAL AGENCY REQUIREMENTS.
- PROVISIONS SHALL BE MADE TO ALLEVIATE THE SPREAD OF DEBRIS, DIRT, AND DUST TO THE ADJACENT PROPERTIES. THE PROPERTY SHALL BE KEPT AS CLEAN AS POSSIBLE AT ALL TIMES. MAINTAIN HAULING ROUTES CLEAN AND FREE OF ANY DEBRIS RESULTING FROM DEMOLITION WORK ON THIS PROJECT. ANY HAZARDOUS MATERIAL REMOVAL WORK SHALL BE PERFORMED PRIOR TO ANY DEMOLITION ACTIVITY. THE HAZARDOUS MATERIAL REMOVAL SHALL BE PERFORMED BY A LICENSED ABATEMENT COMPANY.
- THE REFUSE RESULTING FROM ANY CLEARING AND GRUBBING AND ALL DEBRIS AND MATERIALS FROM THE STRUCTURE(S) TO BE DEMOLISHED SHALL BE DISPOSED OF BY THE CONTRACTOR IN A MANNER CONSISTENT WITH ALL GOVERNMENT REGULATIONS. IN NO CASE SHALL REFUSE MATERIAL BE LEFT ON THE PROJECT SITE, PUSHED ONTO ADJUTING PRIVATE PROPERTIES, OR BE BURIED IN EMBANKMENTS OR TRENCHES ON THE PROJECT SITE. DEBRIS SHALL NOT BE DEPOSITED IN ANY STREAM, LAKE, WETLAND, BODY OF WATER, OR IN ANY STREET OR ALLEY, OR UPON ANY PRIVATE PROPERTY EXCEPT BY WRITTEN CONSENT OF THE PRIVATE PROPERTY OWNER. NO RECLAIMED LUMBER OR MATERIALS SHALL BE RE-USED EXCEPT AS SPECIFICALLY APPROVED BY THE ARCHITECT OR OWNER.
- WHERE DEMOLITION AND CUTTING WORK HAS OCCURRED OR WHERE EXISTING SURFACES, MATERIALS, OR OTHER ITEMS HAVE BEEN DAMAGED OR DISTURBED AS A RESULT OF THE CONTRACTED WORK, THE SAID SURFACES AND AREAS SHALL BE CAREFULLY CLOSED UP, PATCHED, REPAIRED, FINISHED, OR RESTORED AS REQUIRED TO BE CONTIGUOUS TO EXISTING SURROUNDING SURFACES.
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION, INCLUDING GAS LINE REMOVAL IS TO BE PERFORMED BY A CONTRACTOR OR SUB-CONTRACTOR LICENSED IN THE PARTICULAR TRADE.

SITE/CIVIL CONSTRUCTION SEQUENCING:

- INSTALL SILT FENCE, EROSION CONTROL, AND CONSTRUCTION FENCE
- PERFORM DEMOLITION AS PER SPECIFICATIONS
- REMOVE ALL DEBRIS AS PER SPECIFICATION
- INSTALL ALL ADDITIONAL EROSION CONTROL AND STABILIZATION OF DEMO AREAS
- REMOVE CONSTRUCTION FENCING, ENSURE PROPER MAINTENANCE OF SILT FENCING
- INSTALL SUBSURFACE UTILITIES (SEPTIC SYSTEM) & ROUGH SITEWORK (MINOR REGRADING) PROVIDE TEMP. SEEDING / SODDING & EROSION CONTROL MEASURES
- CONSTRUCTION OF SURFACE SITE STRUCTURES, MANHOLES & UTILIZATION OF TEMPORARY STAGING AREA
- REMOVE EXISTING PARKING / STAGING AREA
- INSTALL SITE WALLS & PERFORM FINISH GRADING
- REMOVE TEMP. EROSION CONTROL MEASURES, INSTALL NEW PAVEMENT & PERMANENT LANDSCAPING. SITE STABILIZATION (80% UNIFORM DENSITY OF VEGETATION) MUST BE ACHIEVED PRIOR TO REMOVING TEMPORARY EROSION CONTROL MEASURES.

SCOPE OF WORK

THE SCOPE OF WORK IS TO CONSTRUCT A NEW SINGLE-FAMILY RESIDENTIAL DWELLING ON THE EXISTING UNDEVELOPED LOT AT THE REFERENCED ADDRESS. SANITARY SEPTIC SYSTEM, STORMWATER RETENTION & INFILTRATION MANAGEMENT SYSTEM, SEDIMENT & EROSION CONTROL, AND SITE GRADING DESIGNS HAVE BEEN PREPARED.

AREA OF DISTURBANCE: ± 26,000 SF

SURVEY INFORMATION

TOPOGRAPHICAL SURVEY PROVIDED BY ROBERT SORACE, PLS.
P.O. BOX 605 NEW CITY, NY 10956
854-638-0956
RO 9624
SECTION 71.17 BLOCK 1 LOT 27

DISTRICTS

SCHOOL: SOUTH ORANGETOWN SCHOOL DISTRICT
FIRE: NYACK JOINT FIRE DISTRICT
LIGHTING: TOWN OF ORANGETOWN

DRAWING ISSUANCE LIST

PAGE	SHEET	ISSUED TO:	PB	HEALTH DEPT	ZBA
1.	C001	TITLE PAGE AND NOTES	•	•	
2.	C100	SITE PLAN	•	•	
3.	C110	TREES, LANDSCAPE, LIGHTING	•	•	
4.	C120	SOIL, EROSION & SEDIMENT CTRL	•	•	
5.	C130	SEPTIC AREA & PART PLAN	•	•	
6.	C200	PROFILES & SIGHT DISTANCE	•	•	
7.	C300	SEPTIC DETAILS	•	•	
8.	C310	CIVIL DETAILS & SECTIONS	•	•	
9.	C400	EROSION CONTROL DETAILS	•	•	
	S100	RETAINING WALL STRUCT PLAN			
	S200	RETAINING WALL DETAILS			
	A02	BASEMENT FLOOR PLAN	•	•	
	A03	GROUND FLOOR PLAN	•	•	
	A04	SECOND FLOOR PLAN	•	•	
	A05	ARCH ELEVATIONS	•	•	

TOWN OF ORANGETOWN PLANNING BOARD NOTES

THE APPLICANT IS REMINDED THAT NO WORK CAN BEGIN AND NO PERMIT WILL BE ISSUED UNTIL ALL THE VOMMENYS ARE MET FROM THE VARIOUS AGENCIES, ALL APPROVALS OBTAINED, THE FINAL SITE PLAN IS STAMPED AND THE CONSTRUCTION PLANS ARE VIEWED AND APPROVED BY THE BUILDING DEPARTMENT.
AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOEN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.

COUNTY OF ROCKLAND HEALTH DEPARTMENT REQUIREMENTS

- INSPECTION FEE TO BE MADE OUT TO THE ROCKLAND COUNTY COMMISSIONER OF FINANCE.
- THIS DEPARTMENT MUST BE CONTACTED TO INSPECT THE EXCAVATION PRIOR TO THE INSTALLATION OF THE SELECT FILL.
- COPIES OF THE MATERIAL DELIVERY TICKETS FOR THE SELECT FILL ARE TO BE SUBMITTED, SHOWING THE MIX, QUANTITY AND WITH THE CORRECT PROPERTY ADDRESS.
- THIS DEPARTMENT MUST BE CONTACTED TO INSPECT THE INSTALLATION PRIOR TO WHEN THE SYSTEM ELEMENTS ARE COVERED OVER, INCLUDING THE PIPING AND ALL JOINTS.
- THE DEPARTMENT MUST WITNESS THE TESTING OF THE PUMP SYSTEM, INCLUDING AN ALARM TEST AND DOSING OF THE BED.
- AS-BUILT REVIEW: THE APPLICANT'S CONTRACTOR MUST SUBMIT A LINE DRAWING, TRIANGULATING THE LOCATION OF THE SYSTEM ELEMENTS TO THE MAIN HOUSE AND OTHER PERMANENT STRUCTURES.
- A SERVICE CONTRACT FOR THE ETU WILL BE REQUIRED FOR THE LIFE OF THE SYSTEM.
- A SERVICE CONTRACT FOR NOT LESS THAN THREE YEARS SHALL BE SIGNED BY THE OWNER AND SERVICE PROVIDER PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE.

STORM WATER SYSTEM CLEANING AND MAINTENANCE:

STORM WATER SYSTEM SHOULD BE CLEANED OF LEAVES, SAND, DIRT, SEDIMENT, TRASH AND OTHER DEBRIS BY HAND OR BY VACTOR TRUCK. THE SYSTEM IS TO BE EVALUATED, CLEANED AND MAINTAINED AT LEAST TWO TIMES PER YEAR. SURFACE GRATES AND INTERIOR SUMPS SHOULD BE MAINTAINED TO FUNCTION AS ORIGINALLY DESIGNED. SEE MAINTENANCE PLAN ON FILE WITH BOTH THE PROPERTY OWNER AND THE LOCAL BUILDING DEPARTMENT FOR MORE DETAILS.

MUNICIPAL NOTES

- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
- STORMWATER MANAGEMENT PHASE II REGULATIONS: ADDITIONAL CERTIFICATION, BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH THE STORMWATER MANAGEMENT PHASE II REGULATIONS.
- ALL OUTDOOR CONSTRUCTION ACTIVITIES, INCLUDING SITE CLEARING OPERATIONS IF APPLICABLE, SHALL TAKE PLACE BETWEEN THE HOURS OF 7:00 AM AND 7:00 PM, MONDAY THROUGH SATURDAY. NO SUCH ACTIVITIES SHALL TAKE PLACE ON SUNDAY OR A LEGAL HOLIDAY. THE SAME CRITERIA SHALL APPLY TO INDOOR CONSTRUCTION ACTIVITIES, EXCEPT THAT SUCH ACTIVITIES MAY TAKE PLACE BETWEEN THE HOURS OF 7:00 AM AND 10:00 PM.
- LOT DRAINAGE SHOWN SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND AND ARE NOT TO BE DISTURBED.
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.
- THE TOWN OF ORANGETOWN SEWER INSPECTOR SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY AND ALL CONSTRUCTION ON OR NEAR EXISTING AN PROPOSED SANITARY SEWER FACILITIES.
- AL OF THE CONDITIONS OF THIS DECISION SHALL BE BINDING UPON THE OWNER OF THE SUBJECT PROPERTY, ITS SUCCESSORS AND/OR ASSIGNEES, INCLUDING THE REQUIREMENT TO MAINTAIN THE PROPERTY IN ACCORDANCE WITH THE CONDITIONS OF THE RELEVANT PLANNING BOARD DECISIONS.
- THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239L6M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK
- AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PLACED THROUGHOUT THE BUILDING, PER 2020IRC R31.2

ARCHITECTURAL AND COMMUNITY APPEARANCE BOARD OF REVIEW

THE ABOVE APPLICATION APPROVED TENTATIVE DATE: WITH CONDITIONS:

- RETAINING WALLS AND DECORATIVE STONE ON THE HOUSE TO BE CONSISTENT (TENTATIVE)
- LIGHTING AT ROOF PLACED ON BULKHEAD APPROXIMATELY WAIST HIGH(TENTATIVE)

