

XING RESIDENCE

918 R 9W, NYACK, NEW YORK

APPLICABLE CODES:
1- CONSTRUCTION CLASSIFICATION: 5B
2- 2020 INTERNATIONAL RESIDENTIAL
NEW YORK CODE

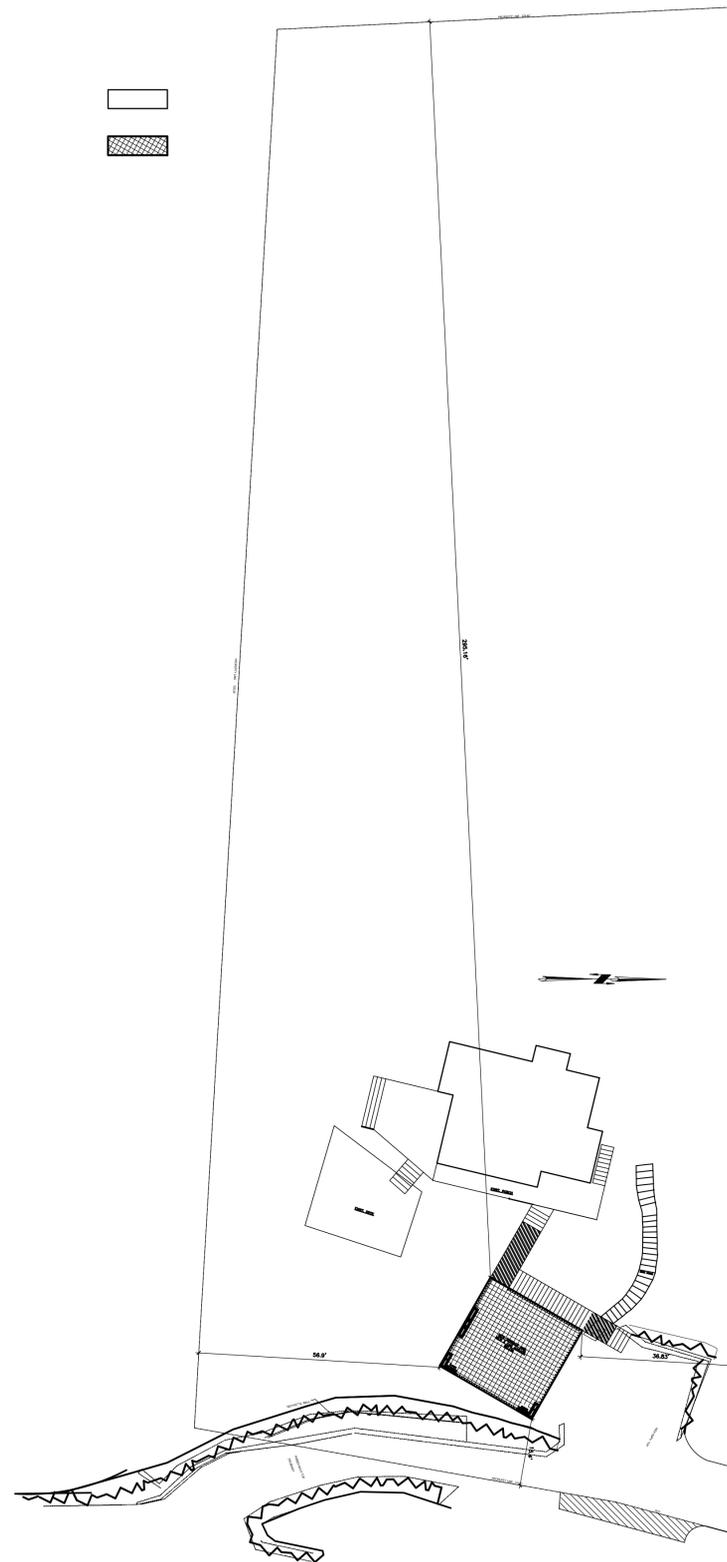
SCOPE OF WORK
PROPOSE NEW RETAINING WALL, NEW 2 CAR
GARAGE WITH ROOF TOP TERRACE

- ELECTRICAL LEGEND**
- MOTION SENSOR LIGHTING FIXTURE BY OTHERS, INSTAL. BY ELECTRICAL CONTRACTOR
 - CEILING LIGHTING FIXTURE BY OTHERS, INSTAL. BY ELECTRICAL CONTRACTOR.
 - WALL LIGHTING OUTLET-FIXTURE BY OTHERS, INSTAL. ELECTRICAL CONTRACTOR
 - TRACK LIGHTS
 - SINGLE POLE SWITCH
 - INDICATES DIMMER
 - THREE WAY SWITCH
 - DUPLEX RECEPTACLE, GFI, INDICATES GROUND FAULT TYPE
 - A.C.T. INDICATES 'ABOVE COUNTER TOP'
 - 20 AMPERE SINGLE RECEPTACLE-SEPARATE CIRCUIT
 - EXHAUST FAN BY OTHERS-WIRED BY ELECTRICAL CONTRACTOR (80 C.F.M.)
 - HEATING THERMOSTAT
 - SMOKE/ CARBON DETECTOR ELECTRICAL INTERCONNECTED W/BATTERY BACK UP.
 - TELEPHONE OUTLET-COORD. WITH TELEPHONE COMPANY
 - CABLE T.V. OUTLET-COORD. WITH CABLE T.V. COMPANY
 - COMPUTER OUTLET
 - 4" X 1" 1 TUBE FLUOR. LIGHTING FIXTURE
 - CHANDELIER LIGHTING FIXTURE

- WALL LEGEND**
- EXISTING WALLS TO BE DEMOLISHED
 - EXISTING WALLS TO REMAIN
 - ▨ NEW OUTSIDE WALLS
 - ▩ NEW INSIDE WALLS
- DOOR LEGEND**
- EXISTING DOOR TO REMAIN
 - EXISTING DOOR TO BE REMOVED.
 - NEW DOOR
 - DOOR SIZE

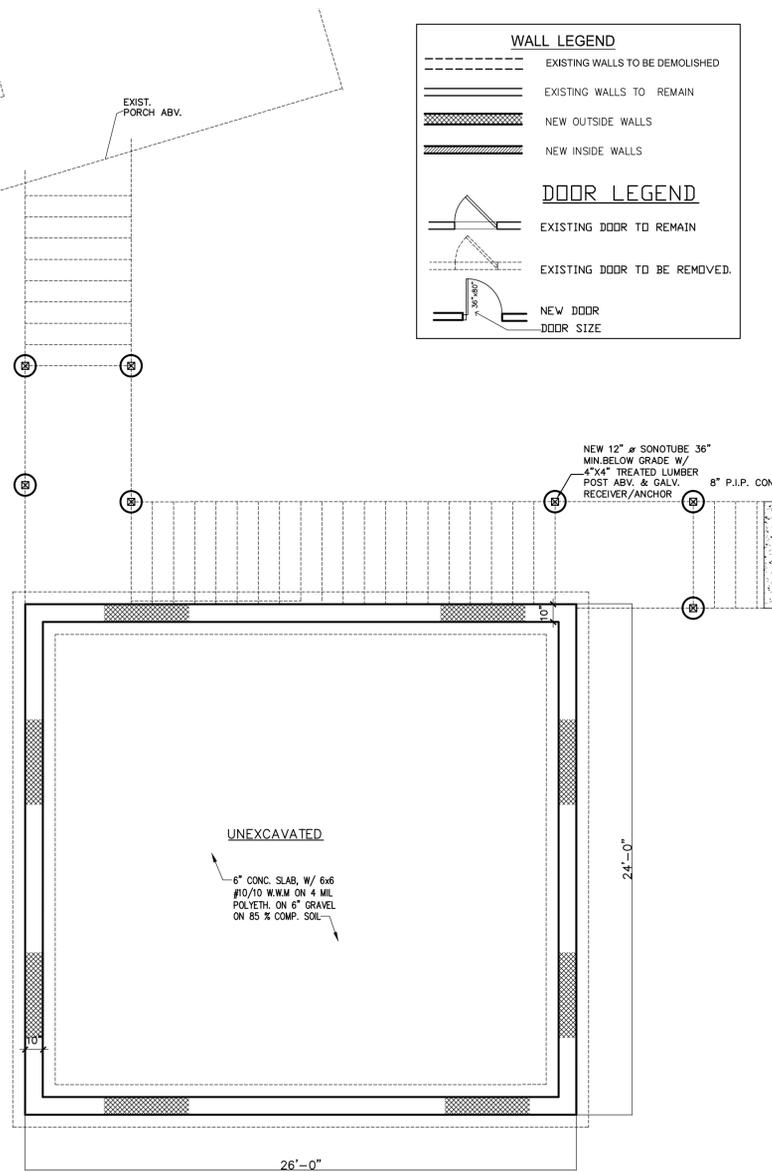
ZONING TABULATION ZONING DISTRICT =R-22				
	EXISTING	REQ'D	PROPOSED	VARIANCE
MIN. LOT AREA	(+/-)43,838SF)1.01 ACRE	22,500 SF	NO CHANCE	N/A
MIN. STREET FRONTAGE	125.0'	75.0	NO CHANCE	N/A
MIN. LOT WIDTH	128.45'	125'	NO CHANCE	N/A
SETBACK MIN. FRONT YARD	64.16'	40'	15.4'	YES
SETBACK REAR YARD	237.0'	45'	NO CHANCE	N/A
SETBACK SIDE YARD	35.7'	25'	NO CHANCE	N/A
SETBACK TOTAL SIDE YARD	88.33'	60'	NO CHANCE	N/A
FLOOR AREA RATIO	+/--(0.045) 1,972 SF	0.20	+/--(0.058) 2,546.9 SF	N/A
MAX. BUILDING HEIGHT IN/ FT. FROM LOT LINE	---	9"	NO CHANCE	N/A

