

LEGEND

625.0(TC) DENOTES EXISTING "TOP OF CURB" GRADE		DENOTES EXISTING UTILITY POLE	
625.0(BC) DENOTES EXISTING "BOTTOM OF CURB" GRADE		DENOTES EXISTING CONCRETE SURFACE	
625.0(DC) DENOTES EXISTING "DROP CURB" GRADE		DENOTES PROPOSED ELECTRIC METERS	
625.0(BW) DENOTES EXISTING "BOTTOM OF WALL" GRADE		DENOTES PROPOSED CONCRETE SURFACE	
625.0(TW) DENOTES EXISTING "TOP OF WALL" GRADE		DENOTES PROPOSED GAS METER	
WV DENOTES EXISTING WATER VALVE		DENOTES EXISTING STONE WALL	
GV DENOTES EXISTING GAS VALVE		DENOTES PROPOSED STONE	
WMH DENOTES EXISTING WATER MANHOLE		DENOTES PROPOSED EXISTING GAS MAIN	
TMH DENOTES EXISTING TELEPHONE MANHOLE		DENOTES PROPOSED GAS SERVICE	
SMH DENOTES EXISTING SANITARY MANHOLE		DENOTES EXISTING OVERHEAD WIRES	
DMH DENOTES EXISTING DRAINAGE MANHOLE		DENOTES PROPOSED UNDERGROUND ELECTRIC SERVICE	
LP DENOTES EXISTING LIGHT POLE		DENOTES #(SIZE)" DOMESTIC WATER SERVICE	
CB DENOTES EXISTING CATCH BASIN		DENOTES #(SIZE)" FIRE SERVICE LINE	
+217.6 DENOTES EXISTING SPOT GRADE		DENOTES #(SIZE)" DOMESTIC & FIRE SERVICE LINE	
+XXX.XX± DENOTES PROPOSED SPOT GRADE		DENOTES #(SIZE)" FIRE SERVICE LINE	
---238--- DENOTES EXISTING CONTOUR LINE		DENOTES PROPOSED CURB VALVE	
---S14--- DENOTES PROPOSED CONTOUR		DENOTES PROPOSED SANITARY SEWER MAIN	
---S14--- DENOTES EXISTING SANITARY MANHOLE		DENOTES PROPOSED SANITARY MANHOLE	
---W1#--- DENOTES EXISTING WETLANDS LIMIT LINE		DENOTES PROPOSED SANITARY MANHOLE	
CO● DENOTES PROPOSED SEWER LATERAL CLEANOUT		DENOTES EXISTING WETLANDS LIMIT LINE	

GENERAL NOTES:

- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED.
- GAS, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION WHERE UTILITIES ARE CROSSED BY PROPOSED CONSTRUCTION. TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD BE THE DESIGN HEREON INAPPROPRIATE OR INEFFECTIVE.
- THESE PLANS DOES NOT DEPICT ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTAL CONDITIONS, EXPLORATORY OR TESTING, INTERPRETATIONS, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, HAZARDOUS, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE ENDORSED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE ALL FOR SITE SAFETY, INCLUDING OF ALL APPROPRIATE PERSONNEL PROTECTIVE EQUIPMENT REQUIRED CREW EQUIPMENT, TRAINING AND CERTIFICATIONS AS REQUIRED BY ALL LOCAL, STATE AND FEDERAL AUTHORITIES.
- NEITHER THE PROFESSIONAL ACTIVITIES OF THE PROJECT DESIGN ENGINEER NOR THE PRESENCE OF THEIR REPRESENTATIVES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE OWNER, GENERAL CONTRACTOR OR SUBCONTRACTORS DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO CONSTRUCTION MEANS AND METHODS, SCHEDULES, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DESIGN ENGINEER AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE JOB SAFETY DESIGN ENGINEER SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AS ADDITIONALLY INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF OF GENERAL LIABILITY INSURANCE.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND LOCAL BUILDING DEPARTMENT AND/OR MUNICIPAL ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
- ALL AREAS DISTURBED BY ONSITE GRADING SHOULD BE LIMED AND FERTILIZED BEFORE SEEDING.
- THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER AND AT LEAST EIGHTEEN (18") INCHES IN LENGTH, INSTALLED AFTER FINAL GRADING.
- SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH VILLAGE OF SOUTH BLOOMING GROVE SPECIFICATIONS, WHERE AND IF REQUIRED.
- TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED, AS SHOWN TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES OR OTHER SUITABLE MATERIAL. DIVERSION SWALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN 30 DAYS SHALL BE TEMPORARILY SEEDED WITH 1/2 lb OF RYE GRASS OR MULCHED WITH 100 lbs OF STRAW OR HAY PER 1,000 SQUARE-FOOT. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY INSTALLING THE BASE COURSE.
- SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY THE APPROPRIATE MUNICIPAL AUTHORITIES.
- AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS RE-GRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
- THE BUILDER OR CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE PLANS BEFORE STARTING THE WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH FEDERAL, STATE COUNTY, LOCAL MUNICIPAL AUTHORITIES AND THE INTERNATIONAL BUILDING CODE (IBC) REQUIREMENTS.
- WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS, SPECIFICATIONS, REPORTS OR NOTES THE CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS.
- THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

BULK TABLE*:

ZONING DISTRICT: SN-R-12HC CLUSTER SUBDIVISION.
FOR ACCESSORY STRUCTURES SEE APPROVED SUBDIVISION PLAT.

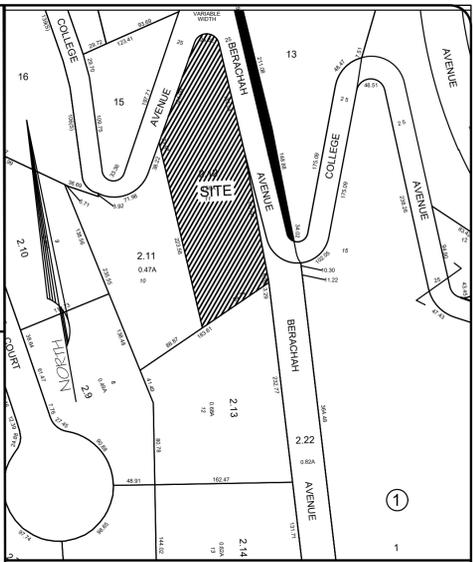
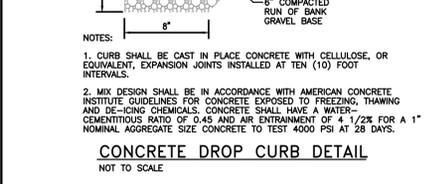
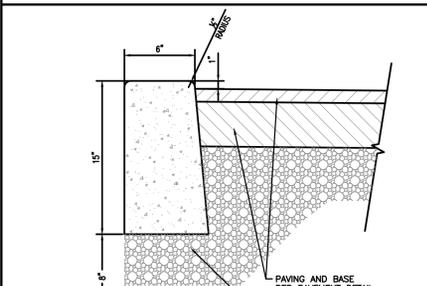
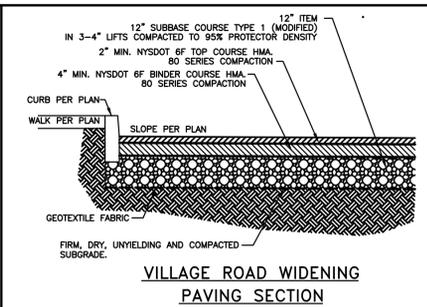
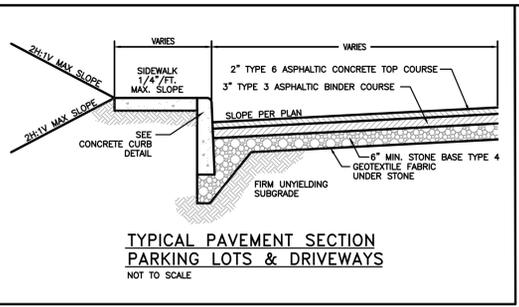
MINIMUM:	REQUIRED	PROVIDED	COMMENTS
LOT AREA:	25,684± SQUARE-FOOT	25,684± SQUARE-FOOT	OK - EXISTING
STREET FRONTAGE:	478.90 FEET	478.90 FEET	OK - EXISTING
FRONT YARD:	20 FEET	32.1+ FEET	OK
SIDE YARD:	15 FEET	20.3+ FEET	OK
TWO SIDE YARDS:	***	***	OK
REAR YARD:	22 FEET	104.2+ FEET	OK
MAXIMUMS:	REQUIRED	REQUIRED	REQUIRED
BUILDING HEIGHT (FEET):	30 FEET	< 30 FEET	OK
BUILDING HEIGHT (STORIES):	3 STORIES	<3 STORIES	OK
DEVELOPMENT COVERAGE:	30%	13.4%±	OK

* BULK REQUIREMENTS AND SETBACKS DETERMINED DURING THE PLANNING BOARD APPROVAL PROCESS FOR THE "FINAL CLUSTER SUBDIVISION PLAT - MAJOR SUBDIVISION LANDS OF DANSON, LLC FINAL SUBDIVISION PLAT VILLAGE OF SOUTH NYACK, ROCKLAND COUNTY, NEW YORK" FILED ON JUNE 22, 2005 IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP NUMBER 7769, BOOK 125 & PAGE 8.
*** LOT HAS TWO (2) FRONT YARDS SETBACK, ONE (1) BACK YARD SETBACK, AND ONE (1) SIDE YARD SETBACK, AS PER PLANNING BOARD APPROVAL.

BOUNDARY AND TOPOGRAPHIC SURVEY REFERENCE:	OWNERS:	APPLICANT:	STREET ADDRESS:
BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN TAKEN FROM A MAP ENTITLED "FINAL PREPARED FOR 27 COLLEGE AVENUE, NYACK, NEW YORK 10960 SECTION 66.69 - BLOCK 1 ~ LOT 2.12 PREPARED BY EDWARD T. GANNON, P.L.S. DATED DECEMBER 08, 2024.	NYACK WATERFRONT LLC 51 FOREST ROAD SUITE 316-76 MONROE, NEW YORK 10950	INDIGO DEVELOPERS 51 FOREST ROAD SUITE 316-76 MONROE, NEW YORK 10950	27 COLLEGE AVENUE NYACK, NEW YORK 10960

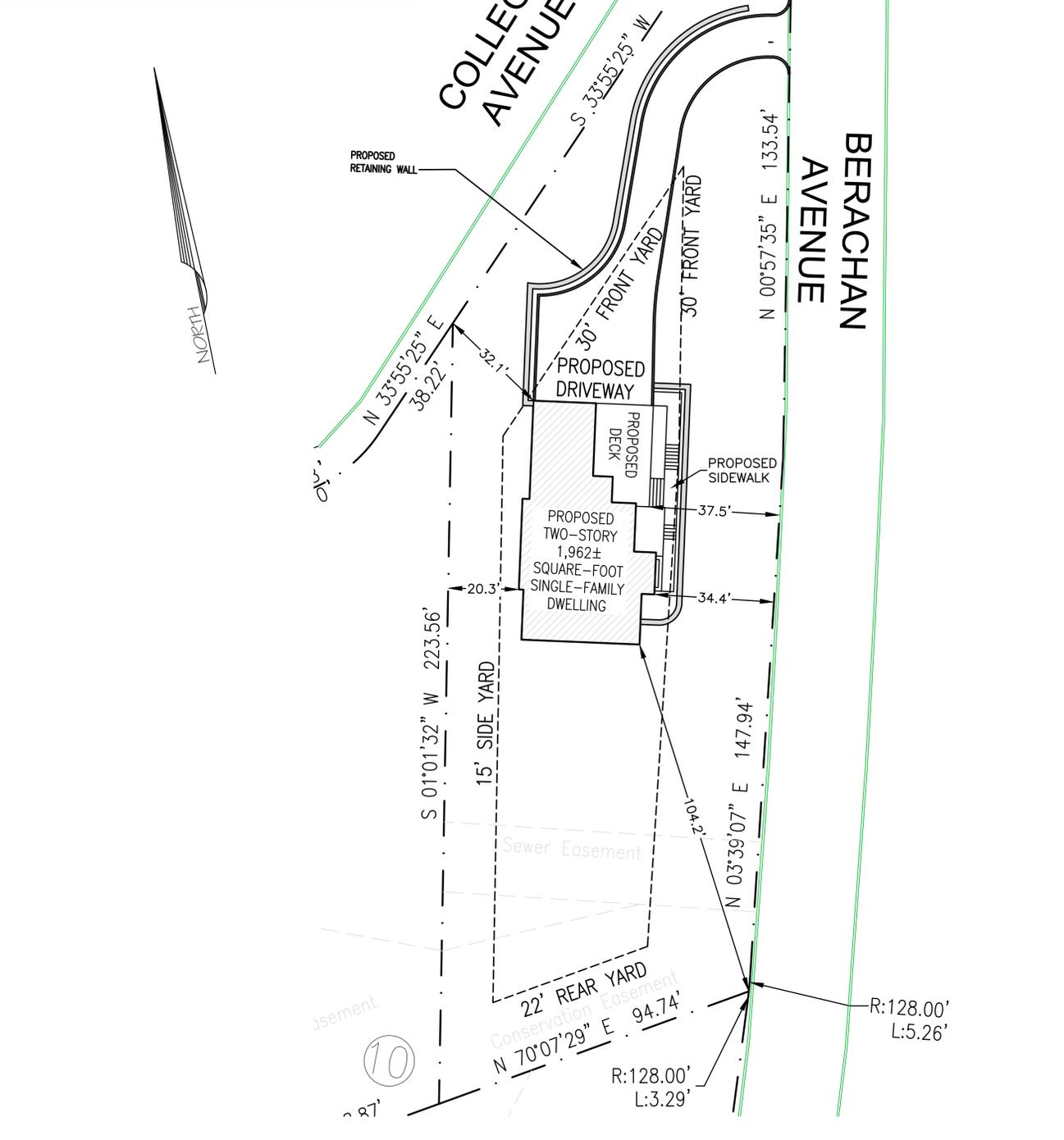
THIS PLAN IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION, SPECIFICATION SHEET OR MUNICIPAL OR AGENCY APPROVAL. ALL OTHER MATTERS SHOWN NOT TO BE RELIED UPON OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES, STANDARDS OR ACCEPTED CONSTRUCTION METHODS

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF MICHAEL J. CALISE, P.E. DEVELOPER FOR THE EXCLUSIVE USE OF MICHAEL J. CALISE, P.E. FOR THIS PROJECT ONLY. USE OF THESE DRAWINGS, CAD FILES AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF MICHAEL J. CALISE, P.E. IS PROHIBITED. LIABILITY LIMITED TO THE PROPOSAL OR INVOICED AMOUNT



