

GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH ALL PREVAILING CODES, LAWS AND ORDINANCES OF THE 2020 RESIDENTIAL 4 ENERGY CONSERVATION CODES OF NYS, AND THE LOCAL ZONING LAWS OF WHICH THE PROJECT IS LOCATED.
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY PRIOR, DURING AND AFTER CONSTRUCTION ALL NECESSARY LICENSES AND INSURANCES PER THE N.Y.S. LOCAL AND ALL GOVERNING REGULATIONS.
- THE OWNER SHOULD READ AND REVIEW HIS/HER ENTIRE SET OF CONTRACT DOCUMENTS (PLANS 4 SPECIFICATIONS) PRIOR TO GIVING IT TO THE CONTRACTOR. OWNER SHALL CONFIRM THAT ALL INFORMATION IS CORRECT. SHOULD THE OWNER FIND ANYTHING THAT WASN'T WHAT THEY INTENDED TO BE DONE, THEN THEY SHALL HAVE THE ARCHITECT Amend IT AS REQUIRED.
- THE ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION, AND OR PROJECT SITE.
- THE GENERAL PUBLIC, PROSPECTIVE BUYERS AND ALL OTHER NON-CONSTRUCTION RELATED PERSONS ARE NOT TO ENTER THE CONSTRUCTION WORK AREA UNTIL A VALID CERTIFICATE OF OCCUPANCY IS ISSUED BY THE LOCAL BUILDING DEPARTMENT.
- THE PROJECT SITE SHALL BE PROPERLY POSTED AND TAPED AND OR FENCED OFF TO ENSURE PUBLIC SAFETY AND SAFEGUARD THE PUBLIC AT ALL TIMES.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS (PLANS 4 SPECIFICATIONS) PRIOR TO ANY ERECTION/CONSTRUCTION.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE CONTRACTOR SHALL CORRECT ANY DISCREPANCIES, ERRORS OR OMISSIONS TO THE ARCHITECT IMMEDIATELY. ALWAYS USE DIMENSIONS AS SHOWN AND THE CONTRACTOR SHOULD REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED.
- ALL CHANGES MADE BY THE CONTRACTOR SHALL FIRST BE APPROVED BY THE ARCHITECT AND OWNER PRIOR TO STARTING WITH THE WORK INVOLVED. ANY UNAUTHORIZED CHANGES MADE BY THE CONTRACTOR AND ULTIMATELY NOT BEING APPROVED BY THE OWNER AND ARCHITECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND TO BE CORRECTED AT HIS OWN EXPENSE.
- THE ARCHITECT HAS NOT BEEN RETAINED FOR ANY MECHANICAL DESIGN SYSTEMS, DUCTS, CHASE OPENINGS, SIZE OF FURNACE AND FRESH AIR REQUIREMENTS ETC. THESE ARE NOT SHOWN AND SHALL BE DETERMINED BY A MECHANICAL ENGINEER PRIOR TO COMMENCING THE WORK.
- THE ARCHITECT HAS NOT BEEN RETAINED FOR SUPERVISION, AND CONSTRUCTION INSPECTIONS AND/OR THE REVIEW OF SHOP DRAWINGS. THE ARCHITECT HAS ONLY BEEN RETAINED FOR DESIGN PURPOSES. THEREFORE, THE ARCHITECT ASSUMES NO LIABILITY FOR WORKMANSHIP, CODE AND OR PLAN COMPLIANCE. THE ARCHITECTS RESPONSIBILITY IS STRICTLY LIMITED TO THESE PLANS AND RELATED SPECIFICATIONS ONLY.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION MEANS, METHODS, DEVIATIONS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR ANY SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK FOR THE OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE DOCUMENTS.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURES AND OR ANY UNRESOLVED PROBLEMS PRIOR TO NEW CONSTRUCTION.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY DEMOLITION, SITE WORK, NEW CONSTRUCTION, OPERATION AND METHODS.
- ALL AREAS THAT ARE AFFECTED BY ALL ADDITIONS SHALL BE REPAIRED AND OR PATCHED TO A LIKE NEW CONDITION, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS BY THE LOCAL AND STATE AS REQUIRED AND TO DELIVER TO THE OWNER A C.O. UPON COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL PROVIDE A CONTAINER FOR THE REMOVAL OF DEBRIS DURING CONSTRUCTION.
- THE CONTRACTOR AND ALL SUBCONTRACTORS WORKING WITH THIS PROJECT SHALL KEEP THE SITE CLEAN AND HAZARD FREE AT ALL TIMES AND TO OBLIDE ALL 'OSHA' AND ALL OTHER SAFETY REGULATIONS.
- THE CONTRACTOR SHALL LEAVE PREMISES BROOM CLEAN DAILY.
- THE CONTRACTOR SHALL GUARANTEE ALL WORK SPECIFIED AND/OR DESCRIBED BY THESE DRAWINGS AND IS TO FOLLOW ALL NATIONALLY ACCEPTED TRADE PRACTICES.

SITE NOTES

- THESE PLANS ARE BASED ACCORDANCE TO THE SURVEY INFORMATION PROVIDED TO THE ARCHITECT BY THE OWNER. THEY SHOULD BE REVIEWED BY A LICENSED LAND SURVEYOR AND OR ENGINEER TO VERIFY ALL BUILDING LINES, AND SET BACKS PRIOR TO CONSTRUCTION.
- THE ELEVATION SHOWN ON THE PLAN MAY NOT BE ACCURATE IN EVERY DETAIL, THE OWNER SHALL REVIEW THE PLANS WITH THE CONTRACTOR TO INSURE ACCURACY OF DETAILS AND METHODS PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE OF NOTIFYING ALL UTILITY COMPANIES, AND VERIFYING THE LOCATION OF THE SAME UTILITY COMPANIES LINES, SERVICES AND ALL OTHER POSSIBLE EQUIPMENTS OF UTILITY COMPANIES. THE CONTRACTOR SHALL LOCATE AND IDENTIFY THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES, AND PROVIDE UNDERGROUND CONNECTIONS TO THEM.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY GROUND WATER, EXCESSIVE ORGANIC MATERIAL OR ANY OTHER UNSUITABLE CONDITIONS DISCOVERED DURING SITE PREPARATION AND OR EXCAVATION.
- THE CONTRACTOR SHALL PROVIDE ONE PROPERLY MAINTAINED, PORTABLE TOILET FOR THE ENTIRE DURATION OF THE CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE FROM A REGISTERED LAND SURVEYOR A WRITTEN CERTIFICATE THAT THE LARGEST PORTION OF THE FIRST FLOOR MEET OR EXCEED THE REQUIRED FLOOR ELEVATION.

- ALL DRIVEWAYS AND WALKWAYS FORM WORK SHALL BE APPROVED BY DEVELOPMENT REVIEW REPRESENTATIVE BEFORE ANY WORK CONTINUES.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE ALL RUBISH, VEGETATION, STUMPS, ROOTS, AND TREES AS SHOWN ON THE PLANS.
- ALL AREAS TO BE COVERED WITH FILL AND GRADED DOWN.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES SHOWN TO REMAIN AS REQUIRED. EXTREME CAUTION SHALL BE TAKEN DURING DEMOLITION OF EXISTING BUILDINGS.
- THE CONTRACTOR SHALL OBSERVE ANY VARIATIONS AND OR ANY UNFORESEEN DISCREPANCIES WITH THE PLANS, AND SHOULD REPORT IMMEDIATELY TO THE ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, BRACING AND ALL TEMPORARY SUPPORTS PRIOR OF REMOVING THE EXISTING WALLS, CEILINGS, FLOORS AND ROOFS AS PER ALL LOCAL AND 'OSHA' REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE WEATHERPROOFING AT THE END OF EACH WORK DAY AS REQUIRED TO PREVENT WEATHER DAMAGE.
- THE ARCHITECT IS NOT RESPONSIBLE FOR FROZEN PIPES AND/OR MOLD CONDITIONS CREATED BY THE CONTRACTORS NEGLIGENCE.
- BACKFILL SHALL NOT BE PLACED UNTIL THE MAIN FLOOR SYSTEM AND BASEMENT CONCRETE INTERIOR FLOOR SLABS ARE INSTALLED.
- FOOTING DRAINS SHALL BE PROVIDED AS SHOWN, AND APPROPRIATE. THEY SHOULD BE LAID IN GRAVEL BED AND PROTECTED AT THE TOP WITH FILTER FABRIC AND 6" OF 1/2" GRAVEL AROUND 4 PROVIDE POSITIVE OUTFALL TO A STORM DRAIN OR A SUMP W/ WELL GRADE.
- THE FINISHED GRADE AND DRIVEWAY SHOULD BE PITCHED AWAY FROM THE BUILDING SUCH THAT ALL THE SURFACE WATER FLOWS AWAY FROM BUILDING.
- THE FINISHED GRADE HEIGHT SHALL BE A MINIMUM OF 8" BELOW THE ADJACENT FRAMING, OR AS INDICATED ON PLANS.
- THE TOP OF ANY FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12" PLUS 2 PERCENT.
- INSTALLATION OF GAS AND ELECTRIC METERS SHOULD BE IN STRICT ACCORDANCE WITH THE LOCAL UTILITY COMPANY SPECIFICATIONS.