ZONING TABULATION BASED ON SITE ENG. TABLE

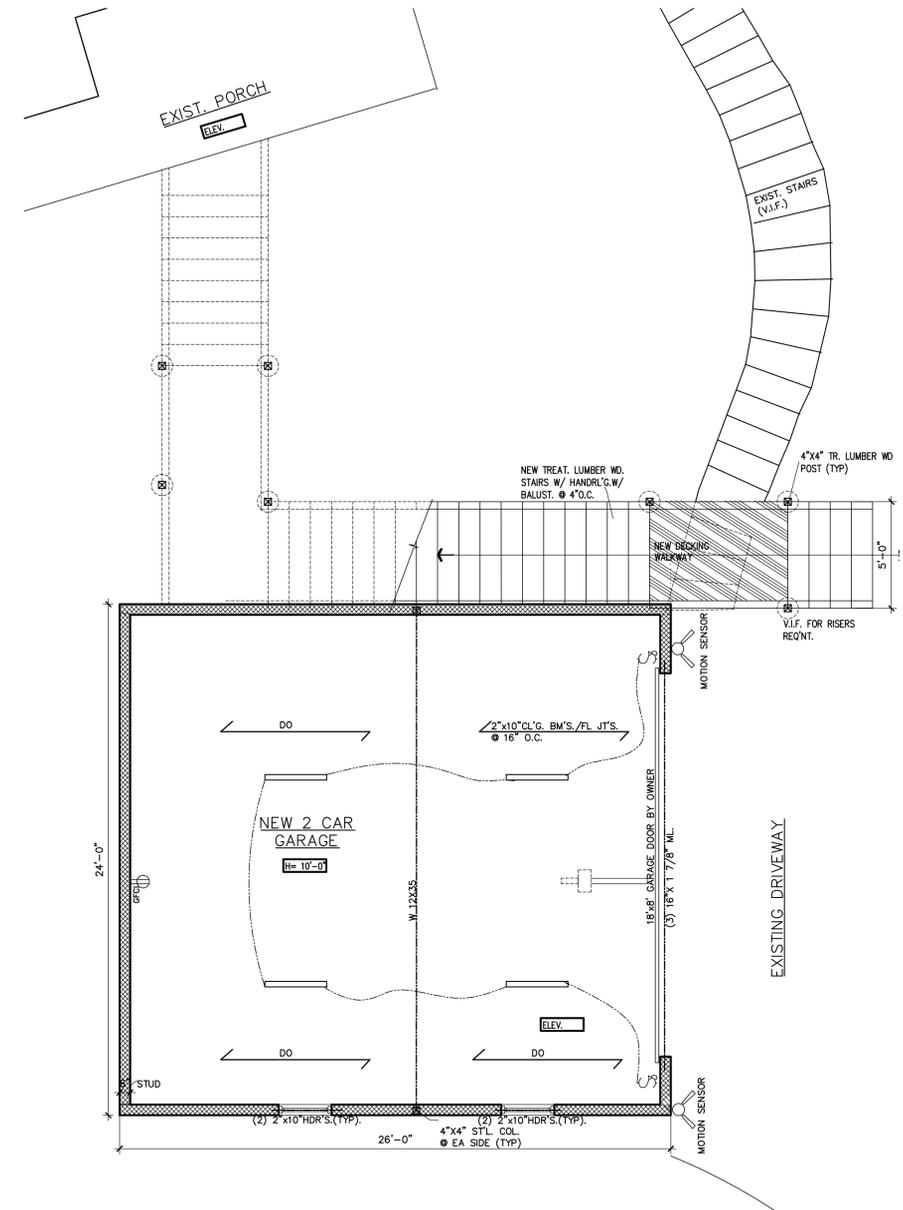


○ KEY PLAN
SCALE: 1"=20'-0"

KEY PLAN BASED ON SURVEY PLAN BY GUY LAGOMARSIND,
PROFESSIONAL ENG. JUNE 2025.

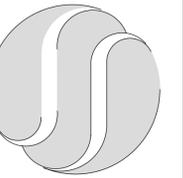


○ FOUNDATION PLAN
SCALE: 1/4"=1'-0"



○ GARAGE FLOOR PLAN
SCALE: 1/4"=1'-0"

ARCHITECTURE
INTERIOR DESIGN
CUSTOM FURNITURE
WATER GARDENS



GARY I. SEGAL, R.A.
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PROJECT:

XING RESIDENCE

CLIENT

MR. FENG XING

ADDRESS

918 9W,
NYACK, NY

REVISIONS:

REVISION

SUBMISSIONS

DRAWING TITLE:

KEY PLAN,
FOUND., FIRST FL. PLAN
ZONING INFO.

PROJECT MANAGER:

DA

PROJECT No.:

2504

REV. BY:

GS

SCALE:

DRAWN BY:

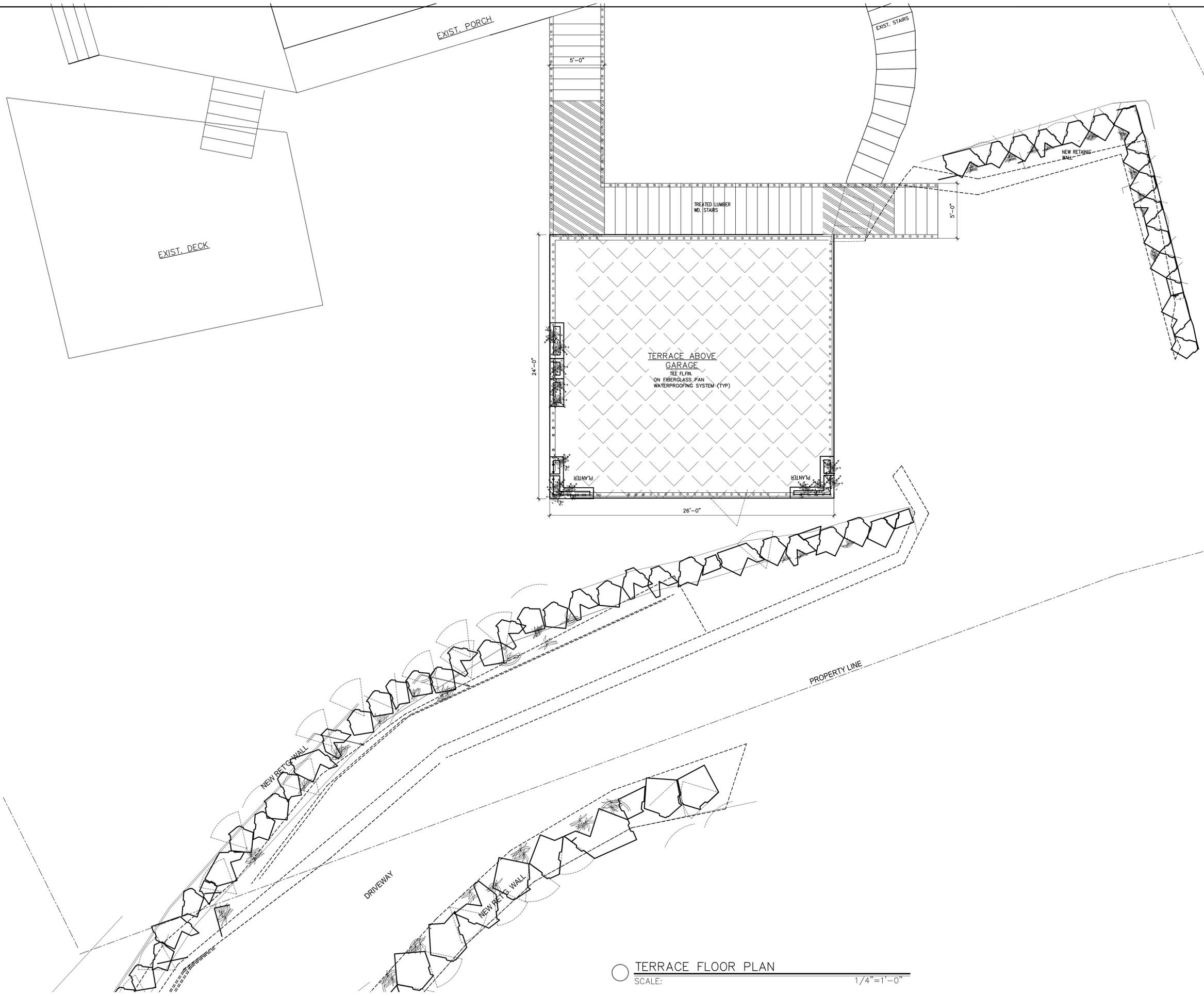
DA

DATE:

4/11/25

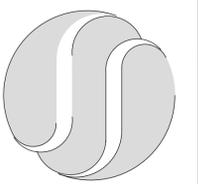
A-1

CONSTR. DOC.(PROGRESS PRINT)



○ TERRACE FLOOR PLAN
SCALE: 1/4" = 1'-0"

ARCHITECTURE
INTERIOR DESIGN
CUSTOM FURNITURE
WATER GARDENS



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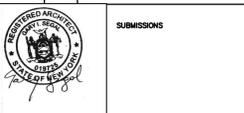
PROJECT:
XING RESIDENCE

CLIENT
MR. FENG XING

ADDRESS
918 9W,
NYACK, NY

REVISIONS:

NO.	REVISION

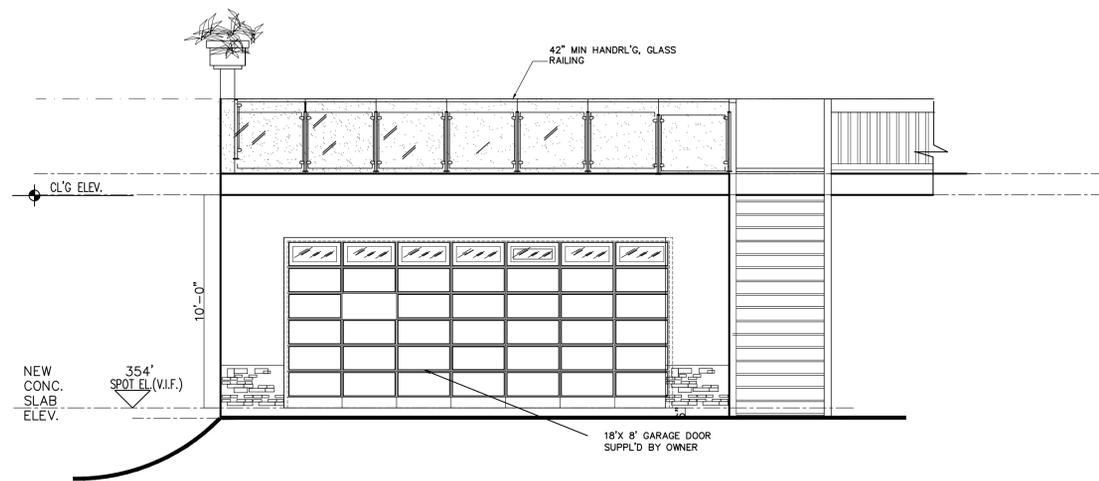


DRAWING TITLE:
ROOF TOP TERRACE/
RETAINING WALL

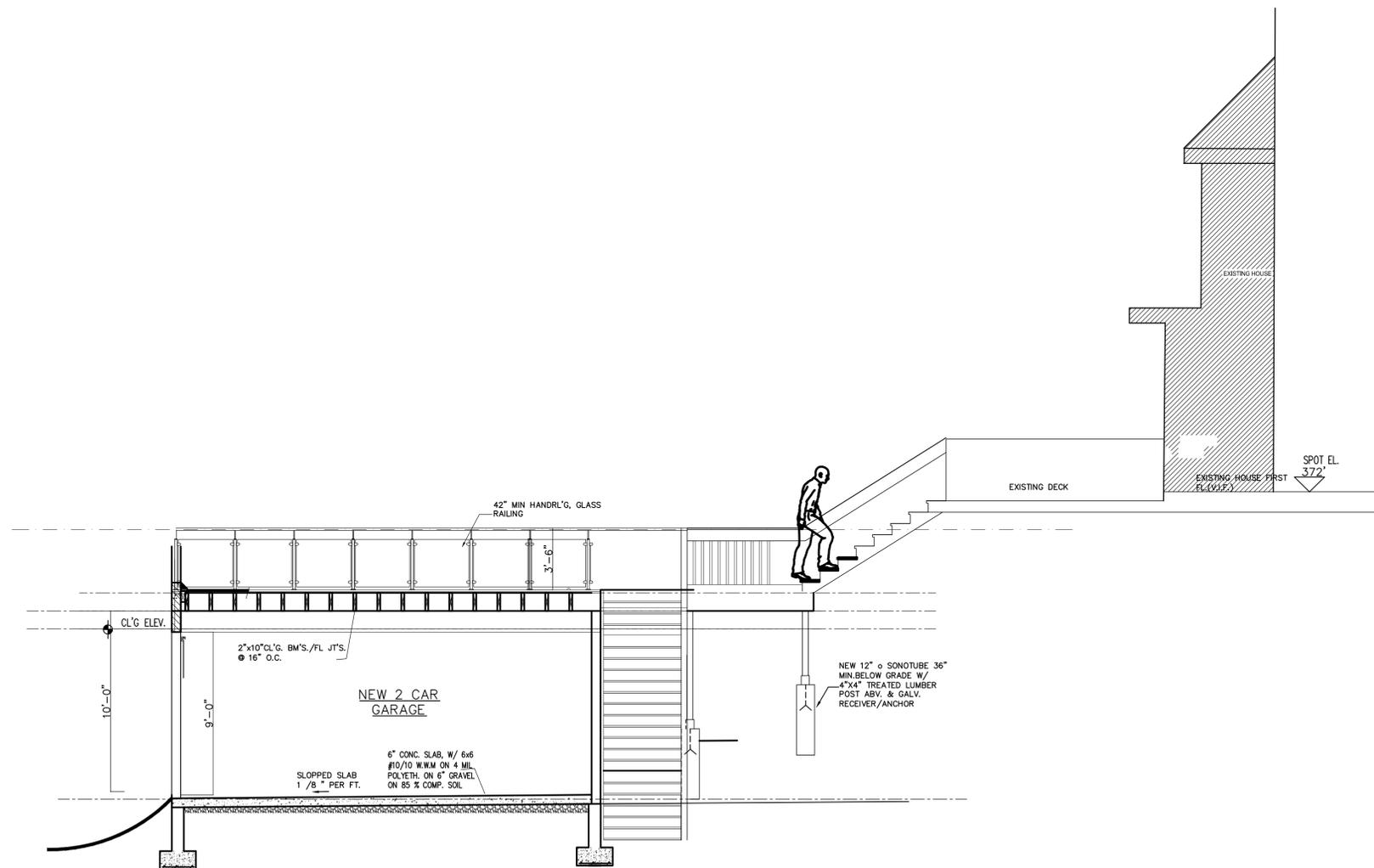
PROJECT MANAGER: DA	PROJECT No.: 2504
REV. BY: GS	SCALE:
DRAWN BY: DA	DATE: 4/17/25