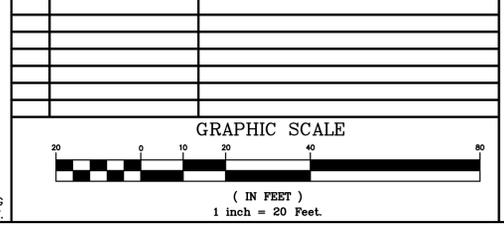
SITE SPECIFIC NOTES:

- THIS IS A PLOT PLAN PREPARED FOR TAX LOT #'s 66.69-1-2.12 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAPS.
- RECORD OWNER: NYACK WATERFRONT LLC
51 FOREST ROAD
SUITE 316-76
MONROE, NEW YORK 10950
- APPLICANT: INDIGO DEVELOPERS
51 FOREST ROAD
SUITE 316-76
MONROE, NEW YORK 10950
- SITE ADDRESS: 27 COLLEGE AVENUE
NYACK, NEW YORK 10960
- DEED REFERENCE: DEED BOOK: 125 DEED PAGE: 8.
- TOTAL AREA OF PARCEL: 25,684± SQUARE-FOOT or 0.59± ACRES.
- ZONING DISTRICT: (R-12HC) CLUSTER MAJOR SUBDIVISION
- FILED MAP REFERENCE: BEING KNOWN AS LOT 12 AS SHOWN ON A CERTAIN MAP ENTITLED "FINAL CLUSTER SUBDIVISION PLAT - MAJOR SUBDIVISION LANDS OF DANSON, LLC FINAL SUBDIVISION PLAT VILLAGE OF SOUTH NYACK, ROCKLAND COUNTY, NEW YORK" FILED ON JUNE 22, 2005 IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP NUMBER 7769, BOOK 125 & PAGE 8.
- SANITARY SEWAGE SYSTEM: MUNICIPAL/COMMUNITY SEWER SYSTEM ORANGETOWN SEWER DISTRICT.
- WATER SUPPLY SYSTEM: MUNICIPAL/COMMUNITY WATER SYSTEM (VEOLIA WATER).
- UTILITIES: GAS/ELECTRIC (ORANGE AND ROCKLAND UTILITIES, INC.).
- EXISTING USE: VACANT APPROVED CLUSTER SUBDIVISION LOT.
- PROPOSED USE: SINGLE-FAMILY RESIDENTIAL.
- BOUNDARY AND EXISTING CONDITIONS: BASED ON SURVEY BY PROJECT SURVEYOR.
- TOPOGRAPHIC DATUM: AS PER PROJECT SURVEYOR.
- CONTRACTOR TO KEEP ROAD AND SURROUNDING AREAS CLEAR OF TRASH AND DEBRIS.
- CONTRACTOR TO MINIMIZE DIRT AND MUD IN ROADWAY BY CLEANING ROADWAY AS REQUIRED OR REQUESTED BY THE LOCAL MUNICIPAL AUTHORITIES.



REVISIONS:

#	DATE	COMMENTS
1	MARCH 26, 2025	BUILDING INSPECTOR'S MEETING COMMENTS



Know what's below.

Call before you dig.

SEAL VALID FOR
MJC JOB# 2509
51 FOREST ROAD
SUITE 316-76
APRIL 8, 2025

THIS PLAN FOR BUILDING PERMIT PURPOSES ONLY.

UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED N.Y.S. ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE, IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF. BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. COPIES OF THIS PLAN NOT HAVING THE EMBOSSED SEAL OF THE N.Y.S. ENGINEER SHALL NOT BE VALID. PLAN PREPARED PURSUANT TO SECTION 7208m OF THE NEW YORK STATE EDUCATION LAW.

Michael J. Calise

MICHAEL J. CALISE, P.E.
NEW YORK STATE LIC. NO. 074611

PLOT PLAN
PREPARED FOR:
TAX LOT
SECTION 66.69, BLOCK 1, LOT 2.12

27 COLLEGE AVENUE

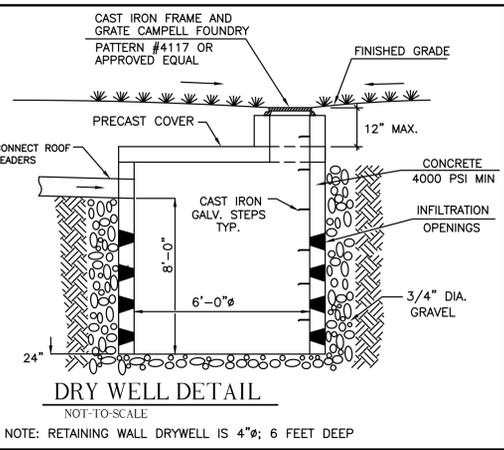
VILLAGE OF SOUTH NYACK, TOWN OF ORANGETOWN
COUNTY OF ROCKLAND & STATE OF NEW YORK

Michael J. Calise, P.E. & Associates, P.C.
Civil Engineering & Land Planning Consultants
Post Office Box 96, Pearl River, New York 10965
Phone (845) 629-3743 mc@caliseengineering.com

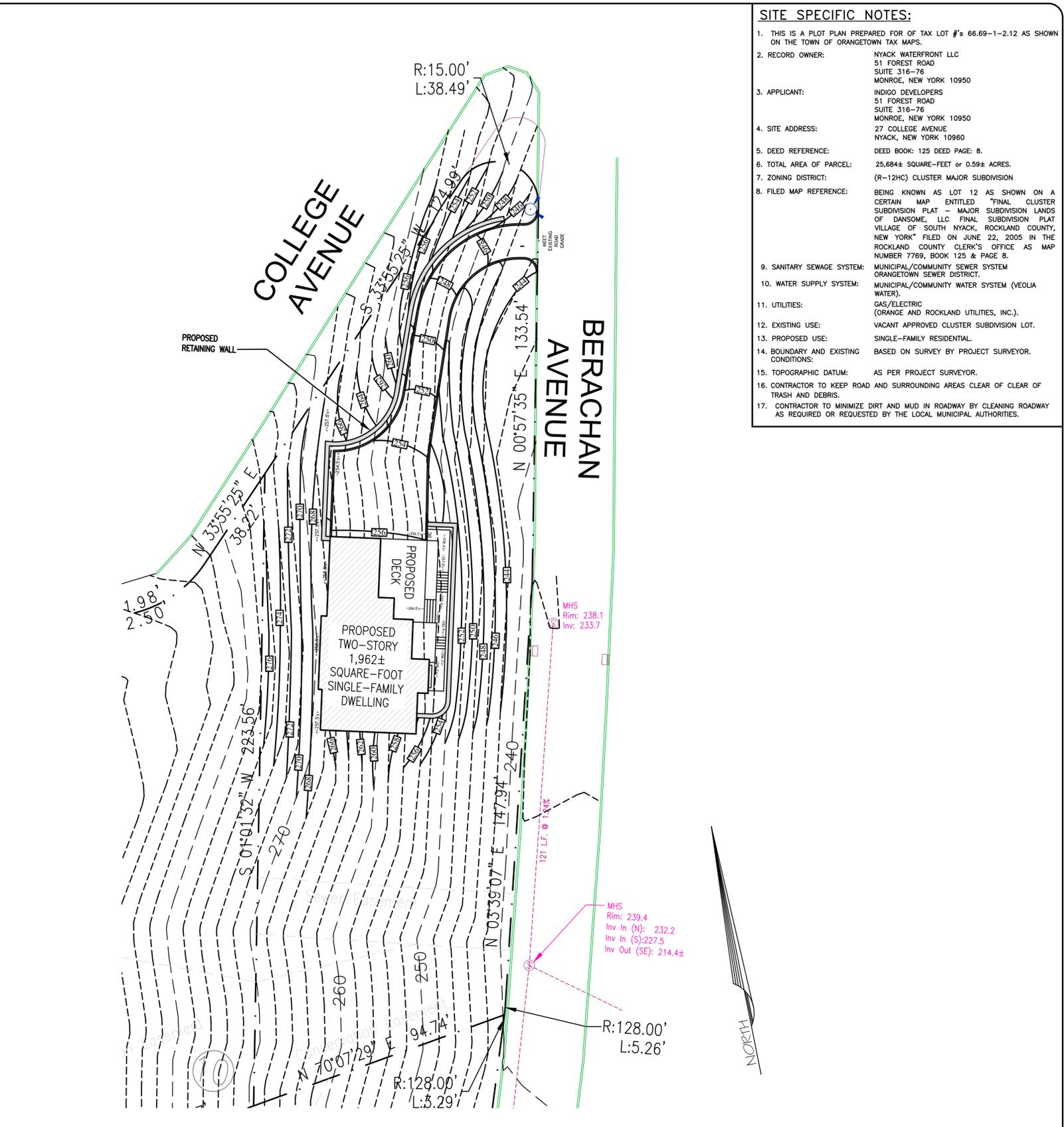
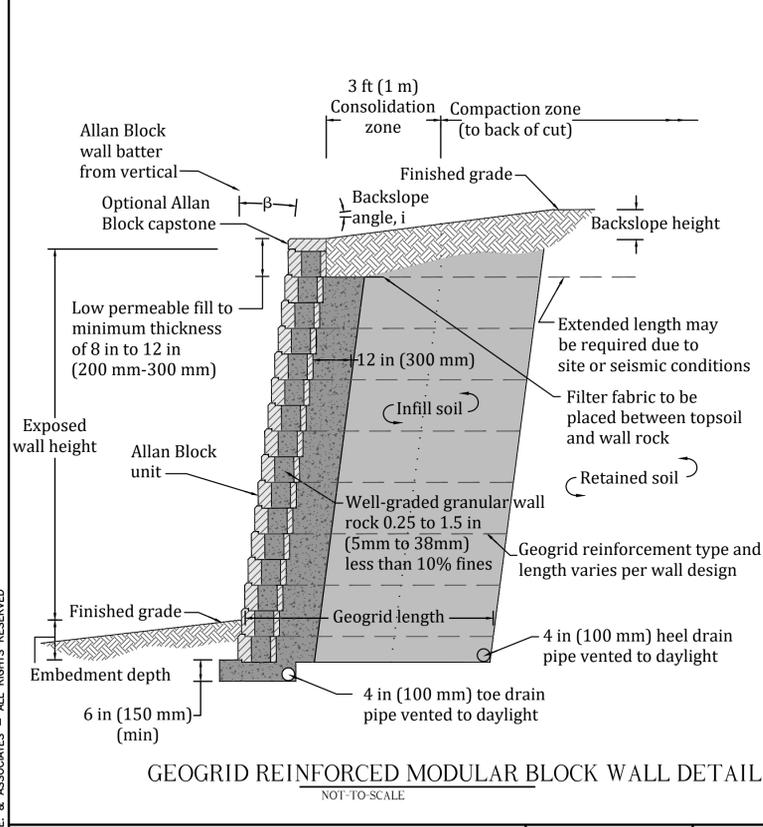
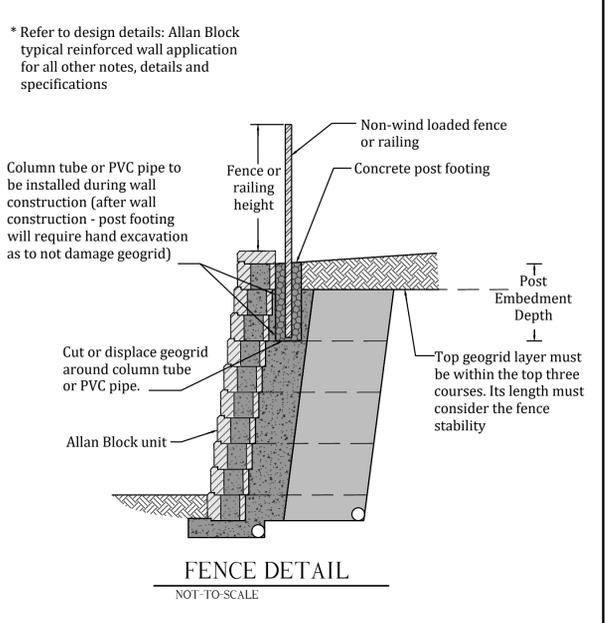
TAX LOT NUMBER: 66.69-1-2.12
TOTAL SITE AREA: 0.59± ACRES
25,684± SQUARE-FOOT
JOB NUMBER: 2509
SCALE: 1"=20'
DATE: FEBRUARY 28, 2025
SHEET: 1 OF 6

LEGEND

625.0(TC) DENOTES EXISTING "TOP OF CURB" GRADE		DENOTES EXISTING UTILITY POLE	
625.0(BC) DENOTES EXISTING "BOTTOM OF CURB" GRADE		DENOTES EXISTING CONCRETE SURFACE	
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		DENOTES PROPOSED SANITARY MANHOLE	
		DENOTES PROPOSED SEWER LATERAL CLEANOUT	
		DENOTES EXISTING WETLANDS LIMIT LINE	



- ### GRADING NOTES:
- CONTRACTOR SHALL VERIFY LOCATION AND OPERATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES, FEATURES, CONDITIONS, ETC., AND SHALL NOTIFY THE ENGINEER AND APPLICANT, IN WRITING, OF ANY DISCREPANCIES.
 - TREE CLEARING TO BE LIMITED TO THAT NECESSARY FOR PROPOSED CONSTRUCTION AND REQUIRED GRADING.
 - PROVIDE EROSION CONTROL SHOWN ON "EROSION CONTROL PLAN."
 - DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN THIRTY DAYS SHALL BE TEMPORARILY SEEDED WITH 1/2LB. RYE GRASS OR MULCHED WITH 100LBS. OF STRAW OR HAY PER 1,000 SQUARE-Feet. TEMPORARY DIVERSION DITCHES WILL BE ESTABLISHED WHERE NECESSARY.
 - STABILIZE ALL DISTURBED AREAS WITH PERMANENT COVER FOLLOWING CONSTRUCTION. APPLY THE NECESSARY LIME, FERTILIZER, SEED AND MULCH.
 - TEMPORARY SEDIMENTATION ENTRAPMENT AREA SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED USING EARTHEN BERMS RIP-RAP OR CRUSHED STONE DAMS, HAY BALES OR SUITABLE MATERIALS. DIVERSION SWALES, BERMS OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
 - SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY THE APPROPRIATE MUNICIPAL AUTHORITIES.
 - AT THE COMPLETION OF THE PROJECT ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED PLANS.
 - ALL CONSTRUCTION SHALL MEET CURRENT SPECIFICATIONS OF THE LOCAL MUNICIPAL AUTHORITY WHICH APPROVED THE PROJECT PLANS AND/OR ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER THIS PLOT.
 - THE SEED MIXTURE FOR PERMANENT SEEDING SHALL BE:
 - KENTUCKY BLUEGRASS 100lbs / ACRE (2.0 lb./ 1000 SQUARE-Feet)
 - CREeping RED FESCUE 30lbs / ACRE (0.5 lb./ 1000 SQ. FT.)
 - PERENNIAL RYE GRASS 23lbs / ACRE (0.7 lb./ 1000 SQ. FT.)
 - THE FOLLOWING APPLICATION RATES ARE TO BE USED FOR PERMANENT SEEDING: LIME IS TO BE APPLIED TO A PH OF AT LEAST 6.0 TO 7.0 OR AT A RATE OF 4 TONS PER ACRE (STANDARD GRADE LIMESTONE), FERTILIZER TO BE APPLIED AT A RATE OF 800 POUNDS TO 900 POUNDS PER ACRE OR EQUIVALENT 5-10-10 (NITROGEN-PHOSPHOROUS-POTASSIUM)
 - SOD MAY BE USED INSTEAD OF SEED.



