

PROJECT:  
**HEGARTY HOMES**  
SUBDIVISION PLAN  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY, NEW YORK



APPLICANT:  
HEGARTY HOMES, INC.  
75 MICHAEL ROBERTS COURT  
PEARL RIVER, NEW YORK 10965

SURVEYOR:  
JAY A. GREENWELL, PLS., LLC  
34 WAYNE AVENUE  
SUFFERN, NEW YORK 10901  
TEL: 845.357.0830

**SUBDIVISION NOTES:**

- THIS IS A SUBDIVISION OF TAX LOTS 70.05-1-14.1, 70.05-1-14.2 & 70.05-1-17.1 AS SHOWN ON THE TOWN OF ORANGETOWN MAP.
- RECORD OWNER: HEGARTY HOMES INC, 75 MICHAEL ROBERTS COURT, PEARL RIVER, NY 10965.
- APPLICANT: SAME AS ABOVE.
- NUMBER OF LOTS: 3 EXISTING, 14 PROPOSED (ONE LOT TO BE CONVEYED TO THE TOWN OF ORANGETOWN).
- AREA = 286,970 SF = 6.588 AC
- ZONE: R-15
- ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND. THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP, AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239 L&N OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
- THIS PLAT IS SUBJECT TO DETAILS OF GRADING, ROADS AND UTILITIES AS SHOWN ON CONSTRUCTION PLANS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK. LOT DRAINAGE SHOWN ON SUCH PLANS SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND & SHALL NOT BE DISTURBED.
- ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SITE PLAN SHALL BE RELOCATED AT THE DEVELOPERS EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
- NO BUILDING PERMIT SHALL BE ISSUED UNTIL SITE PLANS HAVE BEEN APPROVED BY ACABOR AND/OR HABR.
- NO BUILDING PERMIT SHALL BE ISSUED UNTIL RESULTS OF TEST PITS HAVE BEEN SUBMITTED TO THE BUILDING DEPT.
- MONUMENTS ARE TO BE SET AT ALL CORNERS OF ORIGINAL PARCEL WHERE NOT OTHERWISE MARKED. (SHOWN THUS: X)
- WATER SUPPLY: VEOLIA WATER NEW YORK.
- DATUM: NAVD 88.
- NEW TAX LOTS NUMBERS SHOWN THUS: [ ]
- THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER & AT LEAST 30" IN LENGTH, TO BE INSTALLED AFTER FINAL GRADING.
- ALL AREAS DISTURBED BY ON-SITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING.
- SIDEWALKS AND CURBS, WHERE REQUIRED, SHALL BE INSTALLED IN ACCORDANCE WITH HIGHWAY DEPT. SPECIFICATIONS. (SEE APPROVED "GRADING, DRAINAGE, SOIL EROSION & UTILITY PLAN" ON FILE WITH THE TOWN OF ORANGETOWN).
- ALL SEWER CONNECTIONS SHALL BE APPROVED BY THE ORANGETOWN DEPT. OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING. THE TOWN OF ORANGETOWN DEPT. OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY SANITARY SEWER WORK BEING PERFORMED.
- THE APPLICANT'S ENGINEER SHALL PROVIDE A COPY OF THE FIELD PERC TEST TO THE TOWN OF ORANGETOWN DEPT. OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING (DEME) AND THE BUILDING DEPT. PRIOR TO THE SIGNING OF THE PLAT, TO ENSURE ADEQUACY OF DESIGNED DRAINAGE SYSTEM.
- AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES & VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPT. SUPT. OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING & PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
- PLANS COMPLIANT WITH STORMWATER MANAGEMENT PHASE II REGULATIONS.
- ALL LANDSCAPING SHOWN ON THE SUBDIVISION PLANS SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
- PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION & SEDIMENTATION CONTROL AS REQUIRED BY THE PLANNING BOARD. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE TOWN D.E.M.E. SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION & SEDIMENTATION CONTROL MEASURES. THE APPLICANT SHALL CONTACT DEME AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTOR TO BE PRESENT AT THE SITE.
- NO BUILDING PERMIT WILL BE ISSUED UNTIL SEWAGE DISPOSAL ARRANGEMENTS HAVE BEEN APPROVED BY THE ROCKLAND COUNTY DEPT. OF HEALTH AND/OR THE TOWN OF ORANGETOWN.
- SANITARY SEWER INFILTRATION & EXFILTRATION LIMIT IS 100 GALLONS PER INCH DIAMETER PER PER DAY. CERTIFICATES OF OCCUPANCY SHALL NOT BE REQUIRED UNTIL A CERTIFICATE OF OCCUPANCY IS PERMITTED, UNTIL A CERTIFICATE OF COMPLIANCE CERTIFIED BY A LICENSED NYS PROFESSIONAL ENGINEER, IS SUBMITTED TO AND APPROVED BY THE TOWN OF ORANGETOWN. COPIES OF THIS CERTIFICATE SHALL BE SENT TO THE ROCKLAND COUNTY DEPARTMENT OF HEALTH.
- THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS THAT WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES ARE AS FOLLOWS:
  - NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
  - THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH TREES.
  - TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT.
  - THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
    - ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH.
    - DRIP LINE OF THE TREE CANOPY.
- ALL HOUSES SHALL BE SERVED BY GRAVITY SEWER CONNECTIONS WITH A MIN. SLOPE OF 2%.
- HOUSE SEWER AND WATER SERVICE LINES SHALL BE LAID IN SEPARATE TRENCHES WITH A MIN. SEPARATION OF 10 FEET.
- THE CONTRACTOR'S TRAILER, IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE PLANNING BOARD.
- IF THE APPLICANT, DURING THE COURSE OF CONSTRUCTION, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREAS, UNDERGROUND WATER, SOFT OR SILTY AREAS, IMPROPER DRAINAGE OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL PLANNING BOARD APPROVAL, THE APPLICANT SHALL BE REQUIRED IMMEDIATELY TO DEME. THE APPLICANT SHALL SUBMIT THEIR RECOMMENDATIONS AS TO SPECIAL TREATMENT TO BE GIVEN SUCH AREAS TO SECURE ADEQUATE, PERMANENT AND SATISFACTORY CONSTRUCTION. DEME SHALL INVESTIGATE THE CONDITION(S) AND SHALL EITHER APPROVE THE APPLICANT'S RECOMMENDATIONS TO CORRECT THE CONDITION(S), OR ORDER A MODIFICATION THEREOF. IN THE EVENT OF THE APPLICANT'S DISAGREEMENT WITH THE DECISION OF DEME, OR IN THE EVENT OF A SIGNIFICANT CHANGE RESULTING TO THE SUBDIVISION PLAN, OR SITE PLAN, OR ANY CHANGE THAT INVOLVES A WETLAND REGULATED AREA, THE MATTER SHALL BE DECIDED BY THE AGENCY WITH JURISDICTION IN THAT AREA (i.e. WETLANDS-US ARMY CORP OF ENGINEERS).
- PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE COMPLETION OF CONSTRUCTION.
- THE PLANNING BOARD SHALL RETAIN CONTROL OVER LIGHTING, LANDSCAPING, SIGNS & REFUSE CONTROL.
- ALL EXISTING STRUCTURES SHALL BE REMOVED PRIOR TO THE SIGNING OF THE SUBDIVISION PLAT.
- ROCKLAND COUNTY DEPARTMENT OF HEALTH (RCDH) APPROVAL IS LIMITED TO 5 YEARS AND SHALL EXPIRE 5 YEARS FROM THE DATE OF THE RCDH APPROVAL. TIME EXTENSIONS MAY BE GRANTED BY THE RCDH BASED UPON DEVELOPMENT FACTS AND THE REALTY SUBDIVISION REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
- A NOTE SHALL BE ADDED TO THE PLANS STATING THAT THE TOWN OF ORANGETOWN SEWER INSPECTOR SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY WORK BEING DONE ON OR NEAR ANY OF THE PROPOSED SANITARY SEWER IMPROVEMENTS AND OR THE PROPOSED SANITARY HOUSE CONNECTIONS.