UTILITY NOTE

- CONTRACT TO CONTACT ORANGE AND ROCKLAND NEW BUSINESS DEPARTMENT FOR SERVICE TERMINATIONS AND RELOCATIONS PRIOR TO WORK. ALL CODE 753 RULES MUST BE FOLLOWED

ENGINEERED FILL

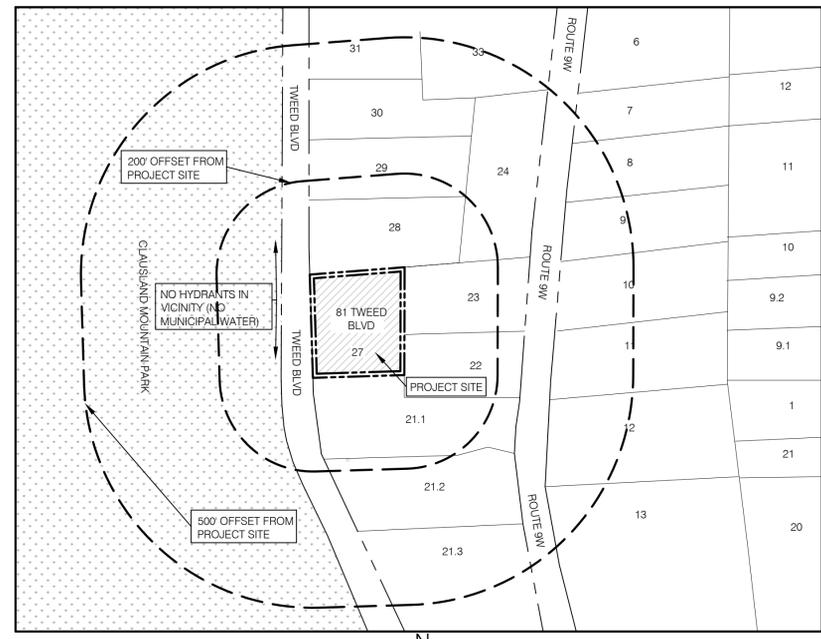
BANKRUN SAND & GRAVEL SHALL BE OBTAINED FROM AN APPROVED COMMERCIAL MANUFACTURER AND SHALL HAVE A PERCOLATION RATE OF LESS THAN 5 MIN / INCH & GREATER THAN 1 MIN / INCH. THE SUPPLIER SHALL PROVIDE A WRITTEN ANALYSIS AND CERTIFY TO THE ROCKLAND COUNTY HEALTH DEPARTMENT AND TO THE DESIGN ENGINEER THAT THE MATERIAL DELIVERED TO THIS SITE HAS BEEN MANUFACTURED BY THEM AND MEETS THE DESIGN ENGINEERS SPECIFICATION FOR BANKRUN SAND & GRAVEL. THE CONTRACTOR SHALL EXCAVATE THE ABSORPTION BED AREA TO DESIGN DEPTH AND HAVE THE EXCAVATION INSPECTED AND APPROVED BY THE ROCKLAND COUNTY HEALTH DEPARTMENT PRIOR TO PLACEMENT OF THE BANKRUN SAND & GRAVEL.

SEPTIC CONSTRUCTION NOTES

- HEAVY CONSTRUCTION EQUIPMENT SHALL BE KEPT OUTSIDE THE PROPOSED BOTTOM AREA OF THE BED
- THE REQUIRED BED BOTTOM AREA IS EXCAVATED AS LEVEL AS PRACTICAL. THE BOTTOM AND SIDES OF THE EXCAVATION ARE HAND RAKED TO REDUCE SOIL SMEARING
- AFTER EXCAVATIONS A SIX-INCH LAYER OF AGGREGATE BELOW PIPE AND COVERED WITH AGGREGATE TO A LEVEL TWO INCHES ABOVE THE TOP OF THE PIPE
- THE ENTIRE AREA IS TO BE COVERED WITH A PERMEABLE GEOTEXTILE

SANITARY SEWER LINE REQUIREMENTS

- CLEANOUTS SHALL BE PROVIDED ON SEWER LINES WHEREVER A GRADE CHANGE OR ALIGNMENT CHANGE IS MADE. (SEE CLEANOUT DETAIL FOR MORE INFO)
- SEWER LINES SHALL BE SEPARATED FROM POTABLE WATER LINES BY A MINIMUM OF 10' HORIZONTAL
- SEWER LINES CROSSING POTABLE WATER LINES MUST BE LAID A MINIMUM OF 18" BELOW WATER LINES. WATER LINE JOINTS MUST BE MINIMUM 10' FROM POINT OF CROSSING. SEWER LINES ARE TO BE CONSTRUCTED TO STANDARDS EQUIVALENT TO WATER MAIN SPECIFICATIONS AND SHALL BE PRESSURE TESTED PRIOR TO BACKFILL.
- GRAVITY LINES SHALL BE A MINIMUM OF 4' Ø.
- LINES MUST BE OF CAST-IRON PIPE FOR A MIN. DISTANCE OF 2' BEYOND FOUNDATION WALL
- GRAVITY LINES TO BE PITCHED MINIMUM 1/4" VERTICAL PER 1' HORIZONTAL
- TRENCHES ARE TO BE FIRMLY TAMPED BY HAND ABOUT THE PIPE.



A VICINITY MAP

SCALE: 1" = 200'-0"

LEGEND:

	PROPOSED SEPTIC COMPONENT
	PROPOSED BED SYSTEM
	IMPERVIOUS ROOF
	BUILDING FOOTPRINT
	GRASS YARD
	EXISTING SITE STRUCTURE
	STORM CATCH BASIN
	ADJACENT BUILDING
	AREA DRAIN
	SEWER CLEANOUT
	PROPERTY LINE
	STORM LINE
	MAJOR TOPO CONTOUR
	MINOR TOPO CONTOUR
	PROPOSED TOPO CONTOUR
	10' OFFSET FROM COMPONENT
	SILT FENCE
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	12" Maple
	STRAW BALES
	SILT FENCE
	STOCKPILED SOIL
	GRAVEL APRON FOR STABILIZED CONSTRUCTION ENTRANCE
	DRIVEWAY STATION

ABBREVIATIONS

BC	BOTTOM OF CURB
BL	BLOCK
BLDG	BUILDING
BOT	BOTTOM
CF	CUBIC FOOT
CL	CENTERLINE
CLF	CHAIN LINK FENCE
COMB	COMBINED
CONC	CONCRETE
DIA / Ø	DIAMETER
EL	ELEVATION
ELEC.	ELECTRIC
ELEV. / EL	ELEVATION
EXG.	EXISTING
FND	FOUNDATION
FT	FEET
HDPE	HIGH-DENSITY POLYETHYLENE
HYD	HYDRANT
INV	INVERT
LG	LEGAL GRADE
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
PL	PROPERTY LINE
P / PROP	PROPOSED
PVMT	PAVEMENT
RD	ROOF DRAIN
RMN	REMAIN
SF	SQUARE FEET
SQ	SQUARE
ST	STREET
SW	SIDEWALK
TBR	TO BE REMOVED
TC	TOP OF CURB
TOD	TOP OF DRAIN ELEVATION
TYP	TYPICAL
UT	UTILITY POLE
W	WITH

ANALYSIS FOR NET AREA
*REFERENCE: T.O. ORANGETOWN NOTE TO USE & BULK TABLES - 16

GROSS LOT AREA	COVER TYPE	AREA	40.492 SF	DEDUCTION
> 40% SLOPE	(50% DEDUCTION)	2,008 SF	1,004 SF	
26%-40% SLOPE	(50% DEDUCTION)	24,963 SF	12,482 SF	
15%-25% SLOPE	(0% DEDUCTION)	7,937 SF	0 SF	
TOTAL DEDUCTION		26,971 SF	13,486 SF	
NET LOT AREA TOTAL			27,007 SF	

Bulk regulation	Required	Existing	Proposed	Variance Required
Floor Area Ratio	0.20	0.00	0.13	
Lot Area (SF)	22500	40,492	40,492	
Counted Lot Area (under 25%)		27,007	27,007	
Floor Area (as per note 16)	5401.3	0	3626	
Floor Area Ratio calculation		3626 / 27,007 =	13.43%	
Lot Width (FT)	125	210	210	
Street Frontage (FT)	75	210	210	
Front yard setback (town)	40' from PL	na	25'-7"	yes
Side yard setback (FT)	25	na	50	
Total side yard setback (FT)	60	na	115'-0"	
Rear yard setback (FT)	45	na	94'-7"	
Maximum building height (FT) 9 IN/FT	19	na	28.67'	yes
Parking	2 spaces	0	2	

KRYPTON ENGINEERING

307 MCLEAN AVENUE
YONKERS, NY 10705
(917) 475-6138
KRYPTONENG.COM

REVISIONS:

1	10/20/2025	FOR CONSULTANT REVIEW
2	11/20/2025	PB RESUBMIT
3	12/18/2025	SEPTIC DESIGN TO RCDOH
4	02/02/2026	ZBA SUBMISSION

81 Tweed Blvd. Tax Lot: Section 71.17, Block 1, Lot 27

Zone R22
Group I
Use Single Family Detached Residence

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PROJECT:

81 TWEED BLVD.
NYACK, NY
71.17-1-27

NOTES & SLOPE ANALYSIS

SEAL & SIGNATURE:



JOREL J. VACCARO, PE
NY PE 093862

TO THE BEST OF THE SIGNING PROFESSIONAL'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES.

DATE: 09/30/2025

PROJECT #: 25011

DRAWN/CHECKED: PJM/JJV

SCALE: NOTED

PAGE: 01 OF 09

C-001.00

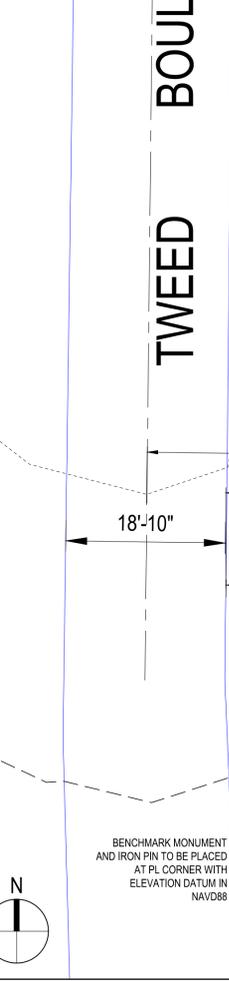
B STEEP SLOPES PLAN

SCALE: 1" = 20'-0"

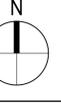
ABBREVIATIONS	
BL	BOTTOM OF CURB
BLDG	BLOCK
BTM	BOTTOM
CF	CUBIC FOOT
CLF	CENTRALINE
CLF	CHAIN LINK FENCE
COMB	COMBINED
CONC	CONCRETE
DIA/Ø	DIAMETER
EL.	ELEVATION
ELEC	ELECTRIC
ENG. FND	EXISTING FOUNDATION
FEET	FEET
HDPE	HIGH-DENSITY POLYETHYLENE
HYD	HYDRANT
INV	INVERT
LG	LEGAL GRADE
MAX	MAXIMUM
MIN	MINIMUM
NOT TO SCALE	NOT TO SCALE
NTS	NOT TO SCALE
P/PROP	PROPOSED
PAV	PAVEMENT
RD	ROOF DRAIN
RIM	REMAIN SQUARE FEET
SF	SQUARE FEET
SQ	SQUARE
ST	STREET
SIV	SIDEWALK
TBR	TO BE REMOVED
TOP OF CURB	TOP OF CURB
TOD	TOP OF DRAIN ELEVATION
TYP	TYPICAL
UT	UTILITY POLE
W	WITH