- ### SITE SPECIFIC NOTES:
- THIS IS A PLOT PLAN PREPARED FOR TAX LOT #s 66.69-1-2.12 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAPS.
 - RECORD OWNER: NYACK WATERFRONT LLC, 51 FOREST ROAD, SUITE 316-76, MONROE, NEW YORK 10950
 - APPLICANT: INDIGO DEVELOPERS, 51 FOREST ROAD, SUITE 316-76, MONROE, NEW YORK 10950
 - SITE ADDRESS: 27 COLLEGE AVENUE, NYACK, NEW YORK 10960
 - DEED REFERENCE: DEED BOOK: 125 DEED PAGE: 8.
 - TOTAL AREA OF PARCEL: 25,684± SQUARE-Feet or 0.59± ACRES.
 - ZONING DISTRICT: (R-12HC) CLUSTER MAJOR SUBDIVISION
 - FILED MAP REFERENCE: BEING KNOWN AS LOT 12 AS SHOWN ON A CERTAIN MAP ENTITLED "FINAL CLUSTER SUBDIVISION PLAT - MAJOR SUBDIVISION LANDS OF DANSOME, LLC FINAL SUBDIVISION PLAT VILLAGE OF SOUTH NYACK, ROCKLAND COUNTY, NEW YORK" FILED ON JUNE 22, 2005 IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP NUMBER 7769, BOOK 125 & PAGE 8.
 - SANITARY SEWER SYSTEM: MUNICIPAL/COMMUNITY SEWER SYSTEM ORANGETOWN SEWER DISTRICT.
 - WATER SUPPLY SYSTEM: MUNICIPAL/COMMUNITY WATER SYSTEM (VEOLIA WATER).
 - UTILITIES: GAS/ELECTRIC (ORANGE AND ROCKLAND UTILITIES, INC.).
 - EXISTING USE: VACANT APPROVED CLUSTER SUBDIVISION LOT.
 - PROPOSED USE: SINGLE-FAMILY RESIDENTIAL.
 - BOUNDARY AND EXISTING CONDITIONS: BASED ON SURVEY BY PROJECT SURVEYOR.
 - TOPOGRAPHIC DATUM: AS PER PROJECT SURVEYOR.
 - CONTRACTOR TO KEEP ROAD AND SURROUNDING AREAS CLEAR OF TRASH AND DEBRIS.
 - CONTRACTOR TO MINIMIZE DIRT AND MUD IN ROADWAY BY CLEANING ROADWAY AS REQUIRED OR REQUESTED BY THE LOCAL MUNICIPAL AUTHORITIES.

BOUNDARY AND TOPOGRAPHIC SURVEY REFERENCE:
BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN TAKEN FROM A MAP ENTITLED "SURVEY PREPARED FOR 27 COLLEGE AVENUE, NYACK, NEW YORK 10960 - SECTION 66.69 ~ BLOCK 1 ~ LOT 2.12 PREPARED BY EDWARD T. GANNON, P.L.S. DATED DECEMBER 08, 2024."

OWNERS: NYACK WATERFRONT LLC, 51 FOREST ROAD, SUITE 316-76, MONROE, NEW YORK 10950

APPLICANT: INDIGO DEVELOPERS, 51 FOREST ROAD, SUITE 316-76, MONROE, NEW YORK 10950

STREET ADDRESS: 27 COLLEGE AVENUE, NYACK, NEW YORK 10960

ELEVATION TABLE:

FINISHED FLOOR ELEVATION:	<270.0'±>
GARAGE FLOOR ELEVATION:	<256.5'±>
BASEMENT FLOOR ELEVATION:	<259.0'±>
CAST-IRON ELEVATION:	<255.5'±>
SADDLE ELEVATION @ MAIN*:	<233.3'±>

*CONTRACTOR TO VERIFY SEWER MAIN ELEVATION FOR SADDLE

Know what's below.

Call before you dig.

SEAL VALID FOR MJC JOB# 2509 SEAL DATE: APRIL 8, 2025

THIS PLAN FOR BUILDING PERMIT PURPOSES ONLY.

REVISIONS:

#	DATE	COMMENTS
1	MARCH 26, 2025	BUILDING INSPECTOR'S MEETING COMMENTS

GRAPHIC SCALE
1 inch = 20 Feet

UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED N.Y.S. ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE, IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF. BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. COPIES OF THIS PLAN NOT HAVING THE EMBOSSED SEAL OF THE N.Y.S. ENGINEER SHALL NOT BE VALID. PLAN PREPARED PURSUANT TO SECTION 7208m OF THE NEW YORK STATE EDUCATION LAW.

Michael J. Calise
MICHAEL J. CALISE, P.E.
NEW YORK STATE LIC. NO. 074611

GRADING AND DRAINAGE PLAN
PREPARED FOR:
TAX LOT
SECTION 66.69, BLOCK 1, LOT 2.12

27 COLLEGE AVENUE

VILLAGE OF SOUTH NYACK, TOWN OF ORANGETOWN
COUNTY OF ROCKLAND & STATE OF NEW YORK

Michael J. Calise, P.E. & Associates, P.C.
Civil Engineering & Land Planning Consultants
Post Office Box 96, Pearl River, New York 10965
Phone (845) 629-3743 mcal@caliseengineering.com

TAX LOT NUMBER:	66.69-1-2.12
TOTAL SITE AREA:	0.59± ACRES
	25,684± SQUARE-Feet
JOB NUMBER:	2509
SCALE:	1"=20'
DATE:	FEBRUARY 28, 2025
SHEET:	2 OF 6

GENERAL LANDSCAPE PLANTING NOTES:

- ALL PRECAUTIONS SHALL BE TAKEN IN CARTING, STORING, AND PLANTING OF MATERIALS TO PROTECT ADJACENT PAVEMENT AND LANDSCAPE AREAS.
- PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY-GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES. UNLESS SPECIFICALLY NOTED, ALL PLANTS SHALL BE OF SPECIMEN QUALITY. EXCEPTIONAL HEAVY, SYMMETRICAL, FREE OF DISEASE AND INSECTS, EGGS, OR LARVAE, AND SHALL HAVE HEALTHY WELL DEVELOPED ROOT SYSTEMS. THE LANDSCAPE ARCHITECT AND/OR THE OWNER OR THEIR REPRESENTATIVE RESERVES THE RIGHT TO TAG, INSPECT AND APPROVE ALL PLANT MATERIALS AND REMOVE ANY PLANTS FOUND TO BE UNACCEPTABLE AT THE NURSERY. AT THE SITE UPON DELIVERY, THE CONTRACTOR SHALL INSPECT AND REMOVE REJECTED PLANT MATERIAL FROM THE SITE AND REPLACE WITH APPROVED EQUIVALENT BY LANDSCAPE ARCHITECT.
- ALL PLANTS SHALL BE LABELED BY PLANT NAME, LABELS SHALL BE ATTACHED SECURELY TO ALL PLANTS, BUNDLES AND CONTAINERS WHEN DELIVERED.
- NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE PERMITTED. IF THE SPECIFIED LANDSCAPE MATERIAL CANNOT BE OBTAINED, THE CONTRACTOR SHALL SUBMIT A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL. SUBSTITUTIONS OF PLANT MATERIALS MUST BE AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
- THE LANDSCAPE CONTRACTOR SHALL STAKE OUT THE LIMIT OF PLANTING LOCATIONS, PRIOR TO INSTALLATION AND APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER. THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
- IF THERE IS A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLAN GOVERNS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO CALL 811 AND HAVE ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES MARKED PRIOR TO THE START OF EXCAVATION ACTIVITIES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROJECT ENGINEER AND OWNER IF THERE ARE CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
- THE BACKFILL MIXTURE AND SOIL MIXES ARE TO BE INSTALLED PER THE SPECIFICATIONS.
- ALL FENCE AND HARDSCAPE INSTALLATIONS SHALL BE COMPLETED PRIOR TO THE COMMENCEMENT OF ANY LANDSCAPE PLANTING, SEEDING OR LAWN.
- THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE, BEFORE INSTALLATION FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE AND QUALITY.
- REMOVE ALL TWINE, ROPE, WIRE, CONTAINERS, LABELS AND FLAGGING ON PLANTS BEFORE COMPLETION. DISPOSE OF ALL DEBRIS APPROPRIATELY AND SWEEP ALL SURROUNDING PAVEMENTS.
- ALL TREES AND HEDGES ARE NOT TO BE TRIMMED IN GEOMETRIC FORMS AND ARE TO BE LEFT IN A NATURAL HABIT.
- MULCHING:**
 - AT THE TIME OF PLANTING, MULCH WITH NO MORE THAN 3" OF DOUBLE-SHREDED HARDWOOD MULCH OF A NATURAL COLOR. TAKE CARE TO NOT PILE MULCH AROUND THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR. A GAP OF APPROXIMATELY 2 INCHES SHOULD BE LEFT BETWEEN THE MULCH AND THE TRUNK OF THE TREE TO AVOID MOUNDING ABOVE THE TRUNK FLARE.
- ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE LIMITS OF CONSTRUCTION, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL, DOUBLE-SHREDED MULCH THAT WILL PREVENT SOIL EROSION AND CONTROL DUST.
- AFTER INITIAL MULCH INSTALLATION, REPLENISH GARDEN BEDS WITH ADDITIONAL MULCH IN MID TO LATE SPRING, ONLY IN AREAS THAT ARE SHOWING BARE SOILS AND/OR COVERED IN WEEDS. REMOVE ALL UNWANTED PLANTS/WEEDS BEFORE DRESSING BED WITH MULCH.

- CHOOSING PLANT SPECIES:**
 - ALL TREES THAT ARE SPECIFIED FOR THE PROJECT SHALL CONFORM TO THE 10-20-30 GUIDELINE TO REDUCE THE RISK OF MASSIVE TREE LOSS DUE TO PESTS. THE PLANTING SCHEDULE SHALL SPECIFY NO MORE THAN 10% OF ANY ONE SPECIES, 20% OF ANY ONE GENUS, OR 30% OF ANY ONE FAMILY.
 - NO PLANT SPECIES INCLUDED IN THE PLAN SHALL FALL UNDER THE LATEST RELEASED OF THE "LOWER HUDSON PRISM TIER 1 THROUGH 4 SPECIES INDEX", PREPARED BY LOWER HUDSON PARTNERSHIP FOR REGIONAL INVASIVE SPECIES MANAGEMENT OR "NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL PROTECTION (NYSDEP) PROHIBITED OR REGULATED SPECIES LIST", PREPARED BY NYSDEP. IF SPECIES SPECIFIED ON THE PLAN ARE INCLUDED THEREIN, THE PLANT MUST BE REPLACED WITH AN APPROVED ALTERNATIVE THAT IS (FIRST) NATIVE TO THE LOWER HUDSON REGION, (SECOND) NATIVE TO THE MID-ATLANTIC REGION, (THIRD) CULTIVAR OF A NATIVE IN THE AFOREMENTIONED REGIONS, OR (FOURTH) ALIEN BUT NON-INVASIVE.
 - THE TOWN OF OSSING ENCOURAGES THE INCLUSION OF SPECIES LISTED IN THE "NATIVE PLANT RESOURCE GUIDE", PUBLISHED BY THE TOWN OF MOUNT PLEASANT CONSERVATION ADVISORY COUNCIL.

- DELIVERY, HANDLING AND STORAGE:**
 - TREES AND SHRUBS SHALL NOT BE PRUNED PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. DO NOT BEND, BIND-TIE TREES IN A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. DO NOT DROP BALL AND BURLAPPED STOCK DURING DELIVERY OR HANDLING. PLASTIC, METAL, WIRE BASKET AND/OR OTHER ROOT COVERINGS, WRAPPING AND BIND MATERIAL SHALL BE REMOVED ENTIRELY FROM THE PLANT MATERIAL AT TIME OF INSTALLATION.
 - STORE PLANT MATERIAL: IF INSTALLATION IS DELAYED MORE THAN 6 HOURS AFTER ARRIVAL TO SITE, THE CONTRACTOR SHALL SET ALL PLANT MATERIAL IN SHADE, PROTECTED FROM WEATHER, MECHANICAL DAMAGE, THEFT, AND DETERIORATION. PLANT SOIL MUST BE KEPT MOIST USING A WATERING TANK, HOSE OR OTHER SYSTEM UNTIL READY FOR PLANTING. ANY PACKAGED MATERIALS, SUCH AS BOXED PERENNIALS MUST BE OPENED, UNWRAPPED AND FREE AS TO NOT RESTRAIN AIR CIRCULATION AND WATERING WHILE WAITING TO BE INSTALLED.
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
- IF COMPACTION OCCURS DURING EARTHWORK PRIOR TO PLANT INSTALLATION, THE CONTRACTOR MUST HAVE THE SOIL SCARIFIED AND LOOSENED TO THE DEPTH OF COMPACTION OR 12-18", WHICHEVER IS DEEPEST, WITH A BACKHOE OR EQUIVALENT WITHOUT TAMPING SOILS.
- ALL FINE GRADED AREAS SHALL BE HAND RAKED SMOOTH TO ELIMINATE ANY CLUMPS, ROCKS, STUMPS, TRASH AND/OR OTHER UNSIGHTLY DEBRIS PRIOR TO PLANTING OR MULCHING.
- MAINTAIN SITE DRAINAGE DURING LANDSCAPE INSTALLATION.

