

ZONING BOARD OF APPEALS

Town of Orangetown
26 Orangeburg Road
Orangeburg, New York 10962
(845) 359-8410 (ex. 4316)

Date: December 19, 2025

<p>TO: OBAPAE NYS Dept of Environmental Conservation New York State Dept. of Transportation Palisades Interstate Park Commission NYS Thruway Authority ACOE</p>	Rockland County Drainage Rockland County Health Rockland County Planning Rockland County Highway Rockland County Swr Dstrt #1 Orange and Rockland Utilities Veolia
--	---

This matter is scheduled for: January 21, 2026

Review of Plans: Moshe, 64 E. Crooked Hill Road, Pearl River, NY

Section 68.12 Block 2 Lot 7 ; RG zone

Chapter 43, Section 3.12, RG District, Group Q, Column 9 (Side yard: 10’ required, 7.9’ proposed), Column 11(Rear yard: 25’ required, 22.4’ proposed) to legalize an existing deck and pool at an existing single-family residence. The premises are located at 64 E. Crooked Hill Road, Pearl River, New York and identified on the Orangetown Tax Map as Section 68.12, Block 2, Lot 7 in the RG zoning district.

Please review the information enclosed and provide comments.
These comments may be mailed, or e-mailed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 26 Orangeburg Road, Orangeburg, NY 10962
- Email to Zoning Board: KBettmann@orangetown.com

Zoning Board Meeting Date: January 21, 2026

- Comments attached
- Received and Comments to be provided prior to meeting date.
- No Comments at this time. Please send future correspondence for review.
- No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- This project is out of the jurisdiction of this agency and has no further comments.

This project is before the **Zoning Board** on **Wednesday, January 21, 2026.**
Kindly forward your completed review to this office BEFORE January 21, 2026

Reviewing Agency_____

Name:_____Date:_____

Signature: _____

Thank you, **Katlyn Bettmann (EXT. 4316)**

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 10/24/2025

LAND USE BOARD APPLICATION

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: POOLR-6872-25
 ASSIGNED
 INSPECTOR: Glenn

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: Side deck & Pool Correction

Street Address: 64 E Crooked Hill Rd
Pearl River NY 10965

Tax Map Designation:

Section: 62.12 Block: 2 Lot(s): 7
Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the North side of E Crooked Hill Rd, approximately 120 feet East of the intersection of North Middletown Rd, in the Town of ORANGETOWN in the hamlet/village of Pearl River.

Acreage of Parcel <u>.3</u>	Zoning District <u>RG</u>
School District <u>Orange Pearl River</u>	Postal District <u>PR</u>
Ambulance District <u>PR</u>	Fire District <u>PR</u>
Water District <u>Verona</u>	Sewer District <u>Municipal</u>

Project Description: (If additional space required, please attach a narrative summary.)

Previous owners of the home left me with numerous town violations. Pool side yard and side yard setback have been denied and requires a variance. legalize existing pool + deck RECEIVED

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 10/24/25 Applicant's Signature: [Signature]

OCT 24 2025

TOWN OF ORANGE TOWN
LAND USE BOARD

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? N/A
- 2) Is any open space being offered? N/A If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage N/A
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type:

Project History:

Has this project ever been reviewed before? no

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

RECEIVED

OCT 24 2025

TOWN OF ORANGETOWN
LAND USE BOARDS



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

26 Orangeburg Road
Orangeburg, N.Y. 10962

RECEIVED

DEC 19 2025

TOWN OF ORANGETOWN
LAND USE BOARDS

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: 12/19/25 Section: 68.12 Block: 2 Lot: 7

Applicant: Moshe

Address: 64 E Crooked Hill Rd. Pearl River 10965

RE: Application Made at: Same

Referred For: Chapter 43 sec 3.12 RG Q

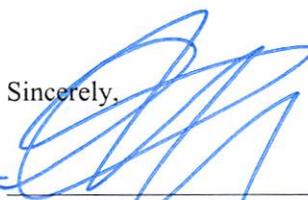
Column #9 Side Yard Required 10' / 7.9*' Proposed
Column #11 Rear Yard Required 25' / 22.4' Proposed

Two variances needed

Comments: Pool side yard
Deck rear yard

Dear Moshe :

Please be advised that the Building Permit Application # 68724-25, which you submitted on 3/19/25, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Katlyn Bettmann can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4316 or kbettmann@orangetown.com

Sincerely, 

Glenn E. Maier
Assistant Building Inspector


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
10-01-2024 emd

12/19/25
Date
CC: Katlyn Bettmann
Elizabeth Decort



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

26 Orangeburg Road
Orangeburg, N.Y. 10962

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: April 24 2025 Section: 68.12 Block: 2 Lot: 7

Applicant: Karen Moshe

Address: 64 E Crooked Hill Rd. Pearl River

RE: Application Made at: same

Referred For:

Chapter 43, Table 3.12 RG Group Q Column 9 Min Side Yard 10' Required with 7.9' Proposed.

One Variance required

Comments:

Pool side yard

side yard setback

Dear Karen Moshe:

Please be advised that the Building Permit Application # 6872-25, which you submitted on March, 19 2025, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Katlyn Bettmann can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or kbettmann@orangetown.com.

Sincerely,

Glenn E Maier
Assistant Building Inspector

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
10-01-2024 : emd

4/24/25
Date

RECEIVED
OCT 24 2025

CC: Katlyn Bettmann
Elizabeth Decort
TOWN OF ORANGETOWN
LAND USE BOARD

Certificate No. 4998

11-66-5

FORM No. 4
BUILDING INSPECTOR
Building Zone Ordinance
Town of Orangetown, Rockland County, New York

CERTIFICATE OF OCCUPANCY

Issued March 6 1958 To Henry Blakesley of
72 Crooked Hill Road, Pearl River, N.Y. owner of premises situated on the NORTH
side of Crooked Hill Road distant 1300.0 feet WEST
from the intersection of No. Middletown Road and Crooked Hill Road
in the hamlet of Pearl River, New York

THIS CERTIFIES that the Dwelling
situated on the above mentioned premises conforms substantially to the approved plans as per application
permit No. 4998 and the requirements of the Building Zone Ordinance of the Town of
Orangetown, and the State Building Construction Code, and PERMISSION is hereby granted for
its occupancy for the purposes specified below:

ZONE R4

PERMITTED USE New 1-Fam. Dwell.
(Bd. of App. Approval 1/4/57)

Date March 6 1958

S. Blakesley RECEIVED

Building Inspector
Building Zone Ordinance
Town of Orangetown
Rockland County
New York
OCT 24 2025
TOWN OF ORANGETOWN
LAND USE BOARDS

Certificate No. 11127.....