FOUNDATION NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND COORDINATE DIMENSIONS BETWEEN FOUNDATION AND FLOOR PLANS PRIOR TO CONSTRUCTION. ALL EXCAVATIONS SHOULD BE SUBSTANTIALLY FREE OF WATER DURING FOUNDATION

- CONSTRUCTION WORK.
- THIS PROJECT HAS BEEN DESIGNED BY ASSUMING THAT ALL THE SOIL BEARING IS 2 KIPS/8Q. FT. (2000P).
- ALL STRUCTURAL CONCRETE SHALL BE A STONE CONCRETE WITH A 1:3:5 MIX AND HAVE A MINIMUM STRENGTH OF 3500 PSI AT THE END OF 28 DAYS.
- ALL FOOTINGS TO REST ON UNDISTURBED SOIL CAPABLE OF SUPPORTING 2 TONS PER SQ. FT.
- REFERENCE THE PLANS FOR SIZE AND QUANTITY OF REINFORCING BARS.
- ALL FOOTINGS SHALL BE BELOW THE FINISHED GRADE MINIMUM OF 3'-6" IN ROCKLAND COUNTY, 3'-6" IN ORANGE COUNTY OR OTHERWISE SHOWN ON THE PLAN.
- PROVIDE EXPANSION JOINTS AT PERIMETERS OF ALL CONCRETE SLABS.
- ALL INTERIOR FOOTINGS SHALL STEP DOWN TO PERIMETER WALL FOOTING DEPTH AT ALL FOOTING INTERSECTIONS.
- ALL SUB GRADE FILL MATERIAL SHALL BE COMPACTED TO A DENSITY OF 96.
- ALL CONCRETE SLABS SHALL BE A MINIMUM OF 4" THICK - REINFORCED WITH 6x6 @10x10 WELDED WIRE MESH ON 6 MIL VAPOR BARRIER ON 4" OF 3/4" GRAVEL, UNLESS SHOWN OTHERWISE AND TO RECEIVE A SMOOTH FINISH.
- ALL CONCRETE PAVING SHALL RECEIVE A FINE BROOM FINISH UNLESS SHOWN OTHERWISE.
- ALL CONCRETE SLABS TO RECEIVE CONTROL JOINTS (1/2" SAW CUTS) AT A MAXIMUM OF 25'x25' TO CONTROL CRACKING WITH SHRINKAGE. SLOPE ALL CONCRETE SLABS TO DRAIN TO EXTERIOR. SLOPES IN GARAGES SHALL BE A MINIMUM OF 1/8"=1'-0" UNLESS SHOWN OTHERWISE.
- MASONRY AND CONCRETE CONTRACTOR SHALL INSTALL ALL ANCHOR BOLTS, PLATES, CHASES, SLOTS, SLEEVES, ETC. AS REQUIRED BY TRADES.
- CAULK WEATHER-TIGHT ALL OPENINGS.
- EXTERIOR OF CONCRETE WALLS TO BE COATED WITH RUB-R-WALL COATING OR EQUAL. INTERIOR COLUMNS TO BE 4" DIAM. STANDARD STEEL -PROVIDE BASE 4 TOP PLATES.
- INTERIOR COLUMNS OVER 9'-0" IN HEIGHT TO BE 5" DIAM. STANDARD STEEL COLUMNS.
- EXTREME CAUTION TO BE USED IN DELIVERY OF THE STEEL COLUMNS. MUST NOT BE DROPPED AT ANY TIME.
- DOUELS MUST BE TIED INTO FOOTING RE-BARS PRIOR TO POURING FOOTINGS.
- CONCRETE REINFORCEMENT TO NOT LESS THAN 5% OR NO MORE THAN 1% WHERE REQUIRED.
- FOUNDATION ANCHOR BOLTS SHALL BE LOCATED IN THE MIDDLE THIRD OF WIDTH OF SILL PLATE. AND SUPPLIED WITH NUT 4 WASHER TIGHTENED TO EACH BOLT.

FRAMING NOTES

- ALL STANDARD FRAMING LUMBER TO BE HEMLOCK FIR #2 OR BETTER UNLESS OTHERWISE NOTED.
- ALL ENGINEERED BEAMS INDICATED ON THE PLANS ARE DESIGNED USING THIS SPECIFIC MANUFACTURER AND SHALL BE INSTALLED PER THE MANUFACTURERS SPECIFICATIONS ONLY.
- WHEN USING MULTIPLE MEMBER ENGINEERED BEAMS, THE FRAMER SHALL REFERENCE WITH THE SPECIFIC MANUFACTURERS INSTALLATION GUIDE.
- PROVIDE METAL FLASHING AT ALL EXTERIOR DOORS, WINDOWS AND OPENINGS UNLESS SHOWN OTHERWISE.
- INSTALL 36" WIDE ICE 4 WATER SHIELD AT ALL ROOF EDGES, IN VALLEYS, UP AGAINST WALL JOINTS, OVER HIPS AND WRAP OVER ALL FACIAS. THE SHIELD SHALL COVER MINIMUM 24" TOP OF EXTERIOR SIDE OF EXTERIOR WALLS.
- PROVIDE OPTIONAL SNOW-GUARDS IF REQUIRED WITH THE STANDARD SPACING ALONG THE BOTTOM EDGE OF THE ROOF.
- FRAMING NOTES DIMENSIONS ARE TO THE NEAREST INCH, ACTUAL ROOM SIZES MAY VARY DUE TO GYPSUM BOARD.
- ALL WOOD FRAMING IN DIRECT CONTACT WITH SOIL, CONCRETE, MASONRY OR WEATHER SHALL BE PRESURE TREATED (AUPA STANDARD C2, C3).
- ALL FRAMING BELOW THE REQUIRED FLOOD ELEVATION AS SET FORTH BY FEMA AND LOCAL BUILDING OFFICIALS SHALL BE PRESURE TREATED.
- SECURE ALL TEMPORARY RAILINGS WITH GUARDS TO BE INSTALLED AROUND ALL FLOOR OPENINGS AND OPEN DOOR OPENINGS.
- PROVIDE TEMPORARY RAMPS AND/OR STAIRS TO BE INSTALLED AT ALL LEVELS. ALL LUMBER TO BE SOUND, DRY AND FREE FROM ROT, KNOTS, AND SPLITS.
- ALL FRAMING SHALL BE FRAMED AT 16" O.C. UNLESS SHOWN OTHERWISE.
- FOR ALL CONVENTIONAL TRUSS ROOFING WITH A MINIMUM OF ONE ROW OF 5/4 CROSS BRIDGING FOR ALL JOISTS WITH SPANS OVER 12'-0" OR SHOWN OTHERWISE ON THE PLANS.
- PROVIDE A MINIMUM OF DOUBLE JOISTS BELOW ALL PARALLEL PARTITIONS, MAJOR APPLIANCES, BATH FIXTURES, AND AT ALL CANTILEVERS, UNLESS SHOWN OTHERWISE.
- PROVIDE A MINIMUM OF DOUBLE ALL JOISTS AT OPENINGS IN FLOORS, CEILINGS AND ROOFS. PROVIDE A MINIMUM OF DOUBLE WALL STUDS AROUND ALL WALL OPENINGS, JACK STUDS UNDER ALL HEADERS, TRIPLE STUDS AT ALL CORNERS.
- PROVIDE POSTS AT ALL RIDGE, HIP AND VALLEY INTERSECTIONS DOWN TO A MINIMUM OF TRIPLE 2"x8" CEILING JOISTS.
- ALL FRAMING SHALL BE FRAMED CROWN UP UNLESS AT CANTILEVERS OR SHOWN OTHERWISE.
- SOLID BLOCKING SHALL BE PROVIDED UNDER ALL POSTS THAT DON'T REST DIRECTLY ON JOISTS.
- ALL INTERIOR WOOD POSTS SHALL BE SOLID STUDS, AND TO BE A MINIMUM OF THE WIDTH OF THE BEAM SUPPORTING IT AND PROVIDE MINIMUM ONE KING STUD AT EITHER SIDE.
- BRACE ALL WALLS DURING CONSTRUCTION.
- ALL WALL FRAMING OF 9'-0" AND GREATER SHALL HAVE CATS (SOLID BLOCKING) AT MIDDHEIGHT.
- ALL DOORS, WINDOWS AND OPENINGS SHALL HAVE A MINIMUM HEADER TO BE AS FOLLOWS UNLESS SHOWN OTHERWISE ON PLANS, UP TO 5'-0" USE (2/2"x10)", UP TO 8'-0" USE (3/2"x10)" OR (2/2"x12)" OPENINGS GREATER THAN 8'-0" SEE PLANS FOR SIZES.
- PROVIDE FASTENER NAILS AS FOLLOWS: 10d AT ALL GENERAL FRAMING AND 8d AT ALL PL WOOD, 4" SPACING MAX. - TABLE R602.3(1) THROUGH R602.3(4).

FIRE BLOCKING SHALL BE PROVIDED AS FOLLOWS

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING 4 FLOOR LEVELS, CONCEALED HORIZ. FURRED SPACES SHALL ALSO BE FIRE BLOCKED AT INTERVAL NOT EXCEEDING 10 FEET. Batts OR BLANKETS OF MINERAL OR GLASS FIBER SHALL BE ALLOWED AS FIRE BLOCKING IN WALLS CONSTRUCTED USING ROUS OF STUDS OR STAGGERED STUDS.
- AT ALL INTERCONNECTIONS BET. CONCEALED VERT. 4 HORIZ. SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
- IN CONCEALED SPACES BET. STAIR STRINGERS AT TOP 4 BOTTOM OF THE RUN, ENCLOSED SPACES UNDER STAIRS SHALL COMPLY W/SECTION R311.2.
- AT OPENINGS AROUND VENTS, PIPES AND DUCTS AT CEILING AND FLOOR LEVEL, w/ AN AFVRYD MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
- FOR THE FIRE BLOCKING OF CHIMNEYS 4 FIREPLACES, SEE SECTION R1001.6.
- FIRE BLOCKING OF CORNICES OF A 2 FAMILY DUELLING IS REQ'D AT THE LINE OF DUELLING UNIT SEPARATION.

ROOFING 4 SIDING NOTES

- ROOFING, SIDING, TRIM, AND OTHER MATERIALS SHALL BE INSTALLED IN STRICT ACCORD WITH THEIR RESPECTIVE MANUFACTURERS SPECIFICATIONS AND INDUSTRY STANDARDS.
- PROVIDE ALUMINUM GUTTERS 4 ROOF DRAIN LEADERS (RDLs) AS REQUIRED.
- RDLs AT OUTLET TO BE CONNECTED TO SITE STORM DRAINAGE SYSTEM.
- PROVIDE APPROVED SNOW GUARDS AT ROOF EDGES WITH PITCH EXCEEDING 1:12 OVER ALL DOORWAYS, DECKS 4 WALKWAYS WITHIN 36" OF DUELLING.
- ROOFING, SIDING, TRIM, AND OTHER MATERIALS COLORS TO BE DETERMINED FROM BUILDERS SELECTION PRIOR TO ORDERING.
- ARCHITECT IS NOT RESPONSIBLE FOR COLOR AND/OR MATERIAL SELECTIONS.