A-2

CONSTR. DOC.(PROGRESS PRINT)

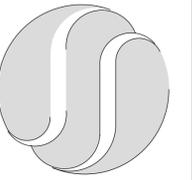


GARAGE ENTRY ELEVATION
SCALE: 1/4"=1'-0"



GARAGE SECTION A-A
SCALE: 1/4"=1'-0"

ARCHITECTURE
INTERIOR DESIGN
CUSTOM FURNITURE
WATER GARDENS



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PROJECT:

**XING
RESIDENCE**

CLIENT:

MR. FENG XING

ADDRESS:

918 9W,
NYACK, NY

REVISIONS:

REVISION



SUBMISSIONS

DRAWING TITLE:

GARAGE ELEVATIONS /
SECTION

PROJECT MANAGER:

DA

PROJECT No.:

2504

REV. BY:

GS

SCALE:

DRAWN BY:

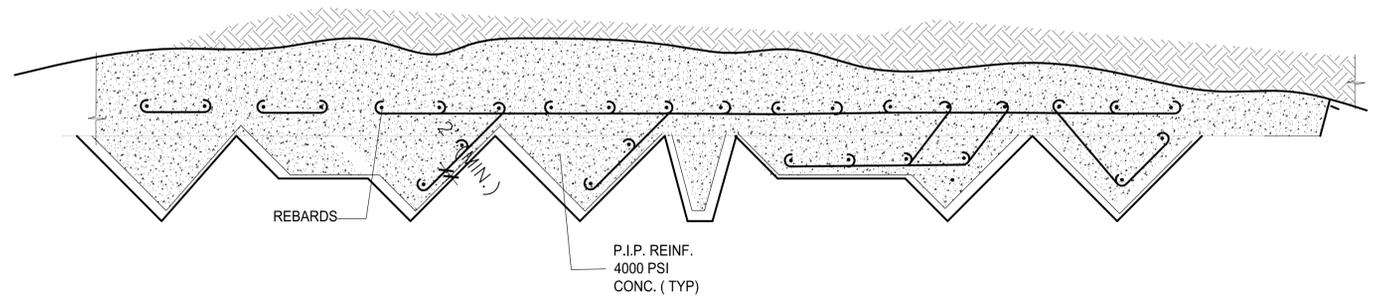
DA

DATE:

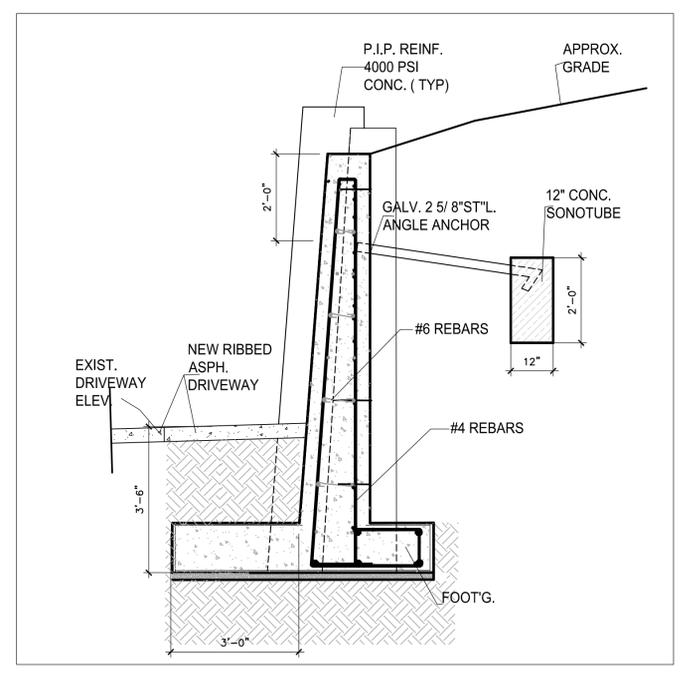
4/17/25

A-3

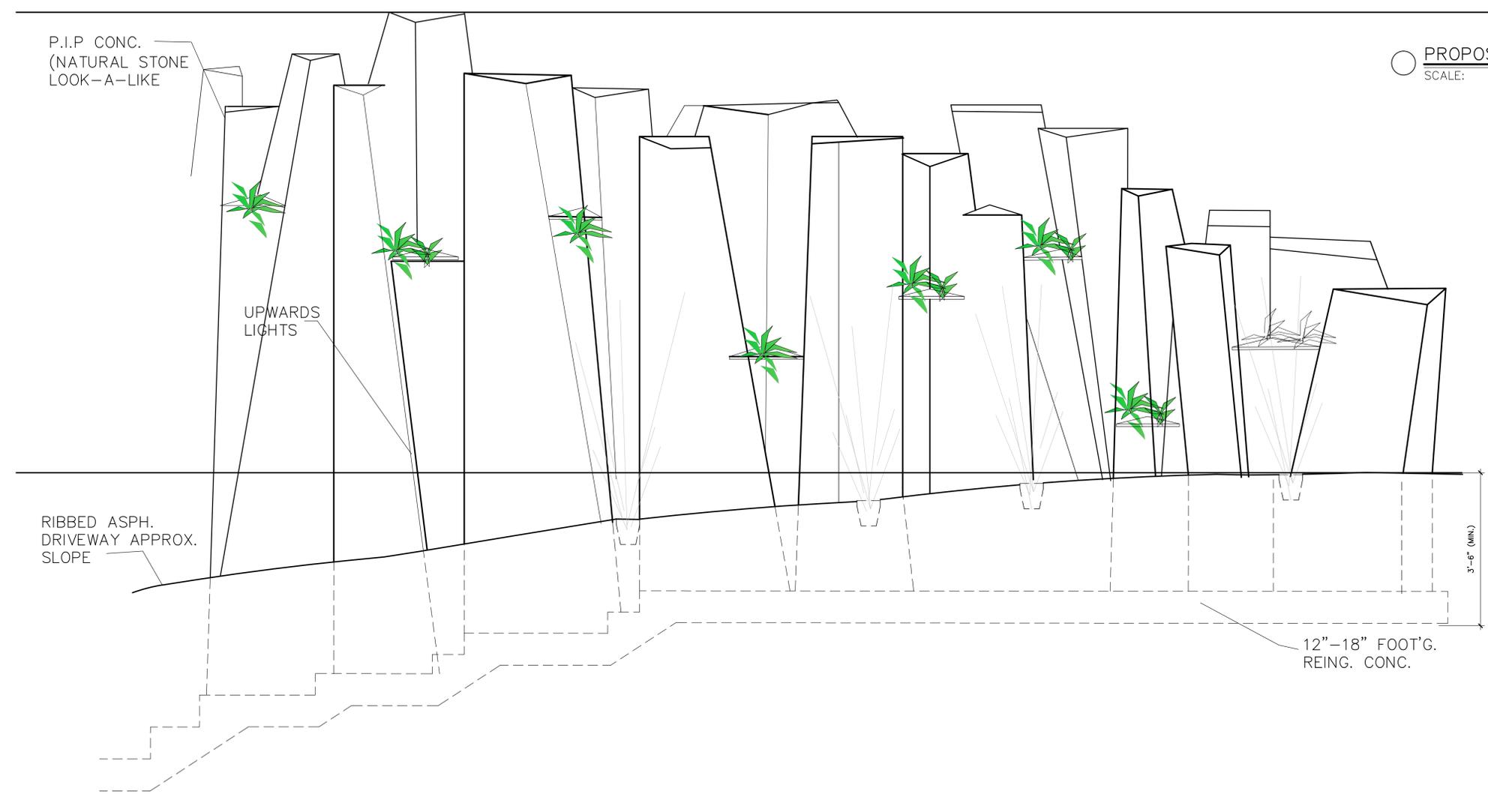
CONSTR. DOC. (PROGRESS PRINT)



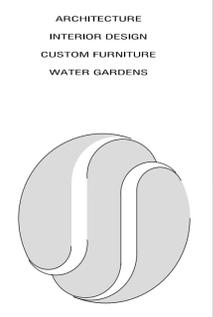
○ PROPOSED RETAINING WALL PLAN
SCALE: 1/2"=1'-0"