11-66-5

FORM No. 4

BUILDING INSPECTOR

Zoning Code

Town of Orangetown, Rockland County, New York

CERTIFICATE OF OCCUPANCY

Issued..... January 16th 19 68

Owner of Property..... Henry Blakesley.....

Address of Owner 60 E. Crooked Hill Road, Pearl River, N. Y.....

FOR PROPERTY LOCATED

Street Crooked Hill Road..... Hamlet Pearl River, N. Y.....

Map 34..... Block 48..... Lot 10.....

THIS CERTIFIES that the.....Garage..... situated on the above mentioned premises conforms substantially to the approved plans as per application permit No. .. 11127..... and the requirements of the Zoning Code of the Town of Orangetown, and the State Building Construction Code, and PERMISSION is hereby granted for its occupancy for the purposes specified below:

ZONE... RG.....

PERMITTED USE..... New 2-Car Detached Garage.....

.....
.....
.....
.....
.....
.....
.....
.....
.....
.....

Joseph A. Rube
.....
Building Inspector
Zoning Code
Town of Orangetown
Rockland County
New York

OCT 24 2025

TOWN OF ORANGETOWN
LAND USE BOARDS

OFFICE OF BUILDING, ZONING AND PLANNING
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK 10962

CERTIFICATE OF OCCUPANCY

Certificate No. 20057 Issued May 23, 1986 19

Owner of Property Robert A & Carolann Schoneman

Address of Owner 2 Revere Ct., Suffern, N Y 10901

FOR PROPERTY LOCATED

Street 60 E. Crooked Hill Hamlet Pearl River

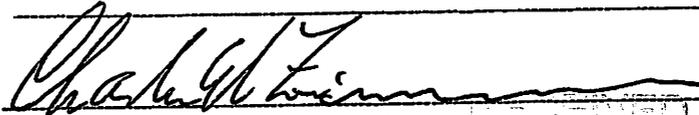
Section 11 Block 66 Lot 5

THIS CERTIFIES that PERMISSION is hereby granted for the OCCUPANCY of the
single family dwelling

situated on the above mentioned premises for the purposes specified below:

ZONE RG

PERMITTED USE Extend kitchen, add dormer for one
bedroom, sitting room & bath to
existing one family dwelling.


DIRECTOR

Certificate of Occupancy



Town of Orangetown

Permit No.: RENW-003304-2023

Property Address: 64 CROOKED HILL
PEARL RIVER, NY 10965

Permit Type: Six Month Renewal Permit

Workclass: Residential

Parcel Number: 68.12-2-7

Owner: KAREN MOSHE

Final Date: May 25, 2023

Zoning: MFR - MFR

THIS CERTIFIES THAT PERMISSION is hereby granted for the OCCUPANCY of the premises herein described, situated on the above mentioned premises for the purposes specified as follows: THIS PERMIT SUPERSEDES PERMIT 46282 & 46209 DATED 3/20/2017. INSTALL NEW VINYL REPLACEMENT WINDOWS IN EXISTING OPENINGS. ALL WINDOWS ENERGY STAR RATED.

Director, OBZPAE

RECEIVED

OCT 24 2025

TOWN OF ORANGETOWN
LAND USE BOARD

Certificate of Compliance



Town of Orangetown

Permit No.: BLDR-006848-2025

Property Address: 64 E CROOKED HILL RD
PEARL RIVER, NY 10965

Permit Type: Building (Residential)
Workclass: Generator

Parcel Number: 68.12-2-7

Owner: KAREN MOSHE
Owner Address: 64 E CROOKED HILL RD
PEARL RIVER, NY 10965

Final Date: May 09, 2025

Zoning: RG - RG

THIS CERTIFIES THAT PERMISSION is hereby granted for the COMPLIANCE of the premises herein described, situated on the above mentioned premises for the purposes specified as follows: Use and designation for the structure or land and nature of work for which the C.C is issued: 20 kW STAND-BY GENERATOR WITH 200AMP TRANSFER SWITCH

Director, OBZPAE

RECEIVED

OCT 24 2025

TOWN OF ORANGETOWN
LAND USE BOARD



Confidential Inspection Report

LOCATED AT:
68.12-2-7 - 64 East Crooked Hill Road - 11/8/21
Pearl River, New York

PREPARED EXCLUSIVELY FOR:
Town Of Orangetown

PLEASE CONTACT THE TOWN BUILDING DEPARTMENT AT 845-359-8410
WITH ANY INQUIRES REGARDING THIS REPORT

INSPECTED ON:
Monday, November 8, 2021



CERTIFIED
INSPECTOR

Inspector, Jim Cotter NY MA01043 - NY 16000078100 - NJ 24GI00153600
CTR Home Inspections

RECEIVED

OCT 24 2025

TOWN OF ORANGETOWN
BUILDING DEPARTMENT

Monday, November 8, 2021
Town Of Orangetown
68.12-2-7 - 64 East Crooked Hill Road - 11/8/21
Pearl River, New York

Dear Town Of Orangetown,

We have enclosed the report for the property inspection we conducted for you on Monday, November 8, 2021 at:

68.12-2-7 - 64 East Crooked Hill Road - 11/8/21
Pearl River, New York

Our report is designed to be clear, easy to understand, and helpful. Please take the time to review it carefully.

Throughout the report, you'll find special symbols at the front of certain comments. Below are the symbols and their meanings:

-  = Item not on file
-  = Item conforms to public file
-  = Possible violation, recommend further review

We thank you for the opportunity to be of service to you.