DOOR 4 WINDOW NOTES

- ALL WINDOW AND EXTERIOR DOORS SHALL COMPLY WITH 2020 THE ENERGY CONSERVATION CODE OF N.Y.S. AND FOR THE COUNTY THIS PROJECT IS LOCATED.
- ALL DOORS SHALL CONFORM TO THE STATE CODE SIZE REQUIREMENTS.
- WINDOW SCHEDULE IS FOR DESIGN INTENT ONLY.
- THE CONTRACTOR SHALL VERIFY WITH OWNER ALL WINDOWS, DOOR, AND ADDITIONAL OPTIONS SUCH AS, COLOR, HARDWARE PRIOR TO ORDERING.
- ALL WINDOWS AND DOORS SHALL BE INSTALLED WITH STRICT ACCORDANCE TO THEIR

- PARTICULAR MANUFACTURERS SPECIFICATIONS AND TO VERIFY WINDOW ROUGH OPENINGS WITH THE MANUFACTURER.
- ALL HEADER HEIGHTS TO BE 6'-9" ABOVE THE FINISHED FLOOR, UNLESS NOTED OTHERWISE.
- ALL WINDOWS IN HABITABLE SPACES SHALL COMPLY WITH THE RESIDENTIAL CODE OF THE N.Y.S. EGRESS REQUIREMENTS.
- THESE WINDOWS SHALL HAVE A SILL HEIGHT OF NOT GREATER THAN 44" ABOVE FINISHED FLOOR. THESE WINDOWS SHALL HAVE A MIN. OF 5.1 SQ. FT. CLEAR OPENING AND 10.3 SQ. FT. OF GLASS AREA FOR NATURAL LIGHT.
- AT ALL EGRESS BASEMENT WINDOWS THAT ARE BELOW THE FINISHED GRADE SHALL BE PROVIDED WITH AN APPROVED WINDOW WELL AND DRAINAGE AS PER THE 2020 N.Y.S. RESIDENTIAL AND LOCAL CODES.
- ALL GLAZING LESS THAN 18" ABOVE FINISHED FLOOR/SURFACE, AND ALL GLASS TUB AND/OR SHOWER ENCLOSURES SHALL BE TEMPERED GLASS.
- ALL FIXED GLASS SHALL BE IN FRAMES TO MATCH THE MANUFACTURER OF OPERABLE WINDOWS.
- ALL WINDOWS SHALL BE MANUFACTURED BY ANDERSEN OR EQUAL UNLESS SHOWN OTHERWISE.
- ALL SKYLIGHTS, METAL FLUES, VENTS, STACKS OR ANY OTHER ROOF ACCESSORIES THAT REQUIRE FLASHING SHALL BE INSTALLED AS PER THE MANUFACTURERS SPECIFICATIONS.
- PROVIDE ADDITIONAL ALUMINUM BLIND FLASHING WHERE REQUIRED TO INSURE IF WATER TIGHT CONDITIONS.
- INSTALL FLASHING AT ALL ENTRANCE SLABS ADJACENT TO WALL CONSTRUCTION.
- PROVIDE ADEQUATE AIR SPACE BEHIND BRICK, STONE AND OTHER SIDINGS AS REQUIRED.
- ALL BEADS, STOPS AND TRIM SHALL BE MANUFACTURED FROM RUST RESISTANT.
- ALL EXTERIOR SWING DOORS SHALL BE MANUFACTURED BY THERMA-TRU OR EQUAL UNLESS SHOWN OTHERWISE.
- ALL WINDOW 4 DOOR JAMBS TO BE FOAM SEALED 4 WEATHER STRIPPED ON EXTERIOR AS PER THE 2020 ENERGY CONSERVATION CODE OF NYS.

DRYWALL NOTES

- ALL GYPSUM BOARD DRYWALL CUT JOINTS SHALL BE ADJACENT TO CORNERS.
- NO BUTT JOINTS IN WALL SHALL BE PERMITTED.
- ALL CORNERS AND JOINTS SHALL RECEIVE TWO COATS OF JOINT COMPOUND FEATHERED SMOOTH AND ALL DIMPLES CREATED BY FASTENERS SHALL RECEIVE THREE COATS OF JOINT COMPOUND FEATHERED SMOOTH.
- ALL GYPSUM BOARD SHALL BE IN ACCORDANCE WITH THE GYPSUM CONSTRUCTION HANDBOOK PUBLISHED BY THE UNITED STATES GYPSUM COMPANY.
- ALL MATERIALS SHALL BE FURNISHED BY THE UNITED STATES GYPSUM COMPANY, NATIONAL GYPSUM COMPANY, CELOTEX CORP. OR OTHER APPROVED MANUFACTURER.
- USE WATERPROOF GYPSUM BOARD AT ALL TUBS, SHOWER SURROUNDS AND OTHER WET LOCATIONS. (DUR-O-ROCK OR EQUAL).

STAIR 4 RAILING NOTES

- ALL STAIRS AND RAILINGS SHALL COMPLY WITH THE 2020 NYS RESIDENTIAL CODE.
- ALL STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT.
- HANDRAILS SHALL NOT PROJECT INTO THE STAIRWAY MORE THAN 4 COMBINED CLEAR WIDTH OR 2" IF THERE IS TWO HANDRAILS AND 3" IF THERE IS ONLY ONE HANDRAIL WITH A MINIMUM WALL CLEARANCE OF 1".
- THE MINIMUM HEADROOM IN ALL PARTS OF STAIRWAYS SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND SORRIF PROTECTED ON THE ENCLOSED SIDE w/ 1/2" GYF. BD.
- THE MAXIMUM RISER HEIGHT IS 1-3/4". THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE MINIMUM TREAD DEPTH IS 10". THE GREATEST TREAD DEPTH SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". WINDER TREADS ARE PERMITTED PROVIDED THAT THE WIDTH OF THE TREAD AT A POINT IS NOT MORE THAN 12" AND FROM THE NARROW SIDE IS NOT LESS THAN 10". WINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 6" AT ANY POINT.
- THE GREATEST WINDER TREAD DEPTH AT THE 1/2" WALK LINE SHALL NOT EXCEED THE SMALLEST BY MORE THAN A NOSING NOT LESS OF 3/4" AND NOT GREATER THAN 1 ON STAIRWAYS WITH SOLID RISERS.
- THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".
- OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A DIAMETER SPHERE.
- HANDRAIL HEIGHT SHALL BE A MINIMUM OF 34" AND 38".
- OPEN RAILINGS AND GUARDS SHALL NOT BE GREATER THAN 4".
- IF DECKS OR PLATFORMS ARE 8'-0" AND GREATER ABOVE THE FINISHED GRADE THAN THE HANDRAIL SHALL BE 42" IN HEIGHT.

TRIM 4 PAINTING NOTES

- ALL CLOSETS SHALL HAVE AS A MINIMUM OF ONE (1) HIGH SHELF AND ONE (1) ROD FOR HANGING CLOTHING. PROVIDE FIVE (5) SHELVES IN LINEN CLOSETS.
- THE CONTRACTOR SHALL DOUBLE CHECK AND VERIFY ALL AS BUILT DIMENSIONS AND CONDITIONS PRIOR OF ORDERING CABINETS, COUNTER TOPS AND VANITIES.
- ALL EXPOSED BASED CABINET SIDES SHALL HAVE TOE SPACE UNLESS SHOWN OTHERWISE.
- ALL PAINTS AND STAINS SHALL BE OF A MANUFACTURER AS SCHEDULED OR AS DIRECTED BY BUILDER.
- ALL INTERIOR GYPSUM BOARDS, WALLS AND CEILINGS, SHALL RECEIVE ONE COAT PRIMER AND TWO COATS OF PAINT OF BENJAMIN MOORE OR EQUAL.
- ALL INTERIOR WOOD, TRIM, SHELVING AND OAK FLOORS SHALL BE FINISHED AS SCHEDULED OR AS DIRECTED BY BUILDER.
- ALL INTERIOR DOORS, TRIM AND EXPOSED WOOD SHALL BE SANDED COMPLETELY SMOOTH PRIOR TO APPLYING FINISH.
- ALL EXPOSED FERROUS METAL SHALL BE PAINTED WITH A RUST INHIBITOR AND TWO COATS OF ENAMEL.

PLUMBING NOTES

- ALL PLUMBING WORK EQUIPMENT AND FIXTURES SHALL BE PLACED AND INSTALLED PER THE 2020 RESIDENTIAL CODE OF N.Y.S., THE PLUMBING CODE OF N.Y.S., AND INDUSTRY STANDARDS.
- THE CONTRACTOR SHALL VERIFY WITH THE OWNER ALL FIXTURES, MODELS, COLORS ETC. PRIOR OF ORDERING INSTALL.
- IRON PIPING UNDER ALL CONCRETE SLABS, GAS LINES TO BE GROUNDED TO BLACK PIPE AT SERVICE ENTRY VENT STACK SHALL EXTEND ABOVE ROOF 18" OR 12" ABOVE AVG SNOWFALL.
- THE PLUMBING CONTRACTOR SHALL PROVIDE DRYER VENTS AS PER THE 2020 CODE OF N.Y.S.
- THE PLUMBING CONTRACTOR SHALL NOT DRILL OR CUT ANY STRUCTURAL GIRDERS, HEADERS, BEAMS WITHOUT PRIOR CONSENT FROM THE ARCHITECT.
- DRYER VENTS AND ALL VENTINGS OF FLOOR JOISTS SHALL BE IN STRICT ACCORDANCE WITH THE CODE AND/OR SAID JOIST MANUFACTURERS SPECIFICATIONS.
- THE PLUMBING CONTRACTOR SHALL VERIFY FIXTURE AND PIPE LOCATIONS WITH OTHER TRADES INVOLVED WITH THIS JOB PRIOR TO INSTALLATION.
- THE PLUMBING CONTRACTOR SHALL PROVIDE SHOWER PANS UNDER CLOTHES WASHER WITH A DRAIN CONNECTED TO THE WASTE PLUMBING SYSTEM.
- THE PLUMBING CONTRACTOR SHALL PROVIDE WHOLE HOUSE BACK-FLOW PREVENTION VALVES AND ADEQUATE CLEAN-OUTS AS REQUIRED BY CODE.
- PROVIDE 1/2" ACCURATE PANEL TO WHICH ALL SIMILAR EQUIPMENT.
- THE PLUMBING CONTRACTOR SHALL PROVIDE AND INSTALL EQUIPMENT FLUES AS REQUIRED BY THE 2020 RESIDENTIAL CODE OF N.Y.S.
- ALL HOSE BIBS SHALL BE FREEZE PROOF TYPE. LOCATIONS AND QUANTITY SHALL BE AS PER OWNERS INSTRUCTIONS. UNLESS SHOWN OTHERWISE.
- A MINIMUM OF TWO (2) HOSE BIBS SHALL BE PROVIDED: ONE (1) LOCATED AT THE FRONT AND ONE (1) LOCATED AT REAR.