○ PROPOSED RETAINING WALL SECTION DETAIL
SCALE: 1/2"=1'-0"



○ PROPOSED RETAINING ELEVATION DETAIL
SCALE: 1/2"=1'-0"



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PROJECT:
XING RESIDENCE

CLIENT:
MR. FENG XING

ADDRESS:
918 9W,
NYACK, NY

REVISIONS:

NO.	REVISION

SUBMISSIONS

DRAWING TITLE:
PROPOSED RETAINING WALL PLAN, VIEW AND SECTION DETAIL

PROJECT MANAGER: DA	PROJECT No.: 2504
REV. BY: GS	SCALE:
DRAWN BY: DA	DATE: 4/10/25

A-5
CONSTR. DOC. (PROGRESS PRINT)

GENERAL NOTES AND SPECIFICATIONS:

BUILDING CODE: NY Uniform Construction Code, Including latest adopted amendments and all constituted sub-codes and references standards, including but not limited to: Int. Res. Code, and all local zoning ordinances and other applicable legislation.
USE GROUP: R =5 Multi- Family (Residential)
CONSTRUCTION CLASSIFICATION: 5B Combustible, Unprotected.
STRUCTURAL DESIGN LOADING:

Roof: 30 lbs/sf LL + 10 lbs/DL = 40 PSF.
Ceiling: 10 lbs/sf LL + 10 lbs/DL = 20 PSF.
(Except Sleeping Floors) 40 lbs/sf LL + 10 lbs/DL = 50 PSF.
Sleeping Rooms: 30 lbs/sf LL + 10 lbs/DL = 40 PSF.

These specifications are general in form. The owner, in applying, assumes complete responsibility for their use, substitution, changes and omissions.

The Architect shall not have control nor be in charge of, and shall not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the work, for the acts or omissions of the contractor, subcontractors or any others persons performing any of the work, or for the failure by them to carry out the work in accordance with the Contract Documents.

The Contractor shall supply all materials, fixtures, appliances and labor necessary to complete all work noted on plans and as otherwise required. All materials shall be new and free from any defects. All work shall be performed in a competent, workman-like manner acceptable with modern practice.

The Contractor shall verify all existing conditions at the site and shall be responsible from same. If there are any variations from these Drawings, he is directed to notify Owner and /or the Architect.

Patch and repair existing areas disturbed by construction activities.

All workmanship and materials shall be guaranteed for one year from date of Owner's acceptance.

Upon completion of the work, remove all paint and varnish spots from the floor, glass, tile, etc. and leave all doors and sash free to move properly. All hardware shall be in perfect operation. Remove from premises all rubbish and accumulation acceptable to the Owner and ready for occupancy.

All plumbing and heating work shall conform to the local Health Department requirements and to all other applicable codes and ordinances. All plumbing is to conform to the National Standard Plumbing Codes. (latest issue)

Mechanical and electrical work shall be confined to the space and location allowed. If there are any changes from these Drawings, The Owner and/or Architect must be notified.

All electrical wiring, devices, and connections throughout the building shall be visually inspected to the extent that they are accessible. All circuits shall be tested further for shorting and resistance. Verify that circuit capacity is correct for all proposed loads. Make all the necessary repairs as required for safe operation. All electrical work and materials must conform to the current requirements of the National Electrical Codes and local utility company.

Provide all smoke detector as per Int. Res. Code, in locations on plans or as directed by local official.

All heating and air conditioning equipment shall be designed by the installing Contractor in conformance with the basic mechanical code. Heating shall be capable of maintaining 72 degrees F; air conditioning shall maintain a 15 degree drop. All appliance shall conform to Energy Code. Boiler shall be Hydrotherm or equal. Condensers shall be high efficiency Bryant or equal.

Enclose entire living space with a vapor barrier and fiberglass insulation of the thickness specified.

Insulation shall be fiberglass batts with foil vapor barrier. Roof and ceilings adjacent to attic: R-30. Exterior walls 2"x4" walls: R-13. Exterior 2"x6" walls: R-19. Floor over garage and exterior cantilevers: R-19. Vapor barrier towards heated side of partitions.

Roof ventilation: Ventilate all attic and rafter spaces with proper sized screened ridge and soffit vents and louvers. Taper for insulation to allow proper air flow.

Inspect existing chimneys and flues; ensure that they are structurally sound, clear of any debris or excessive build-up of combustion deposits, and are safe for operation.

Sloped roof is to receive fiberglass shingle roofing (30 year) as manufactured by Georgia Pacific or approved equal. Shingles to be 235# square, self-sealing, 12" x 36", ceramic granulate surface, with 5" exposure, and 2" headlap. Provide hip and ridge shingles as required. Provide aluminum flashing where shown on the drawings or as required. Roofing is to be installed according to manufacturer's specifications. Color and style is to be selected by Owner. Leaders and gutters shall be baked enamel finish on aluminum and properly supported.

All exterior openings shall be properly flashed. Provide complete weather-stripping of jambs, head and sill at all exterior openings.

Windows shall be "PELLA" with insulated (low E) glass or equal. Model numbers are as noted on the plans. Provide all flashing, ext. jambs (if req'd), snap-in grills (simulated divided lights), and screens.

Interior doors shall be 1-3/8" doors, stain-grade units complete with hardware and colonial and casing, or clamshell-casing. Wood doors shall be of size as indicated on drawings. All interior doors are to be six panel colonial solid core and are to be undercut by 1".

Exterior doors 1-3/4" solid core of sizes as indicated on the plans and shall be weather-stripped with applicable type weather striping as manufactured by Zero Corporation or approved equal. (Stain grade birch veneer)

Gypsum wallboard material shall be 5/8" or 1/2" (as indicated on drawings) tapered-edge sheetrock with all joints and internal angles finished with Perf-A-Tape joints system. External angles shall be finished with Perf-A-Bead. Treat joints with three coats of compound. Finish smooth, level and even. In bathroom areas and adjacent to sink areas, use moisture resistant gypsum board except within tub/shower area where 1/2" Wonderboard shall be used.

All gypsum board materials shall be the products of US Gypsum Board Company, delivered to the site in the original unopened containers or bundles. Store materials in a place protected from moisture and use in strict accordance with manufacturer's specifications.

All ceramic tiles shall be standard grade conforming to the specifications for ceramic tile TCA 137. 1-1998, for tile types and shall be delivered in the original, unopened containers, bearing the designation of the same dye lot, accompanied by a certificate as to grade. Each package shall be clearly marked showing grade and kind of tile.

Ceramic wall tile shall be 4-1/4"x 4-1/4" glazed wall tile, with surface bull nose at exterior corners, and square bull interior corners, and worners, with cove base. Colors as selected by the Architect and/or Owner, from colors of Group I and II.

Ceramic base cove tile shall be 4" high. Color and texture as selected by the Architect and/or Owner.

Marble threshold shall be honed marble, grade A, first quality free from cracks, chips, stains or other defects; uniform in tone and coloring as selected by Architect and/or Owner.

Soffits shall be standard V-groove vented aluminum or vinyl and should match gutters.

Railings shall be designed to withstand 200 lbs. of horizontal force.

Bathroom cabinets supplied by Owner and to be installed by Contractor. Major appliances are to be supplied by the Owner and installed by the Contractor.

Install folding attic stair as indicated on plan. Install one porcelain light fixture with pull chain, installed directly above top of stairs.

Coordinate all construction with the client's/owner's schedule and requirements. Execute the work with minimal interference. Notify the client/owner of any loss of service, utilities, etc. with sufficient time so that temporary measures may be arranged.

The premises shall, at all times, be kept free from accumulations of waste materials and rubbish caused by contract work. There shall be no storage of flammable materials and paint thinners on site. Upon completion of the work, remove all materials from the construction area and leave all spaces in clean condition. All damaged items shall be replaced or repaired as required prior to final payment.

When note "AS REQUIRED" appears in these contract documents, it is intend to read "as directed or approved by the Architect and/or owner based on actual field conditions". If any fireproofing or fire assemblies are damaged or found to be damaged during construction they shall be repaired to conform to the specified fire protection requirements.

All work whether shown or implied, unless specifically questioned, shall be considered fully understood in all respects by the General Contractor, and he will furthermore be responsible for any misinterpretations or consequences thereof for all work and all drawings.