- PLANT INSTALLATIONS:**
 - BALL AND BURLAP TREES: SHALL HAVE A PLANTING HOLE A MINIMUM OF TWICE TO THREE TIMES THE WIDTH AND JUST AS DEEP AS THE ROOT BALL, WITH SLOPED SIDES. TREES SHALL BE PLANTED WITH THE ROOT FLARE AT EXISTING GRADE. WIRE BASKETS, TWINE, BURLAP, NAILS AND TAGS SHALL BE REMOVED COMPLETELY WITHOUT COMPROMISING THE SOIL OF THE PLANT. IF SOILS ARE EXTREMELY LOOSE, LEAVE BOTTOM HALF OF BURLAP INTACT AND CUT AND REMOVE TOP HALF OF WIRE BASKET. BACKFILL SOIL JUST BELOW ROOT COLLAR. SOAK TREE PIT IMMEDIATELY WITH 5 GALLONS FOR EVERY INCH OF TRUNK DIAMETER.
 - CONTAINER PLANTS: SHALL HAVE THE CONTAINER AND TAGS REMOVED BEFORE INSTALLATION. ROOTS SHALL BE CUT THROUGH THE SURFACE IN AN "X" FORMATION AT BASE OF BALL AND CUT ALONG ALONG THE SIDES OF THE BALL AT LEAST SIX TIMES TO FREE ROOTS AND ENCOURAGE NEW GROWTH, ESPECIALLY IF IT IS ROOT BOUND. FINE ROOTS OF SMALLER CONTAINER PLANTS SHOULD BE FREED DELICATELY WITH BY HAND OR WITH A HAND CULTIVATOR.
 - PLUGS: SHALL HAVE TAGS REMOVED BEFORE INSTALLATION. IF HEAVILY ROOT BOUND, DELICATELY LOOSEN ROOTS BY HAND OR HAND CULTIVATOR, TAKING CARE TO NOT BREAK SOIL TO-ROOT CONTACT. ROOTS SHOULD ONLY BE CUT IF HEAVILY ROOT BOUND WHEN RECEIVED TO ALLOW FOR PROPER GROWTH IN SOIL. SPACE PLANTS EQUALLY ON TRIANGULAR OR GRID SPACING.
 - VINES: EQUALLY SPACE VINES PLANTED IN ROWS AGAINST WALLS OR FENCES. SEE DRAWINGS FOR QUANTITY AND SPACING. REMOVE ALL VINES FROM NURSERY SHAKES AND APPROVAL BY THE LANDSCAPE ARCHITECT. ATTACHING TO SURFACE WITH WINE TAPE. SIMILARLY ATTACH VINES AT PILASTERS OR POSTS.
 - STAKING OF ANY INSTALLED TREE IS NOT NEEDED.
 - SEEDING:**
 - SPREAD SEED IN TWO DIRECTIONS WITH A DRILL SEEDER TO DISTRIBUTE SEED EVENLY OVER ENTIRE AREA OR SEED WITH BROADCAST SEEDER FOLLOWED BY A RAKE OR CULTIPACKER. SEED CAN ALSO BE SPREAD BY HYDROSEEDING FROM A HOSE AT GROUND LEVEL, NOT THROUGH THE USE OF A TURRET. IF HYDROSEEDING IS SELECTED, SEEDING WILL REQUIRE A ROCKIFIER AND COLLARED CHAIN.
 - THERE SHALL BE NO SEED SUBSTITUTIONS UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
 - GENERAL DRILL SEED APPLICATION RECOMMENDED PER SPECIFIED APPLICATION RATE TO NO MORE THAN 1/2" INCH DEPTH (OR APPROPRIATE DEPTH FOR SELECTED SPECIES). REFER TO LANDSCAPE PLAN FOR SPECIES, PERCENTAGES AND APPLICATION RATES.
 - SEE "IRRIGATION NOTES" FOR SPECIFICATIONS ON WATERING.
 - INSTALLED PLANTINGS SHALL BE IN PROPER HEALTH AND HAVE A 90% SURVIVAL RATE OVER THE NEXT TWO YEARS FOLLOWING ACCEPTANCE BY THE OWNER. PLANT MATERIAL FOUND TO BE DEAD, DYING OR IN POOR HEALTH SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.

PLANT SCHEDULE

FINAL QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT	SPACING	SPREAD
SHRUBS AND TREES						
1	VL	VIBURNUM LENTAGO	NANNYBERRY	10'-20'	72"-144"	6'-12'
2	KL	KALMIA LATIFOLIA	MOUNTAIN LAUREL	5'-15'	96"-120"	5'-15'
6	JC	JUNIPERUS COMMUNIS	COMMON JUNIPER	5'-25'	-	3'-12'
GRASS						
-	-	POA PRATENSIS	KENTUCKY BLUEGRASS	1.5'-2.5'	-	-

BOUNDARY AND TOPOGRAPHIC SURVEY REFERENCE: BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN TAKEN FROM A MAP ENTITLED "SURVEY PREPARED FOR 27 COLLEGE AVENUE, NYACK, NEW YORK 10960 SECTION 66.69 ~ BLOCK 1 ~ LOT 2.12 PREPARED BY EDWARD T. GANNON, P.L.S. DATED DECEMBER 08, 2024.

OWNERS: NYACK WATERFRONT LLC 51 FOREST ROAD SUITE 316-76 MONROE, NEW YORK 10950

APPLICANT: INDIGO DEVELOPERS 51 FOREST ROAD SUITE 316-76 MONROE, NEW YORK 10950

STREET ADDRESS: 27 COLLEGE AVENUE NYACK, NEW YORK 10960

THIS PLAN IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION, SPECIFICATION SHEET OR MUNICIPAL OR AGENCY APPROVAL. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES, STANDARDS OR ACCEPTED CONSTRUCTION METHODS

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DEMOLITION NOTES:

- STOCKPILE EXISTING TOPSOIL, MULCH OR OTHER MATERIALS PER PLAN. TOPSOIL IS TO BE STOCKPILED FOR LEAST AMOUNT OF TIME POSSIBLE. IF STOCKPILE IS NEEDED FOR MORE THAN 6 MONTHS IT WILL NEED TO BE SURFACED TO ORIGINAL OR ACCEPTABLE GRADE. WIRE BASKETS, TWINE, BURLAP, NAILS AND TAGS SHALL BE REMOVED COMPLETELY WITHOUT COMPROMISING THE SOIL OF THE PLANT. IF SOILS ARE EXTREMELY LOOSE, LEAVE BOTTOM HALF OF BURLAP INTACT AND CUT AND REMOVE TOP HALF OF WIRE BASKET. BACKFILL SOIL JUST BELOW ROOT COLLAR. SOAK TREE PIT IMMEDIATELY WITH 5 GALLONS FOR EVERY INCH OF TRUNK DIAMETER.
- TREE PROTECTION:**
 - EROSION CONTROL MEASURES WILL BE INSTALLED PRIOR TO ANY CONSTRUCTION OR DEMOLITION.
 - BEFORE INSTALLATION, ROOTS SHALL BE CUT THROUGH THE SURFACE IN AN "X" FORMATION AT BASE OF BALL AND CUT ALONG ALONG THE SIDES OF THE BALL AT LEAST SIX TIMES TO FREE ROOTS AND ENCOURAGE NEW GROWTH, ESPECIALLY IF IT IS ROOT BOUND. FINE ROOTS OF SMALLER CONTAINER PLANTS SHOULD BE FREED DELICATELY WITH BY HAND OR WITH A HAND CULTIVATOR.
 - PLUGS: SHALL HAVE TAGS REMOVED BEFORE INSTALLATION. IF HEAVILY ROOT BOUND, DELICATELY LOOSEN ROOTS BY HAND OR HAND CULTIVATOR, TAKING CARE TO NOT BREAK SOIL TO-ROOT CONTACT. ROOTS SHOULD ONLY BE CUT IF HEAVILY ROOT BOUND WHEN RECEIVED TO ALLOW FOR PROPER GROWTH IN SOIL. SPACE PLANTS EQUALLY ON TRIANGULAR OR GRID SPACING.
 - VINES: EQUALLY SPACE VINES PLANTED IN ROWS AGAINST WALLS OR FENCES. SEE DRAWINGS FOR QUANTITY AND SPACING. REMOVE ALL VINES FROM NURSERY SHAKES AND APPROVAL BY THE LANDSCAPE ARCHITECT. ATTACHING TO SURFACE WITH WINE TAPE. SIMILARLY ATTACH VINES AT PILASTERS OR POSTS.
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 - SEEDING:**
 - SPREAD SEED IN TWO DIRECTIONS WITH A DRILL SEEDER TO DISTRIBUTE SEED EVENLY OVER ENTIRE AREA OR SEED WITH BROADCAST SEEDER FOLLOWED BY A RAKE OR CULTIPACKER. SEED CAN ALSO BE SPREAD BY HYDROSEEDING FROM A HOSE AT GROUND LEVEL, NOT THROUGH THE USE OF A TURRET. IF HYDROSEEDING IS SELECTED, SEEDING WILL REQUIRE A ROCKIFIER AND COLLARED CHAIN.
 - THERE SHALL BE NO SEED SUBSTITUTIONS UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
 - GENERAL DRILL SEED APPLICATION RECOMMENDED PER SPECIFIED APPLICATION RATE TO NO MORE THAN 1/2" INCH DEPTH (OR APPROPRIATE DEPTH FOR SELECTED SPECIES). REFER TO LANDSCAPE PLAN FOR SPECIES, PERCENTAGES AND APPLICATION RATES.
 - SEE "IRRIGATION NOTES" FOR SPECIFICATIONS ON WATERING.
 - INSTALLED PLANTINGS SHALL BE IN PROPER HEALTH AND HAVE A 90% SURVIVAL RATE OVER THE NEXT TWO YEARS FOLLOWING ACCEPTANCE BY THE OWNER. PLANT MATERIAL FOUND TO BE DEAD, DYING OR IN POOR HEALTH SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- AT NO COST TO THE PROJECT OR OWNER, CONTRACTOR SHALL REPAIR OR RESTORE ALL LEGALLY DESIGNATED EXISTING OR REMAINING THAT IS DAMAGED BY CONSTRUCTION OPERATIONS. LANDSCAPE ARCHITECT OR ARBORIST WILL MAKE SOLE DETERMINATION AS TO EXTENT OF DAMAGE. EMPLOY A LICENSED ARBORIST TO EVALUATE AND DETERMINE REPAIR NEEDS TO ALL DAMAGE TO TREES TO REMAIN.
- PROTECT ALL EXISTING SITE IMPROVEMENTS FROM DAMAGE. RESTORE DAMAGED ELEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO THE OWNERS, AT NO COST TO THE PROJECT.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE OF FINISH GRADE AND PROVIDE EROSION CONTROL MEASURES AS NECESSARY UNTIL FINAL PERMANENT COVER IS IN PLACE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR KNOWLEDGE OF ALL UNDERGROUND IMPROVEMENTS TO BE PROTECTED AND TAKE SOLE RESPONSIBILITY FOR DAMAGE TO ALL SUCH ITEMS. RESTORE DAMAGED UTILITIES TO ORIGINAL CONDITION, AS ACCEPTABLE TO GOVERNING AGENCIES, WHERE REQUIRED BY CODE.
- ALL DEBRIS RESULTING FROM DEMOLITION SHALL BE REMOVED ON A WEEKLY BASIS AND LEGALLY DISPOSED OF OFF-SITE, INCLUDING ALL MATERIAL FROM VEGETATION REMOVAL. NO ON-SITE BURNING IS PERMITTED.
- PLANTS TO BE RELOCATED WILL BE TAGGED IN THE FIELD BY THE LANDSCAPE ARCHITECT. CONTRACTORS SHALL IMMEDIATELY TRANSPLANT TREES DUG FOR RELOCATIONS, AND WATER AS NECESSARY. CONTRACTOR SHALL BE RESPONSIBLE FOR TREE MORTALITY AND REPLACE FAILED TREES AT NO COST TO PROJECT.
- ON-SITE STORAGE OF EQUIPMENT AND MACHINERY BY THE CONTRACTOR SHALL BE LIMITED TO DESIGNATED STAGING AREAS ACCEPTABLE TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL TAKE EXTREME CARE AT ALL TIMES NOT TO BRING ONTO THE SITE ANY SOIL, VEGETATION OR OTHER MATERIAL THAT POSES A CONTAMINATION HAZARD TO EXISTING PLANT MATERIALS INCLUDING INVASIVE SPECIES SEED OR DEBRIS. ALL TRUCKS ALL EQUIPMENT USED SHALL BE CLEAN OF ALL MUD, DIRT OR TOXIC SUBSTANCES WHEN BROUGHT ONTO AND USED ON THE SITE.
- SHRUBS TO REMAIN OR TO BE TRANSPLANTED WILL BE TAGGED IN THE FIELD BY THE LANDSCAPE ARCHITECT. SHRUBS TO REMAIN SHALL BE PROTECTED WITH FENCING SIMILAR TO THE TREE PROTECTIONS FENCING.
- TRANSPLANTED TREES AND SHRUBS SHALL BE PROVIDED WITH IRRIGATION AND PART SHADE. IRRIGATE TRANSPLANTS WEEKLY AT A MINIMUM BY THOROUGHLY SOAKING THE ROOT BALL. ARBORIST MAY INCREASE IRRIGATION SCHEDULE AS NEEDED.
- ALL EXISTING CONCRETE, ROCK OR PAVING THAT IS APPROVED BY ENGINEER FOR FILL OR BASE ROCK OF FUTURE CONSTRUCTION SHALL BE KEPT AND STORED ON SITE UNTIL NEEDED; PROTECT FROM CONTAMINATION.
- ALL RETAINING WALLS IDENTIFIED FOR DEMOLITION SHALL INCLUDE REMOVAL OF FOOTINGS.
- TREE REMOVAL SHALL INCLUDE STUMP GRINDING AND/OR REMOVAL OF MAJOR ROOT SYSTEMS. STUMPS ARE TO REMAIN ON SLOPES OF 25% OR GREATER.
- IRRIGATION DEMOLITION:**
 - REMOVE (E) IRRIGATION VALVES AND VALVE BOXES (DO NOT BURY).
 - DISCONNECT MAIN LINE FROM WATER SERVICE. IF DEEPER THAN 12", BURY IF SHALL LOWER THAN 12" REMOVE.
 - REMOVE ALL SPRINKLER HEADS AND RISERS; REMOVE LATERAL LINES.
 - REMOVE QUICK COUPLERS AND HOSE BIBS- RECYCLE IF POSSIBLE.
- DEMOLITION OF STRUCTURES IS NOT INCLUDED IN LANDSCAPE SCOPE OF WORK. DEMOLITION OF ALL STRUCTURES SHALL BE BY OTHERS AS DETERMINED BY GENERAL CONTRACTOR.
- GENERAL CONTRACTOR SHALL COORDINATE REMOVAL OF ALL STRUCTURES, SECURE TERMINATION AND DISCONNECTION OF ALL UTILITIES AND SECURE CITY PERMITS.
- WHERE CONFLICTS MAY OCCUR, NEW SITE DEVELOPMENT DESIGN TAKES PRECEDENCE OVER EXISTING ELEMENTS. SUCH CONFLICTING ELEMENTS SHALL BE REMOVED TO ALLOW FOR NEW CONSTRUCTION.
- NEW LOCATION FOR ALL TRANSPLANTED PLANT MATERIAL TO BE DETERMINED BY LANDSCAPE ARCHITECT IN FIELD.