MECHANICAL NOTES

- ALL MECHANICAL WORK (FURNACE, BOILERS, HVAC, HOT WATER, ETC.) SYSTEMS, AND INSTALLATION SHALL COMPLY IN ACCORDANCE WITH THE 2020 PLUMBING CODE, THE MECHANICAL, AND FUEL GAS CODES OF N.Y.S. AND INDUSTRY STANDARDS.
- THE MECHANICAL SUBCONTRACTORS SHALL CARRY PRIOR, DURING AND AFTER CONSTRUCTION ALL NECESSARY LICENSES AND INSURANCES PER THE N.Y.S. LOCAL AND ALL GOVERNING REGULATIONS.
- ALL HEATING LINES SHALL CONTAIN ANTI-FREEZE.
- LOCATE ATTIC MECHANICAL UNITS ON GALVANIZED DRIP PANS, DRAINED.
- ALL SYSTEMS SHALL BE FIBERGLASS INSULATED TYPE (EXCEPT GALVANIZED UNDERSLAB DUCTWORK).
- THE MECHANICAL SUBCONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE BUILDER FOR APPROVAL PRIOR TO ANY EACH SYSTEM SHALL BE SEPARATE AND COMPLETE WITH EACH SYSTEM HAVING SUPPLEMENTAL STRIP HEAT.
- CARRIER, TRANE, LENNOX, AND YORK ARE APPROVED MANUFACTURERS FOR THE MECHANICAL UNIT, ANY SUBSTITUTES MUST BE APPROVED IN WRITING BY THE ARCHITECT OR OWNER.
- ALL MECHANICAL UNITS IN ATTIC SHALL BE LOCATED IN SUCH MANNER THAT THEY SHALL NOT CAUSE AN OBSTRUCTION TO FUTURE ATTIC FLOORING.
- PROVIDE THE PROPER FIRE RATED SEPARATION AT THE MECHANICAL ROOM (FURNACE, HVAC, HOT WATER, ETC. AS PER THE BUILDING CODE).
- PROVIDE BACKDRAFT DAMPER EXHAUST DUCTS TO BE MIN. 0.016 INCHES RIGID METAL. MIN. 12" DIA. LENGTH NOT TO EXCEED 25 FT. PROVIDE BOOSTER FAN IF GREATER THAN 25 FT.
- BATHS 4 LAVS WITHOUT OPERABLE WINDOWS OR UDUW WITH LESS THAN 15 SF. OPENING SHALL BE MECHANICALLY VENTED TO EXTERIOR.
- INTERMITTENT VENTILATION TO BE MIN. 50 CFM, CONTINUOUS VENTING TO BE MIN. 20 CFM.

ELECTRICAL NOTES

- ALL OUTLETS, FIXTURES AND ALL OTHER ELECTRICAL WORK SHALL BE PLACED, AND INSTALLED AS PER THE LATEST NFPA LATEST EDITION, THE LATEST EDITION OF THE NEC, NFPA, AND THE LOCAL UTILITY CO.
- ELECTRICAL PANELS SHALL BE FULLY RECESSED AND HAVE ALL CIRCUITS CLEARLY LABELED.
- A MINIMUM OF 20 % OF CIRCUITS SHALL BE FOR FUTURE USE FOR EACH PANEL USED.
- TELEPHONE AND TELEVISION OUTLETS SHALL BE WIRED TO LOCAL PROVIDERS SPECIFICATIONS TO A POINT OF ENTRY APPROVED BY OWNER UNLESS SHOWN ON PLANS OTHERWISE.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE MECHANICAL EXHAUST FANS FOR ALL RANGES, AND IN ALL LAUNDRY, TOILET, TUB, AND SHOWER AREAS.
- ALL FAN FIXTURES SHALL BE SWITCHED SEPARATELY AND VENTED TO THE EXTERIOR.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE A SWITCH FOR THE DISHWASHER LOCATED IN SINK CAB.
- ALL OUTLETS, FIXTURES AND ALL OTHER ELECTRICAL WORK SHALL BE PLACED, AND INSTALLED AS PER THE 2018 NFPA LATEST EDITION, THE LATEST EDITION OF THE NEC, NFPA, AND THE LOCAL UTILITY CO.
- ELECTRICAL PANELS SHALL BE FULLY RECESSED AND HAVE ALL CIRCUITS CLEARLY LABELED.
- A MINIMUM OF 20 % OF CIRCUITS SHALL BE FOR FUTURE USE FOR EACH PANEL USED.
- TELEPHONE AND TELEVISION OUTLETS SHALL BE WIRED TO LOCAL PROVIDERS SPECIFICATIONS TO A POINT OF ENTRY APPROVED BY OWNER UNLESS SHOWN ON PLANS OTHERWISE.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE MECHANICAL EXHAUST FANS FOR ALL RANGES, AND IN ALL LAUNDRY, TOILET, TUB, AND SHOWER AREAS.
- ALL FAN FIXTURES SHALL BE SWITCHED SEPARATELY AND VENTED TO THE EXTERIOR.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE A SWITCH FOR THE DISHWASHER LOCATED IN SINK CAB.
- THE ELECTRICAL CONTRACTOR SHALL VERIFY WITH THE OWNER ALL ELECTRICAL DEVICE AND FIXTURE OPTIONS SUCH AS COLOR, AND STYLE PRIOR OF ORDERING.
- ALL SMOKE AND CARBON MONOXIDE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED WITH BATTERIES. PROVIDE ONE SMOKE DETECTOR AS INDICATED ON PLANS AND AS PER ALL CODE REQUIREMENTS AND PROVIDE A MINIMUM OF ONE CARBON MONOXIDE DETECTOR ON EVERY FLOOR.
- LOCATE SMOKE DETECTORS ON FLAT CEILINGS NO CLOSER THAN 16" FROM WALL.
- ALL OUTLETS TO BE TAMPERPROOF.
- ARC-FAULT OUTLETS IN ALL ROOMS EXCEPT KITCHEN AND BATHS.
- ALL RECESSED LIGHTS TO MEET 'IC' REQUIREMENTS FOR AIR INFILTRATION 80% OF LAMP'S TO BE HIGH EFFICIENCY.
- OUTDOOR RECEPTACLES MUST BE GFCI PROTECTED AS PER LATEST NEC.
- RECEPTACLES MUST BE ON A MINIMUM OF 2 BRANCH CIRCUITS AS PER LATEST NEC.
- BATHROOM GFCI OUTLETS TO BE ON STANDALONE BRANCH CIRCUIT AS PER LATEST NEC.
- ALL ELECTRICAL WORK TO BE TAMPER RESISTANT.

ADDITIONAL NOTES

- ALL THERMOSTATS TO BE PROGRAMABLE - DIGITAL AS MFG. BY WHITE ROGERS OR EQUAL.
- ALL SUPPLY PIPING AND/OR DUCT WORK TO RECEIVE R-8 INSULATION WHEN IN UNCONDITIONED SPACES.
- ALL HEATING AND/OR COOLING PUMPS TO BE VARIABLE SPEED OF 3/4HP.
- ALL PLUMBING 4 PIPING TO COMPLY WITH APPLICABLE 2020 PLUMBING CODE OF NYS

FURNACE	300,000 BTU	ELECTRICAL SERVICE
MFG. - CROWN 90% EFF. OR EQUAL		300 AMPS SINGLE PHASE
HOT WATER HEATER	25,000 BTH	VOLTAGE 120/240
BRADFORD WHITE GAS 50 GAL. OR EQ.		
COOKING	10,000 BTH	
OTHER OPTIONS:	300 AMPS	
TOTAL BTU	355,000 BTH	
GOODMAN OR COMFORTMAKER A/C		
(3) 3 TON UNITS / 1/8 SEER		

NOTES
ALL THERMOSTATS TO BE PROGRAMABLE - DIGITAL AS MFG. BY WHITE ROGERS OR EQUAL
ALL SUPPLY PIPING AND/OR DUCT WORK TO RECEIVE R-8 INSULATION WHEN IN UNCONDITIONED SPACES
ALL HEATING AND/OR COOLING PUMPS TO BE VARIABLE SPEED OF 3/4HP

ADDITIONAL NOTES:
ALL THERMOSTATS TO BE PROGRAMABLE - DIGITAL AS MFG. BY WHITE ROGERS OR EQUAL
ALL SUPPLY PIPING AND/OR DUCT WORK TO RECEIVE R-8 INSULATION WHEN IN UNCONDITIONED SPACES

NEW HULL 4 ALL OTHER APPLIANCES TO MEET REQUIREMENTS OF 2020 ENERGY CONSERVATION CODE OF NYS

ALL ELECTRICAL WORK, MECHANICAL WORK AND PLUMBING WORK TO COMPLY WITH LATEST NEC GUIDELINES

LVL GIRDERS 4 HEADERS TO BE A MINIMUM: 3100 P# (FIBER BENDING STRESS) 216 (MODULUS OF ELASTICITY)

MINIMUM UNIFORM DISTRIBUTED DESIGN LOADS (REFER TO TABLE R301.5)		USE	LIVE LOAD
EXTERIOR BALCONIES			50 PSF
DECKS			40 PSF
PASSENGER VEHICLE GARAGES (AT GRADE)			50 PSF
ATTICS W/ STORAGE (MAX 3' ROOF SLOPE)			10 PSF
ATTICS W/ STORAGE			20 PSF
ROOMS OTHER THAN SLEEPING ROOMS			40 PSF
SLEEPING ROOMS			30 PSF
STAIRS			40 PSF
STAIR TREADS			3000 PSF
GUARDRAILS AND HANDRAILS (SINGLE CONCENTRATED LOAD AT ANY PT)			2000 PSF
ROOF LOAD - ROOF SHALL BE DESIGNED FOR THE LIVE LOAD INDICATED OR THE SHOU LOAD INDICATED, WHICHEVER IS GREATER			40 PSF

ALL WORK TO BE IN ACCORDANCE WITH THE FOLLOWING:
2020 RESIDENTIAL CODE OF NEW YORK STATE w/ 2020 ENERGY CONSERVATION CODE OF NYS
2020 FIRE CODE OF NEW YORK STATE
2020 PLUMBING CODE OF NEW YORK STATE
2020 MECHANICAL CODE OF NEW YORK STATE
2020 FUEL GAS CODE OF NEW YORK STATE
LATEST EDITION OF THE NATIONAL ELECTRIC CODE
* ZONING VARIANCE REQUIRED (PREVIOUSLY APPROVED)

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THESE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE 2020 RESIDENTIAL CODE OF NYS, 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE AND ZONING REQUIREMENTS OF THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, NY.

