

LEGEND

625.0(TC) DENOTES EXISTING "TOP OF CURB" GRADE		DENOTES EXISTING UTILITY POLE	
625.0(BC) DENOTES EXISTING "BOTTOM OF CURB" GRADE		DENOTES EXISTING CONCRETE SURFACE	
625.0(DC) DENOTES EXISTING "DROP CURB" GRADE		DENOTES PROPOSED ELECTRIC METERS	
625.0(BW) DENOTES EXISTING "BOTTOM OF WALL" GRADE		DENOTES PROPOSED CONCRETE SURFACE	
625.0(TW) DENOTES EXISTING "TOP OF WALL" GRADE		DENOTES PROPOSED GAS METER	
WV DENOTES EXISTING WATER VALVE		DENOTES EXISTING STONE WALL	
GV DENOTES EXISTING GAS VALVE		DENOTES PROPOSED STONE	
WMH DENOTES EXISTING WATER MANHOLE		DENOTES PROPOSED EXISTING GAS MAIN	
TMH DENOTES EXISTING TELEPHONE MANHOLE		DENOTES PROPOSED GAS SERVICE	
SMH DENOTES EXISTING SANITARY MANHOLE		DENOTES EXISTING OVERHEAD WIRES	
DMH DENOTES EXISTING DRAINAGE MANHOLE		DENOTES PROPOSED UNDERGROUND ELECTRIC SERVICE	
LP DENOTES EXISTING LIGHT POLE		DENOTES #(SIZE)" DOMESTIC WATER SERVICE	
CB DENOTES EXISTING CATCH BASIN		DENOTES #(SIZE)" FIRE SERVICE LINE	
+217.6 DENOTES EXISTING SPOT GRADE		DENOTES #(SIZE)" DOMESTIC & FIRE SERVICE LINE	
+XXXX.XX'± DENOTES PROPOSED SPOT GRADE		DENOTES #(SIZE)" FIRE SERVICE LINE	
-238 DENOTES EXISTING CONTOUR LINE		DENOTES PROPOSED CURB VALVE	
		DENOTES PROPOSED SANITARY SEWER MAIN	
		DENOTES PROPOSED SANITARY MANHOLE	
		DENOTES EXISTING WETLANDS LIMIT LINE	

GENERAL NOTES:

- ALL HORIZONTAL AND VERTICAL CONTROL DATA ON THE PROJECT SHALL BE PROVIDED BY A LICENSED SURVEYOR.
- NO SITE PREPARATION OR CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING AND APPROVALS HAVE BEEN OBTAINED.
- GAS, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT TOP COURSE.
- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION WHERE UTILITIES ARE CROSSED BY PROPOSED CONSTRUCTION. TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD BE THE DESIGN HEREON INAPPROPRIATE OR INEFFECTIVE.
- THESE PLANS DOES NOT DEPICT ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. NO EXPLORATORY OR TESTING METHODS, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, HAZARDOUS, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE ENDORSED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE ALL FOR SITE SAFETY, INCLUDING OF ALL APPROPRIATE PERSONNEL PROTECTIVE EQUIPMENT REQUIRED CREW EQUIPMENT, TRAINING AND CERTIFICATIONS AS REQUIRED BY ALL LOCAL, STATE AND FEDERAL AUTHORITIES.
- NEITHER THE PROFESSIONAL ACTIVITIES OF THE PROJECT DESIGN ENGINEER NOR THE PRESENCE OF THEIR REPRESENTATIVES AND SUB-CONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE OWNER, GENERAL CONTRACTOR OR SUBCONTRACTORS DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO CONSTRUCTION MEANS AND METHODS, SCHEDULES, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DESIGN ENGINEER AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SECURITY AND SAFETY DESIGN ENGINEER SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AS ADDITIONALLY INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF OF GENERAL LIABILITY INSURANCE.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE DESIGN ENGINEER AND LOCAL BUILDING DEPARTMENT AND/OR MUNICIPAL ENGINEER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER, ENGINEER, AND MUNICIPALITY HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.
- ALL AREAS DISTURBED BY ONSITE GRADING SHOULD BE LIMED AND FERTILIZED BEFORE SEEDING.
- THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER AND AT LEAST EIGHTEEN (18") INCHES IN LENGTH, INSTALLED AFTER FINAL GRADING.
- SIDEWALKS AND CURBS SHALL BE INSTALLED IN ACCORDANCE WITH VILLAGE OF SOUTH BLOOMING GROVE SPECIFICATIONS, WHERE AND IF REQUIRED.
- TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED, AS SHOWN TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES OR OTHER SUITABLE MATERIAL. DIVERSION SWALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN 30 DAYS SHALL BE TEMPORARILY SEEDED WITH 1/2 lb OF RYE GRASS OR MULCHED WITH 100 lbs OF STRAW OR HAY PER 1,000 SQUARE-FOOT. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY INSTALLING THE BASE COURSE.
- SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY THE APPROPRIATE MUNICIPAL AUTHORITIES.
- AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS RE-GRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
- THE BUILDER OR CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THE PLANS BEFORE STARTING THE WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH FEDERAL, STATE COUNTY, LOCAL MUNICIPAL AUTHORITIES AND THE INTERNATIONAL BUILDING CODE (IBC) REQUIREMENTS.
- WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS, SPECIFICATIONS, REPORTS OR NOTES THE CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS.
- THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

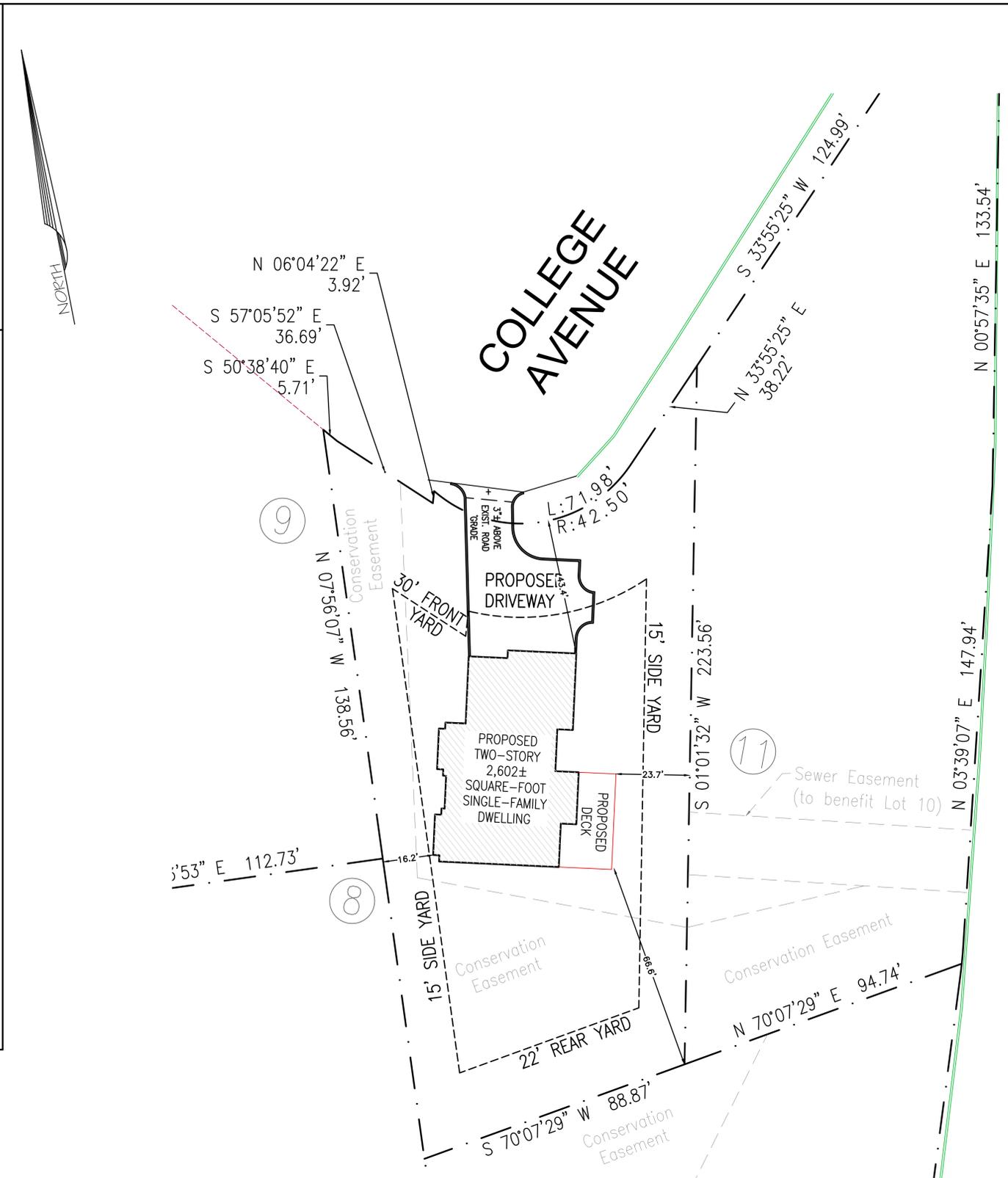
BULK TABLE*:

ZONING DISTRICT: SN-R-12HC CLUSTER SUBDIVISION;
FOR ACCESSORY STRUCTURES SEE APPROVED SUBDIVISION PLAT.

MINIMUM:	REQUIRED	PROVIDED	COMMENTS
LOT AREA:	20,447± SQUARE-FOET	20,447± SQUARE-FOET	OK - EXISTING
STREET FRONTAGE:	156.62 FEET	156.62 FEET	OK - EXISTING
FRONT YARD:	30 FEET	43.4+ FEET	OK
SIDE YARD:	15 FEET	16.2+ FEET	OK
TWO SIDE YARDS:	30 FEET	39.9+ FEET	OK
REAR YARD:	22 FEET	66.6+ FEET	OK
MAXIMUMS:	REQUIRED	REQUIRED	REQUIRED
BUILDING HEIGHT (FEET):	30 FEET	< 30 FEET	OK
BUILDING HEIGHT (STORIES):	3 STORIES	< 3 STORIES	OK
DEVELOPMENT COVERAGE:	30%	17.3%±	OK

* BULK REQUIREMENTS AND SETBACKS DETERMINED DURING THE PLANNING BOARD APPROVAL PROCESS FOR THE "FINAL CLUSTER SUBDIVISION PLAT - MAJOR SUBDIVISION LANDS OF DANSOME, LLC FINAL SUBDIVISION PLAT VILLAGE OF SOUTH NYACK, ROCKLAND COUNTY, NEW YORK" FILED ON JUNE 22, 2005 IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP NUMBER 7769, BOOK 125 & PAGE 8.

BOUNDARY AND TOPOGRAPHIC SURVEY REFERENCE:	OWNERS:	APPLICANT:	STREET ADDRESS:
BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN TAKEN FROM A MAP ENTITLED "SURVEY PREPARED FOR 19 COLLEGE AVENUE, NYACK, NEW YORK 10960, SECTION 66.69 ~ BLOCK 1 ~ LOT 2.11 PREPARED BY EDWARD T. GANNON, P.L.S. DATED DECEMBER 08, 2024.	NYACK WATERFRONT LLC 51 FOREST ROAD SUITE 316-76 MONROE, NEW YORK 10950	INDIGO DEVELOPERS 51 FOREST ROAD SUITE 316-76 MONROE, NEW YORK 10950	19 COLLEGE AVENUE NYACK, NEW YORK 10960
THIS PLAN IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION, SPECIFICATION SHEET OR MUNICIPAL OR AGENCY APPROVAL. ALL OTHER MATTERS SHOWN NOT TO BE RELIED UPON OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES, STANDARDS OR ACCEPTED CONSTRUCTION METHODS			
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VICINITY MAP
SCALE: 1"=200 FEET

SITE SPECIFIC NOTES:

- THIS IS A PLOT PLAN PREPARED FOR OF TAX LOT #'s 66.69-1-2.11 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAPS.
- RECORD OWNER: NYACK WATERFRONT LLC
51 FOREST ROAD
SUITE 316-76
MONROE, NEW YORK 10950
- APPLICANT: INDIGO DEVELOPERS
51 FOREST ROAD
SUITE 316-76
MONROE, NEW YORK 10950
- SITE ADDRESS: 19 COLLEGE AVENUE
NYACK, NEW YORK 10960
- DEED REFERENCE: DEED BOOK: 125 DEED PAGE: 8.
- TOTAL AREA OF PARCEL: 20,447± SQUARE-FOET OR 0.469± ACRES.
- ZONING DISTRICT: (R-12HC) CLUSTER MAJOR SUBDIVISION
- FILED MAP REFERENCE: BEING KNOWN AS LOT 10 AS SHOWN ON A CERTAIN MAP ENTITLED "FINAL CLUSTER SUBDIVISION PLAT - MAJOR SUBDIVISION LANDS OF DANSOME, LLC FINAL SUBDIVISION PLAT VILLAGE OF SOUTH NYACK, ROCKLAND COUNTY, NEW YORK" FILED ON JUNE 22, 2005 IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP NUMBER 7769, BOOK 125 & PAGE 8.
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- WATER SUPPLY SYSTEM: MUNICIPAL/COMMUNITY WATER SYSTEM (VEOLIA WATER).
- UTILITIES: GAS/ELECTRIC (ORANGE AND ROCKLAND UTILITIES, INC.).
- EXISTING USE: VACANT APPROVED CLUSTER SUBDIVISION LOT.
- PROPOSED USE: SINGLE-FAMILY RESIDENTIAL.
- BOUNDARY AND EXISTING CONDITIONS: BASED ON SURVEY BY PROJECT SURVEYOR.
- TOPOGRAPHIC DATUM: AS PER PROJECT SURVEYOR.
- CONTRACTOR TO KEEP ROAD AND SURROUNDING AREAS CLEAR OF TRASH AND DEBRIS.
- CONTRACTOR TO MINIMIZE DIRT AND MUD IN ROADWAY BY CLEANING ROADWAY AS REQUIRED OR REQUESTED BY THE LOCAL MUNICIPAL AUTHORITIES.