- SOIL AMENDMENT:**
 - IF SOIL ORGANIC CONTENT IS INADEQUATE, SOIL SHALL BE AMENDED WITH COMPOST OR ACCEPTABLE, WEED FREE, ORGANIC MATTER. ORGANIC MATTER SHALL BE WELL COMPOSTED, MOISTURE CONTENT 35-55% BY WEIGHT 100% PASSING THROUGH 1" SIEVE; SOLUBLE SALT CONTENT LESS THAN 0.5 MM HOS/CM, MEETING ALL APPLICABLE ENVIRONMENTAL CRITERIA FOR CLEAN FILL. ANIMAL MANURE, NOR PEAT WILL BE USED AS AN ORGANIC SUPPLEMENT.
 - IF PROPOSED PLANTING BED IS IN A LOCATION OF A FORMER PAVED OR GRAVEL AREA, BEDS SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 30", AND BE BACKFILLED WITH A BOTTOM LAYER OF SANDY LOAM UNDER A LAYER OF PLANTING SOIL.
 - NO FERTILIZER APPLICATION SHALL BE USED DURING OR AFTER PLANT INSTALLATION.
 - COMPACTED SUBSOIL MAY BE LOOSENED (AS NOTED IN GENERAL LANDSCAPE PLANTING NOTE #17), WHILE THOROUGHLY MIXING 6" OF COMPOST WITH IN-SITU SOIL.
- SOIL CONDITIONER AND MODIFICATION (PENDING RESULTS OF SOIL ANALYSIS):**
 - ADJUST THE NUTRIENT LEVELS AS REQUIRED TO ENSURE ACCEPTABLE GROWING MEDIUM ONLY AFTER RECEIVING RESULTS FROM A SOIL ANALYSIS. ADJUSTMENTS CAN ONLY BE MINIMALLY MODIFIED EASILY WITH STANDARD TECHNIQUES.
 - MODIFY HEAVY CLAY OR SILT, BY ADDING COMPOST PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSSUM. COURSE SAND MAY BE USED IF SAND CONTENT CAN REACH 80% OR MORE OF TOTAL MIX.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF TOTAL MIX.

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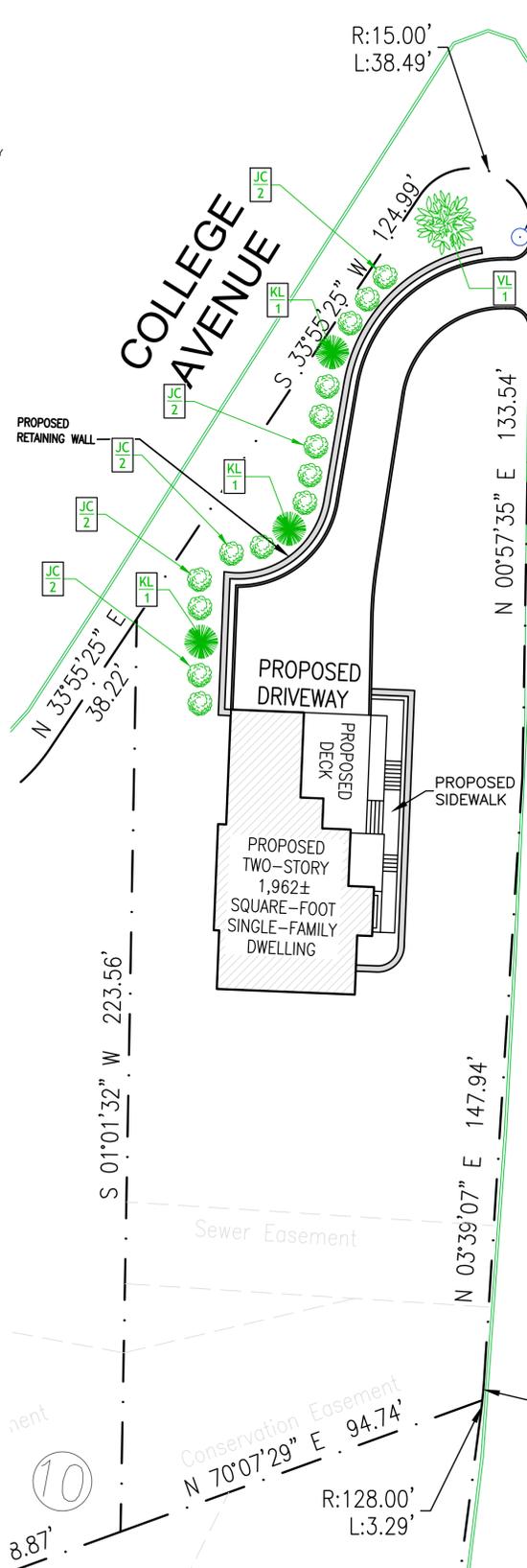
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- DEMOLITION OF STRUCTURES IS NOT INCLUDED IN LANDSCAPE SCOPE OF WORK. DEMOLITION OF ALL STRUCTURES SHALL BE BY OTHERS AS DETERMINED BY GENERAL CONTRACTOR.
- GENERAL CONTRACTOR SHALL COORDINATE REMOVAL OF ALL STRUCTURES, SECURE TERMINATION AND DISCONNECTION OF ALL UTILITIES AND SECURE CITY PERMITS.
- WHERE CONFLICTS MAY OCCUR, NEW SITE DEVELOPMENT DESIGN TAKES PRECEDENCE OVER EXISTING ELEMENTS. SUCH CONFLICTING ELEMENTS SHALL BE REMOVED TO ALLOW FOR NEW CONSTRUCTION.
- NEW LOCATION FOR ALL TRANSPLANTED PLANT MATERIAL TO BE DETERMINED BY LANDSCAPE ARCHITECT IN FIELD.

LAYOUT NOTES:

- VERIFY LOCATION OF ALL BUILDINGS, WALLS, ROADS AND CURBS AFFECTING LANDSCAPE SCOPE OF WORK WITH RELEVANT ARCHITECTURAL AND ENGINEERING DRAWINGS PRIOR TO COMMENCING SITE WORK.
- VERIFY LOCATION OF ALL VAULTS, ELECTRICAL DUCT BANKS, MANHOLES, CONDUIT, PIPING, DRAINAGE STRUCTURES, LIGHTING, AND OTHER UTILITIES WITH THE APPROPRIATE ENGINEER'S DRAWINGS.
- WHERE NOT SHOWN ON LANDSCAPE DRAWINGS, SEE CIVIL ENGINEER'S DRAWINGS FOR ROADWAY CENTERLINE, STATION POINTS, BENCHMARKS AND BUILDING SETBACKS.
- TAKE ALL DIMENSIONS FROM CENTER OF CURB, WALL OR BUILDING, OR TO CENTERLINE OF BUILDING COLUMNS OR TREES UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS CALLED OUT AS "EQUAL" OR "EQ" ARE EQUIDISTANT MEASUREMENTS BETWEEN THE REFERENCE POINTS SHOWN.
- ALL ITEMS DESIGNATED AS "SIM" OR "TYP" ARE TO BE CONSTRUCTED IN THE MANNER OF THE DETAIL REFERENCED, WITH MINOR ADJUSTMENT FOR SPECIFIC CONDITION.
- ALL ANGLES ARE 90 DEGREES AND ALL LINES ARE TO BE HELD PARALLEL UNLESS OTHERWISE NOTED ON THE DRAWINGS. MAINTAIN HORIZONTAL ALIGNMENT FOR ALL ADJACENT ELEMENTS SO REFERENCED ON THE DRAWINGS.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER ENLARGED APPARENT ON DRAWINGS. DO NOT SCALE FROM DRAWINGS. SEE SCALED PLANS AND SPECIFIC DETAILS FOR ADDITIONAL INFORMATION.
- INDIVIDUAL NOTES AND SPECIFIC DETAILS TAKE PRECEDENCE OVER GENERAL NOTES AND GENERIC DETAILS.

DEER PROTECTION NOTES:

- WHEN APPROPRIATE, USE PLANTS THAT ARE DEER-INTOLERANT OR DEER-RESISTANT ON THE LANDSCAPE PLAN. AS A GUIDE, REFER TO THE "LANDSCAPE PLANTS RATED BY RESISTANCE", PROVIDED BY RUTGERS NEW JERSEY AGRICULTURAL EXPERIMENT STATION (NJAES).
- USE HORIZONTAL FENCING BARRIERS OR WOVEN WIRE FENCING WITH A MINIMUM HEIGHT OF 6 FEET OR MORE.
- REPELLENTS:**
 - USE SPRAYS THAT ARE INCORPORATE ODOR AND TASTE REPELLENT IN ONE.
 - APPLY REPELLENTS EARLY IN SPRING ON THE PERIMETER OF THE GARDENS. RE-APPLY SPRAYS AFTER HEAVY RAINFALL.
 - SLOWLY WEAR OFF SPRAY APPLICATION SEASONALLY, AND ONLY APPLY OCCASIONALLY REMINDER APPLICATIONS FOR THE REST OF THE YEAR. RESULTS VARY DEPENDING ON DEER POPULATION AND FOOD AVAILABILITY IN AREA.
- USE SOLAR-POWERED OR MOTION SENSOR DEVICE ON SCARCREWS TO ENGAGE SPRINKLER WHEN DEER APPROACH A "PROTECTED AREA".
- TREE PROTECTION:**
 - USE PLASTIC OR MESH TREE GUARDS, OR CHICKEN WIRE FOR NEWLY PLANTED TREES.
 - TREE PROTECTION SHOULD BE MONITORED YEARLY TO DETERMINE NEED AND NECESSARY MAINTENANCE.



REVISIONS:

#	DATE	COMMENTS
1	MARCH 26, 2025	BUILDING INSPECTOR'S MEETING COMMENTS

GRAPHIC SCALE

(IN FEET)
1 inch = 20 Feet

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Michael J. Calise, P.E.
MICHAEL J. CALISE, P.E.
NEW YORK STATE LIC. NO. 074611

SITE SPECIFIC NOTES:

- THIS IS A PLOT PLAN PREPARED FOR OF TAX LOT #s 66.69-1-2.12 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAPS.
- RECORD OWNER: NYACK WATERFRONT LLC 51 FOREST ROAD SUITE 316-76 MONROE, NEW YORK 10950
- APPLICANT: INDIGO DEVELOPERS 51 FOREST ROAD SUITE 316-76 MONROE, NEW YORK 10950
- SITE ADDRESS: 27 COLLEGE AVENUE NYACK, NEW YORK 10960
- DEED REFERENCE: DEED BOOK: 125 DEED PAGE: 8.
- TOTAL AREA OF PARCEL: 25,684± SQUARE-Feet or 0.59± ACRES.
- ZONING DISTRICT: (R-12HC) CLUSTER MAJOR SUBDIVISION
- FILED MAP REFERENCE: BEING KNOWN AS LOT 12 AS SHOWN ON A CERTAIN MAP ENTITLED "FINAL CLUSTER SUBDIVISION PLAN - MAJOR SUBDIVISION LANDS OF DANSOME, LLC FINAL SUBDIVISION PLAN, VILLAGE OF SOUTH NYACK, ROCKLAND COUNTY, NEW YORK" FILED ON JUNE 22, 2005 IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP NUMBER 7769, BOOK 125 & PAGE 8.
- SANITARY SEWAGE SYSTEM: MUNICIPAL/COMMUNITY SEWER SYSTEM ORANGETOWN SEWER DISTRICT.
- WATER SUPPLY SYSTEM: MUNICIPAL/COMMUNITY WATER SYSTEM (VEOLIA WATER).
- UTILITIES: GAS/ELECTRIC (ORANGE AND ROCKLAND UTILITIES, INC.).
- EXISTING USE: VACANT APPROVED CLUSTER SUBDIVISION LOT.
- PROPOSED USE: SINGLE-FAMILY RESIDENTIAL.
- BOUNDARY AND EXISTING CONDITIONS: BASED ON SURVEY BY PROJECT SURVEYOR.
- TOPOGRAPHIC DATUM: AS PER PROJECT SURVEYOR.
- CONTRACTOR TO KEEP ROAD AND SURROUNDING AREAS CLEAR OF TRASH AND DEBRIS.
- CONTRACTOR TO MINIMIZE DIRT AND MUD IN ROADWAY BY CLEANING ROADWAY AS REQUIRED OR REQUESTED BY THE LOCAL MUNICIPAL AUTHORITIES.