**NET LOT AREA BREAKDOWN:**

LOT #1:	GROSS AREA = 57,016 SF
LOT #2:	GROSS AREA = 15,478 SF
LOT #3:	GROSS AREA = 15,155 SF
LOT #4:	GROSS AREA = 15,439 SF
LOT #5:	GROSS AREA = 14,668 SF
LOT #6:	GROSS AREA = 15,716 SF
LOT #7:	GROSS AREA = 17,297 SF
LOT #8:	GROSS AREA = 16,056 SF
LOT #9:	GROSS AREA = 15,899 SF
LOT #10:	GROSS AREA = 16,022 SF
LOT #11:	GROSS AREA = 14,778 SF
LOT #12:	GROSS AREA = 14,771 SF
LOT #13:	GROSS AREA = 16,002 SF
LOT #14:	GROSS AREA = 17,789 SF

**NET LOT AREA BREAKDOWN:**

LOT #5:	GROSS AREA = 14,668 SF
LOT #6:	GROSS AREA = 15,716 SF
LOT #7:	GROSS AREA = 17,297 SF
LOT #8:	GROSS AREA = 16,056 SF
LOT #9:	GROSS AREA = 15,899 SF
LOT #10:	GROSS AREA = 16,022 SF
LOT #11:	GROSS AREA = 14,778 SF
LOT #12:	GROSS AREA = 14,771 SF
LOT #13:	GROSS AREA = 16,002 SF
LOT #14:	GROSS AREA = 17,789 SF

**NET LOT AREA BREAKDOWN:**

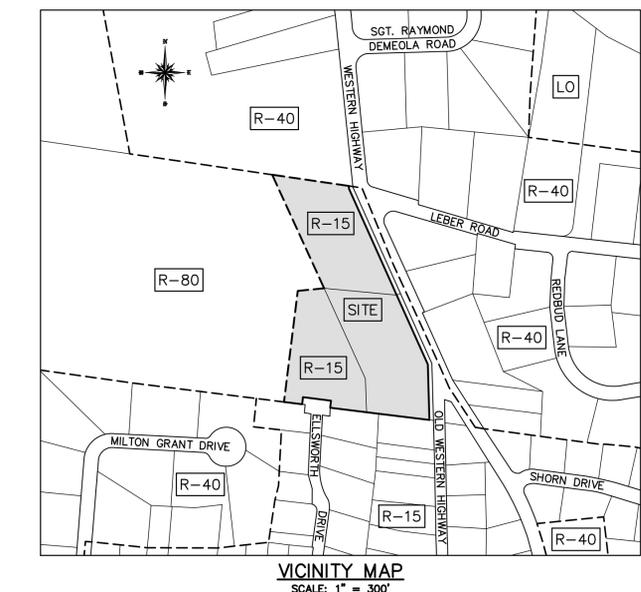
LOT #1:	GROSS AREA = 57,016 SF
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LOT #12:	GROSS AREA = 14,771 SF
LOT #13:	GROSS AREA = 16,002 SF
LOT #14:	GROSS AREA = 17,789 SF



**REFERENCES:**  
1. MAP ENTITLED "SUBDIVISION PLAT FOR ELLSWORTH ESTATES", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP 7172.  
2. MAP ENTITLED "SUBDIVISION PLAT FOR HUDSON VALLEY ESTATES", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP 7173.

**DISTRICTS:**  
SCHOOL: PEARL RIV UFSD 392408  
FIRE: BLAUVELT FD000  
WATER: BLAUVELT W1001  
LIBRARY: BLAUVELT LB002  
AMBULANCE: SO ORANGETOWN AM001  
SEWER: TOWN OF ORANGETOWN

APPROVAL-ROCKLAND COUNTY DRAINAGE AGENCY	OWNERS APPROVAL FOR FILING:
CHAIRMAN _____ DATE _____	OWNER _____ DATE _____
HEALTH DEPARTMENT APPROVAL	ORANGETOWN PLANNING BOARD APPROVAL:
THIS IS TO CERTIFY THAT THE "HEGARTY HOMES SUBDIVISION PLAN" WAS APPROVED ON THE DATE SHOWN BELOW. CONSENT IS HEREBY GIVEN TO THE FILING OF THIS MAP IN THE OFFICE THE COUNTY CLERK OF ROCKLAND COUNTY. THIS APPROVAL IS NULL AND VOID IF WATER AND SEWAGE DISPOSAL FACILITIES ARE NOT INSTALLED IN ACCORDANCE WITH THE FILED PLANS OR AMENDMENTS THERETO APPROVED BY THE DEPARTMENT.	
SENIOR PUBLIC HEALTH ENGINEER _____ P.E. _____ DATE _____	



BULK REGULATIONS - R-15 - SINGLE FAMILY DETACHED RESIDENCES									
	MINIMUM LOT AREA	MINIMUM LOT WIDTH	MINIMUM STREET FRONTAGE	MINIMUM FRONT YARD	MINIMUM SIDE YARD	TOTAL SIDE YARDS	MINIMUM REAR YARD	MAXIMUM BUILDING HEIGHT	MAXIMUM F.A.R.
REQUIRED	15,000 SF	100 FT	75 FT	30 FT	20 FT	50 FT	35 FT	1 FT / 1 FT	0.20
PROVIDED LOT #1	57,016 SF								
PROVIDED LOT #2	15,155 SF	102 FT	99.7 FT	30'+	20'+	50'+	35'+	<1' / FT	< 0.20
PROVIDED LOT #3	15,387 SF	100 FT	100 FT	30'+	20'+	50'+	35'+	<1' / FT	< 0.20
PROVIDED LOT #4	16,669 SF	167 FT	255.8 FT	30'+	20'+	50'+	35'+	<1' / FT	< 0.20
PROVIDED LOT #5	15,439 SF	115 FT	122.1 FT	30'+	20'+	50'+	35'+	<1' / FT	< 0.20
PROVIDED LOT #6	15,564 SF	100 FT	75.5 FT	30'+	20'+	50'+	35'+	<1' / FT	< 0.20
PROVIDED LOT #7	15,238 SF	123 FT	84.6 FT	30'+	20'+	50'+	35'+	<1' / FT	< 0.20
PROVIDED LOT #8	15,306 SF	114 FT	75.1 FT	30'+	20'+	50'+	35'+	<1' / FT	< 0.20
PROVIDED LOT #9	15,415 SF	123 FT	77.3 FT	30'+	20'+	50'+	35'+	<1' / FT	< 0.20
PROVIDED LOT #10	15,820 SF	126 FT	134.2 FT	30'+	20'+	50'+	35'+	<1' / FT	< 0.20
PROVIDED LOT #11	15,329 SF	128 FT	220.8 FT	30'+	20'+	50'+	35'+	<1' / FT	< 0.20
PROVIDED LOT #12	16,024 SF	129 FT	141.5 FT	30'+	20'+	50'+	35'+	<1' / FT	< 0.20
PROVIDED LOT #13	16,729 SF	101 FT	100.0 FT	30'+	20'+	50'+	35'+	<1' / FT	< 0.20
PROVIDED LOT #14	17,789 SF	108 FT	75 FT	30'+	20'+	50'+	35'+	<1' / FT	< 0.20