LEGEND	
[Symbol]	PROPOSED SEPTIC COMPONENT
[Symbol]	PROPOSED STORM SYSTEM
[Symbol]	IMPERVIOUS PAVEMENT
[Symbol]	BUILDING FOOTPRINT
[Symbol]	GRASS YARD
[Symbol]	STORM CATCH BASIN
[Symbol]	ADJACENT BUILDING
[Symbol]	AREA DRAIN, SEE DET. C-10
[Symbol]	SEWER CLEANOUT
[Symbol]	PROPOSED TOPO CONTOUR
[Symbol]	MINOR TOPO CONTOUR
[Symbol]	PROPOSED TOPO CONTOUR
[Symbol]	10' OFFSET FROM COMPONENT
[Symbol]	AREA OF WORK (26,000 SF)
[Symbol]	EXISTING TREE TO REMAIN
[Symbol]	EXISTING TREE TO BE REMOVED
[Symbol]	12" MADE
[Symbol]	STRAW BALES
[Symbol]	SILT FENCE
[Symbol]	STOCKPILED SOIL
[Symbol]	GRAVEL APRON FOR STABILIZED CONSTRUCTION ENTRANCE
[Symbol]	DRIVEWAY STATION
[Symbol]	BORING LOCATION
[Symbol]	BENCHMARK
[Symbol]	ROOF LEADER OUTLET

NOTE: NO INCREASE IN STORMWATER RUNOFF TOWARD TWEED BOULEVARD



A PROPOSED SITE PLAN
SCALE: 1" = 10'-0"



EXISTING MONUMENT AS PER map entitled "REVISED SUBDIVISION FOR ROSEANNE HILLS", Filed in the Rockland County Clerks Office September 9, 1976 in book 89 page 18 as map # 4862

NGVD29 MONUMENT G-6 ELEVATION: 470.0'
CONVERTED NAVD83 (+1.1) ELEV: 471.1'

CONTOURS SHOWN HERE IN NAVD88

REVISIONS:

1	10/20/2025	FOR CONSULTANT REVIEW
2	11/20/2025	PB RESUBMIT
3	12/18/2025	SEPTIC DESIGN TO RCDDH
4	02/02/2026	ZBA SUBMISSION

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PROJECT: 81 TWEED BLVD.
NYACK, NY
17.17-1-27

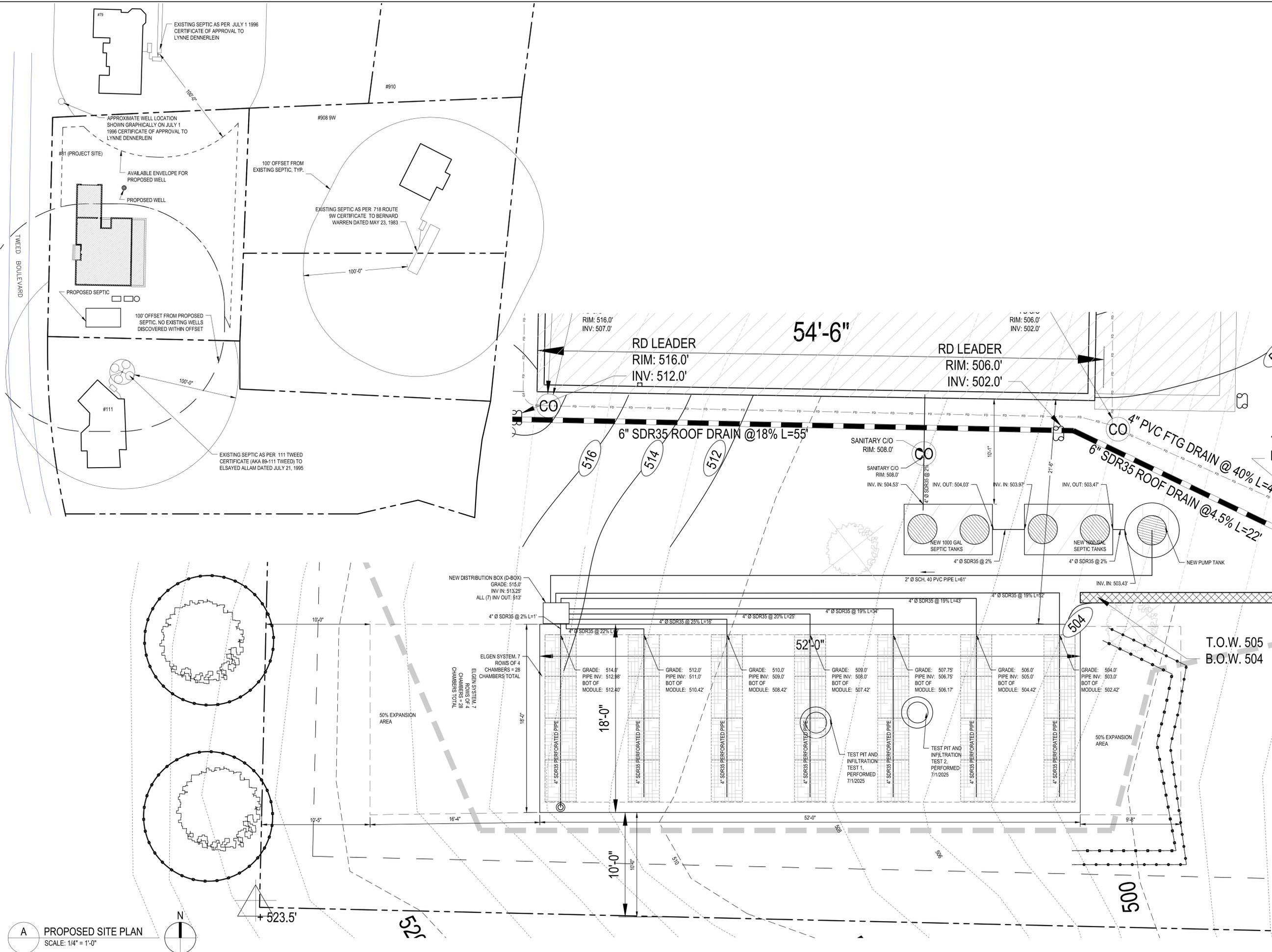
SITE PLAN

SEAL & SIGNATURE:

JOREL J. VACCARO, PE
NY PE 093362

DATE: 09/30/2025
PROJECT #: 25011
DRAWN/CHECKED: P.J.M./J.V.
SCALE: NOTED
PAGE: 02 OF 09

C-100.00



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PROJECT:
 81 TWEED BLVD.
 NYACK, NY
 71.17-1-27

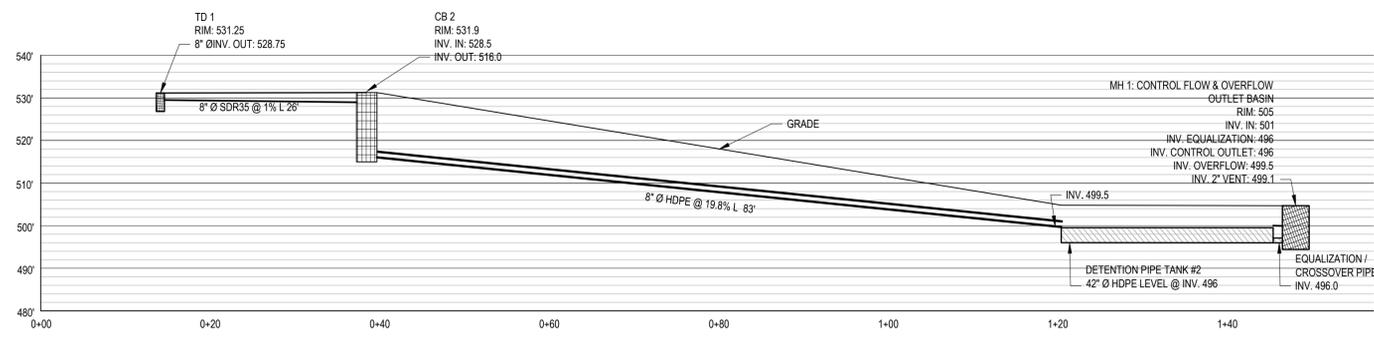
SEPTIC AREA & PART PLAN

SEAL & SIGNATURE:

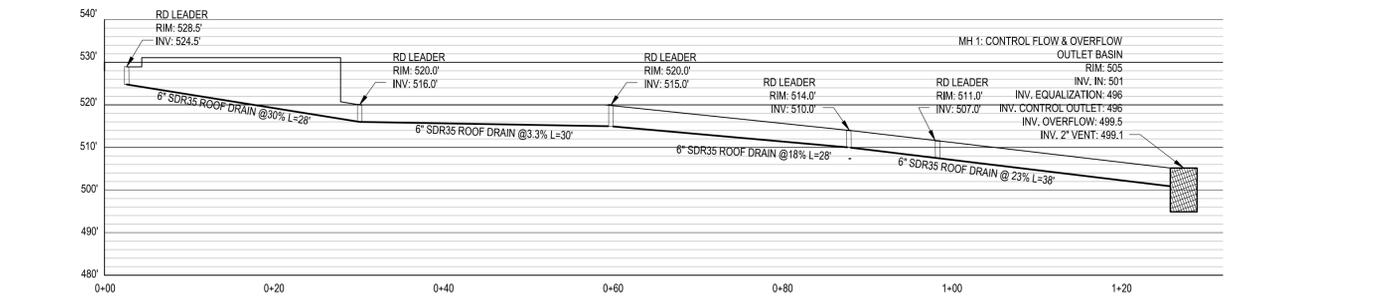
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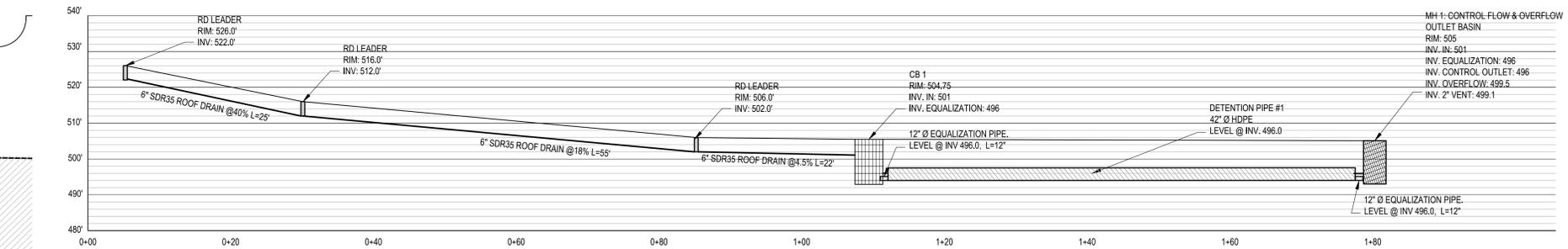
A PROPOSED SITE PLAN
 SCALE: 1/4" = 1'-0"