Know what's below.

Call before you dig.

SEAL VALID FOR
MJC JOB# 2509
SEAL DATE:
APRIL 8, 2025

THIS PLAN FOR BUILDING PERMIT PURPOSES ONLY.

REVISIONS:

#	DATE	COMMENTS
1	03-20-2025	BUILDING DEPARTMENT COMMENTS

GRAPHIC SCALE

(IN FEET)
1 inch = 20 Feet.

UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED N.Y.S. ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE, IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF. BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. COPIES OF THIS PLAN NOT HAVING THE EMBOSSED SEAL OF THE N.Y.S. ENGINEER SHALL NOT BE VALID. PLAN PREPARED PURSUANT TO SECTION 7208m OF THE NEW YORK STATE EDUCATION LAW.

MICHAEL J. CALISE, P.E.
NEW YORK STATE LIC. NO. 074611

PLOT PLAN
PREPARED FOR:
TAX LOT
SECTION 66.69, BLOCK 1, LOT 2.11

19 COLLEGE AVENUE

VILLAGE OF SOUTH NYACK, TOWN OF ORANGETOWN
COUNTY OF ROCKLAND & STATE OF NEW YORK

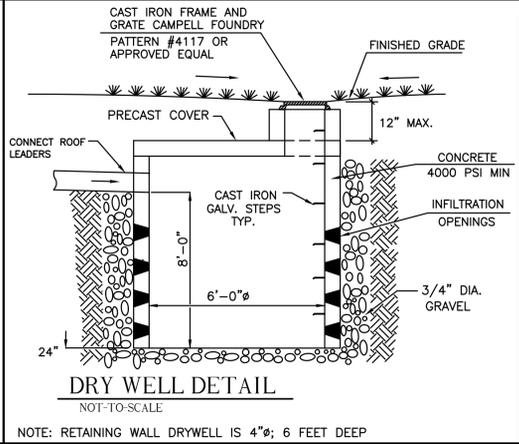
Michael J. Calise, P.E. & Associates, P.C.
Civil Engineering & Land Planning Consultants
Post Office Box 96, Pearl River, New York 10965
Phone (845) 629-3743 mc@caliseengineering.com

TAX LOT NUMBER: 66.69-1-2.11
TOTAL SITE AREA: 0.469± ACRES
20,447± SQUARE-FOET
JOB NUMBER: 2509
SCALE: 1"=20'
DATE: FEBRUARY 24, 2025
SHEET: 1 OF 6

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LEGEND

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625.0(BC) DENOTES EXISTING "BOTTOM OF CURB" GRADE		DENOTES EXISTING CONCRETE SURFACE	
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-238 DENOTES EXISTING CONTOUR LINE		DENOTES PROPOSED CURB VALVE	
514 DENOTES PROPOSED CONTOUR		DENOTES PROPOSED SANITARY SEWER MAIN	
W14 DENOTES EXISTING SANITARY MANHOLE		DENOTES PROPOSED SANITARY MANHOLE	
W1# DENOTES EXISTING WETLANDS LIMIT LINE		DENOTES PROPOSED SEWER LATERAL CLEANOUT	
CO DENOTES PROPOSED SEWER LATERAL CLEANOUT		DENOTES EXISTING WETLANDS LIMIT LINE	

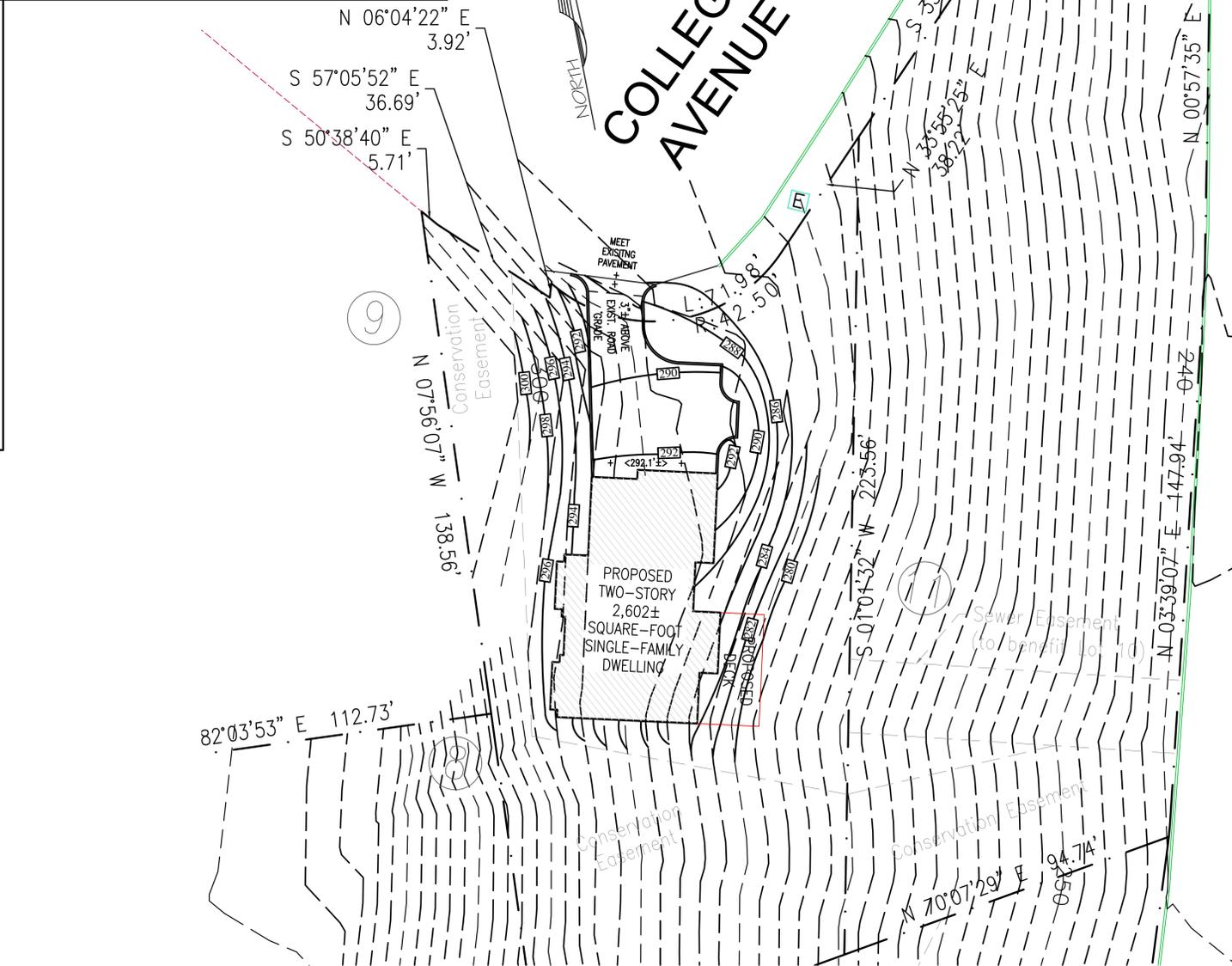


GRADING NOTES:

- CONTRACTOR SHALL VERIFY LOCATION AND OPERATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES, FEATURES, CONDITIONS, ETC., AND SHALL NOTIFY THE ENGINEER AND APPLICANT, IN WRITING, OF ANY DISCREPANCIES.
- TREE CLEARING TO BE LIMITED TO THAT NECESSARY FOR PROPOSED CONSTRUCTION AND REQUIRED GRADING.
- PROVIDE EROSION CONTROL SHOWN ON "EROSION CONTROL PLAN."
- DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN THIRTY DAYS SHALL BE TEMPORARILY SEEDED WITH 1/2LB. RYE GRASS OR MULCHED WITH 100LBS. OF STRAW OR HAY PER 1,000 SQUARE-FEET. TEMPORARY DIVERSION DITCHES WILL BE ESTABLISHED WHERE NECESSARY.
- STABILIZE ALL DISTURBED AREAS WITH PERMANENT COVER FOLLOWING CONSTRUCTION. APPLY THE NECESSARY LIME, FERTILIZER, SEED AND MULCH.
- TEMPORARY SEDIMENTATION ENTRAPMENT AREA SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED USING EARTHEN BERMS RIP-RAP OR CRUSHED STONE DAMS, HAY BALES OR SUITABLE MATERIALS. DIVERSION SWALES, BERMS OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- SILT THAT LEAVES THE SITE IN SITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY THE APPROPRIATE MUNICIPAL AUTHORITIES.
- AT THE COMPLETION OF THE PROJECT ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, PLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED PLANS.
- ALL CONSTRUCTION SHALL MEET CURRENT SPECIFICATIONS OF THE LOCAL MUNICIPAL AUTHORITY WHICH APPROVED THE PROJECT PLANS AND/OR ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER THIS PLOT.
- THE SEED MIXTURE FOR PERMANENT SEEDING SHALL BE:
KENTUCKY BLUEGRASS 100lbs / ACRE (2.0 lb./ 1000 SQUARE-FEET)
CREeping RED FESCUE 30lbs / ACRE (0.5 lb./ 1000 SQ. FT.)
PERENNIAL RYE GRASS 23lbs / ACRE (0.7 lb./ 1000 SQ. FT.)
- THE FOLLOWING APPLICATION RATES ARE TO BE USED FOR PERMANENT SEEDING: LIME IS TO BE APPLIED TO A pH OF AT LEAST 6.0 TO 7.0 OR AT A RATE OF 4 TONS PER ACRE (STANDARD GRADE LIMESTONE). FERTILIZER TO BE APPLIED AT A RATE OF 800 POUNDS TO 900 POUNDS PER ACRE OR EQUIVALENT 5-10-10 (NITROGEN-PHOSPHOROUS-POTASSIUM)
- SOD MAY BE USED INSTEAD OF SEED.

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ELEVATION TABLE:

FINISHED FLOOR ELEVATION:	<298.0±>
GARAGE FLOOR ELEVATION:	<292.6±>
BASEMENT FLOOR ELEVATION:	<287.0±>
CAST-IRON ELEVATION:	<284.0±>
SADDLE ELEVATION @ MAIN*:	<232.4±>

*CONTRACTOR TO VERIFY SEWER MAIN ELEVATION FOR SADDLE

Know what's below.

Call before you dig.

SEAL VALID FOR MJC JOB# 2509 SEAL DATE: MARCH 20, 2025

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REVISIONS:

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(IN FEET)
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MICHAEL J. CALISE, P.E.
NEW YORK STATE LIC. NO. 074611

GRADING AND DRAINAGE PLAN
PREPARED FOR:
TAX LOT
SECTION 66.69, BLOCK 1, LOT 2.11

19 COLLEGE AVENUE

VILLAGE OF SOUTH NYACK, TOWN OF ORANGETOWN
COUNTY OF ROCKLAND & STATE OF NEW YORK

Michael J. Calise, P.E. & Associates, P.C.
Civil Engineering & Land Planning Consultants
Post Office Box 96, Pearl River, New York 10965
Phone (845) 629-3743 mcal@seeneering.com

TAX LOT NUMBER: 66.69-1-2.11
TOTAL SITE AREA: 0.469± ACRES
SQUARE-FOOT 20,447±
JOB NUMBER: 2509
SCALE: 1"=20'
DATE: FEBRUARY 24, 2025
SHEET: 2 OF 6

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LEGEND

625.0(TC) DENOTES EXISTING "TOP OF CURB" GRADE		DENOTES EXISTING UTILITY POLE	
625.0(BC) DENOTES EXISTING "BOTTOM OF CURB" GRADE		DENOTES EXISTING CONCRETE SURFACE	
625.0(DC) DENOTES EXISTING "DROP CURB" GRADE		DENOTES PROPOSED ELECTRIC METERS	
625.0(BW) DENOTES EXISTING "BOTTOM OF WALL" GRADE		DENOTES PROPOSED CONCRETE SURFACE	
625.0(TW) DENOTES EXISTING "TOP OF WALL" GRADE		DENOTES PROPOSED GAS METER	
WV DENOTES EXISTING WATER VALVE		DENOTES EXISTING STONE WALL	
GV DENOTES EXISTING GAS VALVE		DENOTES PROPOSED STONE	
WMH DENOTES EXISTING WATER MANHOLE		DENOTES PROPOSED EXISTING GAS MAIN	
TMH DENOTES EXISTING TELEPHONE MANHOLE		DENOTES PROPOSED GAS SERVICE	
SMH DENOTES EXISTING SANITARY MANHOLE		DENOTES EXISTING OVERHEAD WIRES	
DMH DENOTES EXISTING DRAINAGE MANHOLE		DENOTES PROPOSED UNDERGROUND ELECTRIC SERVICE	
LP DENOTES EXISTING LIGHT POLE		DENOTES #(SIZE) DOMESTIC WATER SERVICE	
CB DENOTES EXISTING CATCH BASIN		DENOTES #(SIZE) FIRE SERVICE LINE	
+217.6 DENOTES EXISTING SPOT GRADE		DENOTES #(SIZE) DOMESTIC & FIRE SERVICE LINE	
+XXXX.XX± DENOTES PROPOSED SPOT GRADE		DENOTES #(SIZE)* FIRE SERVICE LINE	
-238 DENOTES EXISTING CONTOUR LINE		DENOTES PROPOSED CURB VALVE	
		DENOTES PROPOSED SANITARY SEWER MAIN	
		DENOTES PROPOSED SANITARY MANHOLE	
		DENOTES EXISTING WETLANDS LIMIT LINE	