DISCLAIMER:  
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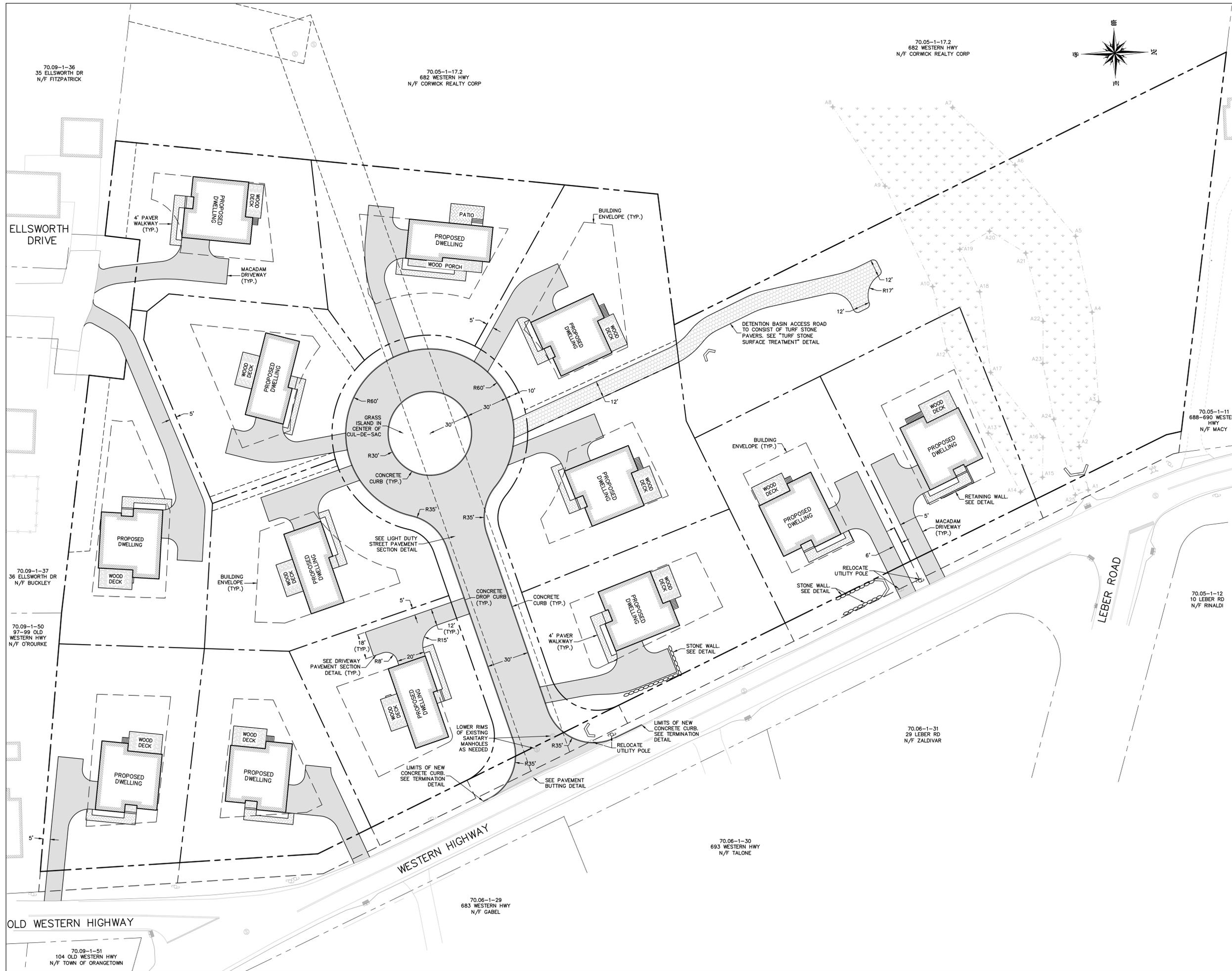
PROJECT:  
**HEGARTY HOMES**  
SUBDIVISION PLAN

SCALE: 1" = 40'  
0 40' 80'

SHEET TITLE:  
**SUBDIVISION PLAT**

DRAWN BY: MR/AG CHECKED BY: SS/JAG  
DATE: 4.30.25 PROJECT NO: 2510

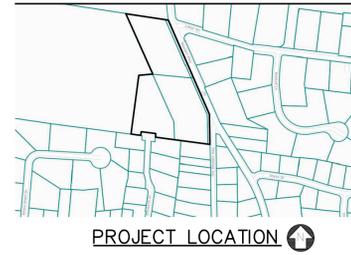
SHEET NUMBER:  
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PROJECT:

**HEGARTY HOMES  
SUBDIVISION PLAN**

TOWN OF ORANGETOWN  
ROCKLAND COUNTY, NEW YORK



APPLICANT:  
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75 MICHAEL ROBERTS COURT  
PEARL RIVER, NEW YORK 10965

SURVEYOR:  
JAY A. GREENWELL, PLS, LLC  
34 WAYNE AVENUE  
SUFFERN, NEW YORK 10901  
TEL: 845.357.0830

REV	DESCRIPTION	BY	DATE

SEAL:

STUART STROW  
PROFESSIONAL ENGINEER  
N.Y.S. Lic. No. 66876

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PROJECT:

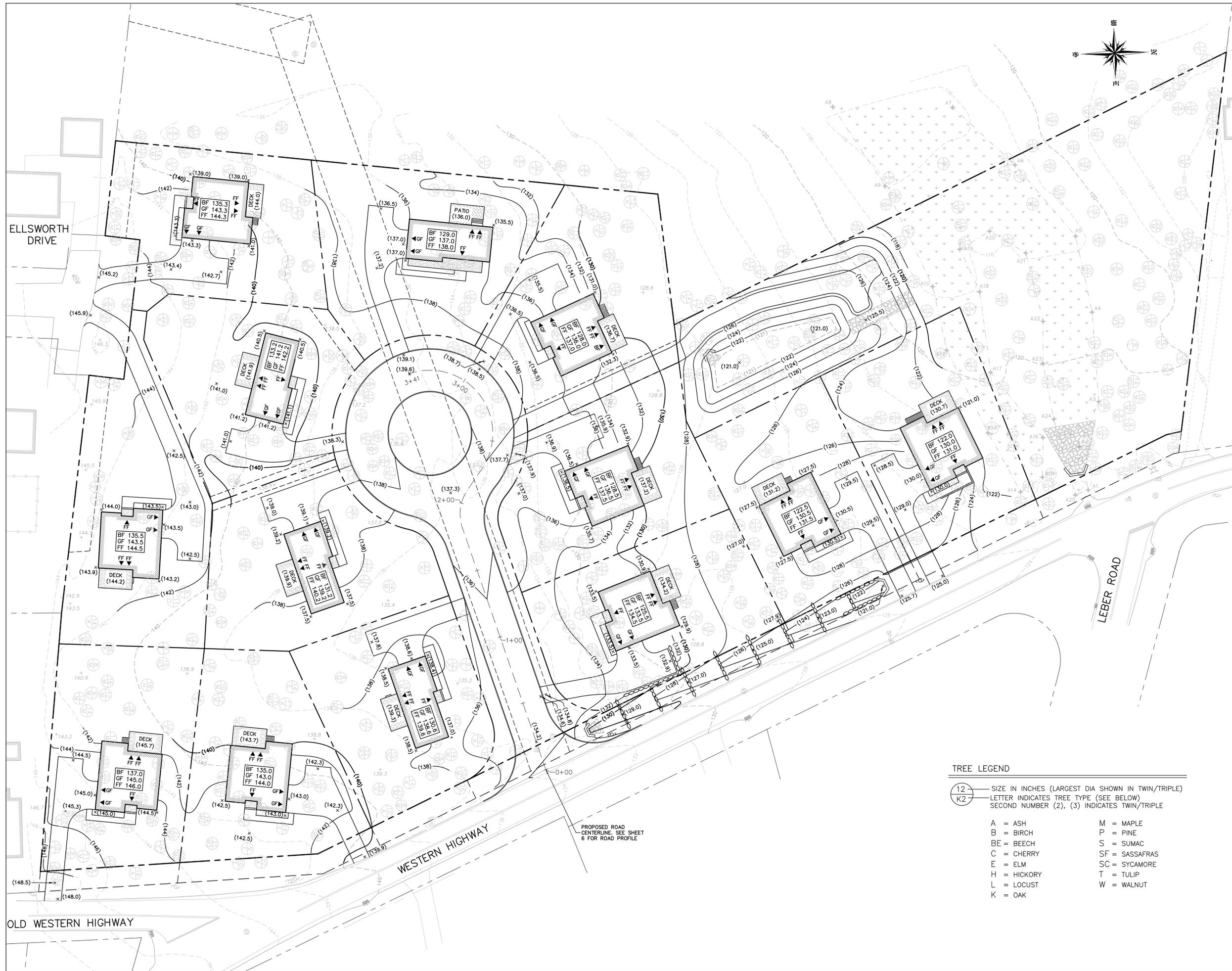
**HEGARTY HOMES  
SUBDIVISION PLAN**

SCALE: 1" = 30'

SHEET TITLE:

**PLANIMETRIC SITE  
LAYOUT PLAN**

DRAWN BY: MR/AG CHECKED BY: SS/JAG  
DATE: 4.30.25 PROJECT NO: 2510  
SHEET NUMBER:



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**HEGARTY HOMES  
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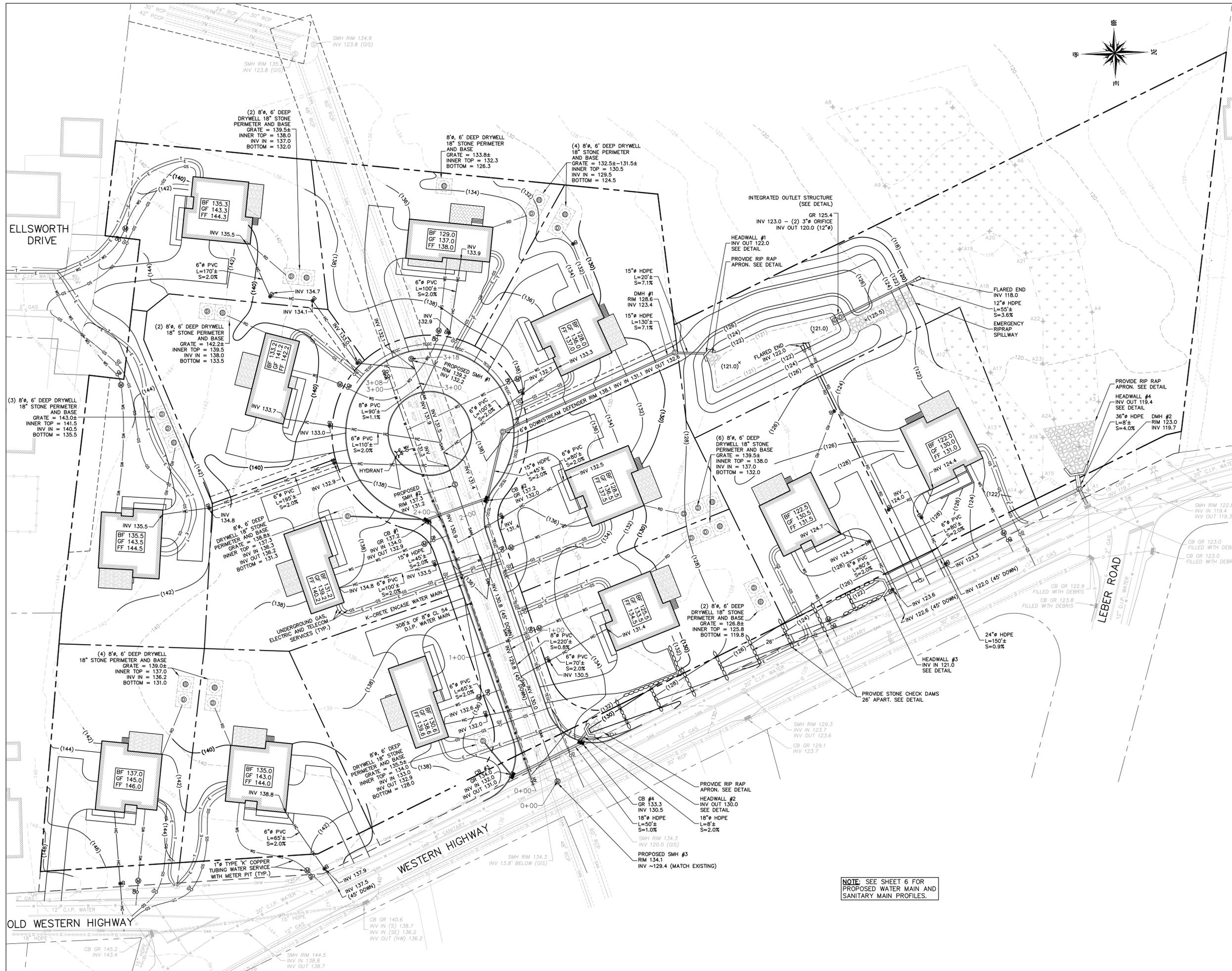
PROJECT:  
**HEGARTY HOMES  
SUBDIVISION PLAN**

SCALE: 1" = 30'

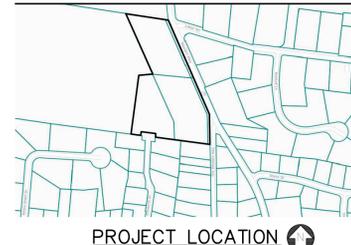
SHEET TITLE:  
**GRADING PLAN**

DRAWN BY: MR/AG CHECKED BY: SS/JAG  
DATE: 4.30.25 PROJECT NO: 2510  
SHEET NUMBER:

- TREE LEGEND**
- 12" — SIZE IN INCHES (LARGEST DIA SHOWN IN TWIN/TRIPLE)  
K2 — LETTER INDICATES TREE TYPE (SEE BELOW)  
SECOND NUMBER (2), (3) INDICATES TWIN/TRIPLE
- |             |                |
|-------------|----------------|
| A = ASH     | M = MAPLE      |
| B = BIRCH   | P = PINE       |
| BE = BEECH  | S = SUMAC      |
| C = CHERRY  | SF = SASSAFRAS |
| E = ELM     | SC = SYCAMORE  |
| H = HICKORY | T = TULIP      |
| L = LOCUST  | W = WALNUT     |
| K = OAK     |                |



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**PROJECT:**  
**HEGARTY HOMES SUBDIVISION PLAN**