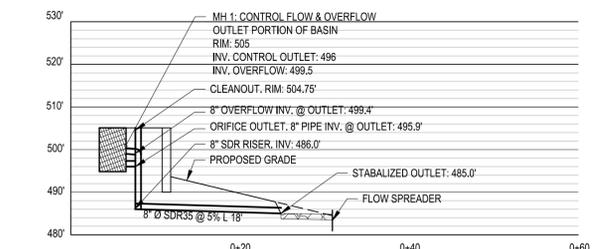
A TD1 TO DET. PIPE 2 PROFILE
 SCALE: 1" = 10'-0"



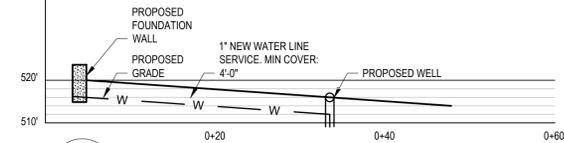
C ROOF DRAINS ALONG GARAGE TO MH1
 SCALE: 1" = 10'-0"



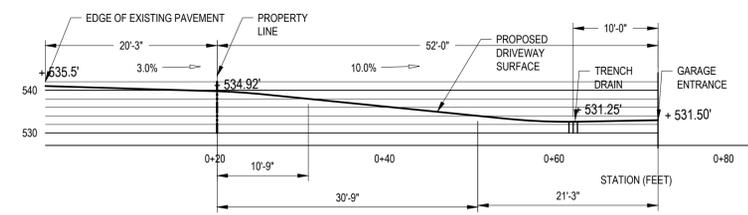
F CLEANOUT TO MANHOLE 1
 SCALE: 1" = 10'-0"



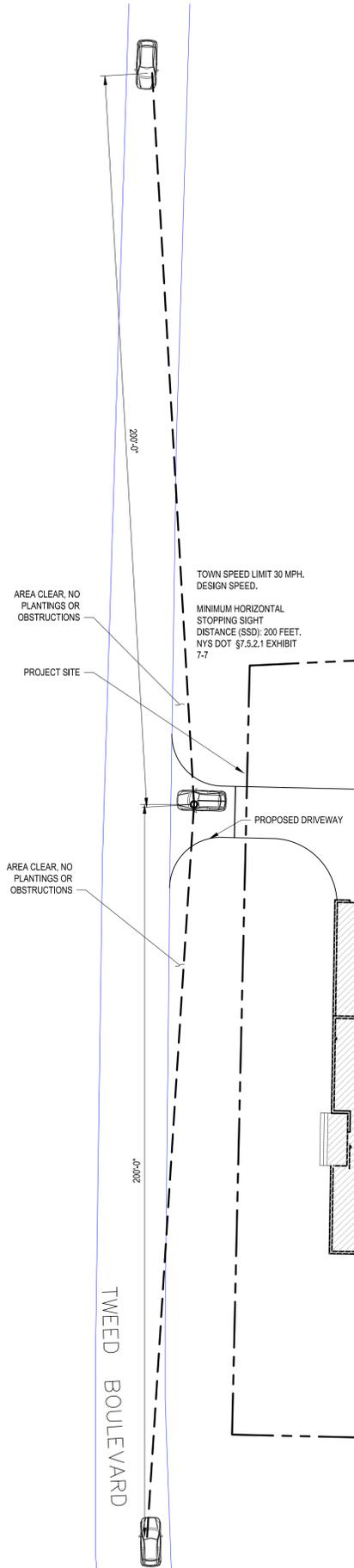
B MANHOLE 1 TO STABILIZED FLOW OUTLET
 SCALE: 1" = 10'-0"



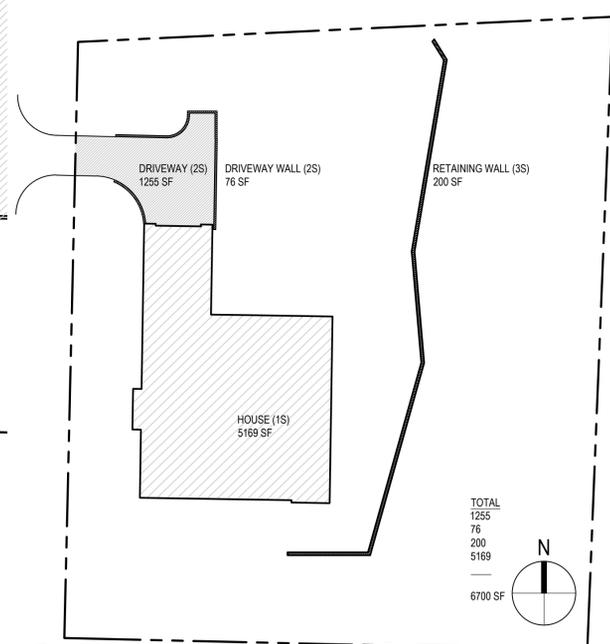
D WATER SERVICE
 SCALE: 1" = 10'-0" VERT.



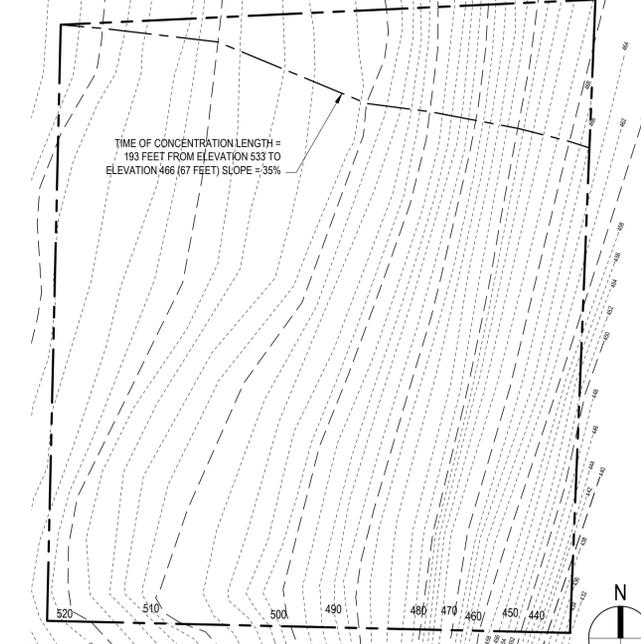
E DRIVEWAY PROFILE
 SCALE: 1" = 10'-0"



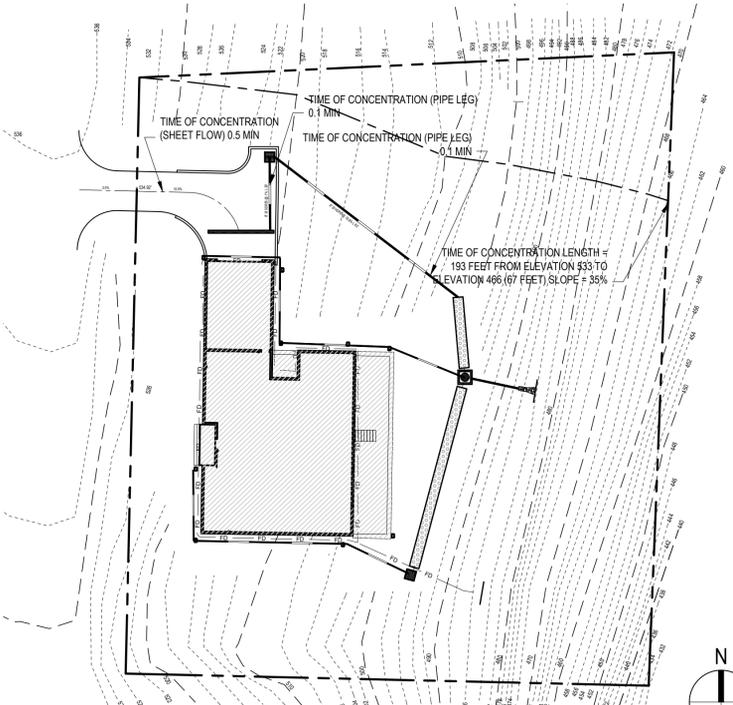
1 SIGHT DISTANCE ANALYSIS
 SCALE: 1" = 20'-0"



2 PROPOSED AREA TAKEOFF ANALYSIS
 SCALE: 1" = 30'-0"



3 TIME OF CONCENTRATION EXISTING CONDITIONS
 SCALE: 1" = 30'-0"



4 TIME OF CONCENTRATION PROPOSED CONDITIONS
 SCALE: 1" = 30'-0"

REVISIONS:

1	10/20/2025	FOR CONSULTANT REVIEW
2	11/20/2025	PB RESUBMIT
3	12/18/2025	SEPTIC DESIGN TO RCDOH
4	02/02/2026	ZBA SUBMISSION

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PROJECT:
 81 TWEED BLVD.
 NYACK, NY
 71.17-1-27

PROFILES

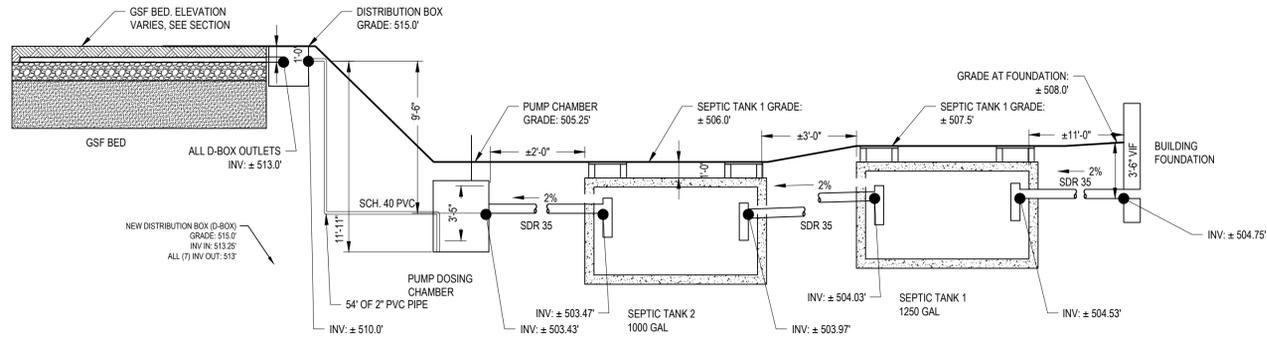
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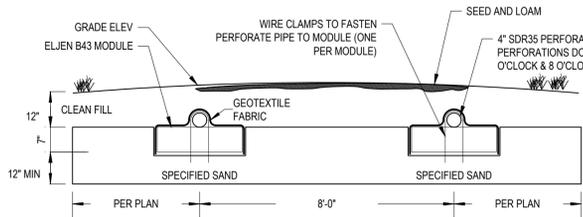
JOEL J. VACCARO, PE
 NY PE 093362