LANDSCAPE MAINTENANCE NOTES:

- MAINTENANCE CONTRACTOR TO MAINTAIN ALL PLANT MATERIALS AND IRRIGATION SYSTEM.
- LANDSCAPE CONTRACTOR OR MAINTENANCE SUBCONTRACTOR SHALL HAVE A FULL TIME EMPLOYEE ASSIGNED TO THE JOB AS FOREMAN FOR THE DURATION OF THE CONTRACT. FOREMAN SHALL HAVE A MINIMUM OF FOUR (4) YEARS EXPERIENCE IN LANDSCAPE MAINTENANCE SUPERVISION, WITH EXPERIENCE OR TRAINING IN TURF MANAGEMENT, ENTOMOLOGY, PEST CONTROL, SOILS, FERTILIZERS AND PLANT IDENTIFICATION.
- LANDSCAPE MAINTENANCE CONTRACTOR SHALL SUBMIT MAINTENANCE SCHEDULE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO START OF LANDSCAPE MAINTENANCE PERIOD.
- AT BEGINNING OF MAINTENANCE PERIOD, VISIT AND WALK SITE WITH LANDSCAPE ARCHITECT TO VERIFY SCOPE OF WORK AND UNDERSTAND EXISTING SITE CONDITIONS. NOTIFY LANDSCAPE ARCHITECT FIVE (5) DAYS PRIOR TO VISIT.
- STERILIZE ALL TOOLS USED PRIOR TO ANY MAINTENANCE WORK.
- NO USE OF ANTI-DESSICANT IS PERMITTED ON ANY PLANT.
- WOUND DRESSINGS SUCH AS TAR, ASPHALT, PAINT OR OTHER PETROLEUM SOLVENTS ARE NOT PERMITTED TO BE USED ON TREES IN ANY CIRCUMSTANCE.
- PRUNING:**
 - NO PRUNING IS NECESSARY FOR FORBS AND GRAMINOIDES. IF CUTTING BACK IS DESIRED FOR AESTHETIC REASONS, PERENNIALS MAY BE CUT IN APRIL TO MAY LEAVING BETWEEN 8-24" OF STALKS INTACT FOR STEM-NESTING INSECTS.
 - LATE-BLOOMING PERENNIALS MAY BE TRIMMED 25-75% IN LATE SPRING FOR HEIGHT CONTROL.
 - HEDGES ARE NOT TO BE TRIMMED IN GEOMETRIC FORMS, BUT LEFT IN ITS NATURAL FORM.
 - NO PRUNING SHALL BE DONE AT THE TIME OF INSTALLATION, EXCEPT TO REMOVE DEAD OR BROKEN BRANCHES/STEMS.
 - ALL ADDITIONAL PRUNING SHOULD BE CONDUCTED BY A CERTIFIED ARBORIST TO DETERMINE PRUNING GOALS, BEST PRACTICES AND LONG TERM PRUNING MAINTENANCE NEEDS OF THE SELECTED SPECIES.
 - ACCEPTABLE PRUNING OBJECTIVES INCLUDE BUT ARE NOT LIMITED TO PROVIDING CLEARANCE, MAINTAINING HEALTH, RESTORATION FROM WEATHER DAMAGE, RISK MANAGEMENT, AND MANAGING WILDLIFE HABITAT.
 - PRIOR TO PRUNING OF MATURE TREES, A WRITTEN PRUNING SPECIFICATION SHALL BE PRESENTED TO THE OWNER CLEARLY DEMONSTRATING PRUNING SYSTEMS (TYPE OF PRUNING), OBJECTIVES, LOCATION OF CUT, AMOUNT TO REMOVE, PLAN FOR DISPOSAL OF DEBRIS, TIME FRAME FOR COMPLETION OF WORK AND RE-INSPECTION OR PRUNING INTERVAL.
- REMOVE LEAVES FROM LAWN AND SHRED TO USE AS MULCH IN GARDEN BEDS. EXCESS LEAVES SHOULD BE COMPOSTED. DO NOT REMOVE LEAVES FROM GARDEN BEDS.
- DO NOT MOW UP TO THE TRUNK OF NEW OR PREVIOUSLY EXISTING TREES. MAINTAIN A BUFFER OF 3 TO 5 FEET FROM THE BASE OF THE TRUNK TO EITHER BE MANAGED BY HAND OR PROTECTED WITH MULCH OR VEGETATION.
- FERTILIZER SHOULD NOT BE USED AT THE TIME OF PLANTING OR WITHIN THE FIRST YEAR OF INSTALLATION. ANY FUTURE USE MUST BE DOCUMENTED ACCORDING TO #3 AND THE ADDITIONAL REQUIREMENTS LISTED BELOW.
- LANDSCAPE CONTRACTOR SHALL SUBMIT A MANUAL WITH ALL MATERIALS AND PRODUCTS USED IN CONSTRUCTION AND MAINTENANCE PERIOD; MAKE CORRECTIONS AND ADDITIONS PER DIRECTION OF LANDSCAPE ARCHITECT PRIOR TO FINAL SUBMITTAL TO THE OWNER. SUBMIT LOG OF ALL FERTILIZERS AND HERBICIDES WITH DATES AND RATES APPLIED DURING MAINTENANCE PERIOD. LANDSCAPE ARCHITECT SHALL WALK SITE WITH CONTRACTOR AND NOTE ALL UNSATISFACTORY WORK. UNSATISFACTORY WORK SHALL BE CORRECTED WITHIN 10 CALENDAR DAYS.

LANDSCAPING PLAN

PREPARED FOR: TAX LOT #s 66.69-1-2.12

SECTION 66.69, BLOCK 1, LOT 2.12

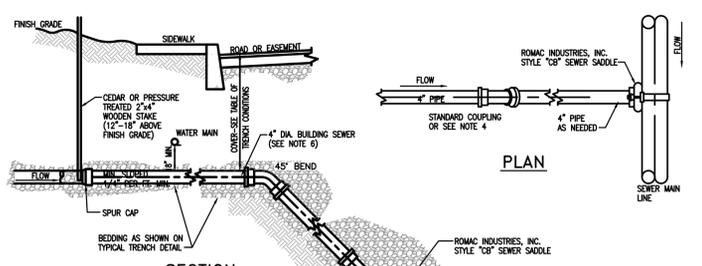
27 COLLEGE AVENUE

VILLAGE OF SOUTH NYACK, TOWN OF ORANGETOWN
COUNTY OF ROCKLAND & STATE OF NEW YORK

Michael J. Calise, P.E. & Associates, P.C.
Civil Engineering & Land Planning Consultants
Post Office Box 96, Pearl River, New York 10969
Phone (845) 629-3743 mcCaliseengineering.com

TAX LOT NUMBER: 66.69-1-2.12
TOTAL SITE AREA: 0.59± ACRES
25,684± SQUARE-Feet
JOB NUMBER: 2509
SCALE: 1"=20'
DATE: FEBRUARY 28, 2025
SHEET: 5 OF 6

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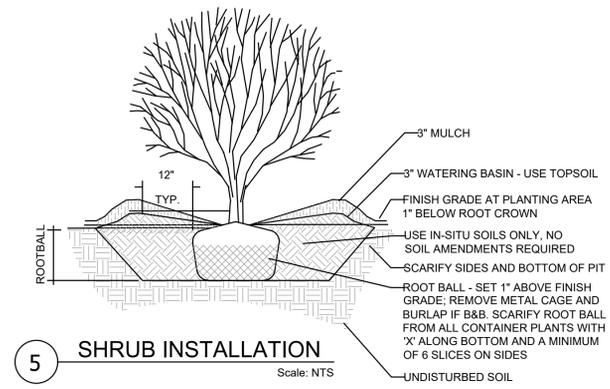
PLAN

SECTION

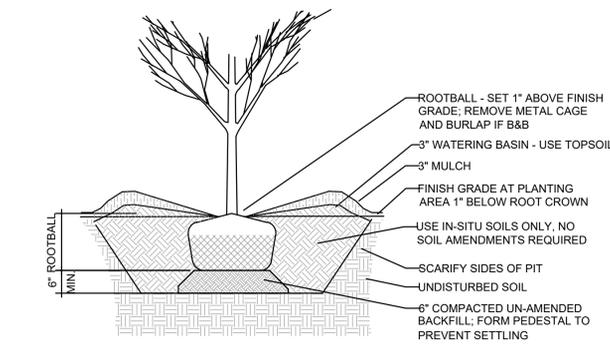
SPECIAL CONDITIONS FOR SHALLOW TRENCH COVER	
COVER	PIPE
LESS THAN 4'-0"	CLASS 50 DUCTILE IRON OR CAST IRON EXTRA HEAVY OR APPROVED EQUAL.

- SANITARY SEWER SPECIFICATIONS (FOR BUILDING SEWERS AND SEWER MAIN LINE)**
1. REQUIRED MAIN LINE SEWER (OR APPROVED EQUAL):
- A) ABS-TRUSS PIPE:
 - 1) PIPE STAMPED ASTM D2080
 - 2) FITTINGS: STAMPED ASTM D2080
 - 3) JOINTS: SOLVENT WELD ASTM D2233
 - B) PVC-TRUSS PIPE:
 - 1) PIPE STAMPED ASTM D2080
 - 2) FITTINGS: STAMPED ASTM D2080
 - 3) JOINTS: SOLVENT WELD ASTM D2254 OR ELASTOMERIC (GASKET)
 - C) PVC-SR 26 HEAVY WALL PIPE:
 - 1) PIPE (14" DIAMETER): STAMPED ASTM 3034
 - 2) PIPE (16" AND GREATER DIAMETER): STAMPED ASTM F679
 - 3) FITTINGS: STAMPED ASTM 3034 OR F679
 - 4) JOINTS: SOLVENT WELD ASTM 2564 OR ELASTOMERIC (GASKET)
 - D) PVC-SR 35 SOLID WALL PIPE:
 - 1) PIPE (8" - 15" DIAMETER): STAMPED ASTM D3034
 - 2) PIPE (16" OR GREATER DIAMETER): STAMPED ASTM F789
 - 3) FITTINGS: STAMPED ASTM 3034 OR F679
 - 4) JOINTS: BELL & SPIGOT WITH ELASTOMERIC GASKET ASTM D3034 OR SOLVENT WELD ASTM D2564
 - E) REQUIRED 6" BUILDING LATERAL SEWER (OR APPROVED EQUAL):
 - 1) PVC-SR 33 SOLID WALL PIPE:
 - 1) PIPE STAMPED ASTM D3034 AND SR 35
 - 2) FITTINGS: STAMPED SR 35 AND ASTM 3034
 - 3) JOINTS: BELL & SPIGOT WITH ELASTOMERIC GASKET ASTM D3034 OR SOLVENT WELD ASTM D2564
 - 2) PVC-SR 26 HEAVY WALL PIPE:
 - 1) PIPE STAMPED ASTM D3034 AND SR 26
 - 2) FITTINGS: STAMPED D3034 AND SR 26
 - 3) JOINTS: BELL & SPIGOT WITH ELASTOMERIC GASKET ASTM D3034 OR SOLVENT WELD ASTM D2564
 - 3) PVC-SR 235 ABS SOLID WALL PIPE:
 - 1) PIPE STAMPED ASTM D2751 AND SR 235
 - 2) FITTINGS: STAMPED SR 235 AND ASTM D2751
 - 3) JOINTS: SOLVENT WELD ASTM D2564
- II) OTHER REQUIRED PIPE MATERIALS FOR 6" LATERAL AND SEWER MAIN LINE (OR APPROVED EQUAL):
- A) CAST IRON, EXTRA HEAVY, COATED, HUB & FLANGE, PLAN ENDS C-74 WITH ELASTOMERIC COMPRESSION GASKET (ASTM C-564)
 - B) DUCTILE IRON PIPE, CLASS 52, CEMENT LINED AND TAR COATED INSIDE AND OUT.

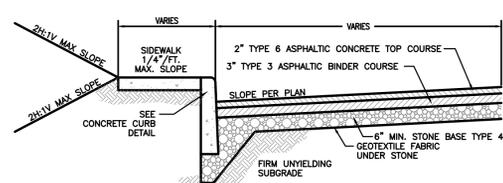
SEWER MAIN CONNECTION DETAIL
NOT TO SCALE



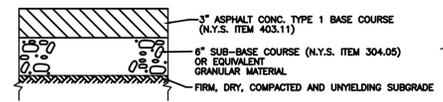
5 SHRUB INSTALLATION
Scale: NTS



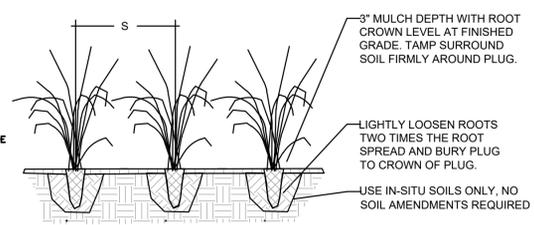
4 TREE INSTALLATION
Scale: NTS



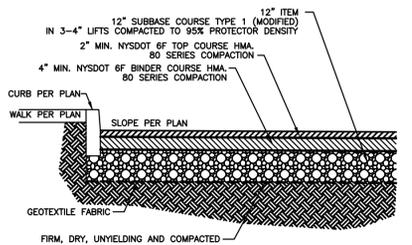
TYPICAL PAVEMENT SECTION
PARKING LOTS & DRIVEWAYS
NOT TO SCALE



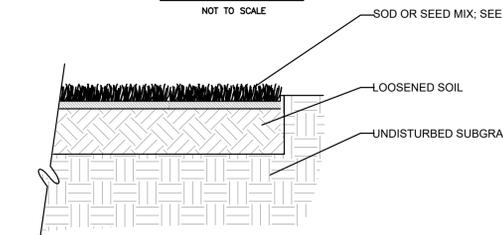
ASPHALT DRIVEWAY DETAIL
NOT-TO-SCALE



6 PLUG INSTALLATION
Scale: NTS



VILLAGE ROAD WIDENING
PAVING SECTION
NOT TO SCALE

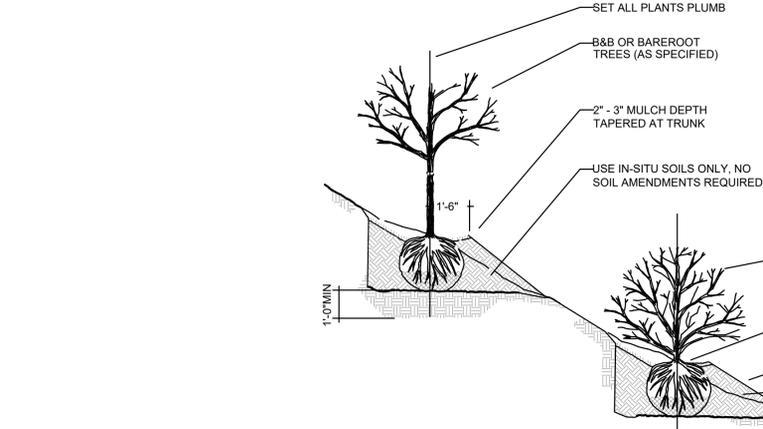


9 LAWN INSTALLATION
Scale: NTS

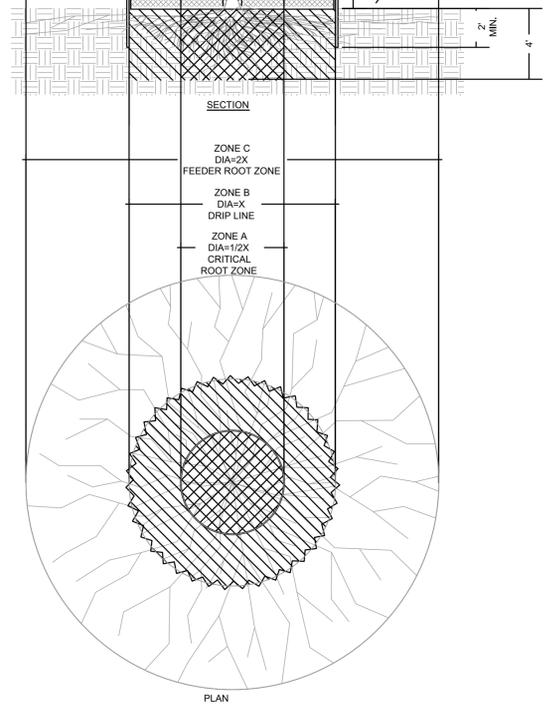
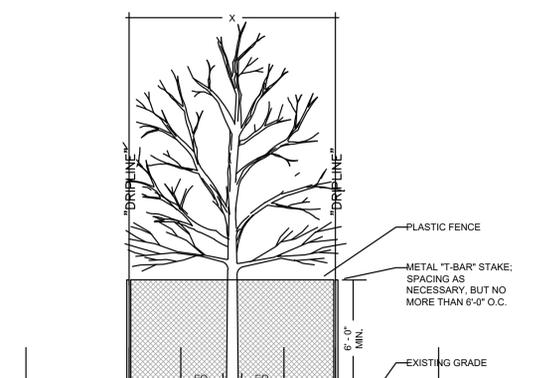
BOUNDARY AND TOPOGRAPHIC SURVEY REFERENCE:	OWNERS:	APPLICANT:	STREET ADDRESS:
BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN TAKEN FROM A MAP ENTITLED "SURVEY PREPARED FOR 27 COLLEGE AVENUE, NYACK, NEW YORK 10960 - SECTION 66.69 ~ BLOCK 1 ~ LOT 2.12 PREPARED BY EDWARD T. GANNON, P.L.S. DATED DECEMBER 08, 2024.	NYACK WATERFRONT LLC 51 FOREST ROAD SUITE 316-76 MONROE, NEW YORK 10950	INDIGO DEVELOPERS 51 FOREST ROAD SUITE 316-76 MONROE, NEW YORK 10950	27 COLLEGE AVENUE NYACK, NEW YORK 10960