Sincerely,



Inspector, Jim Cotter
CTR Home Inspections



Site Inspection

SITE INSPECTION

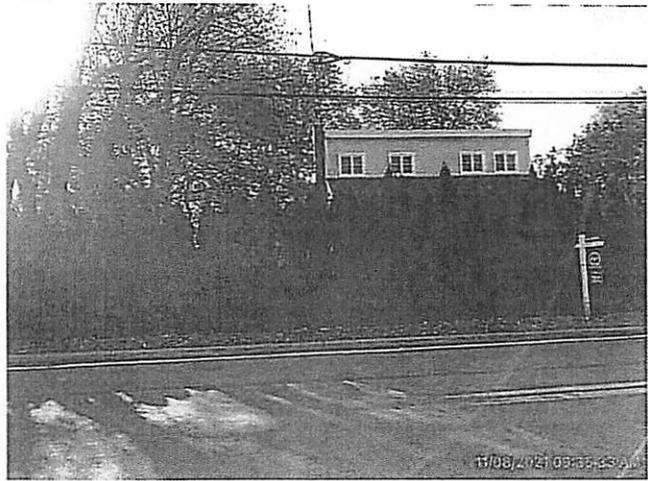
1: Certificate No. 4998 - Single family dwelling

Certificate No. 11127 - Two car detached garage

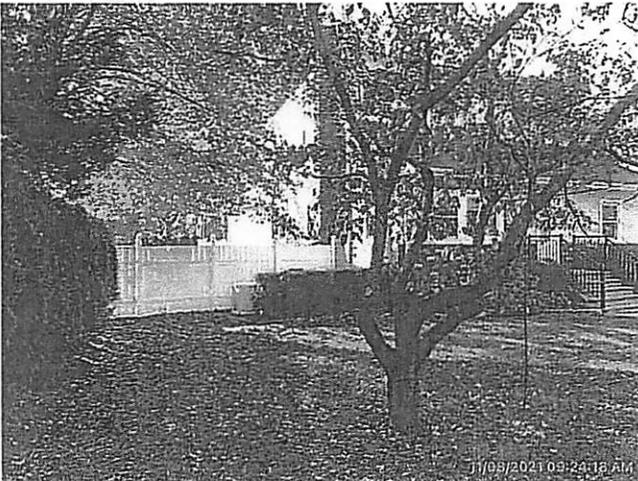
Certificate No. 20057 - Extend kitchen, add dormer for one bedroom, sitting room and bath