DATE: 09/30/2025
 PROJECT #: 25011
 DRAWN/CHECKED: P.J.M./J.V.
 SCALE: NOTED
 PAGE: 06 OF 09

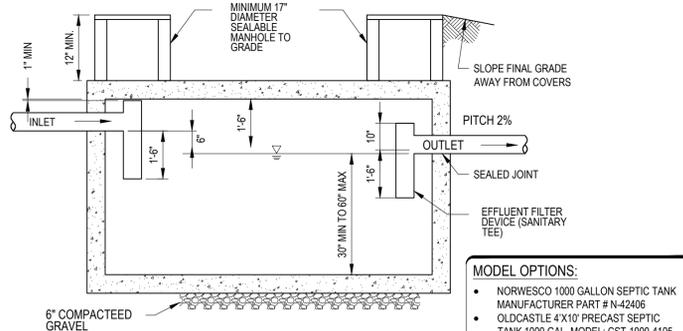
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1 SYSTEM PROFILE
SCALE: NTS



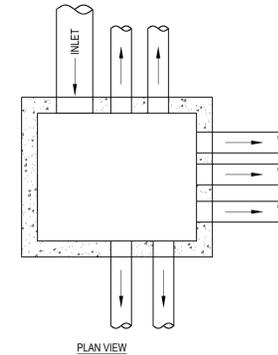
3 TYP. GSF BED CROSS SECTION
SCALE: NTS



4 TYPICAL SEPTIC TANK SECTION
SCALE: 3/8" = 1'-0"

MODEL OPTIONS:

- NORWESCO 1000 GALLON SEPTIC TANK MANUFACTURER PART # N-42406
- OLDCASTLE 4'X10' PRECAST SEPTIC TANK 1000 GAL. MODEL: CST-1000-4105



2 DISTRIBUTION BOX
SCALE: NTS

- DISTRIBUTION BOX NOTES:**
- PIPE JOINTS TO BE WATERTIGHT, SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT
 - INVERT ELEVATIONS OF ALL OUTLET PIPES MUST BE EQUAL. PROVIDE LEVELERS AT OUTLETS. Tuf-Tite® Corporation, 1200 Flex Court, Lake Zurich, Illinois 60047 OR APPROVED EQUAL
 - DISTRIBUTION BOX SHALL BE INSTALLED IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS
 - PROVIDE SHOP DRAWING TO KE PRIOR TO FABRICATION

- ELJEN DESIGN & INSTALLATION NOTES:**
- THIS DESIGN AND CONSTRUCTION REQUIREMENT COMPLIES WITH APPENDIX 75-A AND LOCAL HEALTH DEPARTMENT REGULATIONS.
 - THIS DESIGN COMPLIES WITH AND MUST BE INSTALLED IN ACCORDANCE WITH THE MOST CURRENT ELJEN NEW YORK DESIGN AND INSTALLATION MANUAL.
 - THIS SYSTEM IS NOT DESIGNED FOR USE WITH A GARBAGE DISPOSAL.
 - THIS SYSTEM IS NOT DESIGNED FOR BACKWASH FROM A WATER SOFTENER.
 - ORGANIC MATERIAL THAT CAN RESTRICT FLOW MUST BE REMOVED FOR RAISED BEDS. THE SOIL MUST BE SCARIFIED TO PROVIDE DEEP CHANNELS FOR THE SAND. A PLOWED INTERFACE ON CONTOUR IS RECOMMENDED TO PREPARE THE SOIL FOR FILL PLACEMENT.
 - SCARIFY ANY SMEARED SUBSOIL PRIOR TO FILL PLACEMENT.
 - FILL MATERIAL SHALL MEET OR EXCEED STATE OF NEW YORK CODE REQUIREMENTS. ALL FILL MATERIAL SHALL BE CLEAN BANK RUN SAND, FREE OF TOPSOIL, HUMUS, AND 'DREDGING' DIRECTLY BENEATH THE GSF SYSTEM.
 - ASTM C33 SPECIFIED SAND WITH LESS THAN 10% PASSING A #100 SIEVE AND LESS THAN 5% PASSING A #200 SIEVE SHALL BE PLACED BELOW AND AROUND THE GSF MODULES IN TRENCH CONFIGURATIONS. IN BED SYSTEMS, USE 6 INCHES MINIMUM UNDERNEATH THE MODULES WITH 12 INCHES MINIMUM BETWEEN MODULE ROWS AND 12 INCHES MINIMUM AROUND THE PERIMETER OF THE MODULES.
 - ELJEN PROVIDED GEOTEXTILE COVER FABRIC SHALL PROVIDE PROPER TENSION AND ORIENTATION OF THE FABRIC AROUND THE SIDES OF THE PERFORATED PIPE ON TOP OF THE GSF MODULES. FABRIC SHOULD BE NEITHER TOO LOOSE, NOR TOO TIGHT. THE CORRECT TENSION OF THE COVER FABRIC IS SET BY:
 - SPREADING THE COVER FABRIC OVER THE TOP OF THE MODULE AND DOWN BOTH SIDES OF THE MODULE WITH THE COVER FABRIC DIRECTLY OVER THE TOP OF THE PERFORATED DISTRIBUTION PIPE.
 - PLACE SHOVEL FULLS OF SPECIFIED SAND TIGHTLY OVER THE PIPE AREA ALLOWING THE COVER FABRIC TO FORM A MOSTLY VERTICAL ORIENTATION ALONG THE SIDES OF THE PIPE. REPEAT THIS STEP MOVING DOWN THE PIPE.
 - BACKFILL MATERIAL SHALL BE CLEAN WITH NO ROOTS OR STONES LARGER THAN 2 INCHES IN ANY DIMENSION TO A MINIMUM DEPTH OF 8 INCHES OVER THE GSF MODULES AND FINAL COVER FOR VEGETATION OF 4 INCHES TO 6 INCHES OF CLEAN LOAM.
 - ANY SYSTEM WHICH IS MORE THAN 18 INCHES BELOW FINISH GRADE AS MEASURED FROM THE TOP OF THE MODULE SHALL BE VENTED

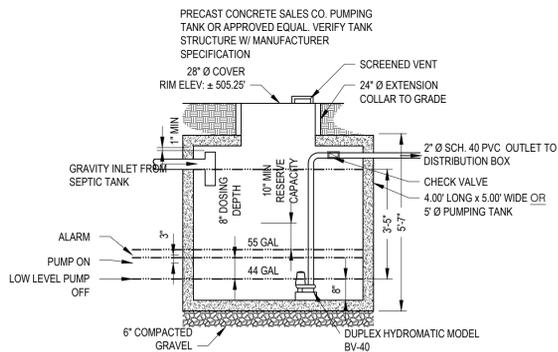
ELJEN SEPTIC SYSTEM DESIGN & TANK SIZING:

UNIT DESIGN FLOW	110 GPD/BEDROOM
# OF BEDROOMS	3
DESIGN FLOW	330 GPD
SEPTIC TANK CAPACITY	1000 GAL + ADDL 1000 GAL TANK
MEASURED PERCOLATION RATE	37 MIN/IN (30 - 45 MIN / IN)

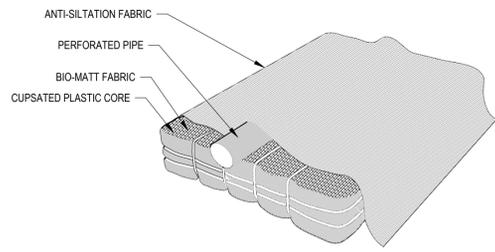
→ USE ELJEN SYSTEM B43 WITH TRENCH CONFIGURATION

REVISIONS:

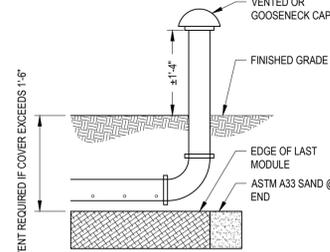
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5 PUMP TANK SECTION
SCALE: 3/8" = 1'-0"



6 TYPICAL GSF TEXTILE MODULE
SCALE: 3/8" = 1'-0"



7 VENT DETAIL
SCALE: NTS

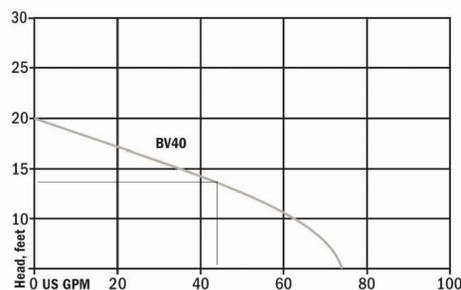
Septic system design flow and tank sizing

Unit design flow	110 gpd/bdrm
# of bedrooms:	3
Design Flow:	330 gpd
Septic tank capacity:	1000 + addl 1000 gal tank
Percolation rate:	37 min/in

Use Elgen system B43 with trench configuration
table 2: B43 GSF TRENCH Sizing Table (31 TO 45 MIN / IN):
Trench length required **112 FT**

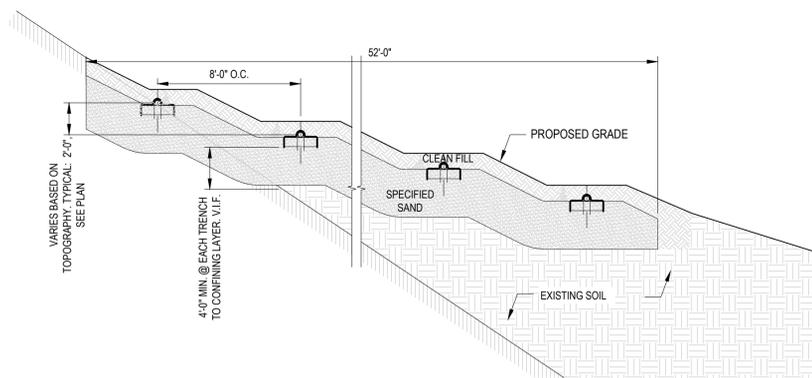
Modules per system required (Tbl 2) **28 B43 modules**
Use 7 ROWS OF 4
check total trench length **28 * 4 ft = 112 ft**
check number of modules **7 * 4 = 28 modules**

*NOTE DESIGN INFIL. RATE FOR 81 TWEED: 37 MIN/INCH
* NOTE, 8' SPACING ROW TO ROW



9 PUMP CURVE
SCALE: NTS

HEAD LOSS & PUMP DESIGN
FLOW 2" Ø DELIVERY PIPE = 67 GPM
TOTAL OPERATING HEAD H_T = H_p + H_e + H_f
H_p = PRESSURE OF LATERAL = 2.5 FT
H_e = ELEVATION HEAD:
LATERAL INVERT ELEVATION - DOSING TANK LOWER LEVEL = 9.5 FT
H_f = FRICTION HEAD THRU DELIVERY PIPE L=61' @ 2" Ø & 45 GPM
= 61 LF * (3.9' HEAD LOSS / 100 FT) = 2.37 FT (USING HAZEN-WILLIAMS)
H_T = H_p + H_e + H_f = 2.5 + 9.5 + 2.37 = 14.37 FT HEAD LOSS AT 45 GPM
USE PENTAIR HYDRAMATC MODEL BV-40 SUBMERSIBLE SEWAGE EJECTOR PUMP 2" NPT DISCHARGE
1/2 HP 110 VOLTS, 1 PHASE, 12.6 FULL LOAD AMGS
PIPE VOLUME: 7 X 15' X (3.14 X (0.33')² / 4)
PIPE VOLUME 9 CF
VOL. IN PIPES & RESERVE VOL 55.0 GAL
DOSE VOLUME (80% OF PIPE) 44 GAL
PRESSURE DIST. PIPE DIAM. 1.5 TO 3"
PUMP CHAMBER SIZE (LxW) 3 FT x 3 FT
DEPTH 8 INCHES
RESERVE DEPTH 10 INCHES
1 DAY'S DESIGN FLOW ABOVE ALARM LEVEL OR DUPLEXED PUMPS