**SCALE:**  
 1" = 30'

**SHEET TITLE:**  
**UTILITY PLAN**

**DRAWN BY:** MR/AG **CHECKED BY:** SS/JAG  
**DATE:** 4.30.25 **PROJECT NO:** 2510  
**SHEET NUMBER:**

**NOTE:** SEE SHEET 6 FOR PROPOSED WATER MAIN AND SANITARY MAIN PROFILES.

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REV	DESCRIPTION	BY	DATE



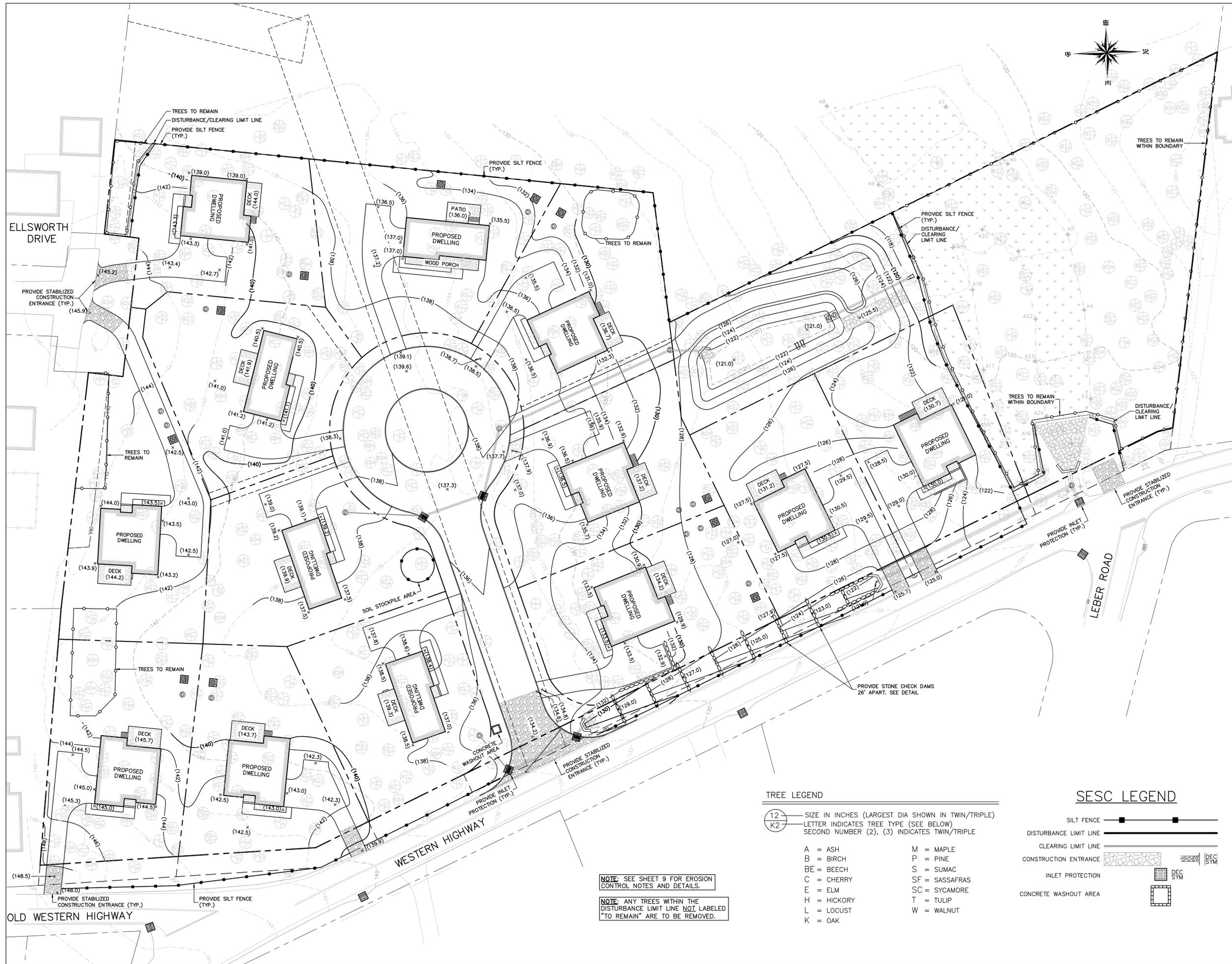
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PROJECT:  
**HEGARTY HOMES  
SUBDIVISION PLAN**

SCALE: 1" = 30'  
0 30' 60'

SHEET TITLE:  
**EROSION & SEDIMENT  
CONTROL PLAN**

DRAWN BY: MR/AG CHECKED BY: SS/JAG  
DATE: 4.30.25 PROJECT NO: 2510  
SHEET NUMBER:



**NOTE:** SEE SHEET 9 FOR EROSION CONTROL NOTES AND DETAILS.  
**NOTE:** ANY TREES WITHIN THE DISTURBANCE LIMIT LINE NOT LABELED "TO REMAIN" ARE TO BE REMOVED.

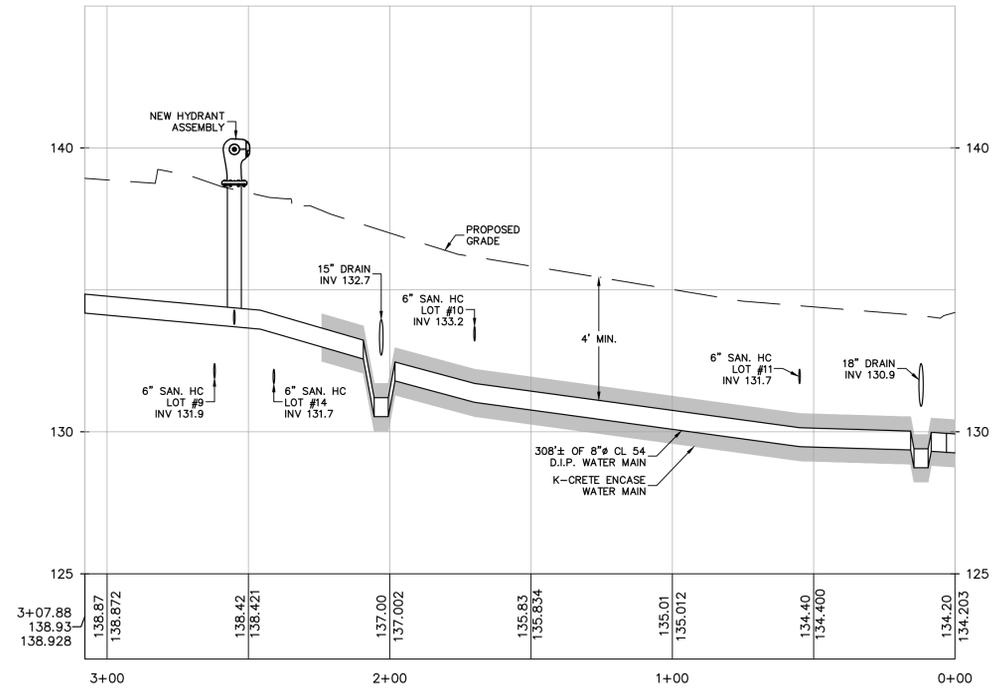
**TREE LEGEND**

12 — SIZE IN INCHES (LARGEST DIA SHOWN IN TWIN/TRIPLE)  
K2 — LETTER INDICATES TREE TYPE (SEE BELOW)  
SECOND NUMBER (2), (3) INDICATES TWIN/TRIPLE