WATER NOTES:

- CONTRACTOR SHALL VERIFY LOCATION AND OPERATION OF ALL EXISTING OVERHEAD AND UNDERGROUND UTILITIES, FEATURES, CONDITIONS, ETC., AND SHALL NOTIFY THE ENGINEER AND OWNER, IN WRITING, OF ANY AND ALL DISCREPANCIES.
- ALL WATER MAIN, WATER SERVICES, HYDRANTS, VALVES AND APPURTENANCES MATERIALS AND METHODS OF CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH ALL OF THE REQUIREMENTS OF THE WATER UTILITY PROVIDER. INSTALLATION OF PIPE LINES OR APPURTENANCES SHALL NOT BE INSTALLED WITHOUT PRIOR WRITTEN APPROVAL FROM SAID WATER UTILITY PROVIDER.
- ALL PIPES SHALL BE LAID WITH A MINIMUM COVER OF 4'-6" (4.5'). ALL PIPES SHALL BE TYPE "K" COPPER PIPE.
- WORKMANSHIP AND METHODS FOR COPPER WATER SERVICE PIPE WILL CONFORM WITH THE AMERICAN WATER WORKS ASSOCIATION (AWWA) SPECIFICATIONS (LATEST EDITION).
- ALL TRENCHES SHALL BE BACKFILLED WITH PREVIOUSLY EXCAVATED MATERIAL, IF DIRECTED BY VILLAGE. CARE SHALL BE TAKEN SO AS NOT TO DISTURB THE EXISTING OR PROPOSED PIPE LINES WHILE BACKFILLING. BACKFILLING SHALL BE THOROUGHLY TAMPED AND BROUGHT TO SIX (6) INCHES ABOVE THE TOP OF THE PIPE IN LIFTS NOT EXCEEDING EIGHT (8) INCHES. BACKFILL ABOVE THIS ZONE SHALL BE MADE WITH HIGHER LIFTS, AND COMPACTION SHALL BE SECURED BY SLUSHING, TAMPING OR ROLLING. GRAVEL SHALL BE PLACED AROUND PIPES WHEN REQUIRED. NO ROCK SHALL BE PUT IN THE TRENCH UNTIL BACKFILL HAS REACHED AT LEAST ONE (1) FOOT ABOVE THE TOP OF THE PIPE. ROCKS OR Boulders WEIGHING IN EXCESS OF THIRTY (30) POUNDS SHALL NOT BE PLACED IN THE TRENCH. ALL SPACES BETWEEN ROCK SHALL BE THOROUGHLY FILLED WITH EARTH BY BACKFILLING IN ALTERNATE LAYERS OF ROCK AND EARTH. LARGE PIECES OF ROCK SHALL BE DISTRIBUTED THROUGHOUT THE FILL, RATHER THAN CONCENTRATED IN ONE SECTION.
- ALL BENDS, TEES AND HYDRANTS INSTALLATIONS SHALL BE SUITABLY RESTRAINED BY THE USE OF ADEQUATE THRUST BLOCKS, RODDING, RETAINER RINGS AND/OR THE USE OF SPECIAL GASKETS SUCH AS THOSE EMPLOYED WITH "FIELD-LOK 350 GASKETS AS MANUFACTURED BY U.S. PIPE OR APPROVED ALTERNATE.
- ALL TESTING AND DISINFECTION SHALL BE ACCORDING TO THE WATER UTILITY PROVIDER (VEOLIA WATER).
- PROPOSED WATER SERVICE SHALL BE TYPE "K" COPPER. THE WATER SERVICE AND IF NECESSARY, FIRE LINE SIZING SHALL BE PERFORMED BY PROJECT ARCHITECT AND/OR FIRE SPRINKLER CONSULTANT.
- LOCATION OF EXISTING WATER MAIN IN ROADWAY IS SHOWN BASED ON RECORDS, MARK-OUTS OR OWNER PROVIDED INFORMATION. THE LOCATION, SIZE, DEPTH AND PIPE MATERIAL MUST BE VERIFIED BY THE CONTRACTOR.

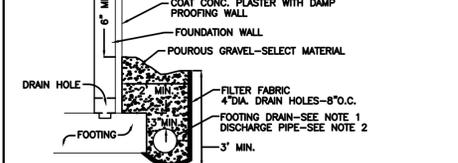
SANITARY SEWER LATERAL NOTES:

- CONTRACTOR SHALL VERIFY LOCATION, LENGTHS AND INVERTS, FEATURES, CONDITIONS, ETC. OF ALL SANITARY MANHOLES AND SHALL IMMEDIATELY NOTIFY THE ENGINEER AND OWNER, IN WRITING, OF ANY AND ALL DISCREPANCIES.
- ALL SANITARY SEWER LATERALS AND APPURTENANCES MATERIALS AND METHODS OF CONSTRUCTION WILL BE IN ACCORDANCE WITH ALL OF THE REQUIREMENTS OF THE SEWER DEPARTMENT OF THE TOWN OF ORANGETOWN. NO INSTALLATION OF WATER LINES OR APPURTENANCES SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE TOWN OF ORANGETOWN SEWER DEPARTMENT AND/OR THE TOWN ENGINEER.
- ALL PIPES SHALL LAID IN CONFORMANCE WITH THE PLANS AND FIELD-CONDITIONS. PIPES SHALL BE A MINIMUM OF FOUR (4") INCH SDR-35 PVC PIPE AND SIZED IN COORDINATION WITH THE ARCHITECTURAL AND MECHANICAL AND PLUMBING PLANS. ALL PIPES SHALL BE INSTALLED WITH BELLS FACING UPSTREAM.
- ALL TESTING SHALL BE ACCORDING TO THE SEWER DEPARTMENT OF THE TOWN OF ORANGETOWN REQUIREMENTS.
- IF LOCATION, ELEVATIONS, PIPE SIZES AND INVERTS OF EXISTING SEWER MAIN IS SHOWN BASED ON RECORD DOCUMENTS, MARK-OUTS OR OWNER PROVIDED INFORMATION. IF MANHOLES CANNOT BE OPENED OR ARE CLOGGED, THE CONTRACTOR MUST VERIFY INVERTS, DISTANCES BETWEEN MANHOLES AND CONFIRM WITH THE ENGINEER THE SANITARY LATERALS WILL SERVICE PROPOSED FACILITY.

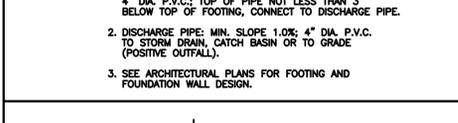
BUILDING PIPE TO BUILDING SEWER CONNECTION
NOT TO SCALE



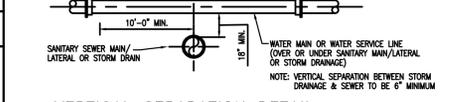
FOOTING DRAIN DETAIL
NOT TO SCALE



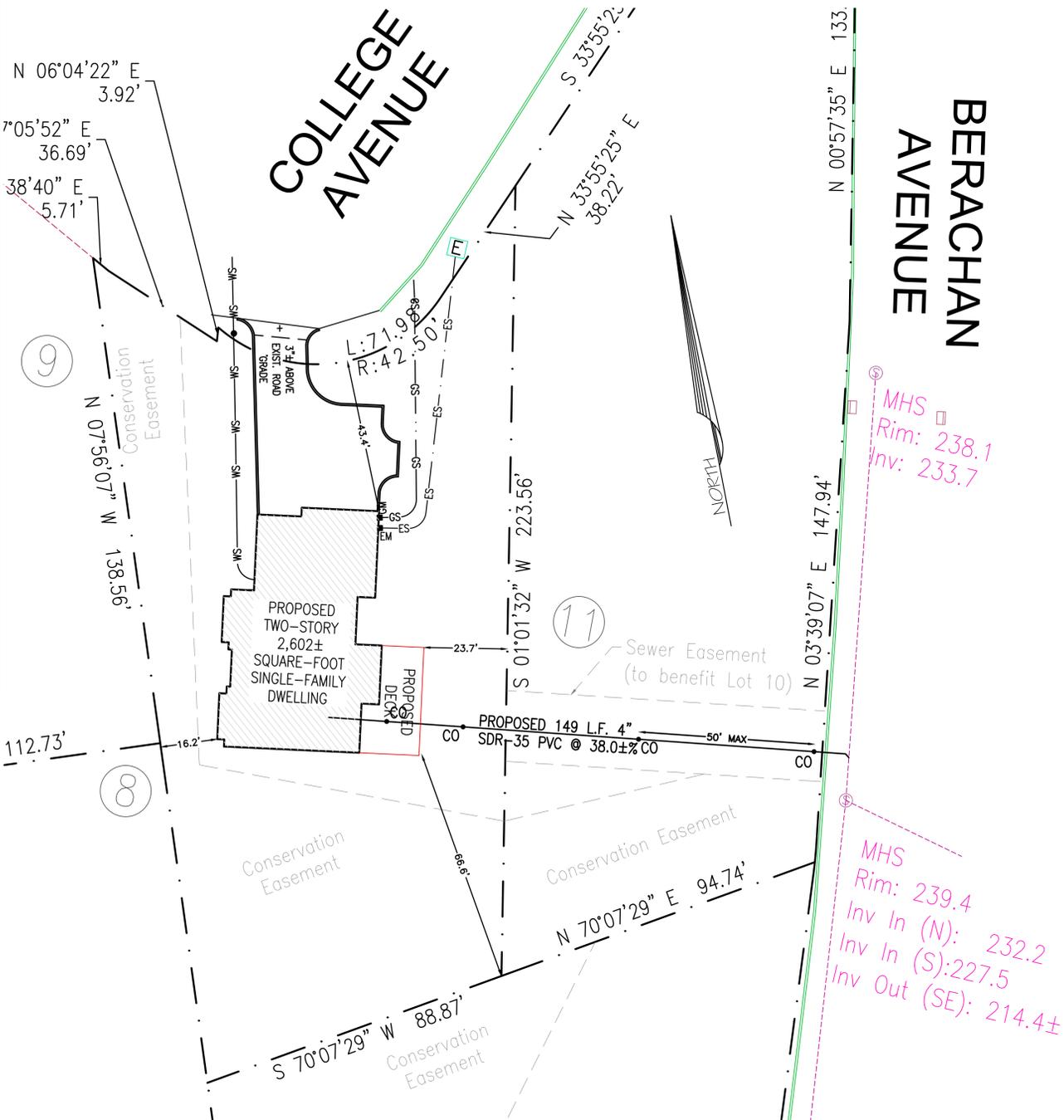
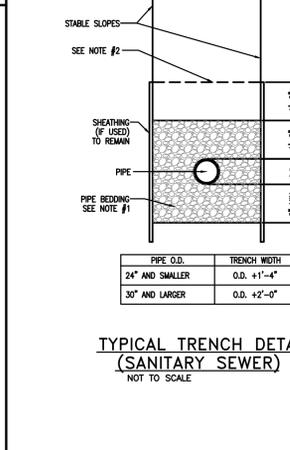
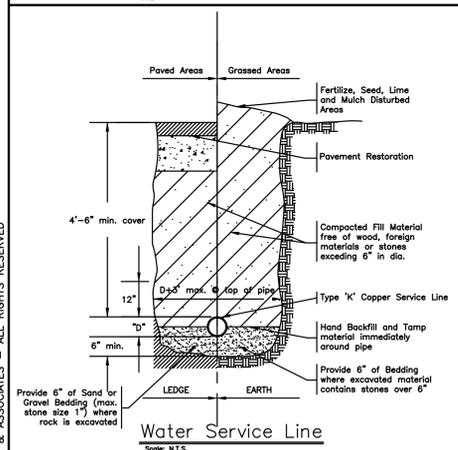
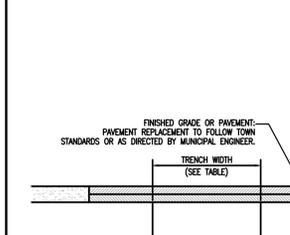
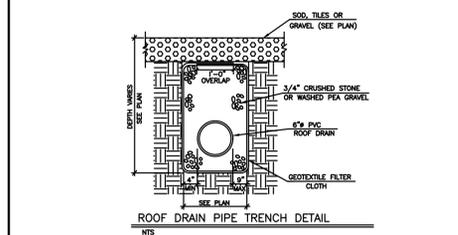
VERTICAL SEPARATION DETAIL
NOT TO SCALE