10 GSF BED CROSS SECTION
SCALE: NTS

DEVELOPMENT SITE: 81 TWEED BLVD COUNTY: ROCKLAND DATE: 7/1/2025
TEST CONDUCTED BY: JJV WEATHER CONDITION: OVERCAST 80 DEGREES PRESOAK DATE & TIME: 6/30 11AM

TEST HOLE ONE	TEST #1	TEST #2	TEST #3	TEST #4	MAX
BEGIN	9:17 AM - 11"	9:40 AM - 12"	10:10 AM - 9.5"	10:46 AM - 9.25"	
END	9:40 AM - 12"	10:09 - 10.25"	10:45 AM - 10.5"	11:22 AM - 10.25"	
RESULTS	23 MIN	29 MIN	35 MIN	36 MIN	36 MIN
Test hole depth: 17"					

TEST HOLE TWO	TEST #1	TEST #2	TEST #3	MAX
BEGIN	9:19 AM - 7"	9:55 AM - 6.5"	10:25 AM - 6"	
END	9:53 AM - 8"	10:23 AM - 7.5"	11:02 - 7"	
RESULTS	34 MIN	28 MIN	37 MIN	37 MIN
Test hole depth: 13"				

DESIGN INFILTRATION RATE: 37 MIN/IN -

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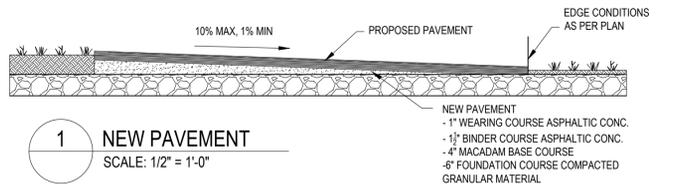
PROJECT: 81 TWEED BLVD. NYACK, NY 71.17-1-27

SEPTIC DETAILS

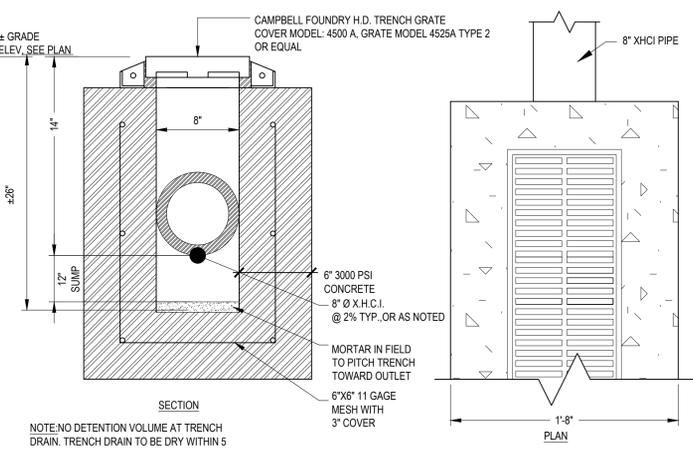
SEAL & SIGNATURE:
JOREL J. VACCARO, PE
NY PE 093362

DATE: 09/30/2025
PROJECT #: 25011
DRAWN/CHECKED: PJM/JJV
SCALE: NOTED
PAGE: 07 OF 09

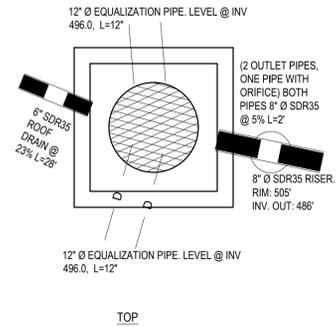
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1 NEW PAVEMENT
 SCALE: 1/2" = 1'-0"



2 MH 1 CONTROL BASIN
 SCALE: 3/8" = 1'-0"



3 FLOW SPREADER
 SCALE: 1/2" = 1'-0"

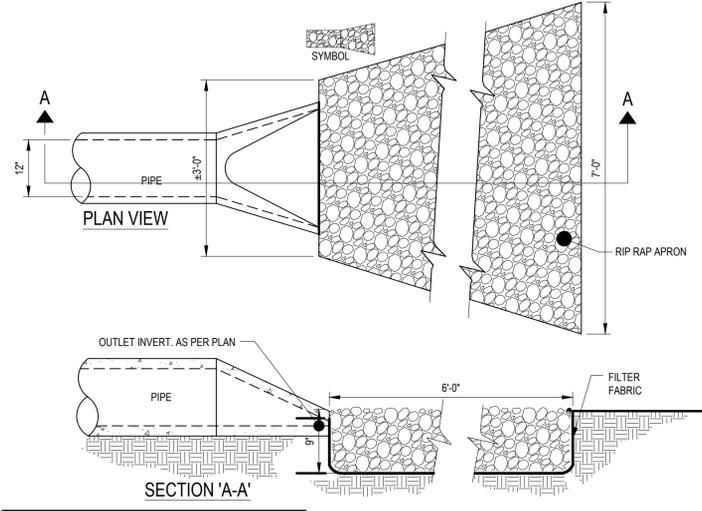
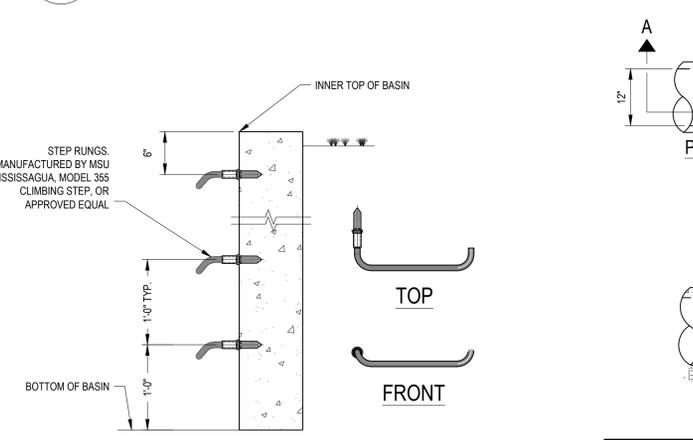
CONSTRUCTION SPECIFICATIONS

1. THE MATTING SHOULD BE A MINIMUM OF 4 FT. WIDE EXTENDING 6 INCHES OVER THE WEIR AND BURIED 6" DEEP IN A VERTICAL TRENCH ON THE LOWER EDGE. THE UPPER EDGE SHOULD BUTT AGAINST SMOOTHLY CUT SOIL AND BE SECURELY HELD IN PLACE WITH CLOSELY SPACED HEAVY DUTY WIRE STAPLES AT LEAST 12 INCHES IN LENGTH. ENSURE THAT THE WEIR IS LEVEL TO UNIFORMLY SPREAD DISCHARGE.
2. THE WEIR SHALL BE PLACED IN UNDISTURBED SOIL AND NOT FILL.
3. A 20 FOOT TRANSITION SECTION WILL BE CONSTRUCTED FROM THE DIVERSION CHANNEL TO THE SPREADER TO SMOOTHLY BLEND THE DIFFERENT DIMENSION AND GRADES.
4. THE RUNOFF DISCHARGE WILL BE OUTLETED ON TO A STABILIZED VEGETATED SLOPE NOT EXCEEDING 10%.
5. SEED AND MULCH THE DISTURBED AREA IMMEDIATELY AFTER CONSTRUCTION.

Q (CFS)	E.W (FT)	D (FT)	LENGTH (FT)
0-5	10	0.5	10
5-10	16	0.6	20
10-15.24	0.7	30	

E.W: ENTRANCE WIDTH
 D: DEPTH

4 TRENCH DRAIN
 SCALE: NTS



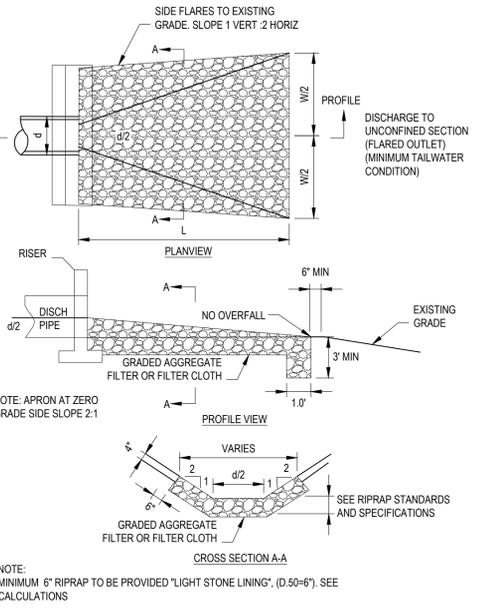
5 CLIMBING STEP RUNGS
 AT DETENTION BASIN WALL
 SCALE: NTS

NOTES:

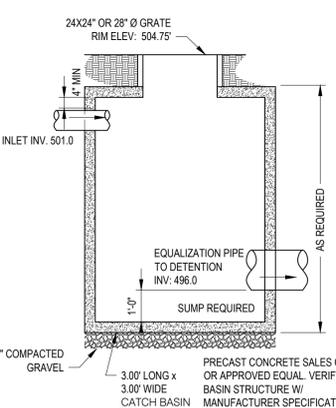
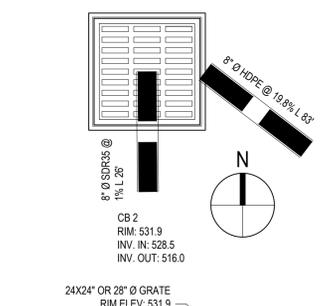
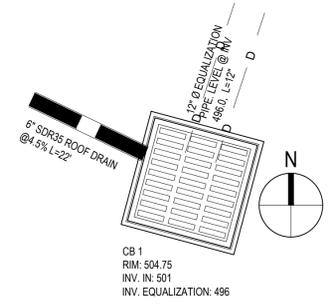
- 1) L = THE LENGTH OF THE RIPRAP APRON.
- 2) d = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6" (INCHES).
- 3) A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND SOIL FOUNDATION.