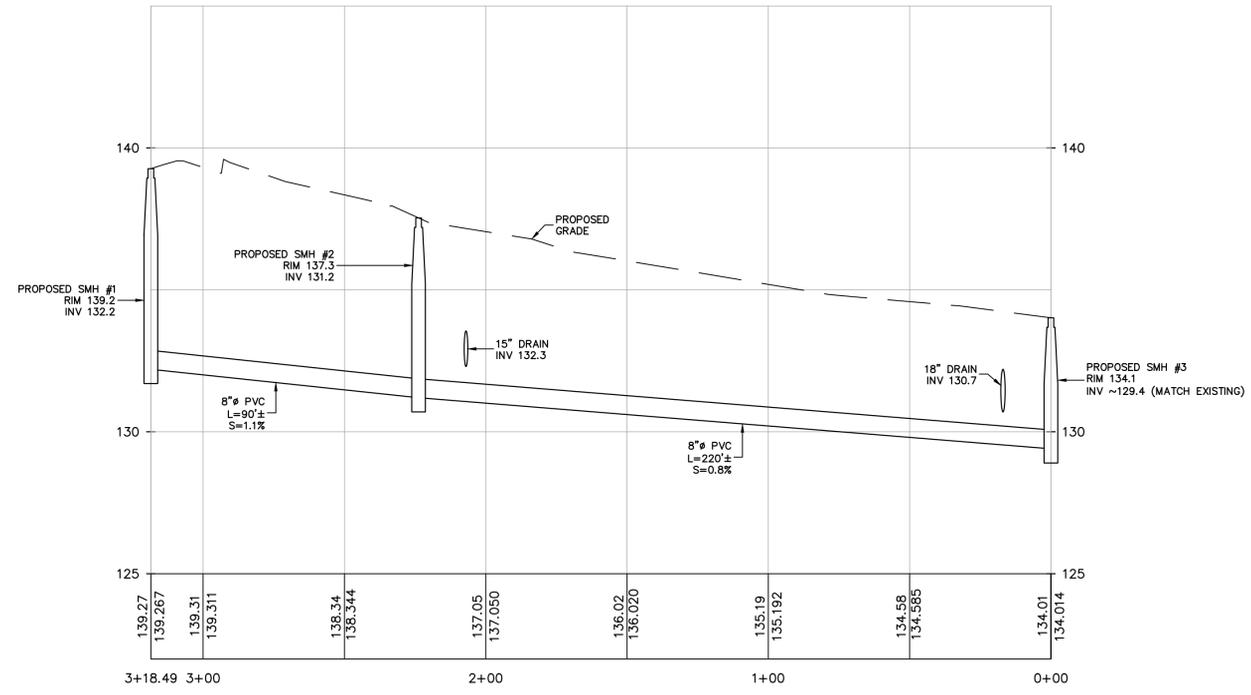
A = ASH	M = MAPLE
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C = CHERRY	SF = SASSAFRAS
E = ELM	SC = SYCAMORE
H = HICKORY	T = TULIP
L = LOCUST	W = WALNUT
K = OAK	

**SESC LEGEND**

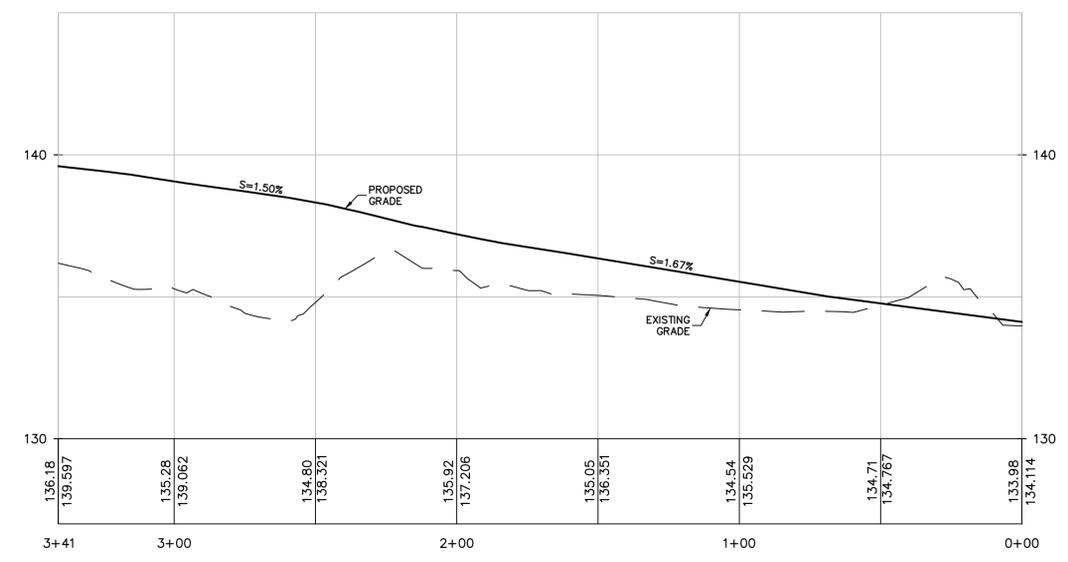
SILT FENCE	—■—■—
DISTURBANCE LIMIT LINE	—
CLEARING LIMIT LINE	—
CONSTRUCTION ENTRANCE	— [SYMBOL] —
INLET PROTECTION	— [SYMBOL] —
CONCRETE WASHOUT AREA	— [SYMBOL] —



**PROFILE**  
PROPOSED WATER MAIN  
SCALE: HORIZ. 1"=30'  
SCALE: VERT. 1"=3'



**PROFILE**  
PROPOSED SANITARY MAIN  
SCALE: HORIZ. 1"=30'  
SCALE: VERT. 1"=3'



**PROFILE**  
ROAD PROFILE  
SCALE: HORIZ. 1"=30'  
SCALE: VERT. 1"=3'

REV	DESCRIPTION	BY	DATE

SEAL:  
  
STUART STROW  
PROFESSIONAL ENGINEER  
N.Y.S. Lic. No. 66876

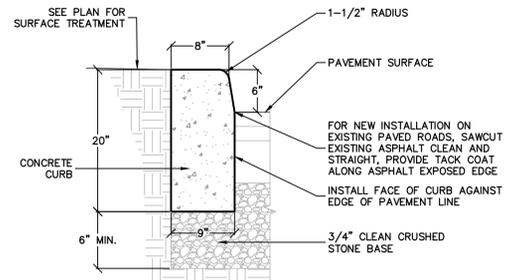
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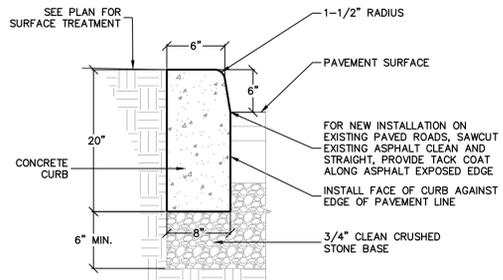
SCALE: AS SHOWN

SHEET TITLE:  
**ROAD & UTILITY  
PROFILES**

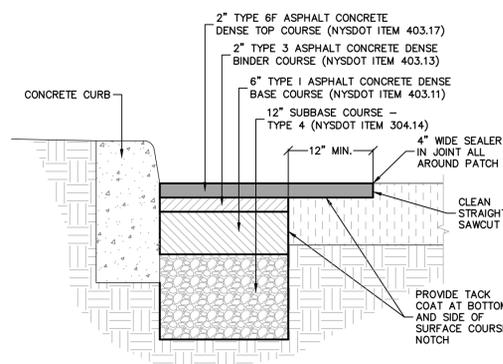
DRAWN BY: MR/AG CHECKED BY: SS/JAG  
DATE: 4.30.25 PROJECT NO: 2510  
SHEET NUMBER:



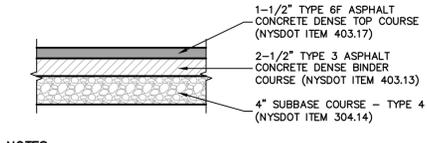
**R.C.H.D. CURB DETAIL**  
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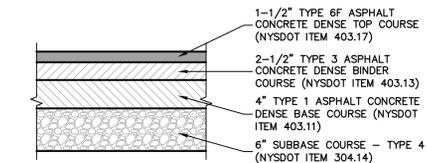
**MUNICIPAL CURB DETAIL**  
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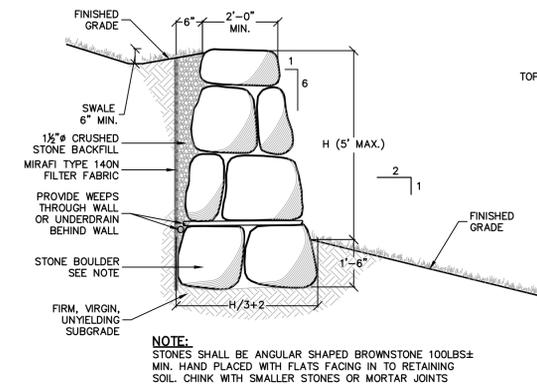
**R.C.H.D. CURB/PAVEMENT WIDENING SECTION**  
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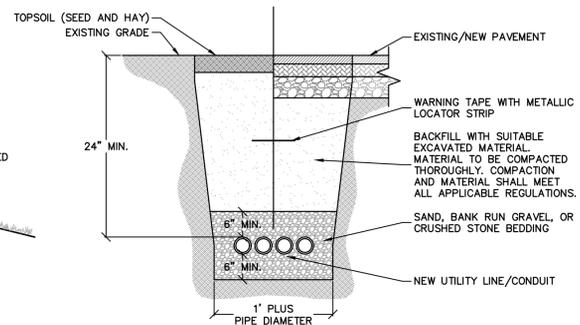
**DRIVEWAY PAVEMENT SECTION**  
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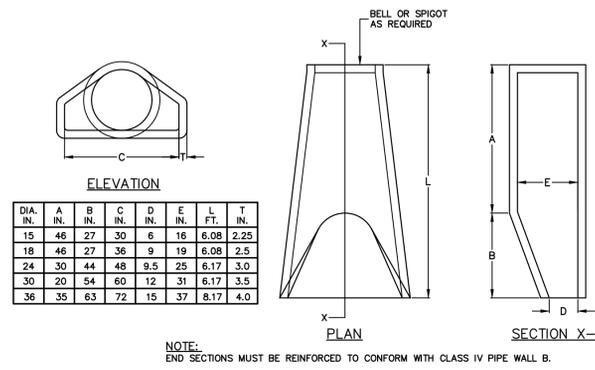
**LIGHT DUTY STREET PAVEMENT SECTION**  
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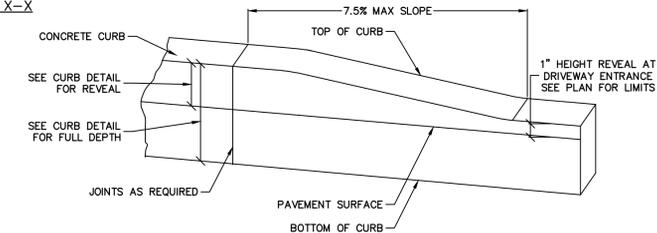
**TYPICAL STONE WALL CROSS SECTION**  
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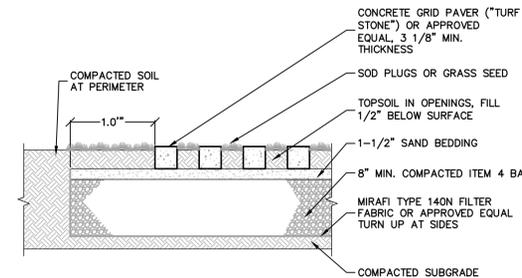
**CONDUIT TRENCH DETAIL**  
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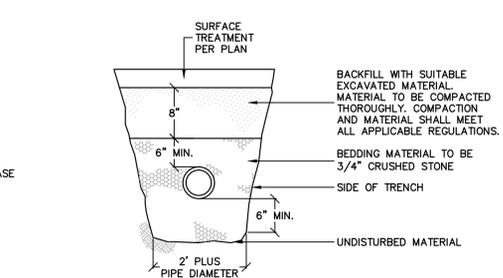
**FLARED END SECTION DETAIL**  
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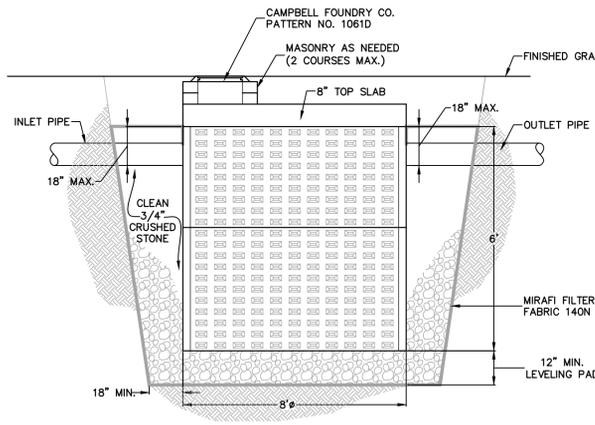
**TRANSITION CURB DETAIL**  
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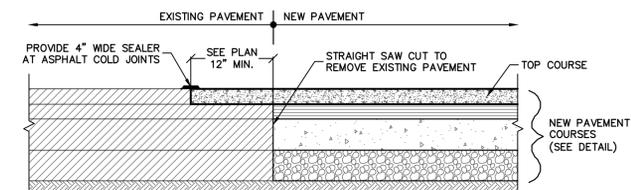
**TURF STONE SURFACE TREATMENT**  
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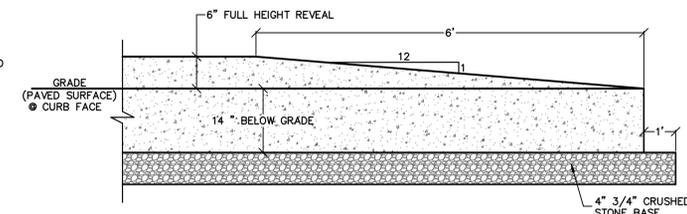
**SEWER LATERAL TRENCH DETAIL**  
N.T.S.



**TYPICAL STORMWATER DRYWELL DETAIL**  
N.T.S.



**PAVEMENT BUTTING DETAIL**  
N.T.S.



**CURB TERMINAL DETAIL**  
N.T.S.

- NOTES:**
- ALL PIPE SYSTEM INSTALLATIONS SHALL MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
  - ALL HDPE PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER RAVITY FLOW APPLICATIONS" (LATEST EDITION).
  - LL RCP PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C76-15, "STANDARD SPECIFICATION FOR REINFORCED CONCRETE CULVERT, STORM DRAIN, AND SEWER PIPE" (LATEST EDITION).
  - FOR NON HDPE OR RCP PIPE INSTALLATIONS, CONTRACTOR SHALL INSTALL PIPE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
  - WHERE THE TRENCH BOTTOM IS UNSTABLE, CONTRACTOR SHALL PROVIDE SUITABLE BACKFILL MATERIAL AS REQUIRED BY ENGINEER OR PER GEOTECH RECOMMENDATIONS.
  - MINIMUM COVER IN TRAFFIC AREAS IS 12" UP TO 48" DIAMETER PIPE AND 24" FOR 54" - 80" DIAMETER PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT.
  - CONTRACTOR SHALL INSTALL SUITABLE MATERIAL FOR INITIAL AND FINAL BACKFILL. BACKFILL COMPACTION SHOULD MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.