Notify the Architect immediately of inconsistencies between these drawings and actual conditions before proceeding with work. The Contractor shall verify all conditions and check all measurements and shall be responsible for same. Consider fully all field conditions and other matters which may in any way affect work and make necessary investigations. All dimensions and locations as indicated on the drawings shall be considered reasonably correct, but it shall be understood that they are subject to modifications as necessary or desirable at the time of installation to meet any unforeseen or other conditions. DRAWINGS ARE NOT TO BE SCALED TO DETERMINE DIMENSIONS.

The General Contractor shall comply with all applicable National, State and Local Codes, Ordinances, regulations, standards and authorities having jurisdiction. If the contract documents are variance with these regulations the Contractor shall promptly notify the Architect or owner. Coordinate all specific life safety requirements with the Fire Marshall and Plan Examiner. All Contractors shall have and maintain Contractor's Liability Property Damage Insurance and Workman's Compensation Insurance.

In All Cases of conflict and interpretations, the Contractor understands that local codes shall override contract documents and specifications herein.

CONCRETE AND MASONARY:

Concrete shall be transit mix and shall be stone aggregate, 3/4" maximum, having a minimum strength of 3500 psi at 28 days. All concrete exposed to the weather shall be air-entrained. No calcium chloride, or solutions containing calcium chloride, shall be permitted in concrete or masonry mortar.

All footings shall bear undisturbed soil with a minimum bearing capacity of two tons per square foot at whatever depth found. Contractor is to notify Architect or Engineer when excavation is made to verify above assumption.

Bottoms of exterior footings are to extend down a minimum of 3'-0" below finish grade.

Where footings are stepped, bottoms are to be stepped not more than two feet vertical to four feet horizontal.

Do not backfill against foundation walls until concrete has attained maximum strength. Where backfilling is placed against foundation walls, grade beams are placed against foundations walls before floor construction or grade before floor construction is in place, provide temporary bracing.

Masonry blocks shall be hollow load bearing units conforming to ASTM C-90 grade N., type 1. They shall be laid level, plumb and straight in a full bed of mortar.

Slabs to bear on 4" porous gravel or crushed stone fill over compacted soil to a min, AASHO density of 95% grade shall be stripped of all top soil and deleterious material prior to applying fill. For contractual purposes the Contractor shall assume soil at the site is unsatisfactory for use as compacted fill.

LUMBER:

All Lumber materials shall be new, sound and dry. They shall be free of imperfections whereby the strength may be impaired. They shall be of the sizes called for on these drawing, and of the grade and species specified.

Partitions are dimensioned to nominal thickness.

All beams, joists, lintels and rafters shall be Douglas Fir, Grade #2 or better, maximum moisture content 19% with three minimum capacities being:

- 1. Fiber stress (fb) - 1050 psi
2. Horizontal shear (fv) -75 psi
3. Modulus of Elasticity (e) -1,600,000 psi

Laminated Veneer Lumber (LVL) shall be manufactured by Georgia-Pacific, Truss-Joist MacMillan, Boise Cascade or equal, and shall have the following minimum stress capacities:

- 1. Fiber Stress (fb) - 2800 psi
2. Modulus of Elasticity (e) - 2,000,000 psi

Double the joists under parallel partitions, shower, tub and as may be indicated on plans. (8'-0" o.c. max.)

All exterior headers (lintels) shall be two 2 x 12' spiked together unless otherwise noted on plans.

All lumber in direct contact with masonry or concrete shall be pressure treated.

Trim shall be stock selections of pine colonial pattern and shall be neatly fitted and mitered and complete including doors, windows casings, aprons, stools, base and quarter round floors. Closets are to have one 3/4" shelf with clothes pole adequately supported.

In accordance with the IRC-(LATEST EDITION), section R-319.1 all wood framing members, including wood sheathing, which rest on exterior foundation walls and are less than 8" from exposed earth shall be aproved naturally durable or preservative-treated wood, including lumber on a concrete slab.

PAINTING:

All peeled, loose, or flaking paint shall be assumed to contain lead and shall be handled accordingly. All loose paints shall be removed and disposed of in accordance with hazardous material regulations and all applicable codes. All damaged paint surfaces shall be recovered with acrylic latex enamel after the removal of any loose paint. All colors shall be those as selected by the Owner. All paint shall be as manufactured by Benjamin Moore or an approved equal. Verify selections with Owner. No painting or finishing shall be done when the air is dust-laden or when weather and temperatures conditions are unsuitable.

Interior

Paint all new and existing (where affected by new work applicable) surface as follows: Gypsum board wall and ceiling surfaces: One coat Benjamin Moore Latex quick dry prime seal, two coats Benjamin Moore Regal Wall Satin. Use Primer only where papered or paneled, or as selected by Owner.

Wood doors and trim: One prime coat of Benjamin Moore Quick Dry prime seal, two coats Benjamin Moore Regal Aquavulvet. Option: One coat stain with one cover finish or as selected by Owner.

PLUMBING:

All Plumbing work shall conform to the local health department requirements and shall be subject to approval by the Plumbing Inspector.

Vent piping inside building shall be PVC or type DWV copper pipe and fittings. Soil pipe and fittings shall be PVC or cast iron with caulked lead joints. Provide batt insulation around concealed pipes to reduce sound transmission.

Water piping shall be type I hard copper tubing in building and type K soft copper tubing for underground installation. All hot water piping shall be insulated with 1/2" Armaflex or equal.

Piping shall be sized as follows:

Table with 5 columns: Fixture, CH, HW, Waste, Vent. Rows include Sink/Lav., Toilet, Shower, Dishwasher, Washing Mach.

Gas piping shall be black steel pipe with malleable iron screwed fittings.

Fixture colors to be selected by the Owner and/or Architect. Provide 1/4 -turn (ball-type) shut-off valves at each fixture.

DEMOLITION NOTES:

The contractor shall verify that drawings match existing field conditions and must notify the Architect immediately of inconsistencies before proceeding with demolition.

The following demolition notes provide a general description of the work intended. The Contractor is to determine in the field the exact nature of the repairs, materials, amount of demolition/repair work and operation requirements to complete the work described.

Demolition work includes all services and materials necessary to complete all demolition and removal required by these contract documents or as required by job conditions.

Remove existing construction as indicated. Typical wall removal includes finishes and mechanical, plumbing and electrical systems contained therein. Remove doors, casework, windows, frames and other fixtures as required. After removal work of pipe chases, patch holes in existing floors or wall to remain to meet original fire protection and structural requirements. Patch adjoining walls, floor, and deck, and prepare surface to receive new finish as indicated. Where new finishes are called for on existing surfaces, remove the existing finish and prepare to receive the new finish.

There shall not be any interruption to services without prior scheduling of such outages with the owner.

The contractor shall not take possession of, nor dispose of, any salvageable items in association with the work. All salvageable items shall be the Owner's property.

SITE WORK

Scope: labor and materials to complete site improvements work and related work as indicated in drawings, as herein specified or both, including but not necessary limited to the following:

- A. Build new walks, driveways, and/or curbs.
B. Supply and spread finish grade top soil within contract limit lines and beyond as necessary to join natural growth or existing seeded area.

CLEARING

Clear areas where new work is indicted, removing shrubbery, rubbish, and all other objectionable materials. Burying of logs, stumps and brush is not permitted.

UNDISTURBUED AREAS

Do not disturb portions of property outside building area except as approved. Do not store building materials. Do not dump or deposit excavated, refuse, and other objects resulting from demolition or construction work within these areas. No vehicles or persons concerned with work are permitted to pass over these areas except after obtaining express permission.

CLEANING UP

Upon completion of work, remove all excess materials from premises including branches, rocks, brush and rubbish that have accumulated during work, leaving site in first class condition.

PROTECTION

Protect all work under this section. Project, walks and steps from traffic during and after construction until final acceptance.

EXCAVATION

The work of this section consists of furnishing all labor, materials, equipment and appliances necessary to complete all excavation, backfill, and all grading work as indicated on the drawings and specified herein.

Foundation: excavate all earth, boulders, loose and soft rock as shown in the plans. All footings shall bear on solid undisturbed earth. Earth shall be capable of supporting two tons p.s.f.

All exterior foundations shall be at least 3'-0" below the finished grade. The excavation shall be kept as free as possible of surface drainage.

Excavate to depths necessary to install all footings, walls, piers, areas, foundations pits etc. as may be necessary for approval by Site Engineer or Architect.