SEAL & SIGNATURE

ERIC KNUTE OSBORN R.A. NYS NO. 021585

9 SEP. 2025
DATE

NOTES:
PLAN DATA:
2ND FLR LIVING AREA = 2,186 SQ. FT.
MAIN FLOOR AREA = 2,744 SQ. FT.
TOTAL LIVING AREA = 4,930 SQ. FT.
GARAGE AREA = 548 SQ. FT.
FRONT PORCH AREA = 104 SQ. FT.
WOOD DECK(S) AREA = 487 SQ. FT.
BUILDING COVERAGE = 4,010 SQ. FT.
F.A.R. = 0.166



ERIC KNUTE OSBORN
ARCHITECT
48 YEARS' EXPERIENCE
RESIDENTIAL - COMMERCIAL - ADDITIONS
58 BARNES ROAD
WASHINGTONVILLE, N.Y. 10992
EMAIL - EKOSBORNARCHITECT@GMAIL.COM
(845) 629-7474

PROJECT
NEW RESIDENCE FOR
MR. & MRS. DAVID AUSCH
131 S. HIGHLAND AVE. PEARL RIVER
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK
TAX LOT # 68.15-2-78.2

TITLE SHEET
GENERAL NOTES

START DATE: 24 JULY 2025

PROJECT # 2025-DA-4
SCALE 1/4" = 1'-0"
DWG. No.
A-1
1 OF 9

DWG LIST
A-1 TITLE SHEET
GENERAL NOTES
A-2 & A-3 ELEVATIONS
A-4 BASEMENT FLOOR PLAN
A-5 MAIN FLOOR PLAN
A-6 SECOND FLOOR PLAN
A-7 ROOF PLAN & SECTION
A-8 STANDARD DETAILS
A-9 TH STANDARD DETAILS

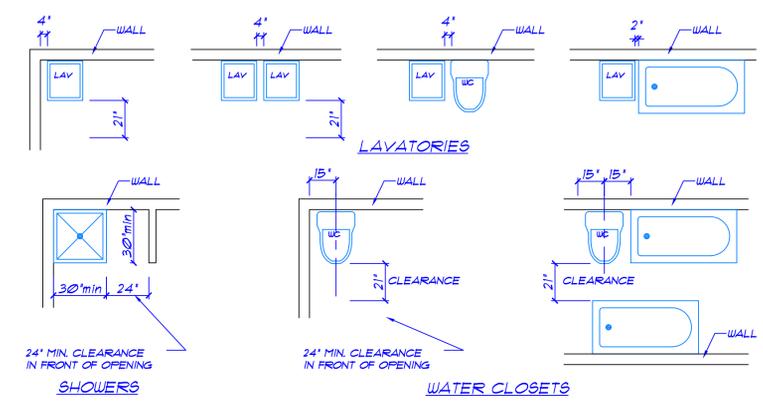
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REAR - EAST ELEVATION

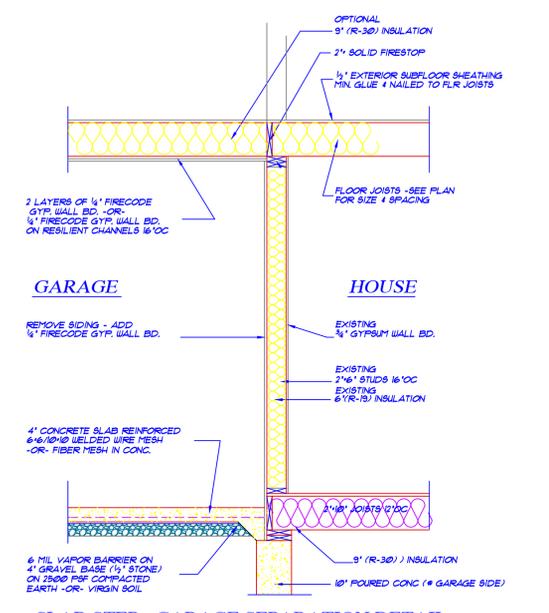


FRONT - WEST ELEVATION



MINIMUM PLUMBING FIXTURE CLEARANCES

- FOR A CONTINUOUS OR SEMI-CONTINUOUS FLOW INTO A DRAINAGE SYSTEM, SUCH AS FROM A PUMP OR SIMILAR DEVICE, 1/2" FIXTURE UNITS SHALL BE ALLOWED PER GPM OF FLOW FOR A FIXTURE NOT LISTED USE THE HIGHEST D.F.U. VALVE FOR A SIMILAR LISTED FIXTURE.
- A FLOOR DRAIN ITSELF ADDS NO HYDRAULIC LOAD, HOWEVER, WHERE USED AS A RECEPTOR, THE FIXTURE UNIT VALVE OF THE FIXTURE DISCHARGE INTO RECEPTOR SHALL BE APPLICABLE.
- ADD 2 D.F.U. FOR EACH ADDITIONAL FULL BATH.



SLAB STEP - GARAGE SEPARATION DETAIL SCALE 3/4" = 1'-0"

NOTE: ALL HVAC DUCTS, AND VENT PIPES THAT ARE IN GARAGE OR PASS THROUGH THE GARAGE SHALL BE ENCLOSED WITH FRAMING AND 1/2" FIRECODE GYP. BD.

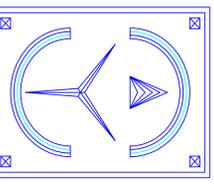
LOCATION	NATURAL LIGHTING		NATURAL VENTILATION		TYPE	SIZE	QTY	REMARKS
	REQUIRED	PROVIDED	REQUIRED	PROVIDED				
FIRST FLOOR								
ENTR					GLIDING	6'0" x 7'2"	1	* EGRESS
STUDY					GLIDING	7'2" x 7'2"	1	* EGRESS
HALL					GLIDING	6'0" x 7'2"	4	* EGRESS
SECOND FLOOR								
BEDROOM 1					GLIDING	6'0" x 7'2"	3	* EGRESS
BEDROOM 2					GLIDING DR	7'2" x 9'6"	1	* EGRESS
BEDROOM 3					GLIDING	6'0" x 7'2"	1	* EGRESS
BEDROOM 4					GLIDING	6'0" x 7'2"	1	* EGRESS
BEDROOM 5					GLIDING	6'0" x 7'2"	1	* EGRESS

NOTES:

WALL LEGEND

- STANDARD FRAME WALLS
- LOAD BEARING WALLS
- POURED CONCRETE WALLS
- EGRESS WINDOW
- TEMPERED GLASS

PROJECT DATA



ERIC KNUTE OSBORN ARCHITECT
 48 YEARS' EXPERIENCE
 RESIDENTIAL - COMMERCIAL - ADDITIONS
 58 BARNES ROAD
 WASHINGTONVILLE, N.Y. 10992
 EMAIL - EKOSBORNARCHITECT@GMAIL.COM
 (845) 629-7474

PROJECT
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 131 S. HIGHLAND AVE. PEARL RIVER
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK
 TAX LOT # 68.15-2-78.2