1



2



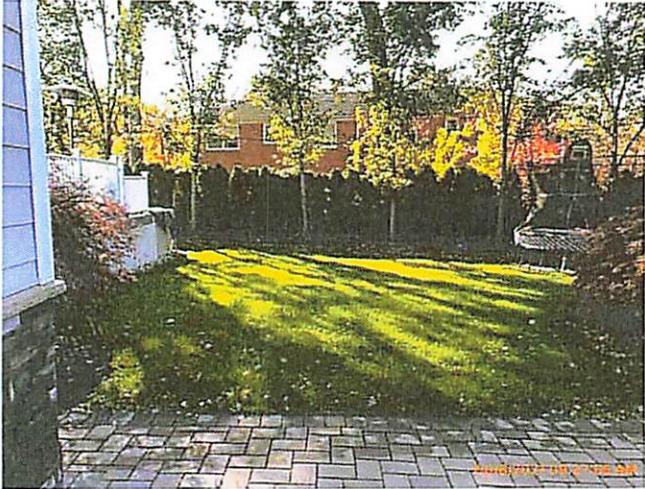
3. Front left corner towards rear



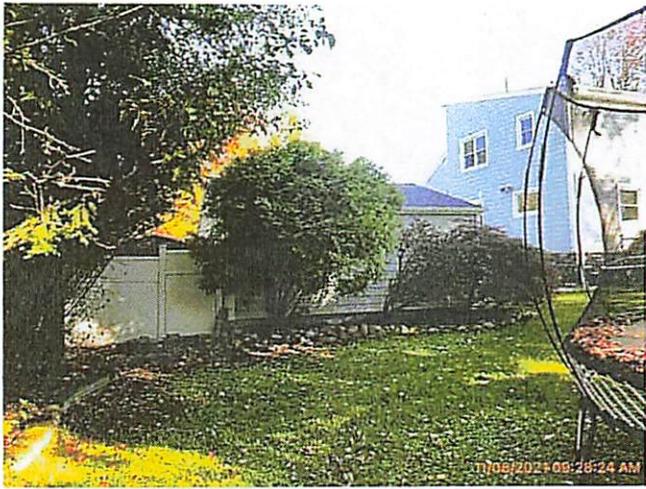
4. Front right corner towards rear

RECEIVED

OCT 24 2025



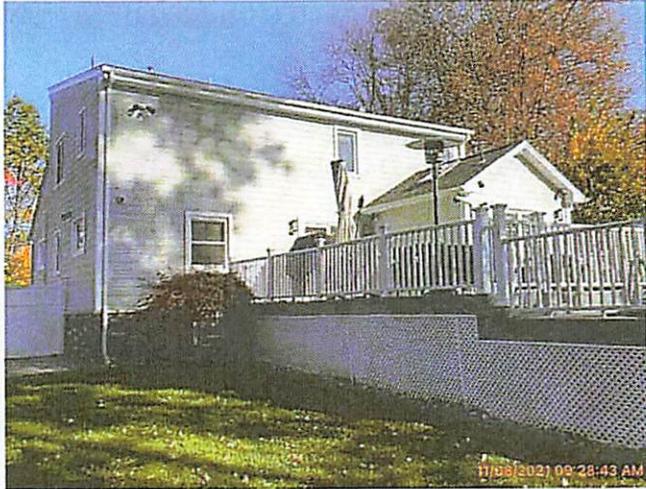
5. Right side towards rear



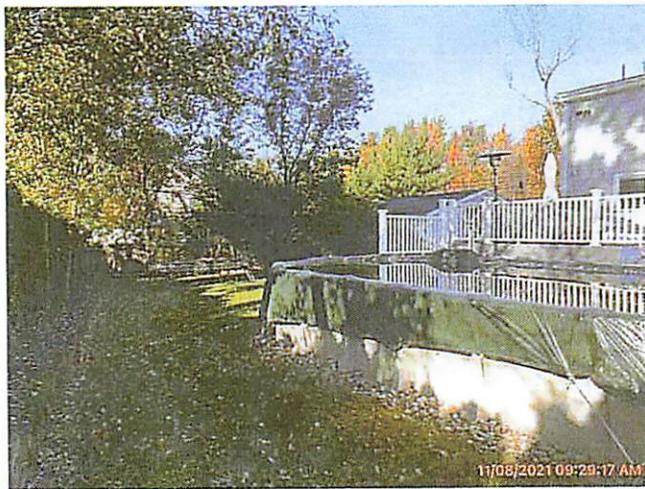
6. Right rear corner towards front



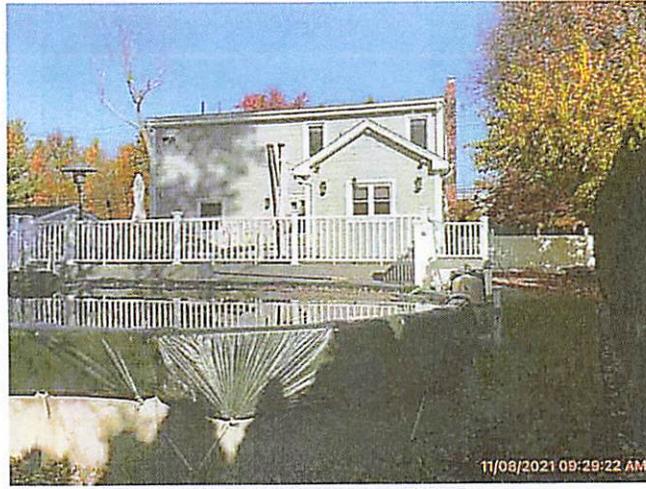
7. Right rear corner towards left



8. Rear of dwelling



9. Left rear corner towards right



10. Left rear corner towards front

RECEIVED

OCT 24 2025

TOWN OF ORANGETOWN
LAND USE BOARDS



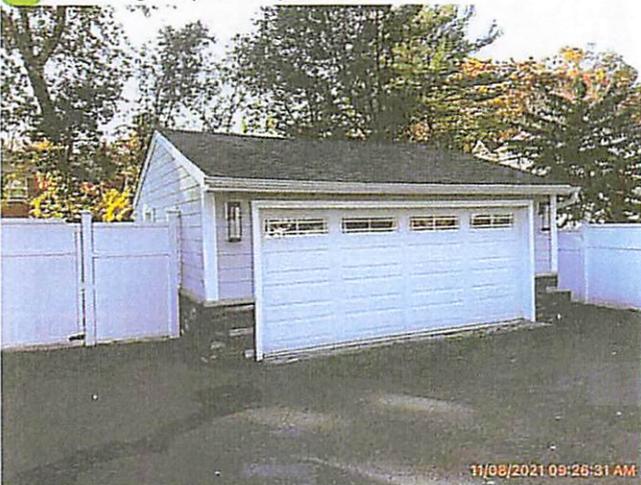
11. Left side towards rear

2: APPLICATION # 46282 SUBMITTED ON 3/23/2017 for "install window 2nd floor bedroom", has not been issued as of this date.

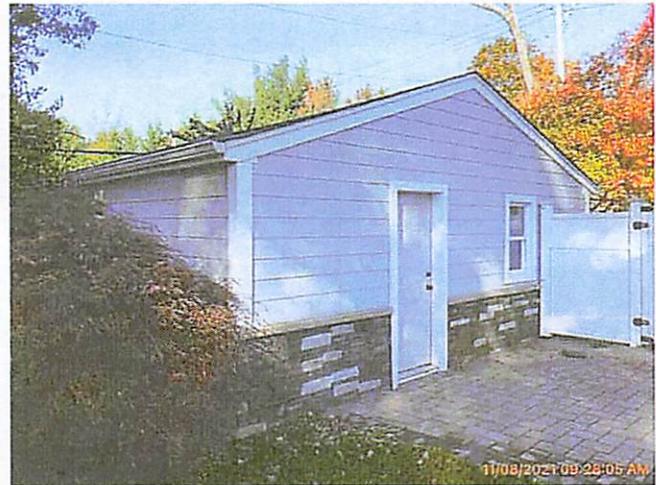
3: APPLICATION # 48535 SUBMITTED ON 02/06/2019 for "installation of a flush mounted, rooftop solar electric system", has not been issued as of this date.

4: PERMIT # 46209 ISSUED ON 3/20/2017 FOR " removal of existing and replacement of 20 vinyl insert windows". (expired and still pending).

ON.F 5: Garage is present per CO 11127



12



13

RECEIVED

OCT 24 2025

TOWN OF ORANGETOWN
LAND USE BOARD Page 5 of 8

6: Deck is present

Actual Dimensions Approximately - 28' x 16' plus 16' x 12'



14



15



16

DNF 7: Addition is present per CO 20057



17



18

OCT 24 2025

PVR 8: Shed is present, proximity to property line is unknown

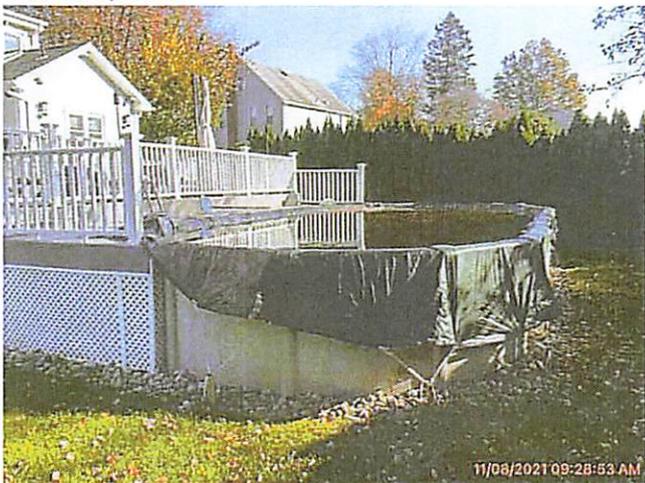
Actual Dimensions - 8' x 8'

Shed is within 15' of garage



19

9: Pool is present



20



21

RECEIVED

OCT 24 2025

TOWN OF ORANGETOWN
LAND USE BO. Page 7 of 8

NO 10: Generator is present



22

11: Fence in front yard present.

Approximately 4' high



23

12: Fences are present, proximity to property line is unknown.