PROTECTION

This contract shall carefully protect all shrubbery and trees as indicated by Owner. This contractor shall protect all adjacent properties from damage due to construction.

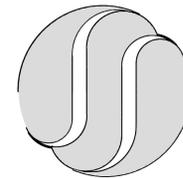
BACKFILL

Contractor shall do all backfilling around the foundation walls as required. All backfilling shall be done with clean solid earth from the excavation. Rough grade shall be established approximately 3' below the finish grade shown on plans.

FINISH GRADING

Finish grading shall be established to provide surface drainage in all directions away from the house and excavated areas.

ARCHITECTURE
INTERIOR DESIGN
CUSTOM FURNITURE
WATER GARDENS



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PROJECT:
XING
RESINDENCE

CLIENT

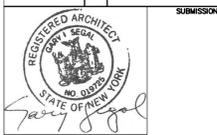
MR. FENG XING

ADDRESS

918 9W
NYACK, NY

REVISIONS:

Table with 2 columns: REVISION, and empty rows for revision details.



DRAWING TITLE:

GENERAL NOTES

PROJECT MANAGER: DA PROJECT No.: 2504

REV. BY: GS SCALE:

DRAWN BY: DA DATE: 09/25/24

A-6

CONSTR. DOC.(PROGRESS PRINT)

FIRE SEPARATION:

The wall between the garage and the house shall be provided with one layer of 5/8-inch-stick, type x gypsum wallboard on the garage and the floor/ceiling above shall consist of two layers of 5/8" thick type x gypsum wallboard. The exterior load bearing wall is required to be provided with one layer of 5/8" type x gypsum wallboard applied at right angles to the studs. All joints must be taped and spackled. The door between the garage and the adjacent interior space shall be a minimum of 1 3/4" solid wood or 1 3/4" solid or honeycomb steel.

SMOKE DETECTOR:

(A) Smoke detector to be 110 v photo electric, interconnected and battery back-up.

(B) Install smoke detectors in each bedroom, hallways to bedrooms, basement bottom of stairs, and first floor halls.

(C) Interconnection: when more than one detector is required to be installed within an individual dwelling unit. The detector shall be wired in such a manner that the actuation of one alarm will actuate all of the alarms in the individual unit as per IRC-2006.

(D) Battery backup: in addition to be required AC primary power source, required smoke detector shall receive power from a battery when the AC primary power source is interrupted as per IMC-2006.

SPARK ARRESTOR:

Provide spark arrestor for fireplace and minimum 2" clearance.

CLOTHES DRYER:

Clothes dryer must be properly vented to exterior as per IRC-2006.

DESIGN LOADS.

	LIVE (PSF)	DEAD(PSF)
Bedrooms	30	12
Non-sleeping rooms	40	12
Bathroom (w/tille)	40	25
Kitchen & Entry(w/tille)	40	25
Ceiling(w/storage)	20	10
Volume Ceiling	30	15
Roof	30	10
Stairs	100	15
Balcony	60	12
Exterior Wood Deck	60	10
Operations to assure safety on the job site.		

INTERIOR BEARING WALLS.

Table R502.5(2)

Girder spans A and header spans A for interior bearing walls (maximum header spans for douglas FIR-LARCH, HEM-FIR, Southern pine and SPRUCE-PINE-FIR B and required number of jack studs)

HEADERS AND GIRDERS SUPPORTING

	BUILDING WITH ^C (FEET)							
	28				36			
	SIZE	SPAN	N _J ^D	SPAN	N _J ^D	SPAN	N _J ^D	
ONE FLOOR ONLY	2-2X4	3-1	1	2-8	1	2-5	1	
	2-2X6	4-6	1	3-11	1	3-6	1	
	2-2X8	5-9	1	3-0	1	4-5	1	
	2-2X10	7-0	2	6-1	2	5-5	2	
	2-2X12	8-1	2	7-0	2	6-3	2	
	3-2X8	7-1	1	6-3	1	5-7	2	
	3-2X10	8-9	1	7-7	2	6-9	2	
	3-2X12	10-2	2	8-10	2	7-10	2	
	4-2X8	5-10	1	5-1	2	4-6	2	
	4-2X10	10-1	1	8-9	1	7-10	2	
	4-2X12	10-1	1	8-9	1	7-10	2	
	TWO FLOORS	2-2X4	11-9	1	10-2	2	9-1	2
2-2X4		2-2	1	1-10	1	1-7	1	
2-2X6		3-2	2	2-9	2	2-5	2	
2-2X8		4-1	2	3-6	2	3-2	2	
2-2X10		4-11	2	4-3	3	3-10	3	
2-2X12		5-1	2	4-5	2	3-11	3	
3-2X8		5-1	2	4-5	2	3-11	3	
3-2X10		6-2	2	5-4	2	4-10	2	
3-2X12		7-2	2	6-3	2	5-7	2	
4-2X8		4-2	2	3-7	2	3-8	3	
4-2X10		7-2	2	6-2	2	5-6	2	
4-2X12		8-4	2	7-2	2	6-5	2	
4-2X12	4-2	2	3-7	2	3-2	2		

FOUNDATIONS AND RETAINING WALLS

TABLE R 404.1.1(1) CONCRETE AND PLAIN MASONRY FOUNDATION WALLS

MAX. WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	PLAIN CONCRETE			
		MINIMUM NOMINAL WALL THICKNESS (INCHES)			
		SOIL CLASSES ^B			
		GW, GP, SW AND SP SOILS	GM, GC, SM SM-SC AND ML SOILS	SC, MH, ML-CL AND INDRGANIC CL SOILS	
5	4 5	6 6	6 6	6 6	
6	4 5 6	6 6 6	6 6 6	6 6 6	
7	4 5 6 7	6 6 6 8	6 6 6 8	6 6 6 8 10	
8	4 5 6 7 8	6 6 6 8 10	6 6 6 8 10	6 6 6 8 10 12	
9	4 5 6 7 8 9	6 6 6 8 10	6 6 6 8 10 12	6 6 6 8 10 12 NOTE F	

MAX. WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	PLAIN MASONRY ^(B)			
		MINIMUM NOMINAL WALL THICKNESS (INCHES)			
		SOIL CLASSES ^B			
		GW, GP, SW AND SP SOILS	GM, GC, SM SM-SC AND ML SOILS	SC, MH, ML-CL AND INDRGANIC CL SOILS	
5	4 5	6 SDIL ^D DR 8 6 SDIL ^D DR 8	6 SDIL ^D DR 8 8	6 SDIL ^D DR 8 10	
6	4 5 6	6 SDIL ^D DR 8 6 SDIL ^D DR 8 8	6 SDIL ^D DR 8 8 10	6 SDIL ^D DR 8 10 12	
7	4 5 6 7	6 SDIL ^D DR 8 6 SDIL ^D DR 8 10 12	6 SDIL ^D DR 8 8 10 12 SDIL ^D	6 SDIL ^D DR 8 8 10 12 SDIL ^D 12 SDIL ^D	
8	4 5 6 7 8	6 SDIL ^D DR 8 6 SDIL ^D DR 8 10 12 SDIL ^D	6 SDIL ^D DR 8 8 10 12 SDIL ^D 12 SDIL ^D	6 SDIL ^D DR 8 8 10 12 SDIL ^D NOTE E NOTE E	
9	4 5 6 7 8 9	6 SDIL ^D DR 8 8 10 12 SDIL ^D NOTE E	6 SDIL ^D DR 8 8 10 12 SDIL ^D NOTE E	6 SDIL ^D DR 8 8 10 12 SDIL ^D NOTE E NOTE E	

FOR S: 1 inch = 25.4 MM; 1 foot = 304.8 MM; pound per square inch = 6.895 P.

NOTE A: Mortar shall be type M or S and masonry shall be laid in running bond.

Ungrouted hollow masonry units are permitted except where otherwise indicated.

NOTE B: Soil classes are in accordance with the infilled soil classification system. Refer to table R405.1.

NOTE C: Unbalanced backfill height is the difference in height of the exterior and interior finish ground level. Where an interior concrete slab is provided. The unbalanced backfill height shall be measured from the exterior finish ground level to the top of the interior concrete slab.

NOTE D: Solid ground hollow units or solid masonry units.