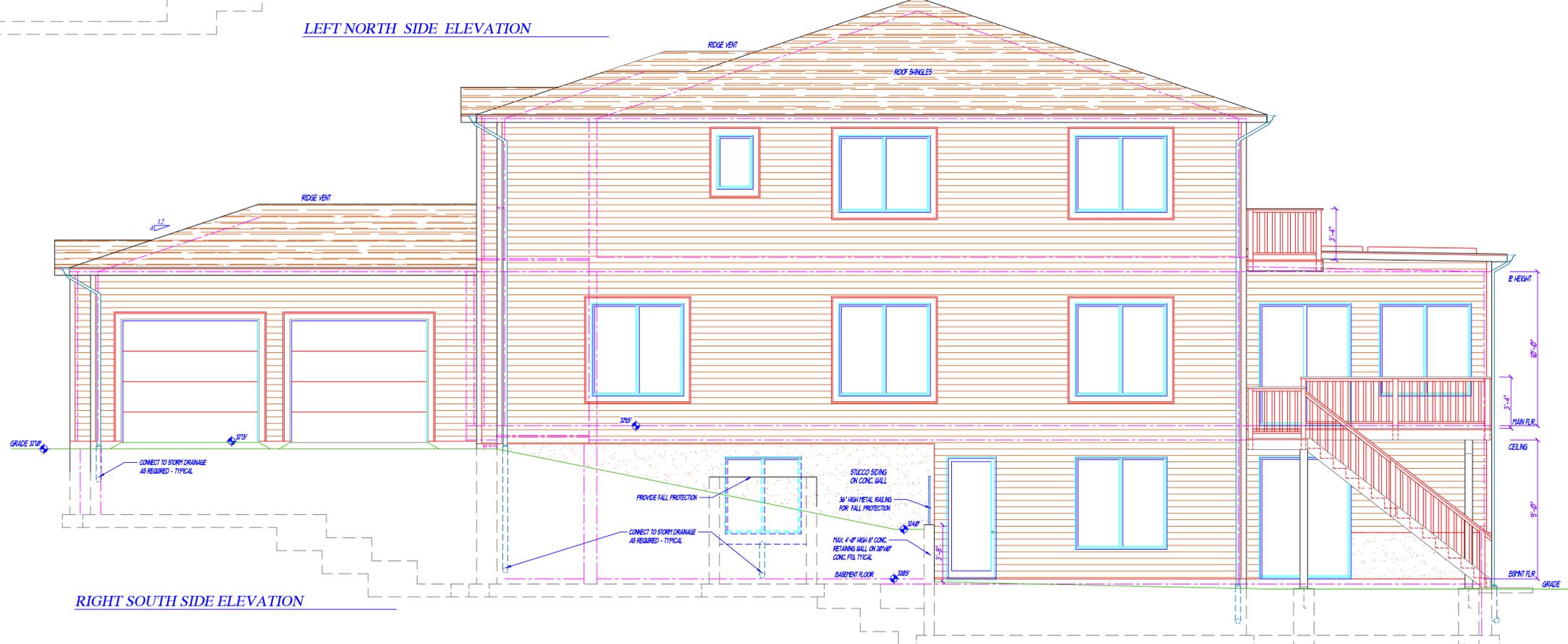
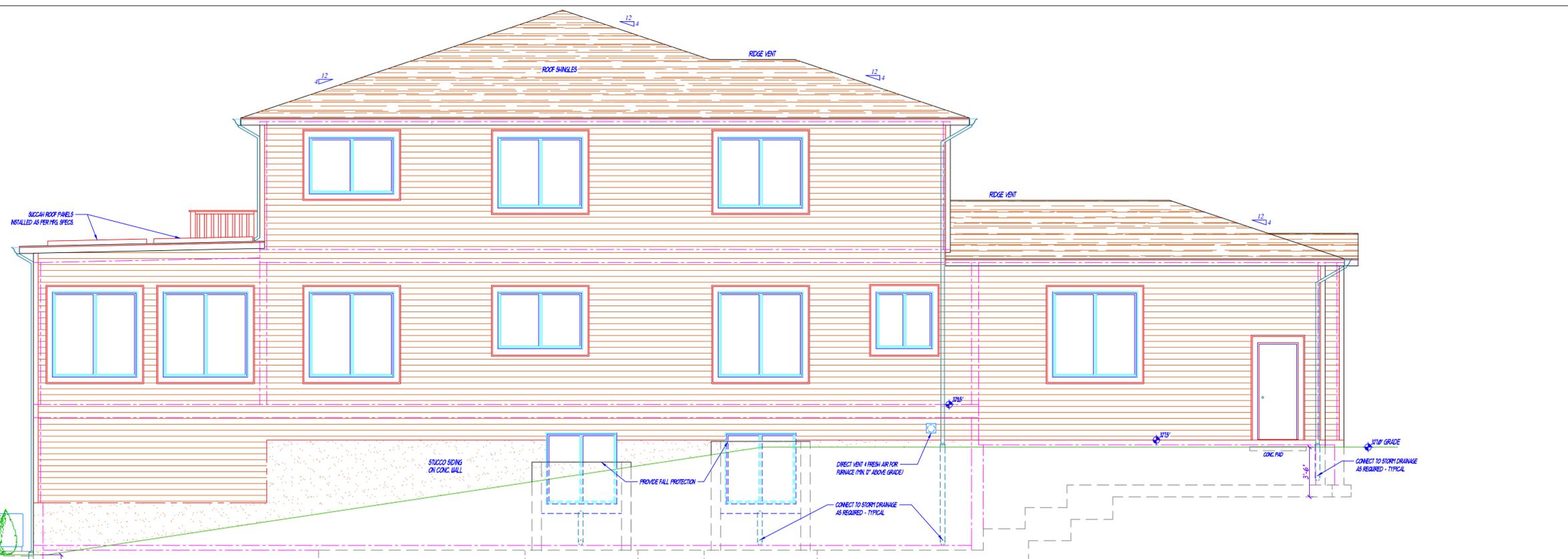
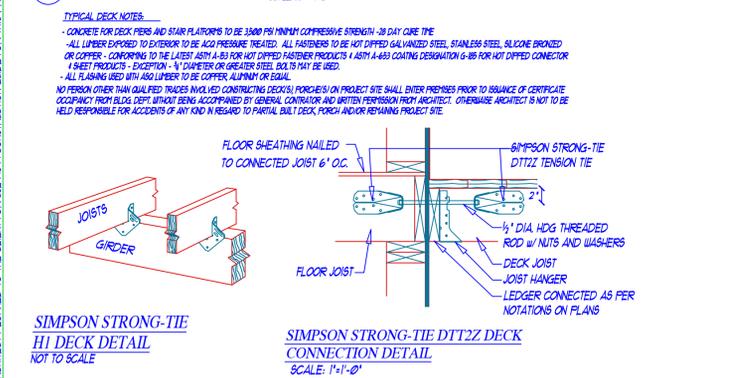
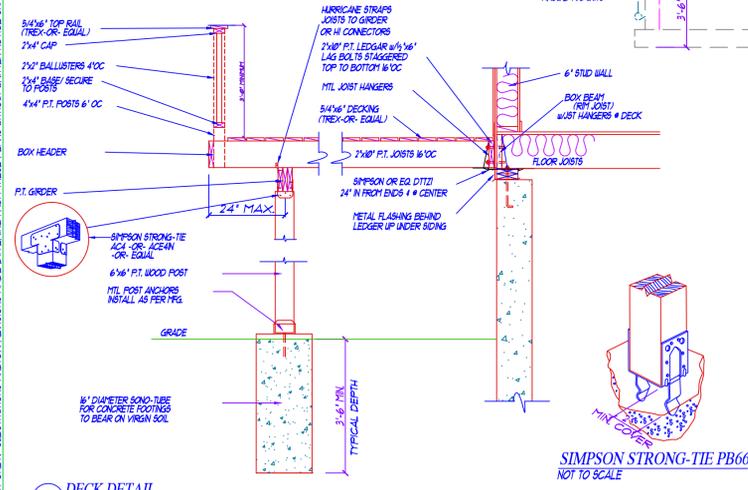
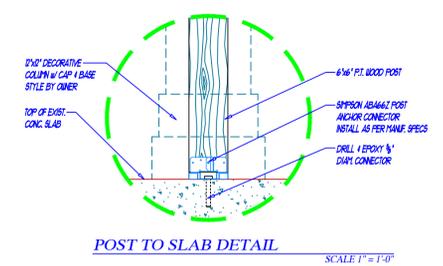
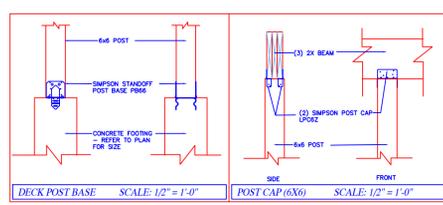
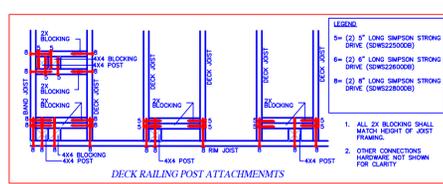
FRONT & REAR ELEVATIONS

START DATE: 24 JULY 2025

PROJECT # 2025-DA-4
 SCALE 1/4" = 1'-0"
 DWG. No. **A-2**

9 SEP. 2025

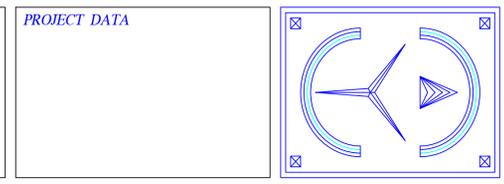
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NOTES:

WALL LEGEND

	STANDARD FRAME WALLS
	LOAD BEARING WALLS
	POURED CONCRETE WALLS
	EGRESS WINDOW
	TEMPERED GLASS



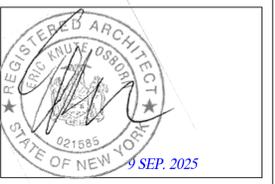
ERIC KNUTE OSBORN ARCHITECT
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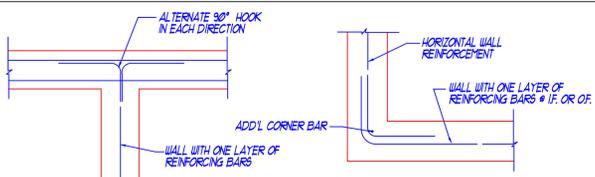
PROJECT
NEW RESIDENCE FOR MR. & MRS. DAVID AUSCH
 131 S. HIGHLAND AVE. PEARL RIVER
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NEW YORK
 TAX LOT # 68.15-2-78.2

LEFT SIDE ELEVATION

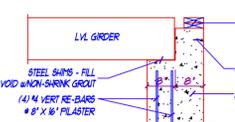
START DATE: 24 JULY 2025

PROJECT # 2025-DA-4
SCALE 1/4" = 1'-0"
DWG. No. A-3





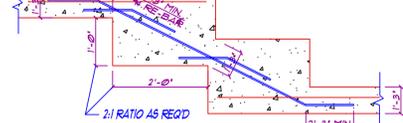
FOOTING & WALL REINFORCEMENT AT INTERSECTIONS
NOTE FOR VERTICAL REINFORCING NOT SHOWN, SEE SECTIONS FOR SIZES AND SPACING OF ALL REINFORCING



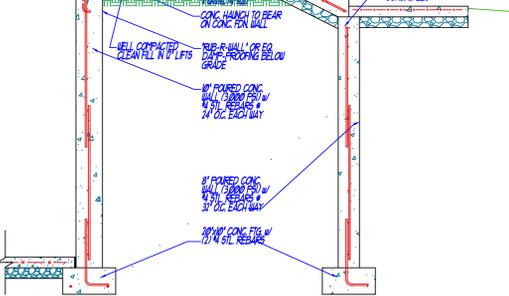
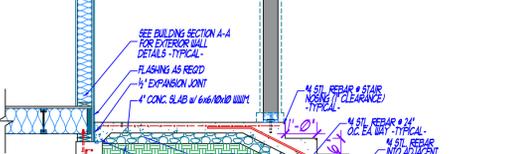
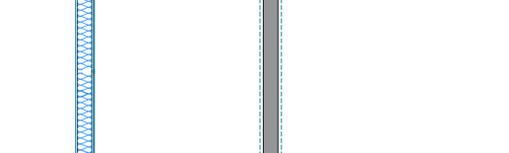
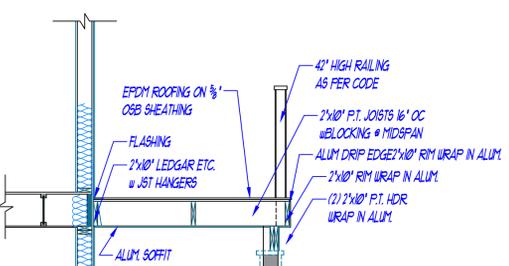
GIRDER @ PILASTER/POCKET
SCALE: NOT TO SCALE