RECEIVED

OCT 24 2025

TOWN OF ORANGETOWN
LAND USE BOARD Page 8 of 8

TAX LOT: SECTION 68.12, BLOCK 2, LOT 7

MAP REFERENCE:

BEING KNOWN AND DESIGNATED AS LOTS 3 & 4 ON A CERTAIN MAP ENTITLED "IDLEREST-TERRACE OWNED BY MRS. EMILY M. HARDIN" PREPARED BY MOIR, PARKER & CO. AND FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON SEPT. 29, 1916 AS MAP#1013.

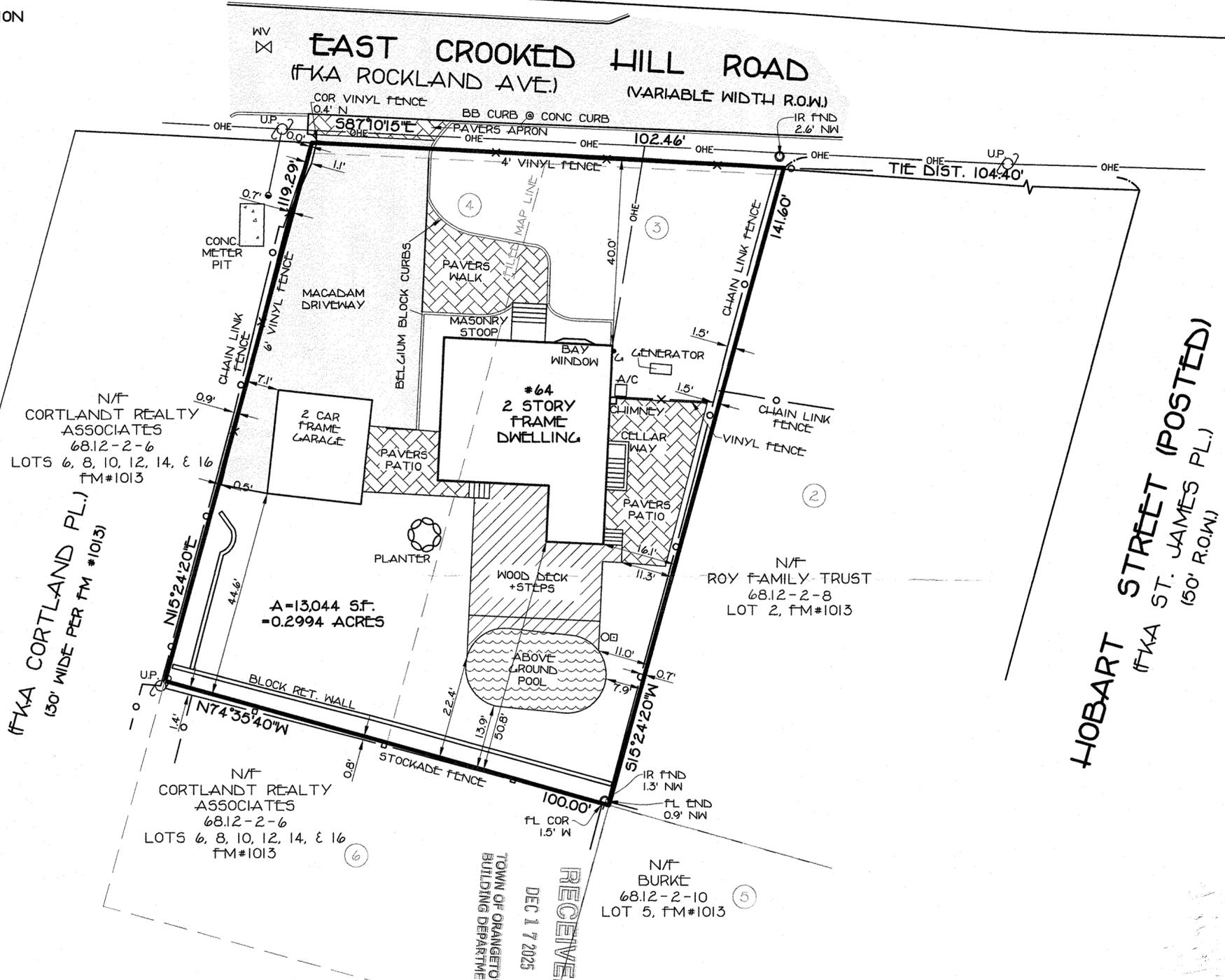
A CERTAIN MAP ENTITLED "DRISCOLL - SUBDIVISION PLAT" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON DEC. 20, 2004 AS MAP#7724.

DEED REFERENCE:

- INST #2013-38742 (PIQ)
- #2008-18489
- #2008-18486
- #2008-18492
- #1999-34540
- #2014-17720
- #2012-26752
- #2015-3018
- #2003-6901

L. 503 / P. 692
L. 153 / P. 644

(X) = FILED MAP LOT #5,
FILED MAP #1013



N/F
CORTLANDT REALTY
ASSOCIATES
68.12-2-6
LOTS 6, 8, 10, 12, 14, & 16
FM#1013

(FKA CORTLAND PL.)
130' WIDE PER FM #1013

A=13,044 SF.
=0.2994 ACRES

N/F
CORTLANDT REALTY
ASSOCIATES
68.12-2-6
LOTS 6, 8, 10, 12, 14, & 16
FM#1013

N/F
ROY FAMILY TRUST
68.12-2-8
LOT 2, FM#1013

N/F
BURKE
68.12-2-10
LOT 5, FM#1013

HOBART STREET (POSTED)
(FKA ST. JAMES PL.)
150' R.O.W.

△ - REVISED 11/19/25 TO ADD REQUESTED DIMENSIONS. NO FIELD INSPECTION WAS PERFORMED AT THE TIME OF THIS REVISION.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE SURVEYOR OR ENGINEER SHALL NOT BE USED.

CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS AND SUBSEQUENT OWNERS. USE OF UNSEALED COPIES OF THIS DOCUMENT IN ANY COURT, FINANCIAL OR LAND TRANSACTION, OR FILING WITH ANY PUBLIC AGENCY OR OFFICE IS AN UNAUTHORIZED USE AND A VIOLATION OF FEDERAL COPYRIGHT LAWS.