W = L + INNER DIAMETER OF PIPE

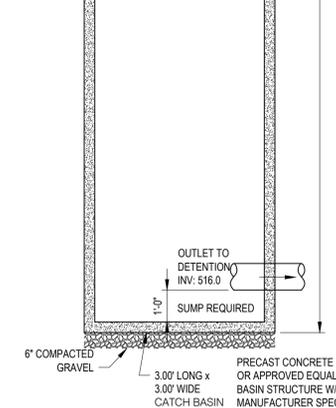
6 STABILIZED OUTLET DIMENSIONS
 AT OVERFLOW AND FOOTING DRAIN OUTLETS
 SCALE: NTS



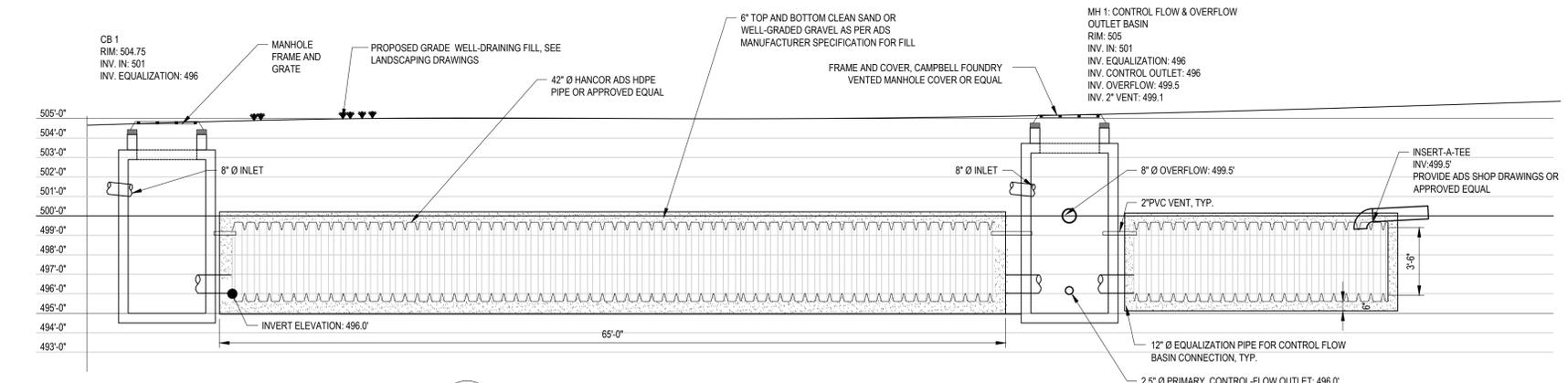
7 TYPICAL OUTLET PROTECTION
 SCALE: NTS



9 CATCH BASIN 1
 SCALE: 3/8" = 1'-0"



10 CATCH BASIN 2
 SCALE: 3/8" = 1'-0"



8 STORMWATER DETENTION SYSTEM CROSS-SECTION
 SCALE: 1/4" = 1'-0"

REVISIONS:

NO.	DATE	DESCRIPTION
1	10/20/2025	FOR CONSULTANT REVIEW
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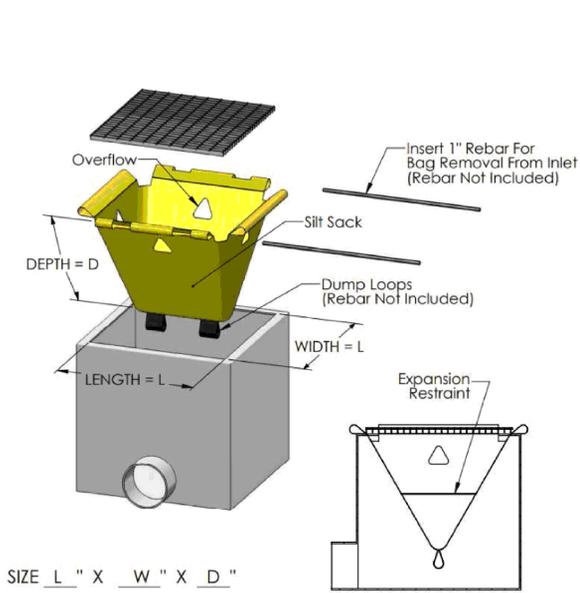
STORMWATER DETAILS

SEAL & SIGNATURE:

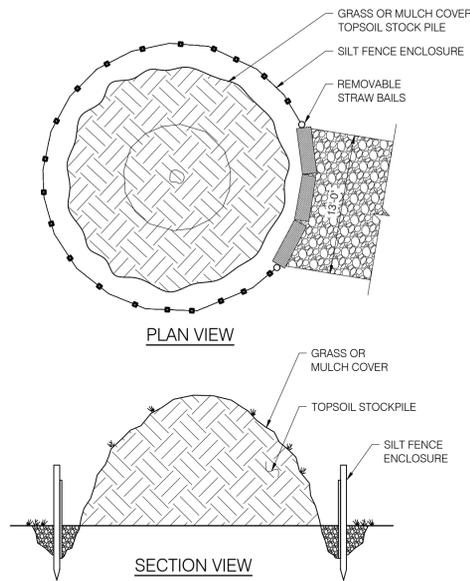


JOREL J. VACCARO, PE
 NY PE 093362

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 PAGE: 08 OF 09

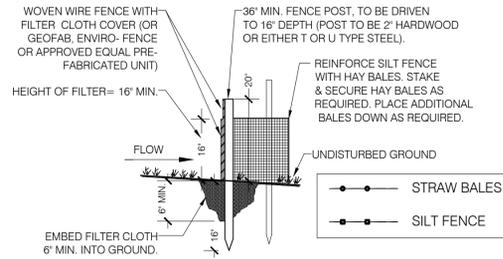


INLET PROTECTION DETAIL



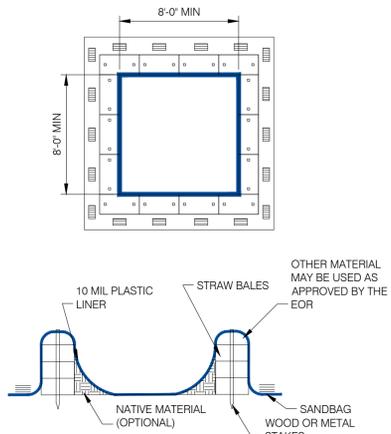
- NOTES:**
- 1-TOPSOIL REMOVED DURING SITE PREPARATION SHALL BE STOCKPILED ON-SITE FOR FUTURE USE IN SITE RECLAMATION AND REVEGETATION.
 - 2-SOIL STOCKPILE SHALL BE ENCLOSED WITH SILT FENCING WITH PASSAGEWAY PROVIDED FOR EQUIPMENT ACCESS.
 - 3- PROVIDE TEMPORARY GRASS OR MULCH COVER IF STOCKPILE IS TO REMAIN UNDISTURBED FOR THIRTY DAYS OR MORE. TEMPORARY COVER SHALL CONSIST OF ONE OF THE FOLLOWING MEASURES:
 - GRASS SEED: 1/2 LB. RYE GRASS /1000S.F
 - MULCH: 100LBS OF STRAW OR HAY/1000S.F

DETAIL - SOIL STOCKPILE
NOT TO SCALE



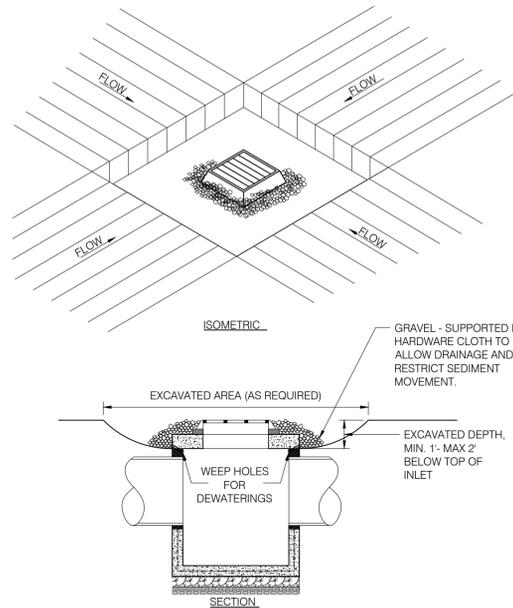
- NOTES:**
- 1- POST SPACING TO BE 10' MAX. O.C.
 - 2- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 - 3- WOVEN WIRE FENCE TO BE 14 GA. MIN., 6' MAX. SPACING.
 - 4- FILTER CLOTH TO BE FILTER X, MIRAFI 100XOR APPROVED EQUAL.
 - 5- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE, WITH WIRE TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 - 6- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED OR TIED TO A POST (PROVIDE POST AT SPLICE).
 - 7- MAINTENANCE SHALL BE PERFORMED AS NEEDED, AND MATERIAL REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.
 - 8- BALES SHALL BE PLACED AT THE TOE OF SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 - 9- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
 - 10- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN 1 1/2' TO 2' INTO THE GROUND AND FLUSH WITH THE BALE.
 - 11- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 - 12- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

DETAIL - SILT FENCE
NOT TO SCALE



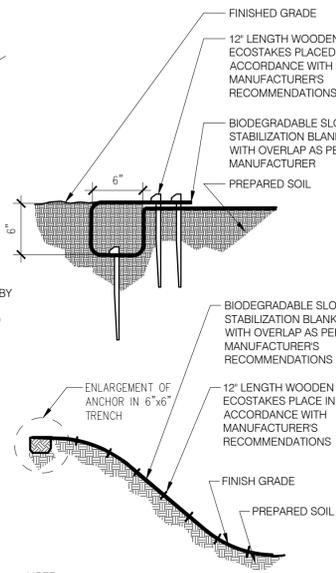
- NOTES:**
1. NO WASHING OUT OF CONCRETE TRUCKS OR WASHING OF SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO STORM DRAINS, OPEN DITCHES, STREETS OR STREAMS IS ALLOWED.
 2. EXCESS CONCRETE IS NOT ALLOWED TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED TEMPORARY CONCRETE WASHOUT PIT AREAS.
 3. ON-SITE TEMPORARY CONCRETE WASHOUT AREAS WILL BE LOCATED AT LEAST 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES AS DETERMINED IN THE FIELD.
 4. TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASH GENERATED BY WASHOUT OPERATIONS.
 5. WASHOUT FACILITIES WILL BE CLEANED OUT OR REPLACED ONCE THE WASHOUT IS 75% FULL.
 6. PLASTIC LINING MATERIAL WILL BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND WILL BE FREE OF HOLES, TEARS, OR ANY OTHER DEFECTS.
 7. WHEN WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR WORK, THE HARDENED CONCRETE WILL BE REMOVED AND DISPOSED OF OFF-SITE. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.

CONCRETE WASHOUT DETAIL
NOT TO SCALE



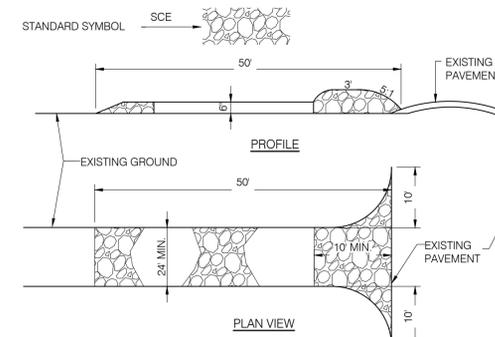
- CONSTRUCTION SPECIFICATIONS**
- 1- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
 - 2- GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
 - 3- WEEP HOLES SHALL BE PROTECTED BY GRAVEL.
 - 4- UPON STABILIZATION OF CONSTRUCTION DRAINAGE AREA, SEAL WEEP HOLES, FILL BASIN WITH STABLE SOIL TO FINAL GRADE, COMPACT SOIL PROPERLY AND STABILIZE WITH PERMANENT SEEDING.

EXCAVATED DROP INLET PROTECTION
NOT TO SCALE



- NOTE:**
- INSTALL SLOPE STABILIZATION BLANKETS - CURLEX II EROSION CONTROL FABRIC OR EQUAL. INSTALL IN ALL AREAS WHERE SLOPE IS 4:1 OR GREATER AND AS SHOWN ON PLANS. PRIOR TO INSTALLING PLANTS, CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SLOPE STABILIZATION BLANKET FOR LENGTH OF CONTRACT.