REINF DETAIL @ FNDTN OPENINGS



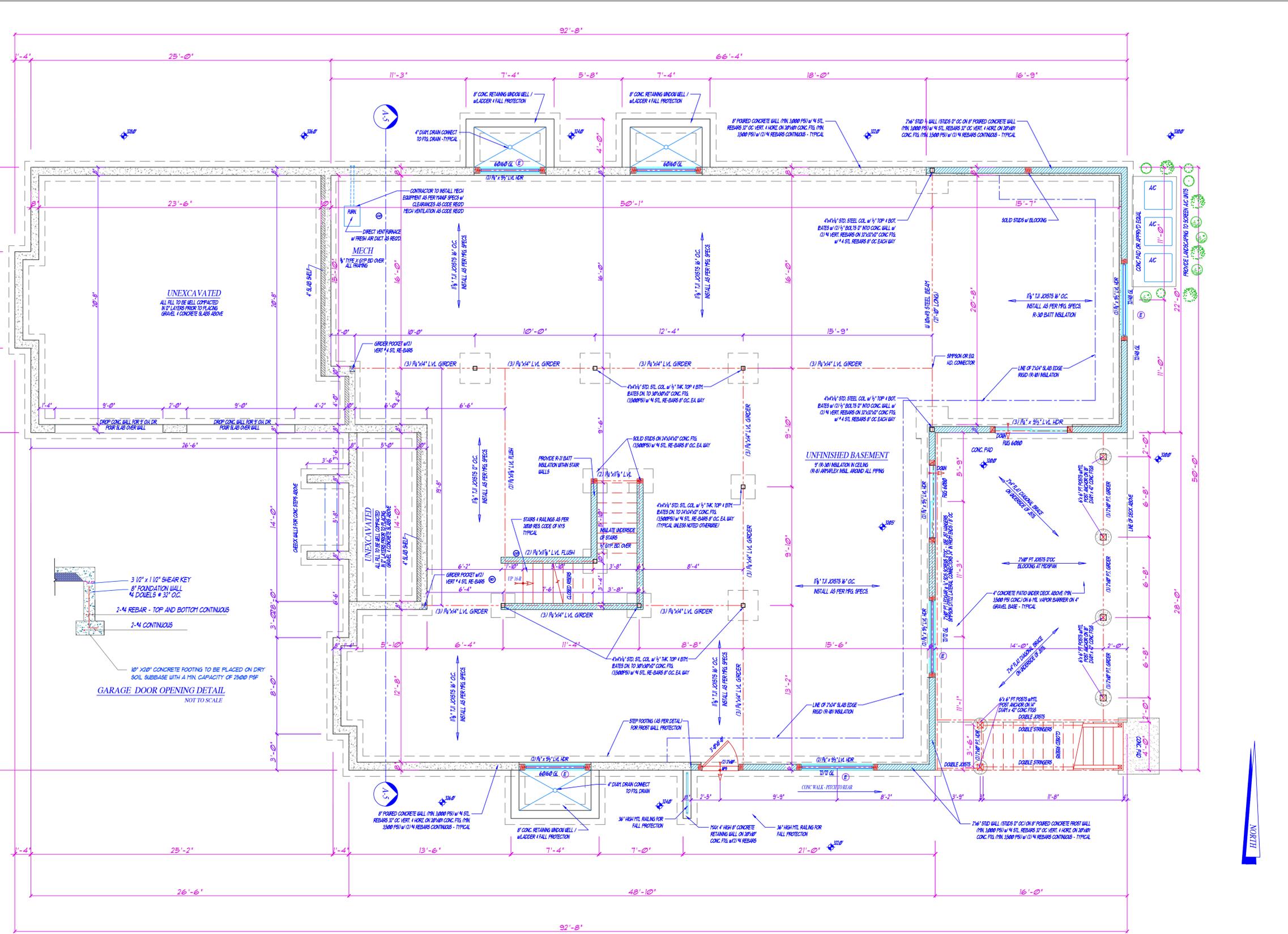
STEP FOOTING DETAIL
NOTES - TOP SURFACE OF FTGGS. TO BE LEVEL. BOTTOM SURFACE OF FOOTINGS NOT TO HAVE A SLOPE EXCEEDING ONE VERTICAL UNIT IN 10 UNITS (MAX 2% SLOPE). MINIMUM 3 INCHES OF CONCRETE COVERAGE AROUND ALL RE-BARS.



FRONT PORCH DETAIL
SCALE: 1/8" = 1'-0"

NOTES:

	STANDARD FRAME WALLS
	LOAD BEARING WALLS
	POURED CONCRETE WALLS
	EGRESS WINDOW
	TEMPERED GLASS



BASEMENT/FOUNDATION PLAN

PROJECT DATA

	NORTH
--	-------

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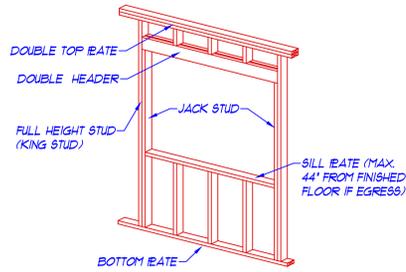
BASEMENT FLOOR PLAN

START DATE: 24 JULY 2025

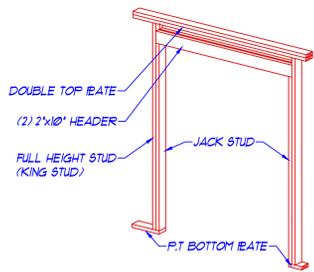
PROJECT # 2025-DA-4
SCALE 1/4" = 1'-0"
DWG. No. A-4

REGISTERED ARCHITECT
ERIC KNUTE OSBORN
STATE OF NEW YORK
021585
9 SEP. 2025

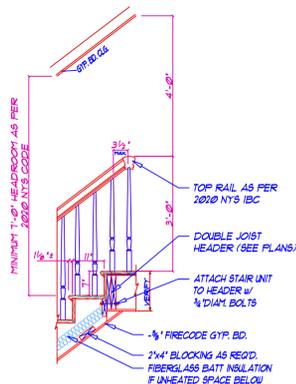
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FRAMING DETAIL @ WINDOWS
NOT TO SCALE



FRAMING DETAIL @ DOORWAYS
NOT TO SCALE

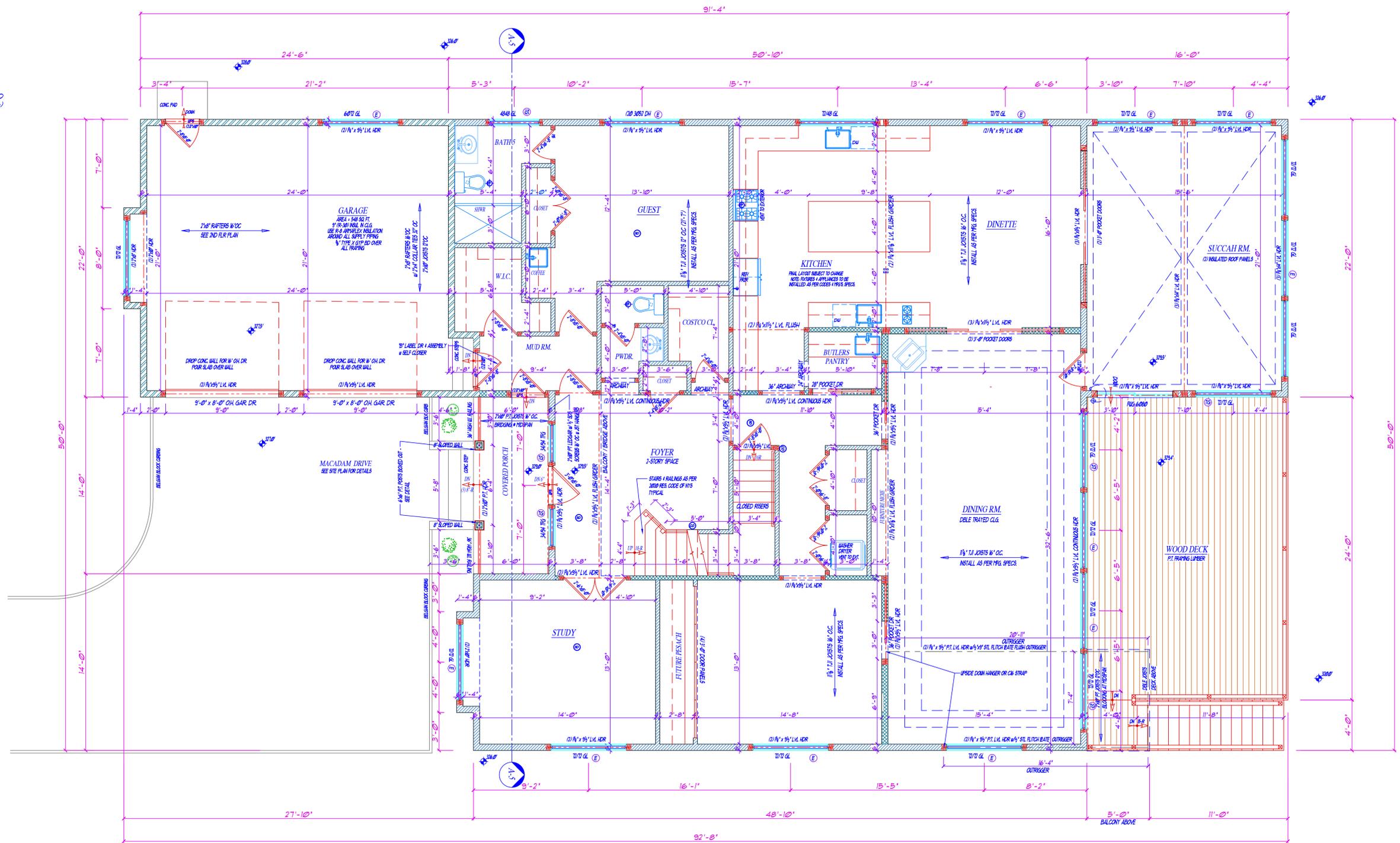


TYPICAL INT. STAIR DETAIL
SCALE: 1/2\"/>

NOTE:
INTERIOR STAIRWAY ILLUMINATION - PROVIDE A LIGHT SOURCE CAPABLE OF ILLUMINATING LANDINGS AND TREADS WITH A WALL SWITCH AT EACH FLOOR LEVEL.