HORIZONTAL SEPARATION DETAIL
NOT TO SCALE

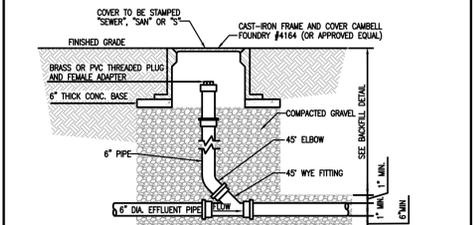


WATER/SEWER SEPARATION REQUIREMENTS
NOT TO SCALE



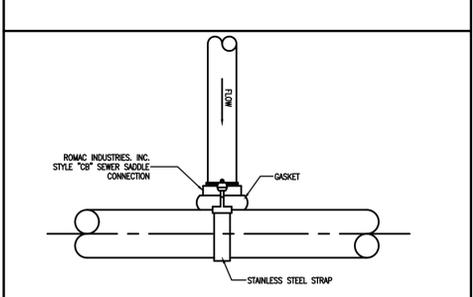
SITE SPECIFIC NOTES:

- THIS IS A PLOT PLAN PREPARED FOR TAX LOT #s 66.69-1-2.11 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAPS.
- RECORD OWNER: NYACK WATERFRONT LLC 51 FOREST ROAD SUITE 316-76 MONROE, NEW YORK 10950
- APPLICANT: INDIGO DEVELOPERS 51 FOREST ROAD SUITE 316-76 MONROE, NEW YORK 10950
- SITE ADDRESS: 19 COLLEGE AVENUE NYACK, NEW YORK 10960
- DEED REFERENCE: DEED BOOK: 125 DEED PAGE: 8.
- TOTAL AREA OF PARCEL: 20,447± SQUARE-FEET OR 0.469± ACRES.
- ZONING DISTRICT: (R-12HC) CLUSTER MAJOR SUBDIVISION
- FILED MAP REFERENCE: BEING KNOWN AS LOT 10 AS SHOWN ON A CERTAIN MAP ENTITLED "FINAL CLUSTER SUBDIVISION PLAT - MAJOR SUBDIVISION LANDS OF DANSOME, LLC FINAL SUBDIVISION PLAT VILLAGE OF SOUTH NYACK, ROCKLAND COUNTY, NEW YORK" FILED ON JUNE 22, 2005 IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP NUMBER 7789, BOOK 125 & PAGE 8.
- SANITARY SEWER SYSTEM: MUNICIPAL/COMMUNITY SEWER SYSTEM ORANGETOWN SEWER DISTRICT.
- WATER SUPPLY SYSTEM: MUNICIPAL/COMMUNITY WATER SYSTEM (VEOLIA WATER).
- UTILITIES: GAS/ELECTRIC (ORANGE AND ROCKLAND UTILITIES, INC.).
- EXISTING USE: VACANT APPROVED CLUSTER SUBDIVISION LOT.
- PROPOSED USE: SINGLE-FAMILY RESIDENTIAL.
- BOUNDARY AND EXISTING CONDITIONS: BASED ON SURVEY BY PROJECT SURVEYOR.
- TOPOGRAPHIC DATUM: AS PER PROJECT SURVEYOR.
- CONTRACTOR TO KEEP ROAD AND SURROUNDING AREAS CLEAR OF TRASH AND DEBRIS.
- CONTRACTOR TO MINIMIZE DIRT AND MUD IN ROADWAY BY CLEANING ROADWAY AS REQUIRED OR REQUESTED BY THE LOCAL MUNICIPAL AUTHORITIES.



- EACH BUILDING SEWER SHALL HAVE A CLEANOUT INSTALLED APPROXIMATELY 2' DOWNSTREAM OF THE BUILDING SEWER CONNECTION. THEREAFTER, CLEANOUTS SHALL BE INSTALLED ALONG THE BUILDING SEWER APPROXIMATELY EVERY 100' (MINIMUM), FOR THE PURPOSE OF CLEANOUT LOCATIONS DISTANCE SHALL BE MEASURED FROM THE FIRST CLEANOUT LOCATED DOWNSTREAM OF THE HOSE PIPE TO BUILDING SEWER CONNECTION, HENCE DOWNSTREAM ALONG THE BUILDING SEWER TO THE CENTER OF THE SEWER MAIN LINE (GENERALLY LOCATED IN THE CENTER OF THE STREET).
- A CLEANOUT LOCATED IN A ROAD, DRIVEWAY OR PARKING AREA SHALL REQUIRE A CAMPBELL FOUNDRY #4164 CAST IRON FRAME AND COVER (OR APPROVED EQUAL)

BUILDING SEWER CLEAN-OUT DETAIL
NOT TO SCALE



- ALL APPROVED BUILDING SEWER PIPE MATERIAL FOR EACH CONNECTION MADE SHALL BE CONSTRUCTED FROM THE SAME MATERIAL.
- SADDLE CONNECTION TO BE STYLE "CB" SEWER SADDLE AS MANUFACTURED BY ROMAC INDUSTRIES, INC. OR APPROVED EQUAL.
- REFER TO DETAIL SPECIFICATIONS FOR STYLE "CB" SEWER SADDLE AS PROVIDED BY ROMAC INDUSTRIES, INC. FOR INSTALLATION GUIDELINES.
- INSTALLATION AND MATERIALS OF THE SADDLE CONNECTION TO CONFORM WITH O.C.S.D. NO. 1 CRITERIA. THERE BE NO DEVIATION FROM THE APPROVED PLAN WITHOUT WRITTEN APPROVAL FROM THE SEWER DEPARTMENT.

SADDLE CONNECTION DETAIL
NOT TO SCALE

BOUNDARY AND TOPOGRAPHIC SURVEY REFERENCE:

BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN TAKEN FROM A MAP ENTITLED "SURVEY PREPARED FOR 19 COLLEGE AVENUE, NYACK, NEW YORK 10960 - SECTION 66.69 - BLOCK 1 - LOT 2.11 PREPARED BY EDWARD T. GANNON, P.L.S. DATED DECEMBER 08, 2024.

THIS PLAN IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION, SPECIFICATION SHEET OR MUNICIPAL OR AGENCY APPROVAL. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES, STANDARDS OR ACCEPTED CONSTRUCTION METHODS

OWNERS:

NYACK WATERFRONT LLC
51 FOREST ROAD
SUITE 316-76
MONROE, NEW YORK 10950

APPLICANT:

INDIGO DEVELOPERS
51 FOREST ROAD
SUITE 316-76
MONROE, NEW YORK 10950

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF MICHAEL J. CALISE P.E. DEVELOPED FOR THE EXCLUSIVE USE OF MICHAEL J. CALISE, P.E. FOR THIS PROJECT ONLY. USE OF THESE DRAWINGS, CAD FILES AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF MICHAEL J. CALISE, P.E. IS PROHIBITED. LIABILITY LIMITED TO THE PROPOSAL OR INVOICED AMOUNT

ELEVATION TABLE:

FINISHED FLOOR ELEVATION:	<298.0'±
GARAGE FLOOR ELEVATION:	<292.6'±
BASEMENT FLOOR ELEVATION:	<287.0'±
CAS-IRON ELEVATION:	<284.0'±
SADDLE ELEVATION @ MAIN*:	<232.4'±

*CONTRACTOR TO VERIFY SEWER MAIN ELEVATION FOR SADDLE

Know what's below.

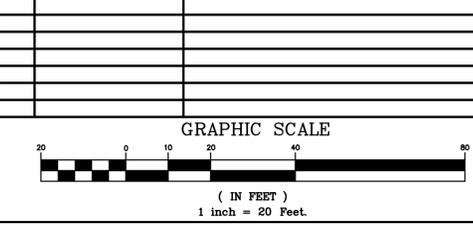
Call before you dig.

SEAL VALID FOR MJC JOB# 2509 SEAL DATE: APRIL 8, 2025

THIS PLAN FOR BUILDING PERMIT PURPOSES ONLY.

REVISIONS:

#	DATE	COMMENTS
1	MARCH 26, 2025	BUILDING INSPECTOR'S MEETING COMMENTS



UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED N.Y.S. ENGINEER'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE, IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF. BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUCCESSOR OWNERS. COPIES OF THIS PLAN NOT HAVING THE EMBOSSED SEAL OF THE N.Y.S. ENGINEER SHALL NOT BE VALID. PLAN PREPARED PURSUANT TO SECTION 7208m OF THE NEW YORK STATE EDUCATION LAW.

MICHAEL J. CALISE, P.E.
NEW YORK STATE LIC. NO. 074611

UTILITY PLAN

PREPARED FOR:
TAX LOT
SECTION 66.69, BLOCK 1, LOT 2.11

19 COLLEGE AVENUE

VILLAGE OF SOUTH NYACK, TOWN OF ORANGETOWN
COUNTY OF ROCKLAND & STATE OF NEW YORK

Michael J. Calise, P.E. & Associates, P.C.
Civil Engineering & Land Planning Consultants
Post Office Box 96, Pearl River, New York 10965
Phone (845) 629-3743 mcaliseengineering.com

TAX LOT NUMBER: 66.69-1-2.11
TOTAL SITE AREA: 0.469± ACRES
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SHEET: 4 OF 6

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GENERAL LANDSCAPE PLANTING NOTES:

- ALL PRECAUTIONS SHALL BE TAKEN IN CARTING, STORING, AND PLANTING OF MATERIALS TO PROTECT ADJACENT PAVEMENT AND LANDSCAPE AREAS.
- PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY-GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES. UNLESS SPECIFICALLY NOTED, ALL PLANTS SHALL BE OF SPECIMEN QUALITY. EXCEPTIONAL HEAVY, SYMMETRICAL, FREE OF DISEASE AND INSECTS, EGGS, OR LARVAE, AND SHALL HAVE HEALTHY TOP HALF OF WIRE BASKET. THE LANDSCAPE ARCHITECT AND/OR THE OWNER OR THEIR REPRESENTATIVE RESERVES THE RIGHT TO TAG, INSPECT AND APPROVE ALL PLANT MATERIALS AND REMOVE ANY PLANTS FOUND TO BE UNACCEPTABLE AT THE NURSERY, AT THE SITE UPON DELIVERY. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND/OR THE OWNER OR THEIR REPRESENTATIVE AND REPLACE WITH APPROVED EQUIVALENT BY LANDSCAPE ARCHITECT.
- ALL PLANTS SHALL BE LABELED BY PLANT NAME, LABELS SHALL BE ATTACHED SECURELY TO ALL PLANTS, BUNDLES AND CONTAINERS WHEN DELIVERED.
- NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE PERMITTED. IF THE SPECIFIED LANDSCAPE MATERIAL CANNOT BE OBTAINED, THE CONTRACTOR SHALL SUBMIT A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL. SUBSTITUTIONS OF PLANT MATERIALS MUST BE AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
- THE LANDSCAPE CONTRACTOR SHALL STAKE OUT THE LIMIT OF PLANTING LOCATIONS, OBTAIN APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER. THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
- IF THERE IS A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLAN GOVERNS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO CALL 811 AND HAVE ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES MARKED PRIOR TO THE START OF EXCAVATION ACTIVITIES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROJECT ENGINEER AND OWNER IF THERE ARE CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
- THE BACKFILL MIXTURE AND SOIL MIXES ARE TO BE INSTALLED PER THE SPECIFICATIONS.
- ALL FENCE AND HARDSCAPE INSTALLATIONS SHALL BE COMPLETED PRIOR TO THE COMMENCEMENT OF ANY LANDSCAPE PLANTING, SEEDING OR LAWN.
- THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE, BEFORE INSTALLATION FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE AND QUALITY.
- REMOVE ALL TWINE, ROPE, WIRE, CONTAINERS, LABELS AND FLAGGING ON PLANTS BEFORE COMPLETION. DISPOSE OF ALL DEBRIS APPROPRIATELY AND SWEEP ALL SURROUNDING PAVEMENTS.
- ALL TREES AND HEDGES ARE NOT TO BE TRIMMED IN GEOMETRIC FORMS AND ARE TO BE LEFT IN A NATURAL HABIT.
- MULCHING:**
 - AT THE TIME OF PLANTING, MULCH WITH NO MORE THAN 3" OF DOUBLE-SHREDED HARDWOOD MULCH OF A NATURAL COLOR. TAKE CARE TO NOT PILE MULCH AROUND THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR. A GAP OF APPROXIMATELY 2 INCHES SHOULD BE LEFT BETWEEN THE MULCH AND THE TRUNK OF THE TREE TO AVOID MOUNDING ABOVE THE TRUNK FLARE.
 - ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE LIMITS OF CONSTRUCTION, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL DOUBLE-SHREDED MULCH THAT WILL PREVENT SOIL EROSION AND CONTROL DUST.
 - AFTER INITIAL MULCH INSTALLATION, REPLENISH GARDEN BEDS WITH ADDITIONAL MULCH IN MID TO LATE SPRING, ONLY IN AREAS THAT ARE SHOWING BARE SOILS AND/OR COVERED IN WEEDS. REMOVE ALL UNWANTED PLANTS/WEEDS BEFORE DRESSING BED WITH MULCH.
- CHOOSING PLANT SPECIES:**
 - ALL TREES THAT ARE SPECIFIED FOR THE PROJECT SHALL CONFORM TO THE 10-20-30 GUIDELINE TO REDUCE THE RISK OF MASSIVE TREE LOSS DUE TO PESTS. THE PLANTING SCHEDULE SHALL SPECIFY NO MORE THAN 10% OF ANY ONE SPECIES, 20% OF ANY ONE GENUS, OR 30% OF ANY ONE FAMILY.
 - NO PLANT SPECIES INCLUDED IN THE PLAN SHALL FALL UNDER THE LATEST RELEASED OF THE "LOWER HUDSON PRISM TIER 1 THROUGH 4 SPECIES INDEX", PREPARED BY LOWER HUDSON PARTNERSHIP FOR REGIONAL INVASIVE SPECIES MANAGEMENT OR "NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL PROTECTION (NYSDEP) PROHIBITED OR REGULATED SPECIES LIST", PREPARED BY NYSDEP. IF SPECIES SPECIFIED ON THE PLAN ARE INCLUDED THEREIN, THE PLANT MUST BE REPLACED WITH AN APPROVED ALTERNATIVE THAT IS (FIRST) NATIVE TO THE LOWER HUDSON REGION, (SECOND) NATIVE TO THE MID-ATLANTIC REGION, (THIRD) CULTIVAR OF A NATIVE IN THE AFOREMENTIONED REGIONS, OR (FOURTH) ALIEN BUT NON-INVASIVE.
 - THE TOWN OF OSSING ENCOURAGES THE INCLUSION OF SPECIES LISTED IN THE "NATIVE PLANT RESOURCE GUIDE", PUBLISHED BY THE TOWN OF MOUNT PLEASANT CONSERVATION ADVISORY COUNCIL.
- DELIVERY, HANDLING AND STORAGE:**
 - TREES AND SHRUBS SHALL NOT BE PRUNED PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. DO NOT BEND, BIND-TIE TREES IN A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. DO NOT DROP BALL AND BURLAPPED STOCK DURING DELIVERY OR HANDLING. PLASTIC, METAL, WIRE BASKET AND/OR OTHER ROOT COVERINGS, WRAPPING AND BIND MATERIAL SHALL BE REMOVED ENTIRELY FROM THE PLANT MATERIAL AT TIME OF INSTALLATION.
 - STORE PLANT MATERIAL: IF INSTALLATION IS DELAYED MORE THAN 6 HOURS AFTER ARRIVAL TO SITE, THE CONTRACTOR SHALL SET ALL PLANT MATERIAL IN SHADE, PROTECTED FROM WEATHER, MECHANICAL DAMAGE, THEFT, AND DETERIORATION. PLANT SOIL MUST BE KEPT MOIST USING A WATERING TANK, HOSE OR OTHER SYSTEM UNTIL READY FOR PLANTING. ANY PACKAGED MATERIALS, SUCH AS BOXED PERENNIALS MUST BE OPENED, UNWRAPPED AND FREE AS TO NOT RESTRAIN AIR CIRCULATION AND WATERING WHILE WAITING TO BE INSTALLED.
 - NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
 - IF COMPACTION OCCURS DURING EARTHWORK PRIOR TO PLANT INSTALLATION, THE CONTRACTOR MUST HAVE THE SOIL SCARIFIED AND LOOSENED TO THE DEPTH OF COMPACTION OR 12"-18", WHICHEVER IS DEEPEST, WITH A BACKHOE OR EQUIVALENT WITHOUT TAMPING SOILS.
 - ALL FINE GRADED AREAS SHALL BE HAND RAKED SMOOTH TO ELIMINATE ANY CLUMPS, ROCKS, STUMPS, TRASH AND/OR OTHER UNSIGHTLY DEBRIS PRIOR TO PLANTING OR MULCHING.
 - MAINTAIN SITE DRAINAGE DURING LANDSCAPE INSTALLATION.