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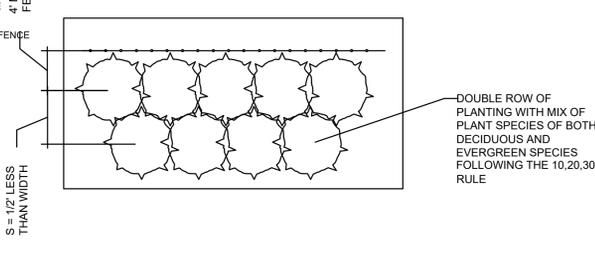
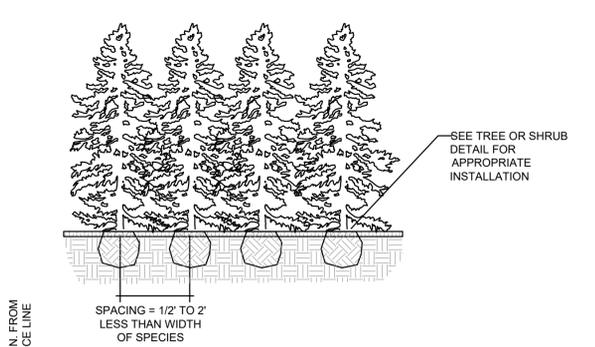
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17 PLANT INSTALLATION ON SLOPE
Scale: NTS



7 PERENNIAL INSTALLATION
Scale: NTS



18 PLANT SCREENING SPACING
Scale: NTS

BOUNDARY AND TOPOGRAPHIC SURVEY REFERENCE:	OWNERS:	APPLICANT:	STREET ADDRESS:
BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN TAKEN FROM A MAP ENTITLED "SURVEY PREPARED FOR 27 COLLEGE AVENUE, NYACK, NEW YORK 10960 - SECTION 66.69 ~ BLOCK 1 ~ LOT 2.12 PREPARED BY EDWARD T. GANNON, P.L.S. DATED DECEMBER 08, 2024.	NYACK WATERFRONT LLC 51 FOREST ROAD SUITE 316-76 MONROE, NEW YORK 10950	INDIGO DEVELOPERS 51 FOREST ROAD SUITE 316-76 MONROE, NEW YORK 10950	27 COLLEGE AVENUE NYACK, NEW YORK 10960

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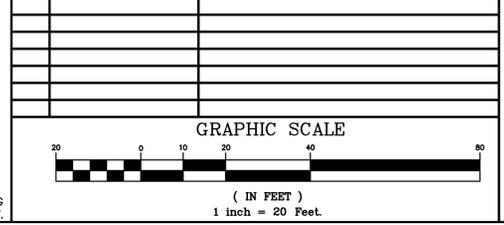
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 - APPLICANT: INDIGO DEVELOPERS
51 FOREST ROAD
SUITE 316-76
MONROE, NEW YORK 10950
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NYACK, NEW YORK 10960
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 - FILED MAP REFERENCE: BEING KNOWN AS LOT 12 AS SHOWN ON A CERTAIN MAP ENTITLED "FINAL CLUSTER SUBDIVISION PLAN - MAJOR SUBDIVISION LANDS OF DANSMOE, LLC FINAL SUBDIVISION PLAN VILLAGE OF SOUTH NYACK, ROCKLAND COUNTY, NEW YORK" FILED ON JUNE 22, 2005 IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP NUMBER 7769, BOOK 1125 & PAGE 8.
 - SANITARY SEWER SYSTEM: MUNICIPAL/COMMUNITY SEWER SYSTEM ORANGETOWN SEWER DISTRICT.
 - WATER SUPPLY SYSTEM: MUNICIPAL/COMMUNITY WATER SYSTEM (VEOLIA WATER).
 - UTILITIES: GAS/ELECTRIC (ORANGE AND ROCKLAND UTILITIES, INC.).
 - EXISTING USE: VACANT APPROVED CLUSTER SUBDIVISION LOT.
 - PROPOSED USE: SINGLE-FAMILY RESIDENTIAL.
 - BOUNDARY AND EXISTING CONDITIONS: BASED ON SURVEY BY PROJECT SURVEYOR.
 - TOPOGRAPHIC DATUM: AS PER PROJECT SURVEYOR.
 - CONTRACTOR TO KEEP ROAD AND SURROUNDING AREAS CLEAR OF TRASH AND DEBRIS.
 - CONTRACTOR TO MINIMIZE DIRT AND MUD IN ROADWAY BY CLEANING THOROUGHLY AS REQUIRED OR REQUESTED BY THE LOCAL MUNICIPAL AUTHORITIES.

- FENCING/ROOT PROTECTION**
CONSTRUCTION FENCING TO BE PROVIDED AND MAINTAINED AT DRIPLINE.
- ENGINEER'S APPROVAL REQUIRED FOR USE/ACCESS WITHIN ZONE B PERMISSIBLE FOR USE/ACCESS REQUIRES SURFACE PROTECTION (SEE BELOW) FOR ALL UNFENCED, UNPAVED SURFACES WITHIN ZONE B
- * SURFACE PROTECTION MEASURES**
- MULCH LAYER, 6"-8" DEPTH
 - 3/4" PLYWOOD
 - STEEL PLATES

- TRENCHING/EXCAVATION**
- ZONE A (CRITICAL ROOT ZONE)**
- NO DISTURBANCE ALLOWED WITHOUT SITE-SPECIFIC INSPECTION AND APPROVAL OF METHODS TO MINIMIZE ROOT DAMAGE
 - SEVERANCE OF ROOTS LARGER THAN 2" DIA. REQUIRES ENGINEER'S APPROVAL
 - TUNNELING REQUIRED TO INSTALL LINES 3'-0" BELOW GRADE OR DEEPER
- ZONE B (DRIFLINE)**
- OPERATION OF HEAVY EQUIPMENT AND/OR STOCKPILING OF MATERIALS SUBJECT TO ENGINEER'S APPROVAL. SURFACE PROTECTION* MEASURES REQUIRED
 - TRENCHING ALLOWED AS FOLLOWS:
 - EXCAVATION BY HAND OR WITH HAND-DRIVEN TRENCHER MAY BE REQUIRED
 - LIMIT TRENCH WIDTH. DO NOT DISTURB ZONE A
 - MAINTAIN 2/3 OR MORE OF ZONE B IN UNDISTURBED CONDITION
 - TUNNELING MAY BE REQUIRED FOR TRENCHES DEEPER THAN 3'-0"
- ZONE C (FEEDER ROOT ZONE)**
- OPERATION OF HEAVY EQUIPMENT AND/OR STOCKPILING OF MATERIALS SUBJECT TO ENGINEER'S APPROVAL. SURFACE PROTECTION* MEASURES MAY BE REQUIRED
 - TRENCHING WITH HEAVY EQUIPMENT ALLOWED AS FOLLOWS:
 - MINIMIZE TRENCH WIDTH
 - MAINTAIN 2/3 OR MORE OF ZONE C IN UNDISTURBED CONDITION
 - CONDITION

REVISIONS:		COMMENTS
#	DATE	BUILDING INSPECTOR'S MEETING COMMENTS
1	MARCH 26, 2025	



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Michael J. Calise
MICHAEL J. CALISE, P.E.
NEW YORK STATE LIC. NO. 074611

DETAIL SHEET
PREPARED FOR:
TAX LOT
SECTION 66.69, BLOCK 1, LOT 2.12

27 COLLEGE AVENUE
VILLAGE OF SOUTH NYACK, TOWN OF ORANGETOWN
COUNTY OF ROCKLAND & STATE OF NEW YORK

Michael J. Calise, P.E. & Associates, P.C.
Civil Engineering & Land Planning Consultants
Post Office Box 96, Pearl River, New York 10965
Phone (845) 629-3743 mcalise@engineering.com

TAX LOT NUMBER:	66.69-1-2.12
TOTAL SITE AREA:	0.59± ACRES
SQUARE-Feet	25,684±
JOB NUMBER:	2509
SCALE:	1"=20'
DATE:	FEBRUARY 28, 2025
SHEET:	6 OF 6

Know what's below.

811

Call before you dig.

SEAL VALID FOR
MJC JOB# 2509
SEAL DATE:
APRIL 8, 2025

THIS PLAN FOR BUILDING PERMIT PURPOSES ONLY.

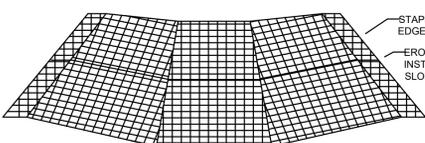
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LEGEND

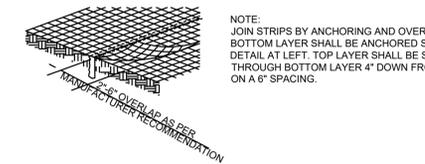
625.0(TC) DENOTES EXISTING "TOP OF CURB" GRADE		DENOTES EXISTING UTILITY POLE	
625.0(BC) DENOTES EXISTING "BOTTOM OF CURB" GRADE		DENOTES EXISTING CONCRETE SURFACE	
625.0(DC) DENOTES EXISTING "DROP CURB" GRADE		DENOTES PROPOSED ELECTRIC METERS	
625.0(BW) DENOTES EXISTING "BOTTOM OF WALL" GRADE		DENOTES PROPOSED CONCRETE SURFACE	
625.0(TW) DENOTES EXISTING "TOP OF WALL" GRADE		DENOTES PROPOSED GAS METER	
WV DENOTES EXISTING WATER VALVE		DENOTES EXISTING STONE WALL	
GV DENOTES EXISTING GAS VALVE		DENOTES PROPOSED STONE	
WMH DENOTES EXISTING WATER MANHOLE		DENOTES PROPOSED EXISTING GAS MAIN	
TMH DENOTES EXISTING TELEPHONE MANHOLE		DENOTES PROPOSED GAS SERVICE	
SMH DENOTES EXISTING SANITARY MANHOLE		DENOTES EXISTING OVERHEAD WIRES	
DMH DENOTES EXISTING DRAINAGE MANHOLE		DENOTES PROPOSED UNDERGROUND ELECTRIC SERVICE	
LP DENOTES EXISTING LIGHT POLE		DENOTES # (SIZE) DOMESTIC WATER SERVICE	
CB DENOTES EXISTING CATCH BASIN		DENOTES # (SIZE) FIRE SERVICE LINE	
+217.6 DENOTES EXISTING SPOT GRADE		DENOTES # (SIZE) DOMESTIC & FIRE SERVICE LINE	
+XXXX.XX± DENOTES PROPOSED SPOT GRADE		DENOTES # (SIZE) FIRE SERVICE LINE	
—238 DENOTES EXISTING CONTOUR LINE		DENOTES PROPOSED CURB VALVE	
①④ DENOTES PROPOSED CONTOUR		DENOTES PROPOSED SANITARY SEWER MAIN	
—W14 DENOTES EXISTING SANITARY MANHOLE		DENOTES PROPOSED SANITARY MANHOLE	
—W14 DENOTES EXISTING WETLANDS LIMIT LINE		DENOTES EXISTING WETLANDS LIMIT LINE	
CO DENOTES PROPOSED SEWER LATERAL CLEANOUT			

EROSION CONTROL SEQUENCE OF CONSTRUCTION:

- CONSTRUCT AND MAINTAIN CONSTRUCTION ENTRANCE. AT THE COMPLETION OF CONSTRUCTION REMOVE CONSTRUCTION ENTRANCE.
- INSTALL ALL EROSION CONTROL DEVICES AS SHOWN ON THIS PLAN AND NOTED IN THE "LEGEND FOR EROSION CONTROL REQUIRED AT THE TIME OF CONSTRUCTION."
- DURING CONSTRUCTION, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
- CLEAR GRUB AND EXISTING TREES AND VEGETATION FROM AREAS WITHIN THE LIMITS OF DISTURBANCE (LOD) OR WITHIN AREAS TO BE EXCAVATED, CUT OR FILLED.
- STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE DISTURBED.
- PERFORM NECESSARY EXCAVATION OR FILL OPERATIONS TO BRING SITE TO DESIRED SUBGRADE.
- INSTALL STORM DRAINAGE SYSTEM, AS SHOWN ON THE PROJECT PLANS.
- SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNFINISHED FOR A PERIOD OF 15 DAYS, OR MORE, AS PER NOTE 4 OF "GRADING NOTES."
- AFTER COMPLETION OF THE SITE CONSTRUCTION, FILL, GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED AS PER NOTES 10, 11 AND 12 OF "GRADING NOTES."
- AFTER LOT STABILIZATION HAS TAKEN PLACE: PAVE (BASE COURSE) DRIVEWAYS, IF NECESSARY, CLEAN DRAINAGE PIPES AND STRUCTURES OF ANY SEDIMENT WHICH MAY HAVE ACCUMULATED DURING CONSTRUCTION.
- REMOVE ALL EROSION CONTROL DEVICES.
- MAINTAIN ALL SEEDING AND PLANTED AREAS TO INSURE A VIABILITY OF STABILIZED VEGETATIVE COVER.
- SILT THAT HAS BEEN ACCUMULATED IN SILT RETENTION BASINS TO BE REMOVED WHEN BASIN IS FILLED IN TO 50% OF PROVIDED DEPTH.
- ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AS REQUIRED AND REQUESTED BY LOCAL MUNICIPAL AUTHORITIES. THIS IS TO PREVENT DISCHARGE OF SILT LADEN RUNOFF FROM ENTERING A WATER COURSE OR A DRAINAGE SYSTEM.