ELECTRIC LEGEND

- NOTE - ALL ELECTRICAL TO COMPLY WITH LATEST NEC
- ⊕ CHANNELED LIGHT (L) SWITCHES
 - ⊕ SMOKE DETECTOR
 - ⊕ HAZARD WIRE TOGETHER W/ BATT BACKUP
 - ⊕ CARBON MONOXIDE DETECTOR



MAIN FLOOR PLAN

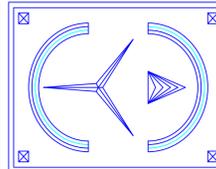
2ND FLR LIVING AREA = 2,186 SQ. FT.
MAIN FLOOR AREA = 2,744 SQ. FT.
TOTAL LIVING AREA = 4,930 SQ. FT.
GARAGE AREA = 548 SQ. FT.
FRONT PORCH AREA = 104 SQ. FT.
WOOD DECK AREA = 256 SQ. FT.

NOTES:

WALL LEGEND

- STANDARD FRAME WALLS
- 1-HR FIRE-RATED WALL PARTITION
- LOAD BEARING WALLS
- POURED CONCRETE WALLS
- ⓔ EGRESS WINDOW
- ⓓ TEMPERED GLASS

PROJECT DATA



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ROCKLAND COUNTY, NEW YORK
TAX LOT # 68.15-2-78.2

MAIN FLOOR PLAN

START DATE: 24 JULY 2025

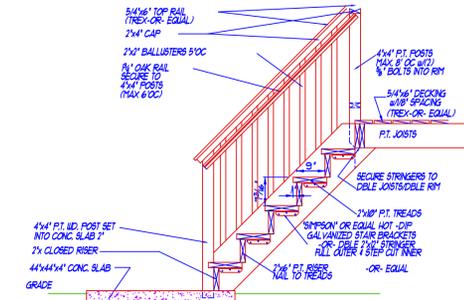
PROJECT # 2025-DA-4

SCALE 1/4" = 1'-0"

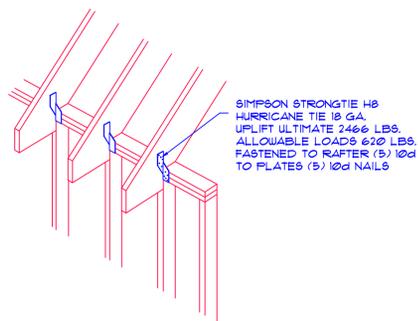
DWG. No.

A-5

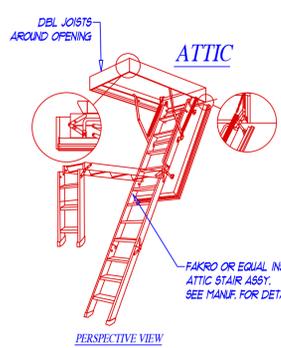




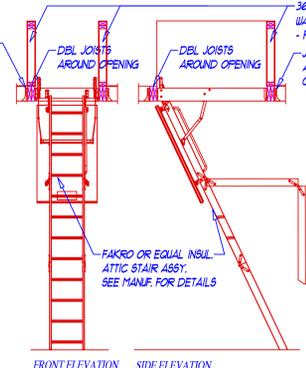
EXTERIOR STAIR DETAIL
SCALE 1/2" = 1'-0"



SIMPSON STRONGTIE H8 HURRICANE TIE IS GA. UPLIFT ULTIMATE 2466 LBS. ALLOWABLE LOADS 630 LBS. FASTENED TO RAFTERS (S) 10d TO PLATES (B) 10d NAILS

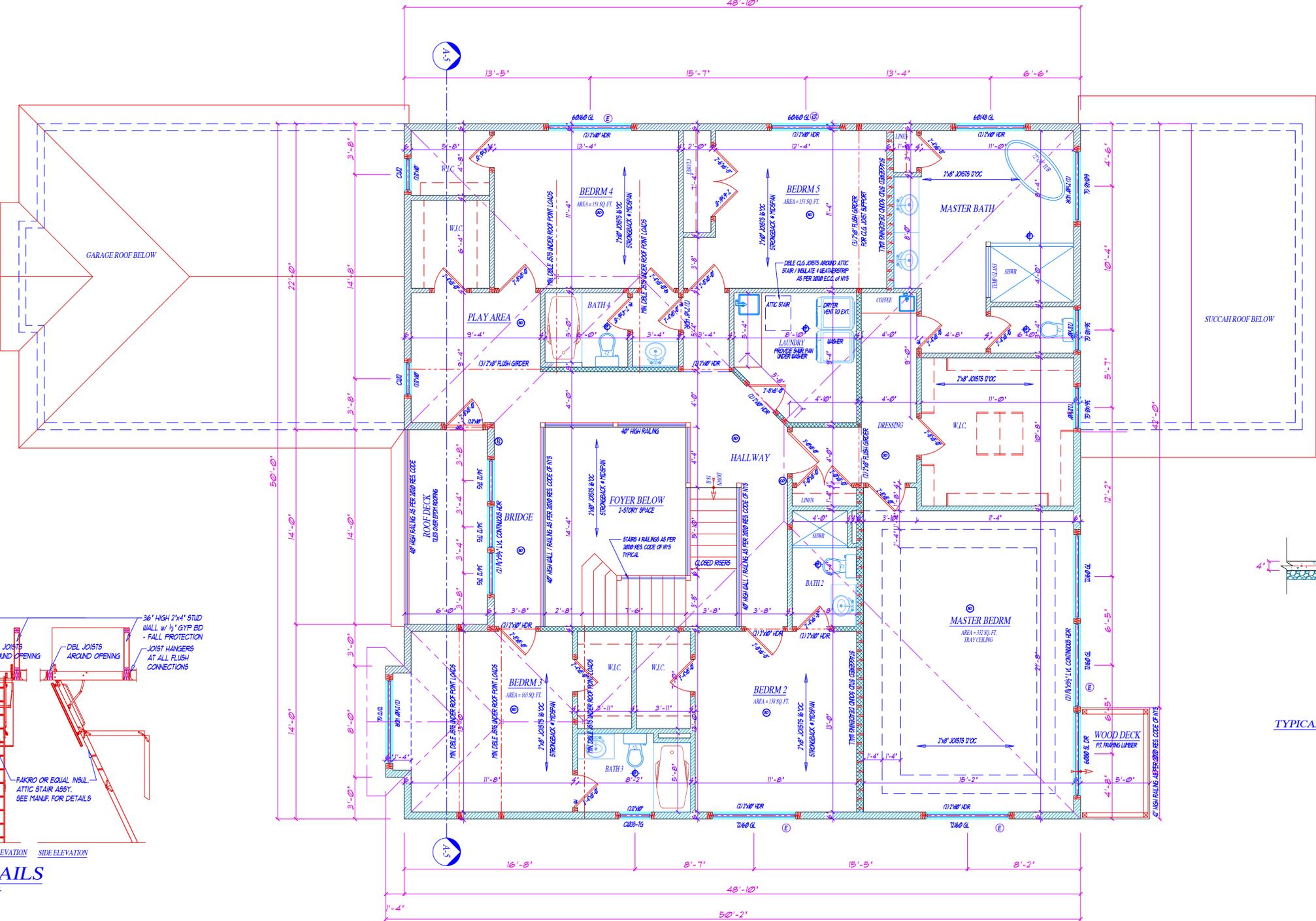


DBL JOISTS AROUND OPENING
FAKRO OR EQUAL INBL. ATTIC STAIR ASSY. SEE MANUF. FOR DETAILS



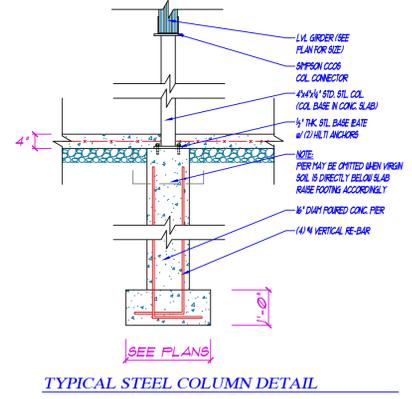
JOIST HANGERS AT ALL FLUSH CONNECTIONS
DBL JOISTS AROUND OPENING
36\"/>

ATTIC STAIR DETAILS
PROVIDE GUARD RAIL AROUND OPENING AS REQ'D.
SCALE: N.T.S.



SECOND FLOOR PLAN

2ND FLOOR AREA = 2,368 SQ. FT.
OPEN AREA = 182 SQ. FT.
2ND FLR LIVING AREA = 2,186 SQ. FT.



TYPICAL STEEL COLUMN DETAIL

ELECTRIC LEGEND
NOTE - ALL ELECTRICAL TO COMPLY WITH LATEST NEC

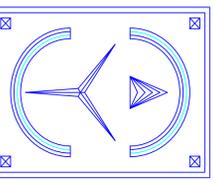
- ⊕ EXHAUST FAN w/ LIGHT (2) BATHS
- ⊕ SMOKE DETECTOR (HANG UNIED TOGETHER w/ BATT BACKUP)
- ⊕ CARBON MONOXIDE DETECTOR

NOTES:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. LOANED TO THE CLIENT FOR USE AS A CONSTRUCTION GUIDE FOR THIS PROJECT ONLY. SUBSTITUTIONS AND/OR REVISIONS MADE DIFFERING FROM THESE PLANS WITHOUT WRITTEN NOTICE SHALL VOID ARCHITECT'S RESPONSIBILITY. ARCHITECT NOT LIABLE FOR EXISTING AND IMPROPER CONDITIONS.

WALL LEGEND

- STANDARD FRAME WALLS
- LOAD BEARING WALLS
- POURED CONCRETE WALLS
- EGRESS WINDOW
- TEMPERED GLASS

PROJECT DATA



ERIC KNUTE OSBORN ARCHITECT
48 YEARS' EXPERIENCE
RESIDENTIAL - COMMERCIAL - ADDITIONS
58 BARNES ROAD
WASHINGTONVILLE, NY 10992
EMAIL - EKOSBORNARCHITECT@GMAIL.COM
(845) 629-7474

PROJECT
NEW RESIDENCE FOR MR. & MRS. DAVID AUSCH
131 S. HIGHLAND AVE. PEARL RIVER
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK
TAX LOT # 68.15-2-78.2

SECOND FLOOR PLAN

START DATE: 24 JULY 2025

PROJECT # 2025-DA-4
SCALE 1/4" = 1'-0"
DWG. No.
A-6



7 SEP. 2025