- PLANT INSTALLATIONS:**
 - BALL AND BURLAP TREES: SHALL HAVE A PLANTING HOLE A MINIMUM OF TWICE TO THREE TIMES THE WIDTH AND JUST AS DEEP AS THE ROOT BALL, WITH SLOPED SIDES. TREES SHALL BE PLANTED WITH THE ROOT FLARE AT EXISTING GRADE. WIRE BASKETS, TWINE, BURLAP, NAILS AND TAGS SHALL BE REMOVED COMPLETELY WITHOUT COMPROMISING THE SOIL OF THE PLANT. IF SOILS ARE EXTREMELY LOOSE, LEAVE BOTTOM HALF OF BURLAP INTACT AND CUT AND REMOVE TOP HALF OF WIRE BASKET. BACKFILL SOIL JUST BELOW ROOT COLLAR. SOAK TREE PIT IMMEDIATELY WITH 5 GALLONS FOR EVERY INCH OF TRUNK DIAMETER.
 - CONTAINER PLANTS: SHALL HAVE THE CONTAINER AND TAGS REMOVED BEFORE INSTALLATION. ROOTS SHALL BE CUT THROUGH THE SURFACE IN AN "X" FORMATION AT BASE OF BALL AND CUT ALONG THE SIDES OF THE BALL AT LEAST SIX TIMES TO FREE ROOTS AND ENCOURAGE NEW GROWTH. ESPECIALLY IF IT IS ROOT-BOUND. FINE ROOTS OF SMALLER CONTAINER PLANTS SHOULD BE TEASED DELICATELY WITH BY HAND OR WITH A HAND CULTIVATOR.
 - PLUGS: SHALL HAVE TAGS REMOVED BEFORE INSTALLATION. IF HEAVILY ROOT-BOUND, DELICATELY LOOSEN ROOTS BY HAND OR HAND CULTIVATOR, TAKING CARE TO NOT BREAK SOIL-TO-ROOT CONTACT. ROOTS SHOULD ONLY BE CUT IF HEAVILY ROOT-BOUND WHEN RECEIVED TO ALLOW FOR PROPER GROWTH IN SOIL. SPACE PLANTS EQUALLY ON TRIANGULAR OR GRID SPACING.
 - VINES: EQUALLY SPACE VINES PLANTED IN ROWS AGAINST WALLS OR FENCES. SEE DRAWINGS FOR QUANTITY AND SPACING. REMOVE ALL VINES FROM NURSERY SHAKES AND SPREAD OUT ONTO WALL PRIOR TO ATTACHING TO SURFACE WITH WINE TAPE. SIMILARLY ATTACH VINES AT PLASTERS OR POSTS.
 - STAKING OF ANY INSTALLED TREE IS NOT NEEDED.
- SEEDING:**
 - SPREAD SEED IN TWO DIRECTIONS WITH A DRILL SEEDER TO DISTRIBUTE SEED EVENLY OVER ENTIRE AREA OR SEED WITH BROADCAST SEEDER FOLLOWED BY A RAKE OR CULTIPACKER. SEED CAN ALSO BE SPREAD BY HYDROSEEDING FROM A HOSE AT GROUND LEVEL, NOT THROUGH THE USE OF A TURRET. IF HYDROSEEDING IS SELECTED, SEEDING WILL REQUIRE A TACKIFIER AND A COLORED MULCH.
 - THERE SHALL BE NO SEED SUBSTITUTIONS UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
 - GENERALLY DRILL SEED APPLICATION RECOMMENDED PER SPECIFIED APPLICATION RATE TO NO MORE THAN 1/2" INCH DEPTH (OR APPROPRIATE DEPTH FOR SELECTED SPECIES). REFER TO LANDSCAPE PLAN FOR SPECIES, PERCENTAGES AND APPLICATION RATES. SEE "IRRIGATION NOTES" FOR SPECIFICATIONS ON WATERING.
 - INSTALLED PLANTINGS SHALL BE IN PROPER HEALTH AND HAVE A 90% SURVIVAL RATE OVER THE FIRST TWO YEARS FOLLOWING ACCEPTANCE BY THE OWNER. PLANT MATERIAL FOUND TO BE DEAD, DYING OR IN POOR HEALTH SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.

PLANTING SOIL SPECIFICATIONS:

- REUSE "CLEAN FILL" STOCKPILED, CONSISTING ONLY OF SOILS, STONES, OR ROCKS 12" DIA. OR LESS, PROVIDED THERE ARE QUANTITIES OF SANDY SOIL WITH A PH BETWEEN 5-7, THAT HAS BEEN EXCAVATED ON SITE. USE OF "CLEAN FILL" FOR PLANTING BEDS MUST BE APPROVED BY LANDSCAPE ARCHITECT. VERIFY COMPLIANCE WITH PLANTING SOIL AND TOPSOIL CRITERIA AS INDICATED IN NOTES, PLANS AND SPECIFICATIONS.
- SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN OBTAINING FROM NATURALLY WELL-DRAINED SITES. DO NOT USE SOIL FROM AGRICULTURAL LAND, BOGS, MARSHES OR CONTAMINATED SITES.
- SOIL AMENDMENT:**
 - IF SOIL ORGANIC CONTENT IS INADEQUATE, SOIL SHALL BE AMENDED WITH COMPOST OR ACCEPTABLE WEEF FREE ORGANIC MATTER. ORGANIC AMENDMENT SHALL BE WELL COMPOSTED, MOISTURE CONTENT 35-55% BY WEIGHT 100% PASSING THROUGH 1" SIEVE; SOLUBLE SALT CONTENT LESS THAN 0.5 MM HOS/CM, MEETING ALL APPLICABLE ENVIRONMENTAL CRITERIA FOR CLEAN FILL. ANIMAL MANURE, NOR PEAT WILL BE USED AS AN ORGANIC SUPPLEMENT.
 - IF PROPOSED PLANTING BED IS IN A LOCATION OF A FORMER PAVED OR GRAVEL AREA, BEDS SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 30", AND BE BACKFILLED WITH A BOTTOM LAYER OF SANDY LOAM UNDER A LAYER OF PLANTING SOIL.
 - NO FERTILIZER APPLICATION SHALL BE USED DURING OR AFTER PLANT INSTALLATION.
 - COMPACTED SUBSOIL MAY BE LOOSENEED (AS NOTED IN GENERAL LANDSCAPE PLANTING NOTE #17), WHILE THOROUGHLY MIXING 6" OF COMPOST WITH IN-SITU SOIL.
- SOIL CONDITIONER AND MODIFICATION (PENDING RESULTS OF SOIL ANALYSIS):**
 - ADJUST THE NUTRIENT LEVELS AS REQUIRED TO ENSURE ACCEPTABLE GROWING MEDIUM ONLY AFTER RECEIVING RESULTS FROM A SOIL ANALYSIS. ADJUSTMENTS CAN ONLY BE MINIMALLY MODIFIED EASILY WITH STANDARD TECHNIQUES.
 - MODIFY HEAVY CLAY OR SILT, BY ADDING COMPOST PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSSUM. COURSE SAND MAY BE USED IF SAND CONTENT CAN REACH 60% OR MORE OF TOTAL MIX.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF TOTAL MIX.

IRRIGATION NOTES:

- EXACT PLACEMENT FOR ALL LAWN IRRIGATION HEADS SHALL BE ACCEPTED BY LANDSCAPE ARCHITECT PRIOR TO FINAL INSTALLATION.
- PROVIDE AN ALLOWANCE OF 5 PERCENT OF THE TOTAL LINEAL FOOTAGE OF IRRIGATION HEADS TO BE FURNISHED AND INSTALLED DURING THE PROGRESS OF THE WORK AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- WEATHER-BASED IRRIGATION SYSTEM CONTROLLERS SHALL INCLUDE FUNCTIONING SOIL, MOISTURE SENSORS AND A RAIN SENSOR AS COMPONENTS OF THE SYSTEM.
 - IF WEATHER-BASED IRRIGATION SYSTEMS ARE NOT PROCURED, IRRIGATION SYSTEMS SHALL BE TURNED OFF DURING A 1" OR MORE RAIN EVENT WITHIN A 24-HOUR PERIOD.
- TEMPORARY IRRIGATION IS RECOMMENDED FOR ONE GROWING SEASONS OR UNTIL ESTABLISHED. NO PERMANENT IRRIGATION IS REQUIRED FOR NATIVE TREE, SHRUB, OR PERENNIAL PLANTINGS. IRRIGATION FOR AREAS TOO FAR FROM WATER SOURCE WILL INCLUDE MONITORING PLANTINGS AND USING A WATER TRUCK AS NEEDED IF DROUGHT CONDITIONS PERSIST.
- GENERAL IRRIGATION FOR NEW PLANTS ONLY NEED 1" OF WATER PER WEEK. SHRUBS AND TREES REQUIRED 5 GALLONS PER WEEK. THIS DOES NOT INCLUDE WETLAND OR OTHER WATER-LOVING PLANTS. REFER TO LANDSCAPE ARCHITECT FOR SPECIFIC WATER REQUIREMENTS FOR PLANTS THAT DO NOT FALL UNDER NORMAL WATERING CONDITIONS.
- RAINWATER COLLECTION/IRRIGATION SYSTEMS ARE ENCOURAGED TO SUPPLEMENT IRRIGATION FOR NEW LANDSCAPING. NEW STRUCTURES SHALL BE ENCOURAGED TO INCLUDE ONE OR MORE RAINWATER CISTERNS AND A SYSTEM TO PROVIDE AT LEAST 75 PERCENT OF EXTERIOR IRRIGATION DURING NORMAL RAINFALL YEARS.