RECEIVED
TOWN OF ORANGETOWN
BUILDING DEPARTMENT
DEC 17 2015

SURVEY OF
64 E. CROOKED HILL RD.
LOCATED IN
PEARL RIVER
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK
Town of Orangetown MEETING OF
JAN 21 2016

△ - UPDATE 4-5-17 ZONING BOARD OF APPEALS

SPARACO & YOUNGBLOOD, PLLC
CIVIL ENGINEERING * LAND SURVEYING
SITE PLANNING
18 NORTH MAIN STREET
P.O. BOX 818
HARRIMAN, N.Y. 10926
TEL: (845) 782-8543
FAX: (845) 782-5901
SPARACO.STEVE@SELSNY.COM WDYLS1@GMAIL.COM

FILE #	SY-1275
DATE	JUNE 10, 2016
SCALE	1" = 20'

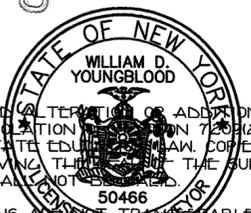
ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

16 NYCRR PART 753
REQUIRES 2 WORKING DAYS NOTICE PRIOR TO START OF ANY UNDERGROUND WORK.

DIG SAFELY NEW YORK
WWW.DIGSAFELYNEWYORK.COM
1-800-962-7962



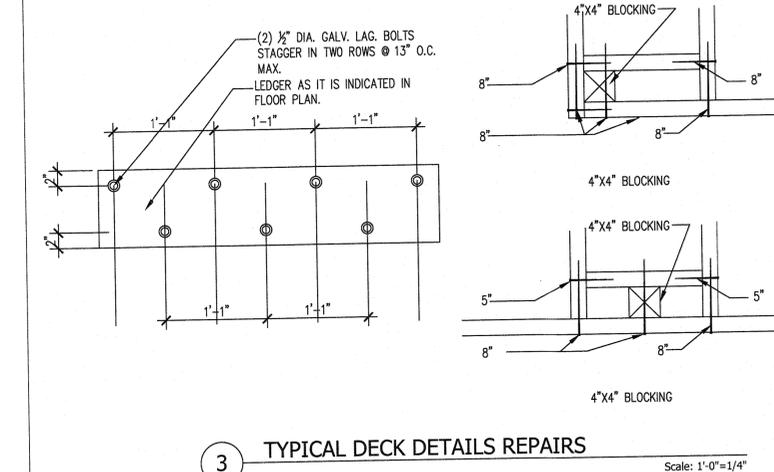
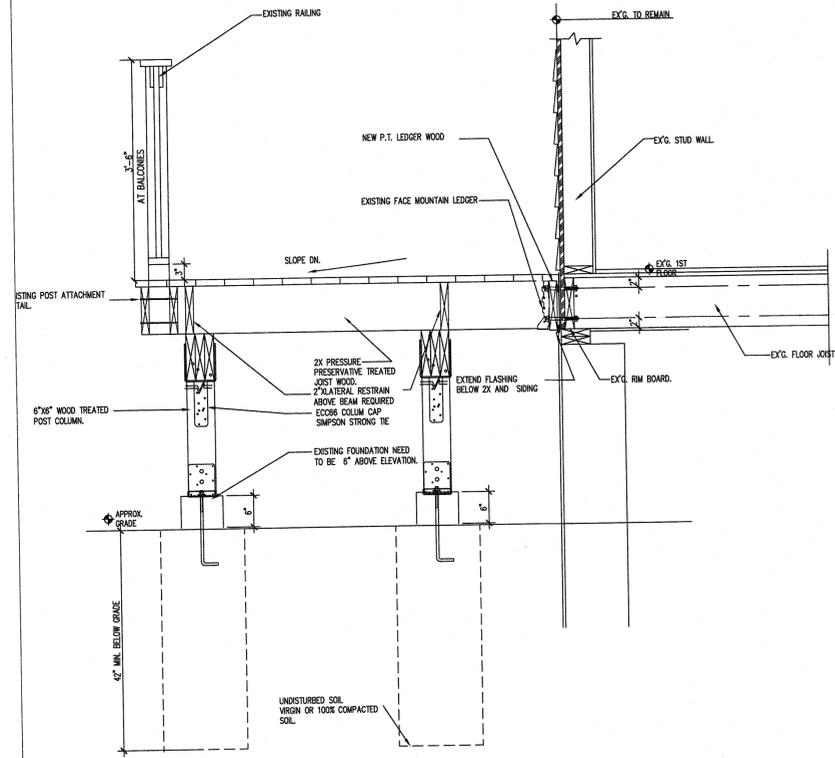
George D. Langberg
GEORGE D. LANGBERG, PLS #050911 ©