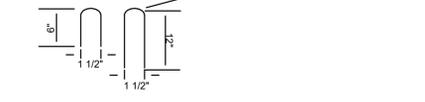
11 EROSION CONTROL: MATTING DETAIL
Scale: NTS



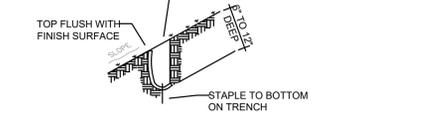
12 EROSION CONTROL: OVERLAP DETAIL
Scale: NTS



13 EROSION CONTROL: ANCHOR DETAIL
Scale: NTS



14 EROSION CONTROL: TYPICAL STAPLES
Scale: NTS



15 EROSION CONTROL: EROSION STOP DETAIL
Scale: NTS

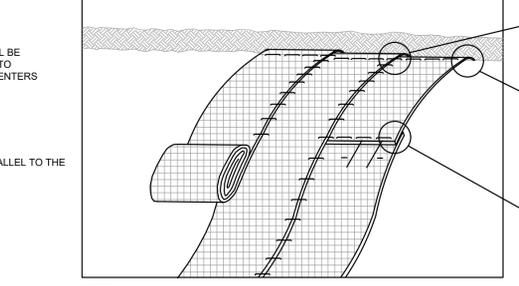
LEGEND FOR EROSION CONTROL MEASURES REQUIRED AT THE TIME OF CONSTRUCTION

	STABILIZED CONSTRUCTION ENTRANCE
	SILT FENCE
	HAY BALE DIKE
	EARTH DIKE
	SEDIMENT TRAP - STONE OUTLET
	DROP INLET PROTECTION

BOUNDARY AND TOPOGRAPHIC SURVEY REFERENCE:

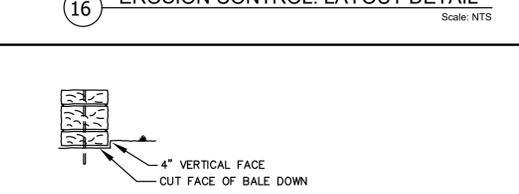
BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN TAKEN FROM A MAP ENTITLED "SURVEY PREPARED FOR 27 COLLEGE AVENUE, NYACK, NEW YORK 10960 - SECTION 66.69 ~ BLOCK 1 ~ LOT 2.12 PREPARED BY EDWARD T. GANNON, P.L.S. DATED DECEMBER 08, 2024.

THIS PLAN IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION, SPECIFICATION SHEET OR MUNICIPAL OR AGENCY APPROVAL. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR TO BE CONSIDERED AS EITHER BEING PROVIDED OR IN ACCORDANCE WITH APPLICABLE CODES, STANDARDS OR ACCEPTED CONSTRUCTION METHODS

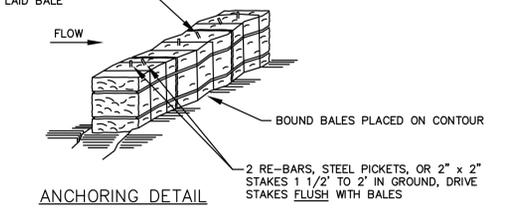


16 EROSION CONTROL: LAYOUT DETAIL
Scale: NTS

- EROSION CONTROL BLANKET SHALL BE COIR MAT 900 OR APPROVED EQUAL.
- GEOTEXTILE MATTING (MARAFI 500X OR 600X, OR APPROVED EQUAL) SHALL BE USED DURING WINTER MONTHS IF HYDROSEEDING/VEGETATIVE STABILIZATION IS NOT PRACTICABLE.
- CONTRACTOR SHALL INSTALL EROSION CONTROL MESH PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATION.



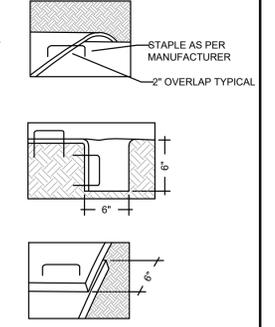
ANCHORING DETAIL



CONSTRUCTION SPECIFICATIONS

- HAY BALE AREAS SHALL BE USED FOR DRAINAGE NO MORE THAN 1/4 AC. PER 100 FEET OF STRAW BALE DIKE AND FOR SLOPES LESS THAN 25%.
- BALES SHALL BE PLACED AT THE TOE OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ADJUTING THE ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
- BALES SHALL BE SECURELY ANCHORED IN PLACED BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

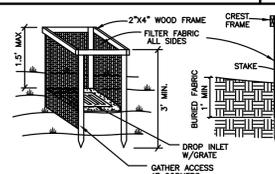
HAY BALE DIKE DETAIL



DROP INLET PROTECTION

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2"x4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW THE GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2"x4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

CONSTRUCTION SPECIFICATIONS



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MAXIMUM DRAINAGE AREA: 1 ACRE

ELEVATION TABLE:

FINISHED FLOOR ELEVATION:	<270.0'±>
GARAGE FLOOR ELEVATION:	<256.5'±>
BASEMENT FLOOR ELEVATION:	<259.0'±>
CAST-IRON ELEVATION:	<255.5'±>
SADDLE ELEVATION @ MAIN:	<233.3'±>

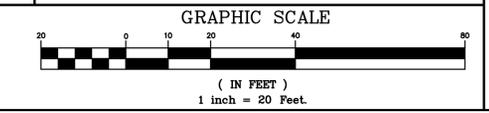
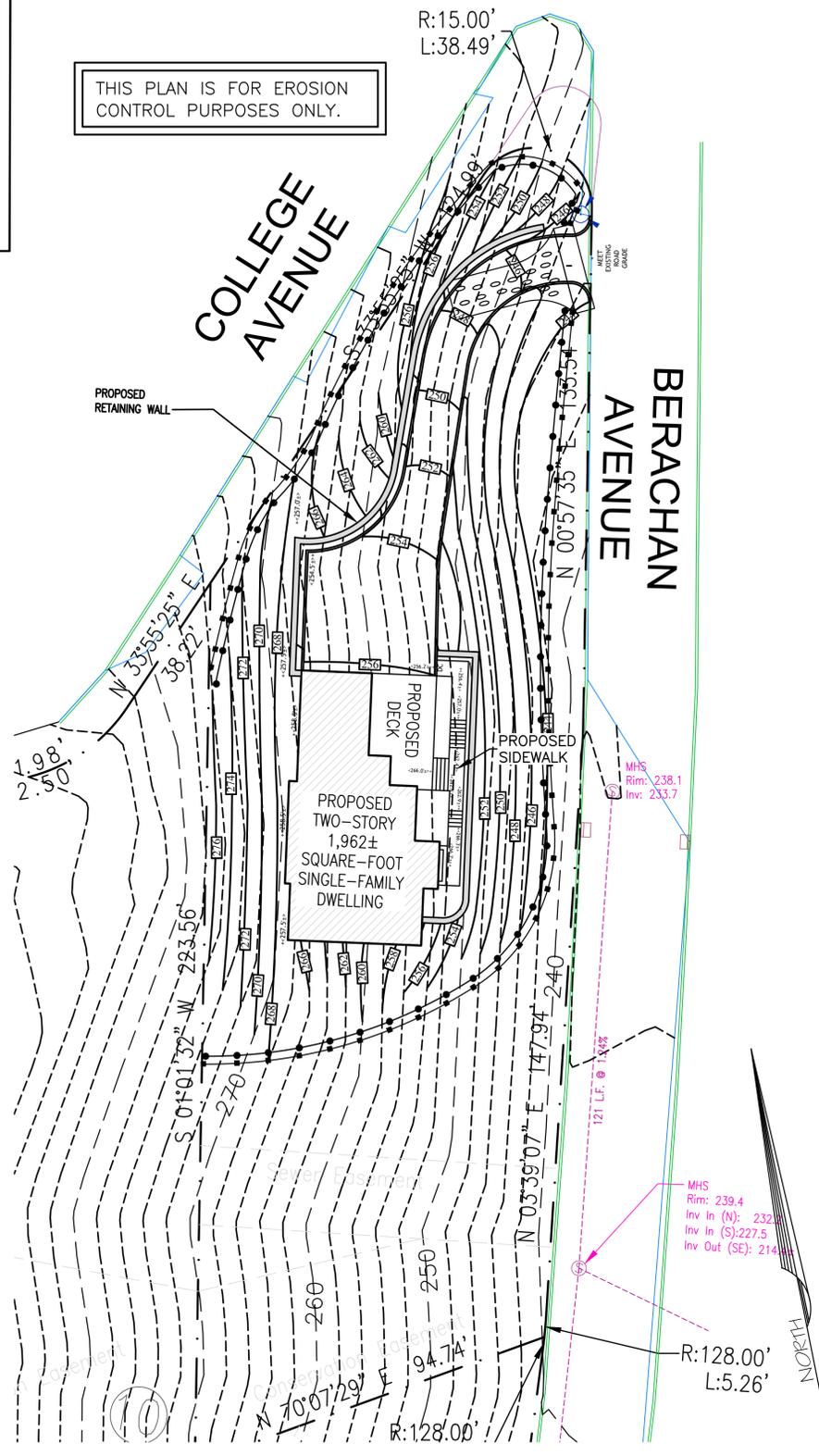
*CONTRACTOR TO VERIFY SEWER MAIN ELEVATION FOR SADDLE

Know what's below.

Call before you dig.

THIS PLAN FOR BUILDING PERMIT PURPOSES ONLY.

THIS PLAN IS FOR EROSION CONTROL PURPOSES ONLY.



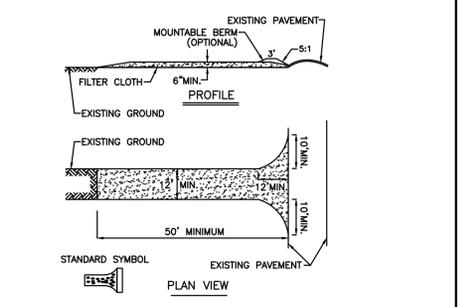
UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED N.Y.S. ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE, IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF. BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. COPIES OF THIS PLAN NOT HAVING THE EMBOSSED SEAL OF THE N.Y.S. ENGINEER SHALL NOT BE VALID. PLAN PREPARED PURSUANT TO SECTION 7208m OF THE NEW YORK STATE EDUCATION LAW.

Michael J. Calise

MICHAEL J. CALISE, P.E.
NEW YORK STATE LIC. NO. 074611

SITE SPECIFIC NOTES:

- THIS IS A PLOT PLAN PREPARED FOR OF TAX LOT #s 66.69-1-2.12 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAPS.
- RECORD OWNER: NYACK WATERFRONT LLC
51 FOREST ROAD
SUITE 316-76
MONROE, NEW YORK 10950
- APPLICANT: INDIGO DEVELOPERS
51 FOREST ROAD
SUITE 316-76
MONROE, NEW YORK 10950
27 COLLEGE AVENUE
NYACK, NEW YORK 10960
- SITE ADDRESS: DEED BOOK: 125 DEED PAGE: 8.
- DEED REFERENCE: 25,684± SQUARE-Feet or 0.59± ACRES.
- TOTAL AREA OF PARCEL: (R-12HC) CLUSTER MAJOR SUBDIVISION
- ZONING DISTRICT: BEING KNOWN AS LOT 12 AS SHOWN ON A CERTAIN MAP ENTITLED "FINAL CLUSTER SUBDIVISION PLAN - MAJOR SUBDIVISION LANDS OF DANSOME, LLC FINAL SUBDIVISION PLAN VILLAGE OF SOUTH NYACK, ROCKLAND COUNTY, NEW YORK" FILED ON JUNE 22, 2005 IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP NUMBER 7769, BOOK 125 & PAGE 8.
- FILED MAP REFERENCE: MUNICIPAL/COMMUNITY SEWER SYSTEM ORANGETOWN SEWER DISTRICT.
- SANITARY SEWER SYSTEM: MUNICIPAL/COMMUNITY WATER SYSTEM (VEOLIA WATER).
- WATER SUPPLY SYSTEM: GAS/ELECTRIC (ORANGE AND ROCKLAND UTILITIES, INC.).
- UTILITIES: VACANT APPROVED CLUSTER SUBDIVISION LOT.
- EXISTING USE: SINGLE-FAMILY RESIDENTIAL.
- PROPOSED USE: BASED ON SURVEY BY PROJECT SURVEYOR.
- BOUNDARY AND EXISTING CONDITIONS: AS PER PROJECT SURVEYOR.
- TOPOGRAPHIC DATUM: AS PER PROJECT SURVEYOR.
- CONTRACTOR TO KEEP ROAD AND SURROUNDING AREAS CLEAR OF TRASH AND DEBRIS.
- CONTRACTOR TO MINIMIZE DIRT AND MUD IN LOCAL WATERSHED BY CLEANING ROADWAY AS REQUIRED OR REQUESTED BY THE LOCAL MUNICIPAL AUTHORITIES.



CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTING BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE

NTS

TOTAL SITE DISTURBANCE:

TOTAL DISTURBED AREA:
0.37± Acres (16103.7± square-feet)

EROSION CONTROL PLAN

PREPARED FOR:
TAX LOT
SECTION 66.69, BLOCK 1, LOT 2.12

27 COLLEGE AVENUE

VILLAGE OF SOUTH NYACK, TOWN OF ORANGETOWN
COUNTY OF ROCKLAND & STATE OF NEW YORK

Michael J. Calise, P.E. & Associates, P.C.
Civil Engineering & Land Planning Consultants
Post Office Box 96, Pearl River, New York 10965
Phone (845) 629-3743 mc@caliseengineering.com

TAX LOT NUMBER: 66.69-1-2.12
TOTAL SITE AREA: 0.59± ACRES
25,684± SQUARE-Feet
JOB NUMBER: 2509
SCALE: 1"=20'
DATE: FEBRUARY 28, 2025
SHEET: 3 OF 6