PLANT SCHEDULE

FINAL QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT	SPACING	SPREAD
SHRUBS AND TREES						
1	VL	VIBURNUM LENTAGO	NANNYBERRY	10'-20'	72"-144"	6'-12'
2	KL	KALMIA LATIFOLIA	MOUNTAIN LAUREL	5'-15'	96"-120"	5'-15'
6	JC	JUNIPERUS COMMUNIS	COMMON JUNIPER	5'-25'	-	3'-12'
GRASS						
-	-	POA PRATENSIS	KENTUCKY BLUEGRASS	1.5'-2.5'	-	-

BOUNDARY AND TOPOGRAPHIC SURVEY REFERENCE: OWNERS: APPLICANT: STREET ADDRESS:

BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN TAKEN FROM A MAP ENTITLED "SURVEY PREPARED FOR 19 COLLEGE AVENUE, NYACK, NEW YORK 10960 SECTION 66.69 ~ BLOCK 1 ~ LOT 2.11 PREPARED BY EDWARD T. GANNON, P.L.S. DATED DECEMBER 08, 2024.

OWNERS: NYACK HOMEOWNERS ASSOCIATION, 51 FOREST ROAD SUITE 316-76 MONROE, NEW YORK 10960

APPLICANT: INDIGO DEVELOPERS, 51 FOREST ROAD SUITE 316-76 MONROE, NEW YORK 10960

STREET ADDRESS: 19 COLLEGE AVENUE, NYACK, NEW YORK 10960

THIS PLAN IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION, SPECIFICATION SHEET OR MUNICIPAL OR AGENCY APPROVAL. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES, STANDARDS OR ACCEPTED CONSTRUCTION METHODS

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DEMOLITION NOTES:

- STOCKPILE EXISTING TOPSOIL, MULCH OR OTHER MATERIALS PER PLAN. TOPSOIL IS TO BE STOCKPILED FOR LEAST AMOUNT OF TIME POSSIBLE. IF STOCKPILE IS NEEDED FOR MORE THAN 6 MONTHS IT WILL NEED TO BE SUPPLEMENTED WITH COMPOST OR ACCEPTABLE WEEF FREE, ORGANIC MATTER AS DETAILED IN "PLANTING SOIL SPECIFICATIONS 3.3.1" AT TIME OF FINAL GRADING.
- TREE PROTECTION:**
 - EROSION CONTROL MEASURES WILL BE INSTALLED PRIOR TO ANY CONSTRUCTION OR DEMOLITION.
 - PROVIDE FENCING AT LOCATION SHOWN PRIOR TO START OF CONSTRUCTION. FENCING TO BE ACCEPTED BY LANDSCAPE ARCHITECT AND SHALL REMAIN IN PLACE UNTIL SITE WORK IS COMPLETED.
 - ALL WORK PERFORMED WITHIN THE "TREE PROTECTION ZONE" AND/OR THE DRIP LINE OF TREES DESIGNATED AS "EXISTING TREES TO REMAIN" SHALL BE HAND LABOR. NO ROOTS TWO INCHES OR LARGER IN CALIPER SHALL BE SEVERED WITHOUT REVIEW AND ACCEPTANCE BY ARBORIST. IF TREE ROOTS NEED TO BE PRUNED OUTSIDE OF "TREE PROTECTION ZONE", THE CONTRACTOR SHALL USE A TREASHER OR VIBRATORY PLOW TO A DEPTH OF 18" ROOTS OVER 1.5" DIA. SHALL HAVE A CLEAN CUT MADE BY A CLEAN SAW ON THE SURFACE OF THE ROOT.
 - PROVIDE PROTECTION FOR ROOTS CUT DURING CONSTRUCTION OPERATIONS. DO NOT PAINT THE END OF CUT ROOTS. TEMPORARILY COVER EXPOSED ROOTS WITH WET BURLAP TO PREVENT DRYING OUT. COVER WITH EARTH AS SOON AS POSSIBLE. SIMILARLY PROTECT SHRUB AND GROUND-OVER AREAS TO REMAIN.
 - IF EXCAVATION IS NEEDED FOR INSTALLATION OF UNDERGROUND UTILITIES WHERE ROOTS ARE FOUND, THREAD THE LINES UNDERNEATH ROOTS AND LEAVE INTACT.
 - DO NOT USE HEAVY EQUIPMENT OR CONDUCT ANY ACTIVITY THAT WILL CAUSE COMPACTION UNDER THE DRIP LINE OF EXISTING TREES TO REMAIN. DO NOT STORE EQUIPMENT OR MATERIALS UNDER THE DRIP LINE OR BEHIND PROTECTIVE FENCES.
- AT NO COST TO THE PROJECT OR OWNER, CONTRACTOR SHALL REPAIR OR REPLACE ALL VEGETATION INDICATED AS "EXISTING TO REMAIN" THAT IS DAMAGED BY CONSTRUCTION OPERATIONS. LANDSCAPE ARCHITECT OR ARBORIST WILL MAKE SOLE DETERMINATION AS TO EXTENT OF DAMAGE. EMPLOY A LICENSED ARBORIST TO EVALUATE AND DETERMINE REPAIR NEEDS TO ALL DAMAGE TO TREES TO REMAIN.
- PROTECT ALL EXISTING SITE IMPROVEMENTS FROM DAMAGE. RESTORE DAMAGED ELEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO THE OWNERS, AT NO COST TO THE PROJECT.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE OF FINISH GRADE AND PROVIDE EROSION CONTROL MEASURES AS NECESSARY UNTIL FINAL PERMANENT COVER IS IN PLACE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR KNOWLEDGE OF ALL UNDERGROUND IMPROVEMENTS TO BE PROTECTED AND TAKE SOLE RESPONSIBILITY FOR DAMAGE TO ALL SUCH ITEMS. RESTORE DAMAGED UTILITIES TO ORIGINAL CONDITION, AS ACCEPTABLE TO GOVERNING AGENCIES, WHERE REQUIRED BY CODE.
- ALL DEBRIS RESULTING FROM DEMOLITION SHALL BE REMOVED ON A WEEKLY BASIS AND LEGALLY DISPOSED OF OFF-SITE, INCLUDING ALL MATERIAL FROM VEGETATION REMOVAL. NO ON-SITE BURNING IS PERMITTED.
- PLANTS TO BE RELOCATED WILL BE TAGGED IN THE FIELD BY THE LANDSCAPE ARCHITECT. CONTRACTORS SHALL IMMEDIATELY TRANSPLANT TREES DUG FOR RELOCATIONS, AND WATER AS NECESSARY. CONTRACTOR SHALL BE RESPONSIBLE FOR TREE MORTALITY AND REPLACE FAILED TREES AT NO COST TO PROJECT.
- ON-SITE STORAGE OF EQUIPMENT AND MACHINERY BY THE CONTRACTOR SHALL BE LIMITED TO DESIGNATED STAGING AREAS ACCEPTABLE TO LANDSCAPE ARCHITECT.

LAYOUT NOTES:

- VERIFY LOCATION OF ALL BUILDINGS, WALLS, ROADS AND CURBS AFFECTING LANDSCAPE SCOPE OF WORK WITH RELEVANT ARCHITECTURAL AND ENGINEERING DRAWINGS PRIOR TO COMMENCING SITE WORK.
- VERIFY LOCATION OF ALL VAULTS, ELECTRICAL DUCT BANKS, MANHOLES, CONDUIT, PIPING, DRAINAGE STRUCTURES, LIGHTING, AND OTHER UTILITIES WITH THE APPROPRIATE ENGINEER'S DRAWINGS.
- WHERE NOT SHOWN ON LANDSCAPE DRAWINGS, SEE CIVIL ENGINEER'S DRAWINGS FOR ROADWAY CENTERLINE, STATION POINTS, BENCHMARKS AND BUILDING SETBACKS.
- TAKE ALL DIMENSIONS FROM CENTER OF CURB, WALL OR BUILDING, OR TO CENTERLINE OF BUILDING COLUMNS OR TREES UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS CALLED OUT AS "EQUAL" OR "EQ" ARE EQUIDISTANT MEASUREMENTS BETWEEN THE REFERENCE POINTS SHOWN.
- ALL ITEMS DESIGNATED AS "SIM" OR "TYP" ARE TO BE CONSTRUCTED IN THE MANNER OF THE DETAIL REFERENCED, WITH MINOR ADJUSTMENT FOR SPECIFIC CONDITION.
- ALL ANGLES ARE 90 DEGREES AND ALL LINES ARE TO BE HELD PARALLEL UNLESS OTHERWISE NOTED ON THE DRAWINGS. MAINTAIN HORIZONTAL ALIGNMENT FOR ALL ADJACENT ELEMENTS SO REFERENCED ON THE DRAWINGS.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE APPARENT ON DRAWINGS. DO NOT SCALE FROM DRAWINGS. SEE ENLARGED PLANS AND SPECIFIC DETAILS FOR ADDITIONAL INFORMATION.
- INDIVIDUAL NOTES AND SPECIFIC DETAILS TAKE PRECEDENCE OVER GENERAL NOTES AND GENERIC DETAILS.
- WHERE CONFLICTS MAY OCCUR, NEW SITE DEVELOPMENT DESIGN TAKES PRECEDENCE OVER EXISTING ELEMENTS. SUCH CONFLICTING ELEMENTS SHALL BE REMOVED TO ALLOW FOR NEW CONSTRUCTION.
- NEW LOCATION FOR ALL TRANSPLANTED PLANT MATERIAL TO BE DETERMINED BY LANDSCAPE ARCHITECT IN FIELD.
- CONTRACTOR SHALL TAKE EXTREME CARE AT ALL TIMES NOT TO BRING ONTO THE SITE ANY SOIL, VEGETATION OR OTHER MATERIAL THAT POSES A CONTAMINATION HAZARD TO EXISTING PLANT MATERIALS INCLUDING INVASIVE SPECIES SEED OR DEBRIS. ALL TRUCKS ALL EQUIPMENT USED SHALL BE CLEAN OF ALL MUD, DIRT OR TOXIC SUBSTANCES WHEN BROUGHT ONTO AND USED ON THE SITE.
- SHRUBS TO REMAIN OR TO BE TRANSPLANTED WILL BE TAGGED IN THE FIELD BY THE LANDSCAPE ARCHITECT. SHRUBS TO REMAIN SHALL BE PROTECTED WITH FENCING SIMILAR TO THE TREE PROTECTIONS FENCING.
- TRANSPLANTED TREES AND SHRUBS SHALL BE PROVIDED WITH IRRIGATION AND PART SHADE. IRRIGATE TRANSPLANTS WEEKLY AT A MINIMUM BY THOROUGHLY SOAKING THE ROOT BALL. ARBORIST MAY INCREASE IRRIGATION SCHEDULE AS NEEDED.
- ALL EXISTING CONCRETE, ROCK OR PAVING THAT IS APPROVED BY ENGINEER FOR FILL OR BASE ROCK OF FUTURE CONSTRUCTION SHALL BE KEPT AND STORED ON SITE UNTIL NEEDED. PROTECT FROM CONTAMINATION.
- ALL RETAINING WALLS IDENTIFIED FOR DEMOLITION SHALL INCLUDE REMOVAL OF FOOTINGS.
- TREE REMOVAL SHALL INCLUDE STUMP GRINDING AND/OR REMOVAL OF MAJOR ROOT SYSTEMS. STUMPS ARE TO REMAIN ON SLOPES OF 25% OR GREATER.
- IRRIGATION DEMOLITION:
 - REMOVE (E) IRRIGATION VALVES AND VALVE BOXES (DO NOT BURY)
 - DISCONNECT MAIN LINE FROM WATER SERVICE, IF DEEPER THAN 12". BURY IF SHALLOWER THAN 12"
 - REMOVE ALL SPRINKLER HEADS AND RISERS; REMOVE LATERAL LINES.
 - REMOVE QUICK COUPLERS AND HOSE BIBS- RECYCLE IF POSSIBLE.
- DEMOLITION OF STRUCTURES IS NOT INCLUDED IN LANDSCAPE SCOPE OF WORK. DEMOLITION OF ALL STRUCTURES SHALL BE BY OTHERS AS DETERMINED BY GENERAL CONTRACTOR.
- GENERAL CONTRACTOR SHALL COORDINATE REMOVAL OF ALL STRUCTURES. SECURE TERMINATION AND DISCONNECTION OF ALL UTILITIES AND SECURE CITY PERMITS.
- WHERE CONFLICTS MAY OCCUR, NEW SITE DEVELOPMENT DESIGN TAKES PRECEDENCE OVER EXISTING ELEMENTS. SUCH CONFLICTING ELEMENTS SHALL BE REMOVED TO ALLOW FOR NEW CONSTRUCTION.
- NEW LOCATION FOR ALL TRANSPLANTED PLANT MATERIAL TO BE DETERMINED BY LANDSCAPE ARCHITECT IN FIELD.