William D. Youngblood
WILLIAM D. YOUNGBLOOD, L.S. # 50466 ©

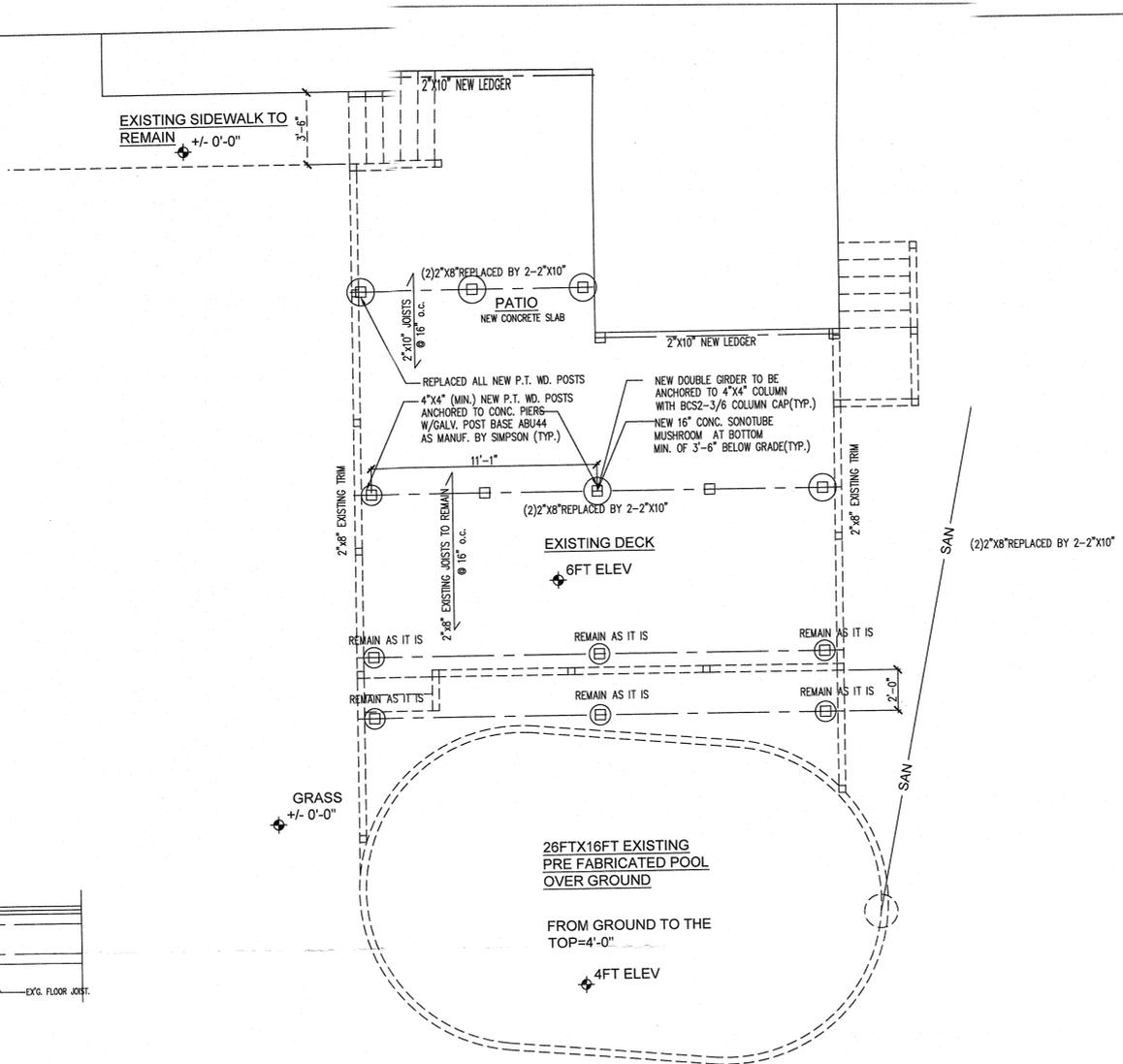
GENERAL NOTES:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL STATE, MUNICIPAL, LOCAL ZONING AND 2015 INTERNATIONAL RESIDENTIAL CODE (2ND PRINTING AS ADOPTED BY NEW YORK STATE) ORDINANCES HAVING JURISDICTION AND BEST STANDARDS AND CONSTRUCTION PRACTICE.
2. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL FURNISH THE OWNER WITH COPIES OF ALL REQUIRED INSURANCE CERTIFICATES AND NAMES OF ALL SUBCONTRACTORS.
3. THE CONTRACTOR SHALL VERIFY & BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS SHOWN PRIOR TO COMMENCING WORK. THE ARCHITECT MUST APPROVE PARTITION LAYOUT PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL GUARANTEE TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT INCORPORATED IN THE WORK WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS FOR A PERIOD OF ONE YEAR FROM COMPLETION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION AND MIS-ALIGNMENT ACCORDING TO APPLICABLE CODES.
6. THE CONTRACTOR SHALL PAY FOR ALL PERMITS, (WHEN READ) FEES AND COSTS RELATED TO THE WORK OF THE CONTRACT. CONTRACTORS SHALL INITIATE ALL REQUIRED INSPECTIONS OF ALL WORK COMPLETED UNDER THIS CONTRACT.
7. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES CLEAN AND SHALL BE RESPONSIBLE FOR REMOVAL OF ALL RUBBISH FOR ALL TRADES FROM THE SITE.
8. ANY "EXTRAS" FOR CHANGES OR LEGITIMATE UNFORSEEN CONDITIONS SHALL BE DOCUMENTED WITH THE COST FOR APPROVAL BY THE OWNER OR HIS AGENT PRIOR TO STARTING THE ADDITIONAL WORK.
9. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL SPECIAL WORK (WORK, SPRINKLERS, ETC.) FOR ARCHITECT'S APPROVAL BEFORE WORK IS STARTED.
10. THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
11. ALL CONTRACTORS SHALL HAVE AND MAINTAIN CONTRACTOR'S LIABILITY PROPERTY DAMAGE, INSURANCE AND WORKMEN'S COMPENSATION INSURANCE. ALL PHASES OF CONSTRUCTION SHALL COMPLY TO LOCAL, STATE AND FEDERAL SAFETY LAWS.
12. ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BOARD OF FIRE UNDERWRITERS & A CERTIFICATE IS TO BE PRESENTED TO THE OWNER AT THE COMPLETION OF THE



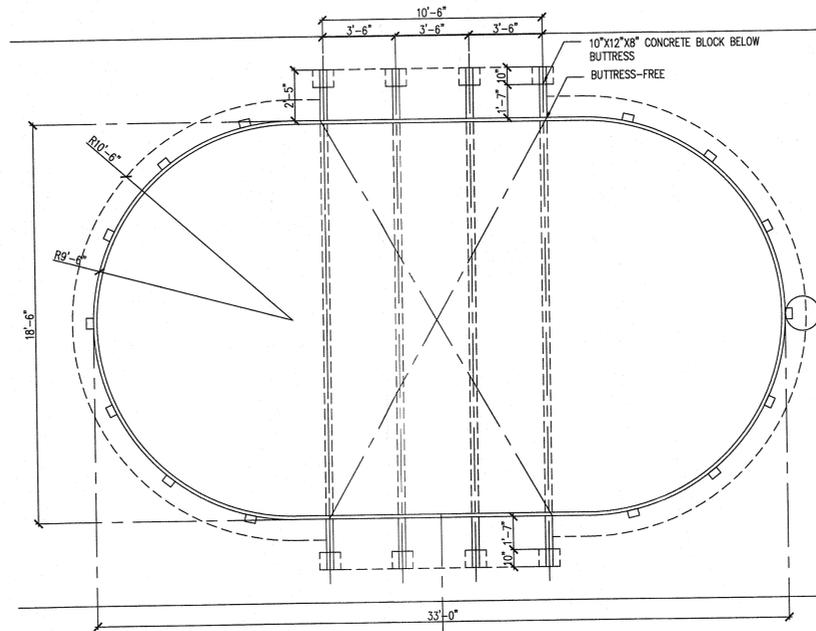
3 TYPICAL DECK DETAILS REPAIRS

Scale: 1'-0"=1/4"