SLOPE STABILIZATION DETAIL
NOT TO SCALE

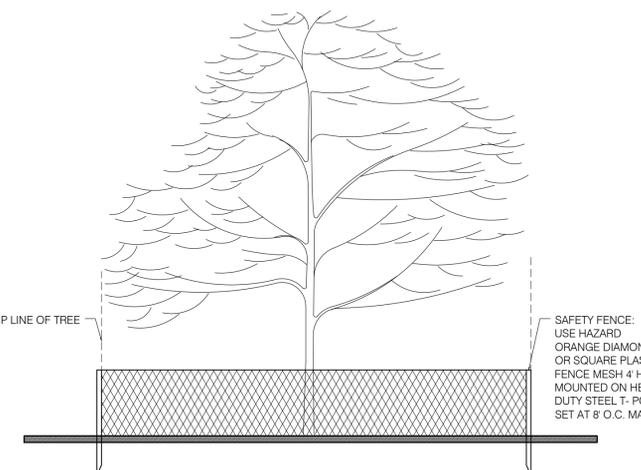


- CONSTRUCTION SPECIFICATIONS:**
- 1- STONE SIZE - USE 2' STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - 2- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
 - 3- THICKNESS - NOT LESS THAN (6) INCHES.
 - 4- WIDTH - TWENTY FOUR (24) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - 5- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
 - 6- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPE WILL BE PERMITTED.
 - 7- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANING OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
 - 8- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - 9- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

EROSION CONTROL:

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN STATE STANDARDS AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECTED TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING AND MULCHING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BOUND IN ACCORDANCE WITH THE NY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER). SOIL STABILIZATION WILL OCCUR AFTER 14 DAYS OF BEING EXPOSED.
3. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO NY STANDARDS. STABILIZATION SPECIFICATIONS:
4.
 - A. TEMPORARY SEEDING AND MULCHING:
 - LIME - 90 LBS./ 1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS./ 1,000 SF. 10-20-10 OR EQUIVALENT WORKED INTO THE SOIL A MINIMUM OF 4"
 - SEED - PERENNIAL RYE GRASS 40 LBS./ACRE (1 LB / 1,000 SF) OR OTHER APPROVED SEEDS, PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
 - MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS./1,000 SF TO BE APPLIED ACCORDING TO THE NY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
 - B. PERMANENT SEEDING AND MULCHING:
 - TOPSOIL - UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED).
 - LIME - 90 LBS./ 1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS./ 1,000 SF. 10-20-10 OR EQUIVALENT WORKED INTO THE SOIL A MINIMUM OF 4"
 - SEED TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 150 LBS./ACRE (3.5 LBS./1,000 SF) OR OTHER APPROVED SEED, PLANT BETWEEN MARCH 1 AND OCTOBER 15.
 - MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS./1,000 SF TO BE APPLIED ACCORDING TO THE NY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID BINDER).
5. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
6. SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
7. STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOOD PLAIN SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A STRAW BALE SEDIMENT BARRIER AND/OR SILT FENCE.
8. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1" - 2" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30' X 100' AND SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.
9. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE ENGINEER.
10. DRIVEWAYS MUST BE STABILIZED WITH 1" - 2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
11. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR INTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
12. CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER DESIGNED IN ACCORDANCE WITH NY STANDARDS.
13. STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
14. DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAG OR OTHER APPROVED FILTER IN ACCORDANCE WITH NY STANDARDS.
15. DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH NY STANDARDS.
16. TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH NY STANDARDS.
17. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORM WATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
18. ANY REVISION TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.
19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT CONSTRUCTION.
20. SILT FENCING SHALL BE ADJUSTED IN FIELD AND NOT ENCR OACH ONTO EXISTING TREES TO REMAIN AND SHALL ENCOMPASS LIMITS OF DISTURBANCE INCLUDING SEEPAGE PIT LOCATIONS.
21. THE TREE PROTECTION AND PRESERVATION WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO RESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
 - A. NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
 - B. THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
 - C. TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT.
 - D. THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
 - ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH.
 - DRIP LINE OF THE TREE CANOPY.
 THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:
 - LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
 - LIGHT IMPACT ONLY - INSTALLATION OF 3/4 INCH OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED. THE BUILDER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN (6) INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL A RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.
22. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE CONTRACTOR SHALL INSTALL THE SOIL EROSION AND SEDIMENTATION CONTROL AS REQUIRED BY THE DRAWINGS. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE ENGINEER SHALL BE NOTIFIED IN ADVANCE TO INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE CONTRACTOR SHALL CONTACT THE ENGINEER AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.
23. ALL LANDSCAPING SHOWN ON THE SITE PLANS SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
24. IF THE CONTRACTOR, DURING THE COURSE OF CONSTRUCTION, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREA, UNDERGROUND WATER, SOFT OR SILTY AREAS, IMPROPER DRAINAGE, OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL PLANNING, SUCH CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER OF RECORD. THE CONTRACTOR MAY SUBMIT THEIR RECOMMENDATIONS AS TO THE SPECIAL TREATMENT TO BE GIVEN SUCH AREAS TO SECURE ADEQUATE, PERMANENT AND SATISFACTORY CONSTRUCTION.
25. THE CONTRACTOR'S TRAILER, IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE MUNICIPALITY.
26. PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE COMPLETION OF CONSTRUCTION.



- 1- THE PROJECT DEVELOPER SHALL TAKE REASONABLE PRECAUTION TO SAVE SPECIMEN QUALITY TREES IN AREAS NOTED ON THE PLANS FOR CLEARING. WHEN POSSIBLE, THE DEVELOPER SHALL PROTECT INDIVIDUAL SPECIMEN TREES THROUGH THE INSTALLATION OF SAFETY FENCING AROUND THE DRIP LINE PERIMETER OF THE TREE.
- 2- SAFETY FENCING SHALL BE INSTALLED AT THE ONSET OF SITE CONSTRUCTION TO PREVENT VEHICLE TRAFFIC FROM COMPACTING THE SOILS IN THE VICINITY OF THE TREE ROOT STRUCTURE.

TREE PROTECTION DETAIL
NOT TO SCALE

REVISIONS:

1	10/20/2025	FOR CONSULTANT REVIEW
2	11/20/2025	PB RESUBMIT
3	12/18/2025	SEPTIC DESIGN TO RCDOH
4	02/02/2026	ZBA SUBMISSION

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PROJECT:
81 TWEED BLVD.
NYACK, NY
17.17-1-27

EROSION CONTROL

SEAL & SIGNATURE:



JOEL J. VACCARO, PE
NY PE 093362

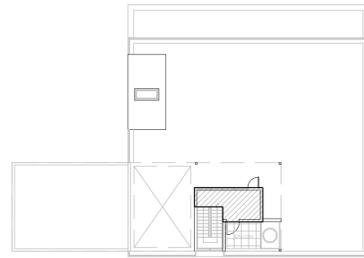
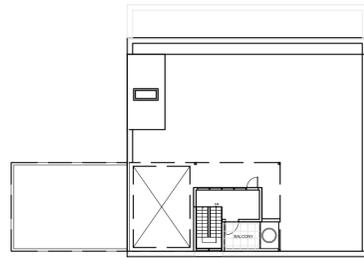
TO THE BEST OF THE SIGNING PROFESSIONAL'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES.

DATE: 09/30/2025
PROJECT #: 25011
DRAWN/CHECKED: PJM/JJV
SCALE: NTS
PAGE: 09 OF 09

Last Saved By: Y. Lee, Tuesday, May 27, 2025 and Date Plotted: Friday, June 13, 2025 Time: 5:26 PM
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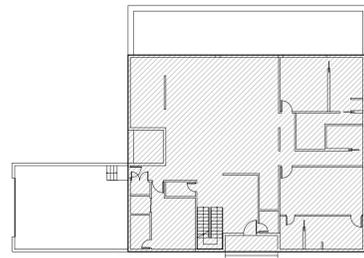
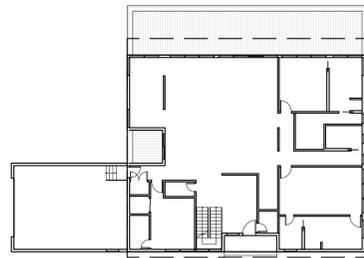
ZONING INFORMATION	REQUIRED	EXISTING	PROPOSED
ZONE	R-22		
FOR USES	SINGLE FAMILY RESIDENCES		
GROUP	I		
MAX. FLOOR AREA RATIO	20% MAX.	-	13%
LOT AREA (SQ.FT)	22,500 SF	40,492 SF	40,492 SF
CUNTED LOT AREA (UNDER 25%)		27,007 SF	27,004 SF
FLOOR AREA	5401.3 SF	-	3626 SF
MINIMUM LOT WIDTH (FEET)	125 FT	210 FT	210 FT
STREET FRONTAGE	75 FT	210 FT	210 FT
FRONT YARD SETBACK	40 FT FROM PL		25'-7"
REQUIRED SIDE YARD WIDTH (FEET)	25' MIN.		50'
TOTAL WIDTH BOTH REQUIRED SIDE YARDS (FEET)	60' MIN.		115'
REQUIRED REAR YARD DEPTH (FEET)	45' MIN.		94'-7"
PRKING	2		2
MAX. BUILDING HEIGHT IN FEET AND INCHES PER FOOT OF DISTANCE MEASURED FROM THE DESIGNATED STREET LINE	MAX 19'		28'-8"

2ND FLOOR



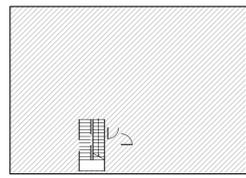
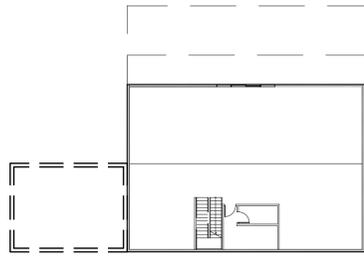
142.3 SF

1ST FLOOR



3483.8 SF

BASEMENT NOT INCLUDED IN GROSS AREA



TOTAL 3626.1 SF

2 FLOOR AREA
G-02 SCALE : 1" = 300'

ARCHITECTS:

S i L arch.
SCIARRILLO & LEE ARCHITECTURE STUDIO

CLIENT:

**OWNER OF
81 TWEED BLVD**

NOTE: DRAWING MAY BE PRINTED AT REDUCED SCALE

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ISSUED FOR PERMIT

NO	DATE	REVISION

KEY PLAN:

PROJECT ARCHITECT/ENGINEER: MS

DISCIPLINE LEAD: MS / JL

DESIGNER: MS

DRAWN BY: JL

CHECKED BY:

DESIGN NO: 2024-08 DATE: MAY, 2025

PROJECT:

**81 TWEED BLVD
RESIDENCE**

ADDRESS: 81 TWEED BLVD
NYACK, NY 10960

BLOCK: LOT:

DRAWING TITLE:

ZONING INFORMATION



DRAWING NO.:

G-02

SCALE:

AS SHOWN

SHEETS IN CONTRACT SET:

3 OF 8