DEER PROTECTION NOTES:

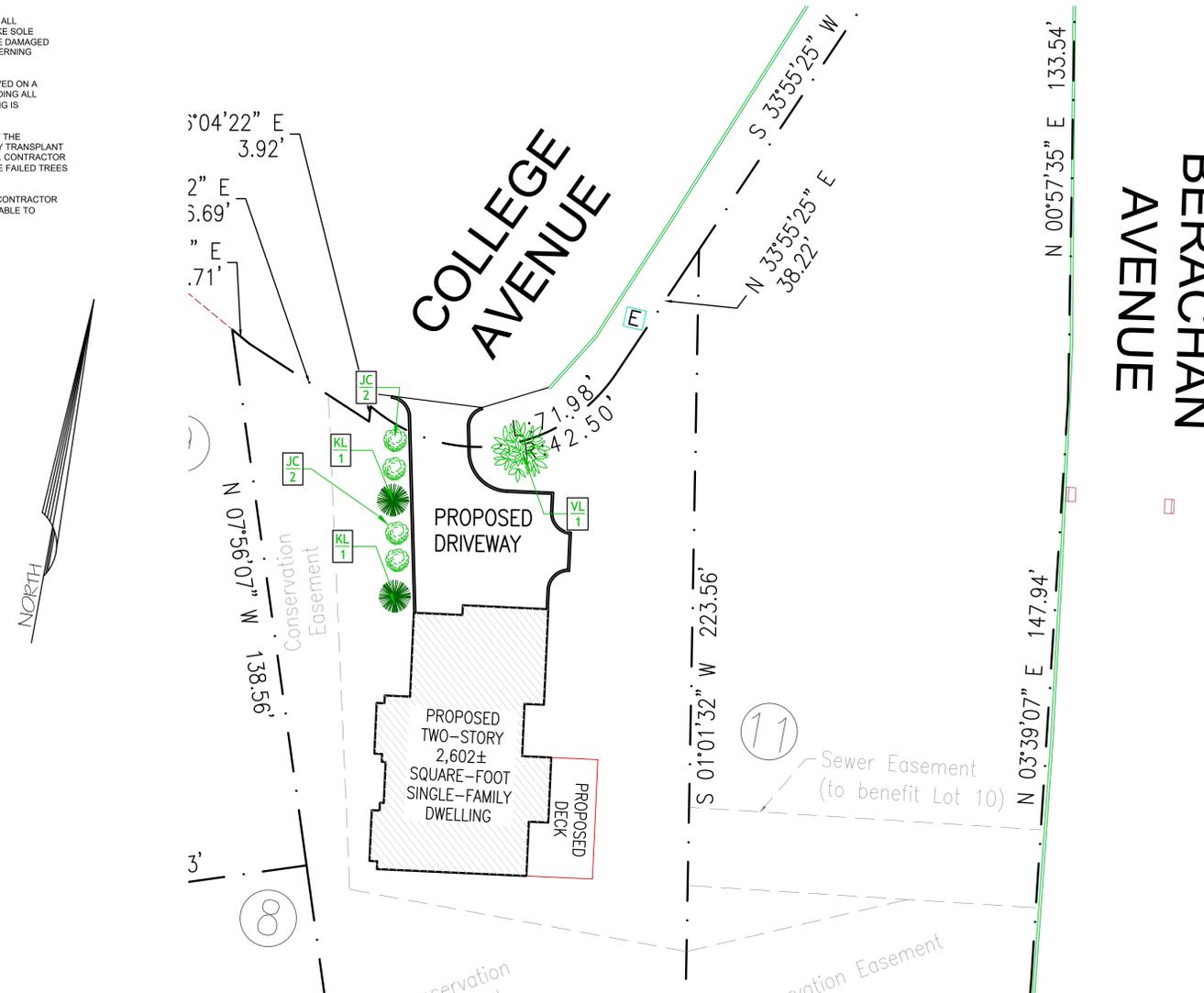
- WHEN APPROPRIATE, USE PLANTS THAT ARE DEER-INTOLERANT OR DEER-RESISTANT ON THE LANDSCAPE PLAN. AS A GUIDE, REFER TO THE "LANDSCAPE PLANTS RATED BY RESISTANCE", PROVIDED BY Rutgers NEW JERSEY AGRICULTURAL EXPERIMENT STATION (NJAES).
- USE HORIZONTAL FENCING BARRIERS OR WOVEN WIRE FENCING WITH A MINIMUM HEIGHT OF 6 FEET OR MORE.
- REPELLENTS:**
 - USE SPRAYS THAT ARE INCORPORATE OODOR AND TASTE REPELLENT IN ONE.
 - APPLY REPELLENTS EARLY IN SPRING ON THE PERIMETER OF THE GARDENS. RE-APPLY SPRAYS AFTER HEAVY RAINFALL.
 - SLOWLY WEAN OFF SPRAY APPLICATION SEASONALLY, AND ONLY APPLY OCCASIONALLY REMINDER APPLICATIONS FOR THE REST OF THE YEAR. RESULTS VARY DEPENDING ON DEER POPULATION AND FOOD AVAILABILITY IN AREA.
- USE SOLAR-POWERED OR MOTION SENSOR DEVICE ON SCARECROWS TO ENGAGE SPRINKLER WHEN DEER APPROACH A "PROTECTED AREA".
- TREE PROTECTION:**
 - USE PLASTIC OR MESH TREE GUARDS, OR CHICKEN WIRE FOR NEWLY PLANTED TREES.
 - TREE PROTECTION SHOULD BE MONITORED YEARLY TO DETERMINE NEED AND NECESSARY MAINTENANCE.

SITE SPECIFIC NOTES:

- THIS IS A PLOT PLAN PREPARED FOR TAX LOT #'s 66.69-1-2.11 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAP.
- RECORD OWNER: NYACK WATERFRONT LLC 51 FOREST ROAD SUITE 316-76 MONROE, NEW YORK 10960
- APPLICANT: INDIGO DEVELOPERS 51 FOREST ROAD SUITE 316-76 MONROE, NEW YORK 10960
- SITE ADDRESS: 19 COLLEGE AVENUE NYACK, NEW YORK 10960
- DEED REFERENCE: DEED BOOK: 125 DEED PAGE: 8.
- TOTAL AREA OF PARCEL: 20,447± SQUARE-Feet or 0.469± ACRES.
- ZONING DISTRICT: (R-12HC) CLUSTER MAJOR SUBDIVISION
- FILED MAP REFERENCE: BEING KNOWN AS LOT 10 AS SHOWN ON A CERTAIN MAP ENTITLED "FINAL CLUSTER SUBDIVISION PLAN - MAJOR SUBDIVISION LANDS OF DANSOME, LLC FINAL SUBDIVISION PLAN VILLAGE OF SOUTH NYACK, ROCKLAND COUNTY, NEW YORK" FILED ON JUNE 22, 2005 IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP NUMBER 7769, BOOK 125 & PAGE 8.
- SANITARY SEWAGE SYSTEM: MUNICIPAL/COMMUNITY SEWER SYSTEM ORANGETOWN SEWER DISTRICT.
- WATER SUPPLY SYSTEM: MUNICIPAL/COMMUNITY WATER SYSTEM (VEOLIA WATER).
- UTILITIES: GAS/ELECTRIC (ORANGE AND ROCKLAND UTILITIES, INC.).
- EXISTING USE: VACANT APPROVED CLUSTER SUBDIVISION LOT.
- PROPOSED USE: SINGLE-FAMILY RESIDENTIAL.
- BOUNDARY AND EXISTING CONDITIONS: BASED ON SURVEY BY PROJECT SURVEYOR.
- TOPOGRAPHIC DATUM: AS PER PROJECT SURVEYOR.
- CONTRACTOR TO KEEP ROAD AND SURROUNDING AREAS CLEAR OF TRASH AND DEBRIS.
- CONTRACTOR TO MINIMIZE DIRT AND MUD IN ROADWAY BY CLEANING ROADWAY AS REQUIRED OR REQUESTED BY THE LOCAL MUNICIPAL AUTHORITIES.

LANDSCAPE MAINTENANCE NOTES:

- MAINTENANCE CONTRACTOR TO MAINTAIN ALL PLANT MATERIALS AND IRRIGATION SYSTEM.
- LANDSCAPE CONTRACTOR OR MAINTENANCE SUBCONTRACTOR SHALL HAVE A FULL TIME EMPLOYEE ASSIGNED TO THE JOB AS FOREMAN FOR THE DURATION OF THE CONTRACT. FOREMAN SHALL HAVE A MINIMUM OF FOUR (4) YEARS EXPERIENCE IN LANDSCAPE MAINTENANCE SUPERVISION, WITH EXPERIENCE OR TRAINING IN TURF MANAGEMENT, ENTOMOLOGY, PEST CONTROL, SOILS, FERTILIZERS AND PLANT IDENTIFICATION.
- LANDSCAPE MAINTENANCE CONTRACTOR SHALL SUBMIT MAINTENANCE SCHEDULE TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO START OF LANDSCAPE MAINTENANCE PROJECT.
- AT BEGINNING OF MAINTENANCE PERIOD, VISIT AND WALK SITE WITH LANDSCAPE ARCHITECT TO VERIFY SCOPE OF WORK AND UNDERSTAND EXISTING SITE CONDITIONS. NOTIFY LANDSCAPE ARCHITECT FIVE (5) DAYS PRIOR TO VISIT.
- STERILIZE ALL TOOLS USED PRIOR TO ANY MAINTENANCE WORK.
- NO USE OF ANTI-DESSICANT IS PERMITTED ON ANY PLANT.
- WOUND DRESSINGS SUCH AS TAR, ASPHALT, PAINT OR OTHER PETROLEUM SOLVENTS ARE NOT PERMITTED TO BE USED ON TREES IN ANY CIRCUMSTANCE.
- PRUNING:**
 - NO PRUNING IS NECESSARY FOR FORBS AND GRAMINOIDES. IF CUTTING BACK IS DESIRED FOR AESTHETIC REASONS, PERENNIALS MAY BE CUT IN APRIL TO MAY LEAVING BETWEEN 8-24" OF STALKS INTACT FOR STEM-NESTING INSECTS.
 - LATE-BLOOMING PERENNIALS MAY BE TRIMMED 25-75% IN LATE SPRING FOR HEIGHT CONTROL.
 - HEDGES ARE NOT TO BE TRIMMED IN GEOMETRIC FORMS, BUT LEFT IN ITS NATURAL FORM.
 - NO PRUNING SHALL BE DONE AT THE TIME OF INSTALLATION, EXCEPT TO REMOVE DEAD OR BROKEN BRANCHES/STEMS.
 - ALL ADDITIONAL PRUNING SHOULD BE CONDUCTED BY A CERTIFIED ARBORIST TO DETERMINE PRUNING GOALS, BEST PRACTICES AND LONG TERM PRUNING MAINTENANCE NEEDS OF THE SELECTED SPECIES.
 - ACCEPTABLE PRUNING OBJECTIVES INCLUDE BUT ARE NOT LIMITED TO PROVIDING CLEARANCE, MAINTAINING HEALTH, RESTORATION FROM WEATHER DAMAGE, RISK MANAGEMENT, AND MANAGING WILDLIFE HABITAT.
 - PRIOR TO PRUNING OF MATURE TREES, A WRITTEN PRUNING SPECIFICATION SHALL BE PRESENTED TO THE OWNER CLEARLY DEMONSTRATING PRUNING SYSTEMS (TYPE OF PRUNING), OBJECTIVES, LOCATION OF CUT, AMOUNT TO REMOVE, PLAN FOR DISPOSAL OF DEBRIS, TIME FRAME FOR COMPLETION OF WORK AND RE-INSPECTION OR PRUNING INTERVAL.
- REMOVE LEAVES FROM LAWN AND SHRED TO USE AS MULCH IN GARDEN BEDS. EXCESS LEAVES SHOULD BE COMPOSTED. DO NOT REMOVE LEAVES FROM GARDEN BEDS.
- DO NOT MOW UP TO THE TRUNK OF NEW OR PREVIOUSLY EXISTING TREES. MAINTAIN A BUFFER OF 3 TO 5 FEET FROM THE BASE OF THE TRUNK TO EITHER BE MANAGED BY HAND OR PROTECTED WITH MULCH OR VEGETATION.
- FERTILIZER SHOULD NOT BE USED AT THE TIME OF PLANTING OR WITHIN THE FIRST YEAR OF INSTALLATION. ANY FUTURE USE MUST BE DOCUMENTED ACCORDING TO #3 AND THE ADDITIONAL REQUIREMENTS LISTED BELOW.
- LANDSCAPE CONTRACTOR SHALL SUBMIT A MANUAL WITH ALL MATERIALS AND PRODUCTS USED IN CONSTRUCTION AND MAINTENANCE PERIOD; MAKE CORRECTIONS AND ADDITIONS PER DIRECTION OF LANDSCAPE ARCHITECT PRIOR TO FINAL SUBMITTAL TO THE OWNER. SUBMIT LOG OF ALL FERTILIZERS AND HERBICIDES WITH DATES AND RATES APPLIED DURING MAINTENANCE PERIOD. LANDSCAPE ARCHITECT SHALL WALK SITE WITH CONTRACTOR AND NOTE ALL UNSATISFACTORY WORK. UNSATISFACTORY WORK SHALL BE CORRECTED WITHIN 10 CALENDAR DAYS.



#	DATE	COMMENTS
1	MARCH 26, 2025	BUILDING INSPECTOR'S MEETING COMMENTS

UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED N.Y.S. ENGINEER'S SEAL IS A VIOLATION OF SECTION 2209, SUB-DIVISION OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE, IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. COPIES OF THIS PLAN NOT HAVING THE EMBOSSED SEAL OF THE N.Y.S. ENGINEER SHALL NOT BE VALID. PLAN PREPARED PURSUANT TO SECTION 7208m OF THE NEW YORK STATE EDUCATION LAW.

SEAL VALID FOR MJC JOB# 2509 SEAL DATE: APRIL 8, 2025

GRAPHIC SCALE: 1 inch = 20 Feet

MICHAEL J. CALISE, P.E. NEW YORK STATE LIC. NO. 074611

Know what's below. **811** Call before you dig.