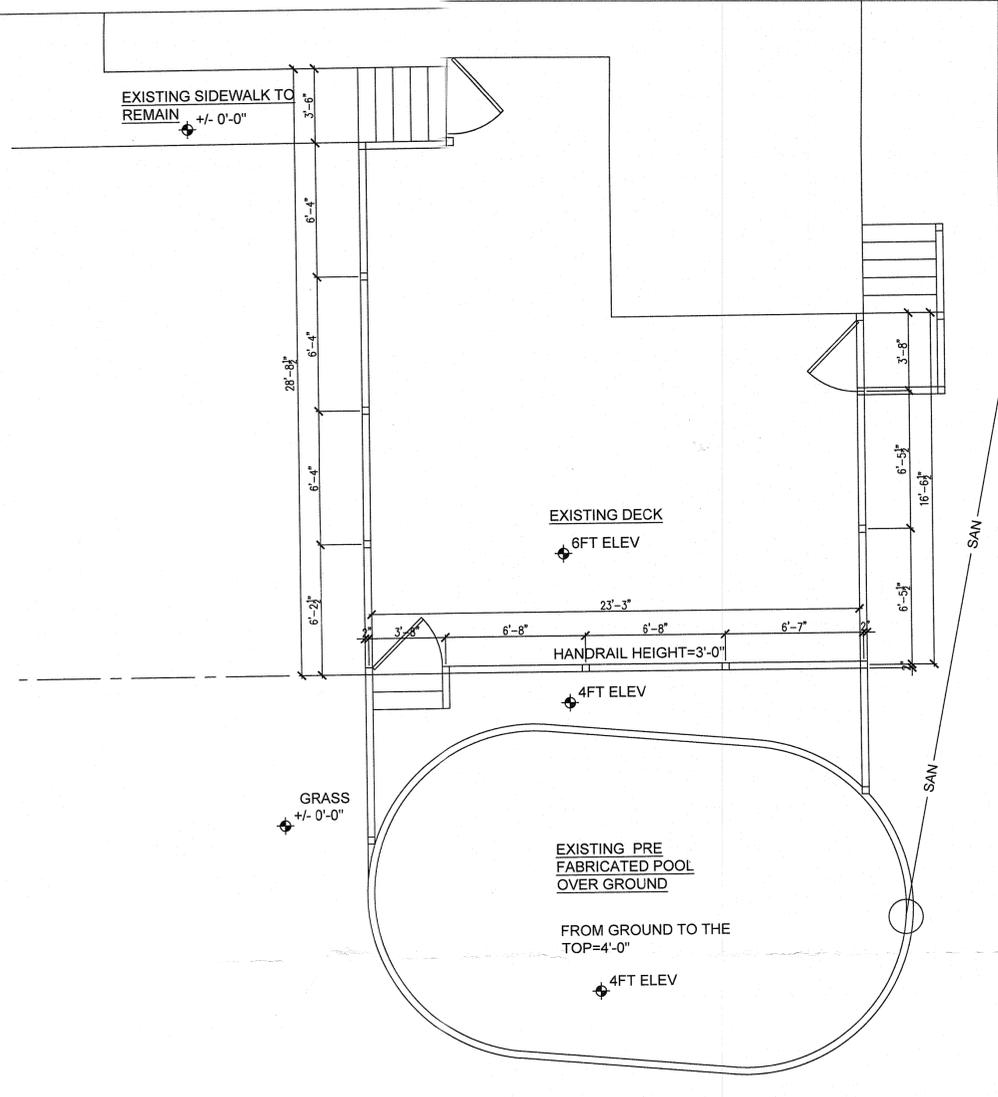
2 REPAIR EXISTING POOL

Scale: 1'-0"=1/4"



3 EXISTING POOL SPECIFICATIONS

Scale: 1'-0"=1/4"



1 EXISTING POOL

Scale: 1'-0"=1/4"

POOL SPECIFICATIONS
 Includes skimmer and blue liner. For liner upgrades or accessories click customize this pool
 The Bristol pool features 6" wide galvanized steel top ledges with corrosion resistant coating
 Resin top caps resist bad weather, chlorinated water and constant wear
 Durable 5" galvanized steel upright posts give the Bristol strength, support and style
 52" high galvanized steel wall coated with a "Krylate Kot" painted finish to prevent corrosion from the elements
 Zinc coated hardware
 Heavy-duty coated steel bottom rails
 Galvanized steel top stabilizer rails for extra strength
 Oval Yardmore space-saving system saves much needed yard space and looks more attractive
 Wall Color/Design: Chateau Sand
 Warranty: Manufacturer's 30-year limited warranty - 1st year 100% coverage
 Made in the USA
 Installs above ground (installation not included)
 Approximate inside (water) dimensions - 18' X 33'
 Approximate outside dimensions (space required) - 21' 2" X 34'
 Approximate Water Capacity - 14,000 Gallons
 Pool Safety - The Bristol Pool is only designed for swimming and wading. This pool is not designed for diving or jumping, dangerous and permanent injury can result. Always provide adult supervision, use caution, common sense and good judgment when enjoying any water activity. Click here to view and read the manufacturer's safety information.

JOB NO.	0225-120
DATE	03/12/25
SCALE	AS NOTED
DRN. BY.	EAA

RECEIVED
 OCT 24 2025
Jenny R. Zuniga-Casal
 ARCHITECT
 Jenny R. Zuniga-Casal Architecture LLC
 77 Sierra Vista Lane, Valley Cottage, NY, 10989
 Tel: 845.598.1613
 Email: jzuniga000@msn.com



03-12-25 FOR OWNER REVIEW
 04-07-25 FOR LEGALIZATION

Proposed Repair at Existing Deck and Pool Specifications
 64 Crooked Hill Rd
 Pearl River N.Y. 11550

DRAWING NO.:
A-1