NOTE E: wall construction shall be in accordance with table R404.1.1(2) or a design shall be provided.

NOTE F: A design is required.

NOTE G: Thickness may be 6 inches, provided minimum specified compressive strength of concrete, F_c, is 4,000 PSI.

TABLE R404.1.1(2) REINFORCED CONCRETE AND MASONRY FOUNDATION WALLS

MAX. WALL HEIGHT (FEET)	MAXIMUM UNBALANCED BACKFILL HEIGHT (FEET)	MINIMUM VERTICAL REINFORCEMENT SIZE AND SPACING			
		SOIL CLASSES ^D			
		GW, GP, SW AND SP SOILS (INCHES ON CENTER)	GM, GC, SM SM-SC AND ML SOILS (INCHES ON CENTER)	SC, MH, ML-CL AND INDRGANIC CL SOILS (INCHES ON CENTER)	
7	4 5 6 7	#4 AT 56 #4 AT 56 #4 AT 56 #4 AT 56	#4 AT 56 #4 AT 56 #4 AT 48 #5 AT 56	#4 AT 56 #4 AT 56 #4 AT 40 #5 AT 40	
8	4 5 6 7 8	#4 AT 56 #4 AT 56 #4 AT 56 #4 AT 48 #4 AT 56	#4 AT 56 #4 AT 56 #4 AT 48 #4 AT 40 #4 AT 40	#4 AT 56 #4 AT 56 #4 AT 48 #4 AT 56 #4 AT 56	
9	4 5 6 7 8 9	#4 AT 56 #4 AT 56 #4 AT 56 #4 AT 48 #4 AT 48 #4 AT 40	#4 AT 56 #4 AT 56 #4 AT 40 #4 AT 48 #4 AT 48 #4 AT 40	#4 AT 56 #4 AT 56 #4 AT 48 #4 AT 48 #4 AT 48 #4 AT 40	

FOR S: 1 inch = 25.4 MM; 1 foot = 304.8 MM.

NOTE A: Mortar shall be type M or S and masonry shall be laid in running bond.

Ungrouted hollow masonry units are permitted except where otherwise indicated.

NOTE B: Alternative reinforcing bar sizes and spacing have an equivalent gross-sectional area of reinforcement per lineal foot of wall shall be permitted provided the spacing of the reinforcement does not exceed 72 inches.

NOTE C: Vertical reinforcement shall be grade 60 minimum. the distance from the face or the soil of the wall to be center of vertical reinforcement shall be at least 6.75'.

NOTE D: Soil classes are in accordance with the unified soli classification system. Refer to table R405.1.

NOTE E: Unbalanced backfill height is the difference in height of the exterior and interior finish ground levels. Wherean interior concrete slab is provided the unbalanced backfill height shall be measured from the exterior finish ground level to the top of the interior concrete slab.

RADON CONSTRUCTION TECHNIQUES:

All work pertaining to radon instalation must conform to NYUCC 5:23-10 radon hazard subcode of the New York uniform construction code. For additions to existing structures, those construction techniques that are feasible shall be incorporated, as determined by the building subcode official or construction official.

New construction in tier 1 areas (only) require radon mitigation pipes and associated parts. This is a partial list, for full compliance refer to the NYUCC subchapter 10 section 5:23-10.4

(A) All slabs (basement, garage, and crawl space) to be poured over a 6 mil polyethelene vapor barrier sheets are to be overlapped 12' minimum.

(B) Base course below slab to be minimum 4' deep gravel or crushed stone containing not more than 10% of material that passes through a number 4 sieve.

(C) Basement slab with interior foundation pipe drain shall have a solid 3' diameter minimu vent pipe instilled to the drainage system and carried up above roof as in note D below.

(D) Basement slabs with interior foundation pipe drain, and slab on grade constrution (excluding non-habitable spaces such as garage), shall be provided with a 3' diameter minimum solid vent pipe section with a 'T' pipe fitting for every 1500 squire feet, installed into the sub-slab aggregate. The horizontal openings of the 'T' pipe fitting shall be placed in the sub-slab aggregate. The vertical portion of the 'T' pipe fitting shall be connected to an independent vent stack pipe terminating at an approved location on the exterior of the building. Where more than one vent pipe section is provided, interconnection of these sections into a single independent vent stack is permitted.

(E) French drains or channel drains: see NY IRC/ NY IBC.

(F) All joints/ cracks in slabs or foundation wall including utility penetrations to be substantially sealed with non-cracking polyurethane (or similar caulk) to close off all soil gs entry routes. (Use back-up rods where necessary).

(G) Untrapped floor drains, if any, shall have removable close fitting stoppers.

(H) Any open sump pits shall have covers unless otherwise noted.

(I) Ductwork routed through a crawl space or beneath a slab shall be taped or sealed.

(J) Sealant materials shall be installed on any doors or other openings between and adjoining crawl spaces.

(K) Top of foundation walls including interior ledges that are constructed of hollow masonry units shall be capped or voids to be filled solid.

(L) The vent stack pipe shall be adequately supported, gas tight, and 3' mininum diameter solid pipe. It shall be configured in a manner that will ensure rain water or condensate acumulation within the pipes will drain downward into the ground beneath the slab or vapor barrier. Place vent pipe stack in a location so that the vent can be continued up through the roof and provide electric in the event that an in-line vent pipe fan must be installed in the future regarding termination point of said vents. See architect or NY IRC/NY IBC.

(M) Radon vent pipes shall be clearly labeled at intervls of not more than 25' in concealed locations, not more than 50' in exposed locations, and at least once in every room or space it passes through.

(N) Provide electrical junction boxes for future in-line vent pipe fan and system failure alarms.

(O) Vent pipes may be interconnected depending on configuration of basement, crawl spaces, slab on grade, etc.

(P) Access openings shall be closed be, gasketed, or otherwise sealed with materials approved for such applications.

(Q) Residences over 40' must have a minimum of two vend sumps.

INFORMATION AND SERVICES REQUIRED BY THE OWNER WHEN HE IS THE CLIENT: (NOT FOR BUILDER-CLIENT)

Contractor shall confirm location of each utility, shall excavate and dispose of each on-site utility and shall cap off each off-site utility as required by the work contractor is responsible for examination of all subsurface conditions and geology. Owner does not assume any responsibility whatever with respect to the sufficiency or accuracy of any test boring made, or of the logs of test borings or investigations or guarantee, expreseed or implied, that the conditions indicated by such investigations, boring logs or information are representative of those existing throughout the project site, or any part therefor or that unforeseen developments may not occur.

At owner's request the contractor shall make availa to the owner the results of any site investigation, test borings, analyses, studies or other tests conducted or in possession of the contractor of any of his agent. The contractor represents that it is familiar with the project site and has received all information it needs concerning the conditions of the project site.

The contractor represents that it has inspected the location of the work and has satisfied itself as to the condition thereof,including, without limitation, structural, surface and subsurface conditions. The contractor shall undertake such further investigations and studies as may be necessary or useful to determine surface and subsurface conditions, bsd upon the forgoing inspections, understandings, agreements acknowledgments.

REVISIONS:

REVISION

CLIENT

MR. FENG XING

ADDRESS

918 9W NYACK, NY

PROJECT:

XING RESIDENCE

ARCHITECTURE
INTERIOR DESIGN
CUSTOM FURNITURE
WATER GARDENS

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REGULATED ARCHITECT
GARY I. SEGAL
30 WEST ST
STATE OF NEW YORK

DRAWING TITLE:
GENERAL NOTES

PROJECT MANAGER: DA PROJECT No.: 2504

REV. BY: GS SCALE: 1/4"=1'-0"

DRAWN BY: DA DATE:

ARCHITECT NOT HIRED FOR SUPERVISION OF CONSTRUCTION

-LIGHTING FIXTURES - INSTALLED BY LICENSED ELECTRICAL CONTRACTOR/ SELECTED BY OWNER

-PLUMBING FIXTURES & APPLIANCES - INSTALLED BY CONTRACTOR /SELECTED BY OWNER

-BATHROOM & KITCHEN CABINETS - INSTALLED BY CONTRATOR / SELECTED BY OWNER

-TILES FLOOR SECTION BY OWNER / INSTALLED ON 1/2" CONC. BD. BY CONTRACTOR

FLOOR TILE SELECTED BY OWNER / INSTALLED BY CONTRACTOR

A - 7

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