THIS PLAN FOR BUILDING PERMIT PURPOSES ONLY.

LANDSCAPING PLAN

PREPARED FOR: TAX LOT 66.69-1-2.11 SECTION 66.69, BLOCK 1, LOT 2.11

19 COLLEGE AVENUE

VILLAGE OF SOUTH NYACK, TOWN OF ORANGETOWN COUNTY OF ROCKLAND & STATE OF NEW YORK

Michael J. Calise, P.E. & Associates, P.C. Civil Engineering & Land Planning Consultants Post Office Box 96, Pearl River, New York 10965 Phone (845) 629-3743 mcaliseengineering.com

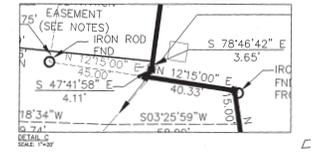
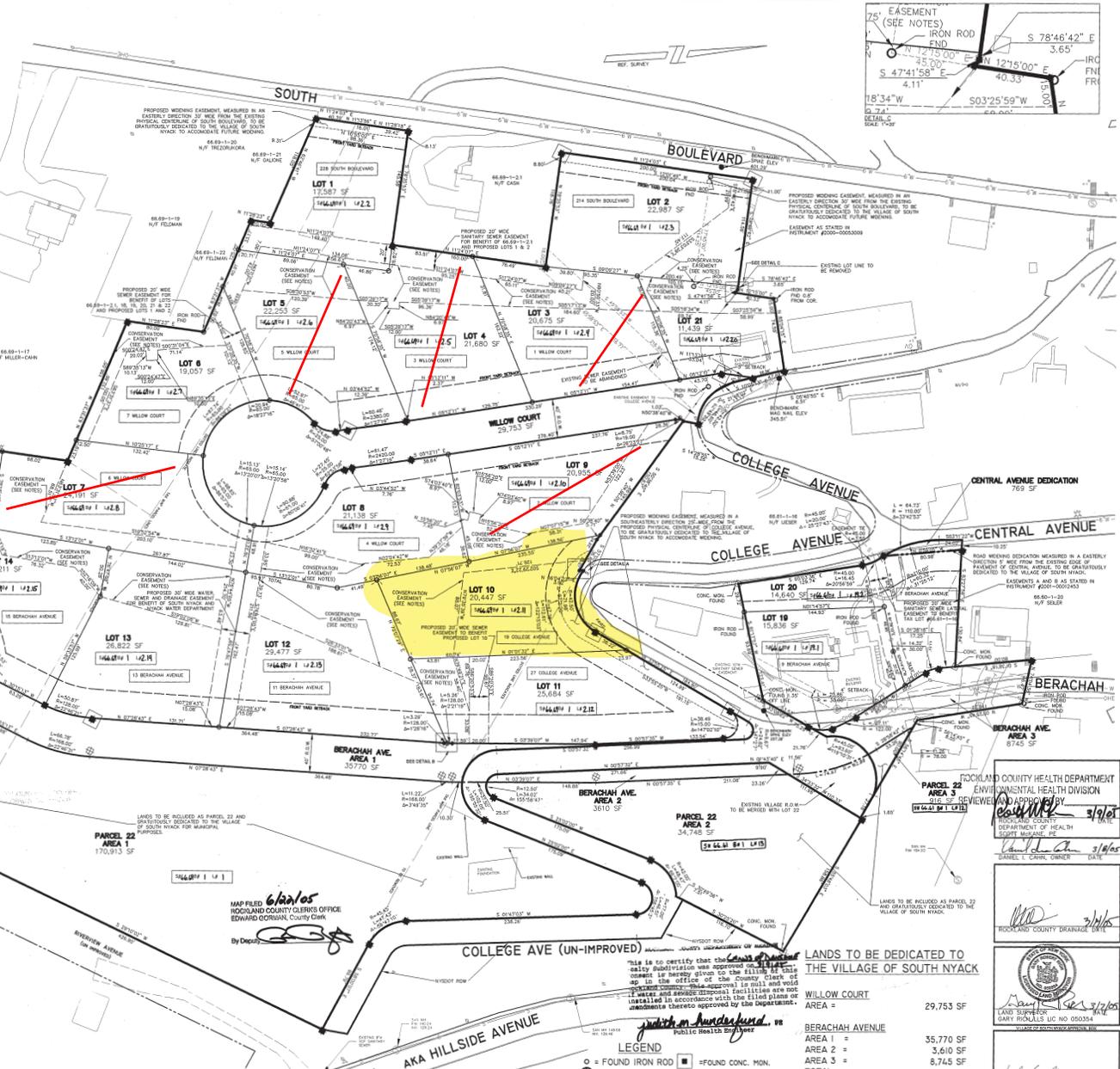
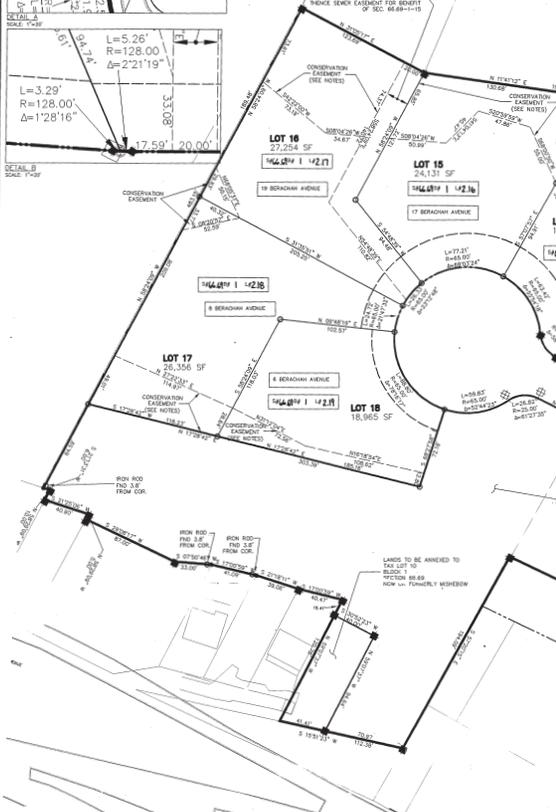
TAX LOT NUMBER: 66.69-1-2.11
TOTAL SITE AREA: 0.469± ACRES
20,447± SQUARE-Feet
JOB NUMBER: 2509
SCALE: 1"=20'
DATE: FEBRUARY 24, 2025
SHEET: 5 OF 6

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MINIMUM LOT AREA (SQ FT)	MINIMUM FRONT YARD SETBACK (FT)	MINIMUM SIDE YARD SETBACK (FT)	MINIMUM REAR YARD SETBACK (FT)	MINIMUM FRONT SETBACK (FT)	MINIMUM SIDE SETBACK (FT)	MINIMUM REAR SETBACK (FT)	MINIMUM FRONT SETBACK (FT)	MINIMUM SIDE SETBACK (FT)	MINIMUM REAR SETBACK (FT)
8,000	30	30	30	30	30	30	30	30	30
10,000	30	30	30	30	30	30	30	30	30
12,000	30	30	30	30	30	30	30	30	30
14,000	30	30	30	30	30	30	30	30	30
16,000	30	30	30	30	30	30	30	30	30
18,000	30	30	30	30	30	30	30	30	30
20,000	30	30	30	30	30	30	30	30	30
22,000	30	30	30	30	30	30	30	30	30
24,000	30	30	30	30	30	30	30	30	30
26,000	30	30	30	30	30	30	30	30	30
28,000	30	30	30	30	30	30	30	30	30
30,000	30	30	30	30	30	30	30	30	30

The proposed minimum front yard setback shall be 10 feet greater than the standard front yard requirement. A 10-foot increase in the minimum rear yard setback shall be provided to compensate for the increase in the minimum front yard setback. The minimum side yard setback shall be 10 feet greater than the standard side yard requirement. The minimum rear yard setback shall be 10 feet greater than the standard rear yard requirement. The minimum front yard setback shall be 10 feet greater than the standard front yard requirement. The minimum side yard setback shall be 10 feet greater than the standard side yard requirement. The minimum rear yard setback shall be 10 feet greater than the standard rear yard requirement.

Existing building.



DESCRIPTION OF CONSERVATION EASEMENTS TO BE GRANTED TO THE VILLAGE OF SOUTH NYACK

PURPOSE: THE PURPOSE OF THE CONSERVATION EASEMENTS IS TO ENSURE THAT THE VILLAGE HAS SUFFICIENT CONTROL AND AUTHORITY OVER ANY ACTIVITY IN THE AREAS TO MAINTAIN VEGETATIVE COVER TO STABILIZE THE SLOPES AND PREVENT EROSION.

CONSERVATION EASEMENTS:

- PREVENT TREES AND VEGETATIVE AREAS
- MAINTAIN BOUNDARY AREAS BETWEEN PROPERTIES
- PREVENT SCREEDING AND/OR SITE VIEW QUALITY OF AREAS

CONDICTIONS OF THE EASEMENTS:

- NO RESULTANT TO SITE AN APPROVAL, NO OFF-ROAD INCLUDING CLEARING OF UNDERSTORY VEGETATION OR LINE REMOVAL WILL BE ALLOWED WITHOUT FIRST APPROVING THE VILLAGE.
- REMOVAL OF TREES WITHIN A CONSERVATION EASEMENT, WILL ONLY BE ALLOWED IF THE TREE IS DEAD OR A DANGER FROM SLIDING. SUPPLEMENTAL TREE PLANTING MAY BE REQUIRED BY THE VILLAGE TO MITIGATE THE TREE LOSS IF A TREE IS ALLOWED TO BE REMOVED.
- ACCESSORY STRUCTURES MAY NOT BE PLACED WITHIN THE CONSERVATION EASEMENT.
- NO REMOVAL OF VEGETATION WITHIN CONSERVATION EASEMENTS CAN BE UNDERTAKEN FOR THE PURPOSE OF IMPROVING VIEWS.

NOTES:

- SHEETS 6 AND 7 ARE PART OF THE ROCKLAND COUNTY CLERK'S OFFICE AND ARE ONLY PART OF THE ENTIRE PLAN SET FOR THIS SUBDIVISION PROJECT. THE ENTIRE PLAN SET IS ON FILE AT THE SOUTH NYACK TOWN HALL, 281 SOUTH BROADWAY, SOUTH NYACK, NY 09086.
- THIS SUBDIVISION IS SUBJECT TO ALL NOTES AND REQUIREMENTS IDENTIFIED WITHIN THE ENTIRE PLAN SET ON FILE AT THE SOUTH NYACK TOWN HALL.

SURVEYORS CERTIFICATION:

I HEREBY CERTIFY THAT THE BOUNDARY SURVEY MAP SHOWN HEREON WAS PREPARED UNDER MY SUPERVISION AND MADE FROM AN ACTUAL FIELD SURVEY IN ACCORDANCE WITH THE CODE OF PRACTICE ESTABLISHED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS AND COMPLETED FEBRUARY 21, 2023.

SUBJECT TO:

- A STATE OF FACTS THAT A TITLE SEARCH REPORT MAY REVEAL
- EASEMENTS AND ROWS OF RECORD
- ENCUMBRANCES OR ANY UNDERGROUND ENCUMBRANCES OR ENCUMBRANCES ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTABLISHED. ANY UNDERGROUND ENCUMBRANCES OR ENCUMBRANCES ARE NOT COVERED BY THIS CERTIFICATE.
- UNAUTHORIZED ALTERATION OF THIS DOCUMENT IN ANY WAY CONSTITUTES A VIOLATION OF THE NEW YORK STATE EDUCATION LAW PART 205.20.

EDWARD CORNWALL, County Clerk

LEGEND

- = FOUND IRON ROD
- ⊕ = FOUND CONC. MON.
- ⊙ = MONUMENT TO BE SET
- ⊚ = IRON PIPE TO BE SET
- ⊛ = MONUMENT TO BE SET WITH PLAN

TO BE PROVIDED TO THE VILLAGE OF SOUTH NYACK IDENTIFYING THE STATE PLANE COORDINATES AND THE ELEVATION OF EACH MONUMENT

± = 7.75 FT. OFFSET FROM RIGHT-OF-WAY LINE TO BE MARKED WITH ALUMINUM DISC MARKED "SURVEY MARKER" IN THE CONCRETE CURB

GRAPHIC SCALE

1 inch = 40 feet

LANDS TO BE DEDICATED TO THE VILLAGE OF SOUTH NYACK

WILLOW COURT AREA =	29,753 SF
BERACHAH AVENUE AREA 1 =	35,770 SF
AREA 2 =	3,610 SF
AREA 3 =	8,745 SF
TOTAL =	48,055 SF
PARCEL 22 AREA 1 =	170,913 SF
AREA 2 =	34,745 SF
AREA 3 =	916 SF
TOTAL =	206,577 SF
CENTRAL AVENUE AREA =	769 SF

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MAJOR SUBDIVISION LANDS OF DANSOME, L.L.C. FINAL SUBDIVISION PLAN

VILLAGE OF SOUTH NYACK
ROCKLAND COUNTY, NEW YORK

Designed by: M.M.M. L.A.R. DATE: 11-14-03 Sheet: 7 Rev. 8
Drawn by: S.G.B.
Approved by: M.M.M.