**STORM PIPE TRENCH DETAIL**  
N.T.S.

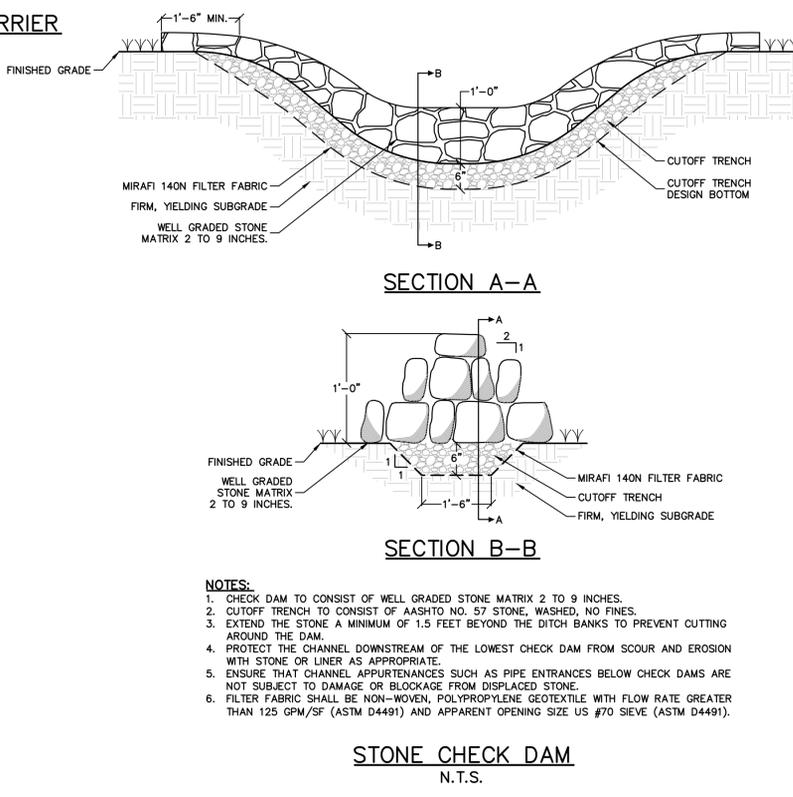
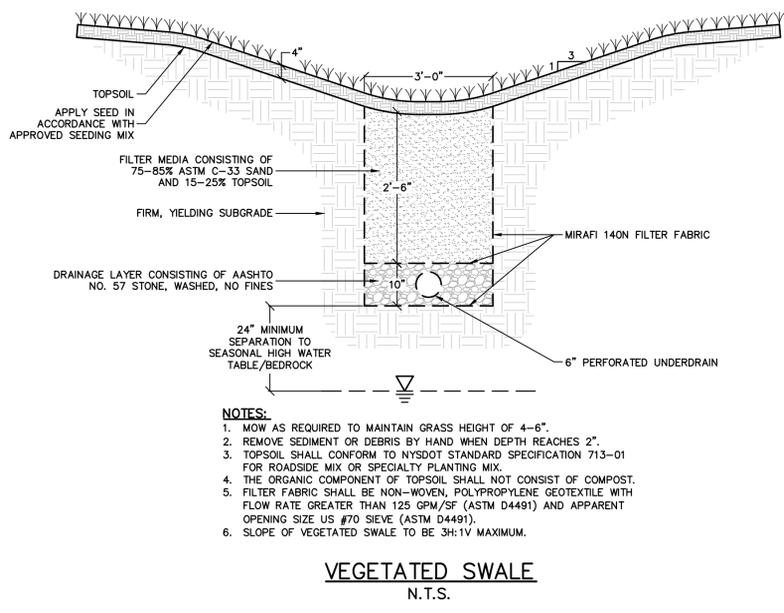
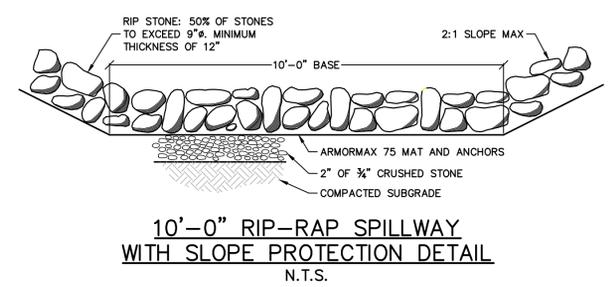
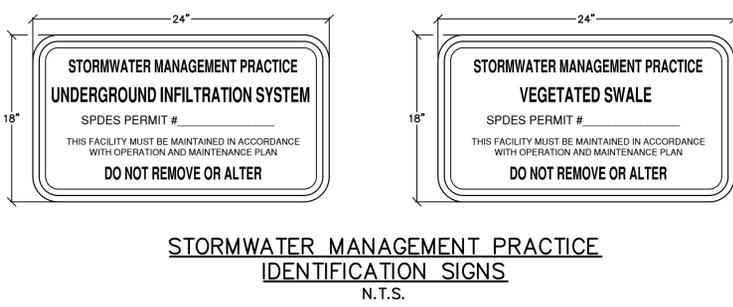
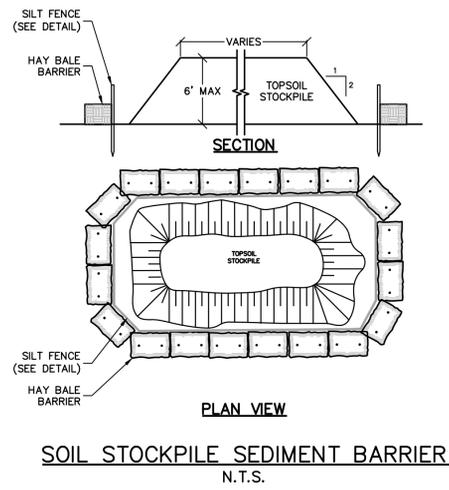
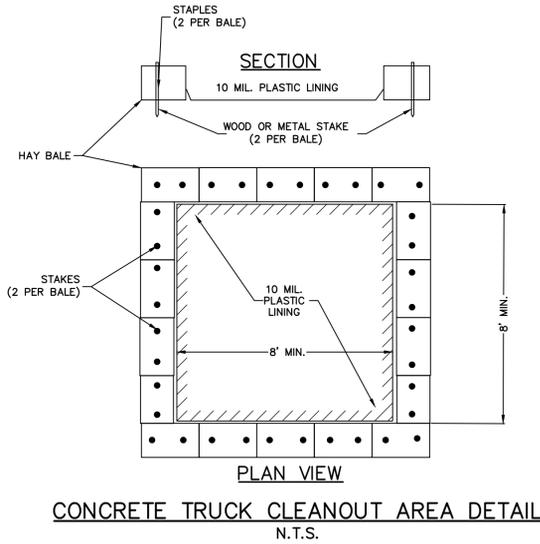
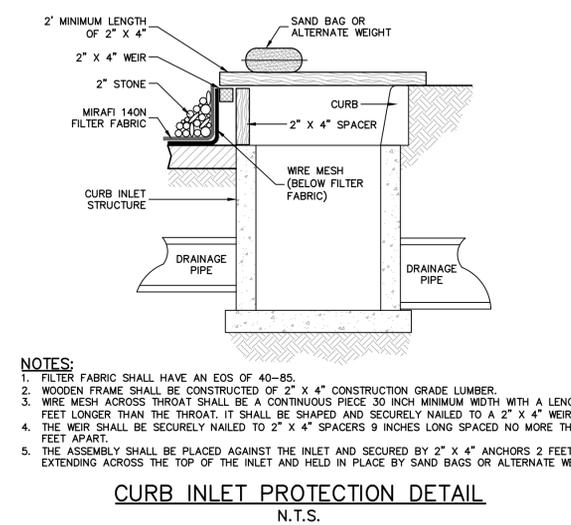
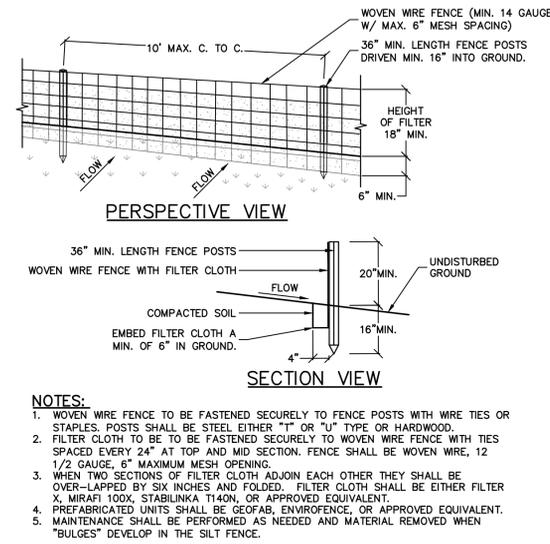
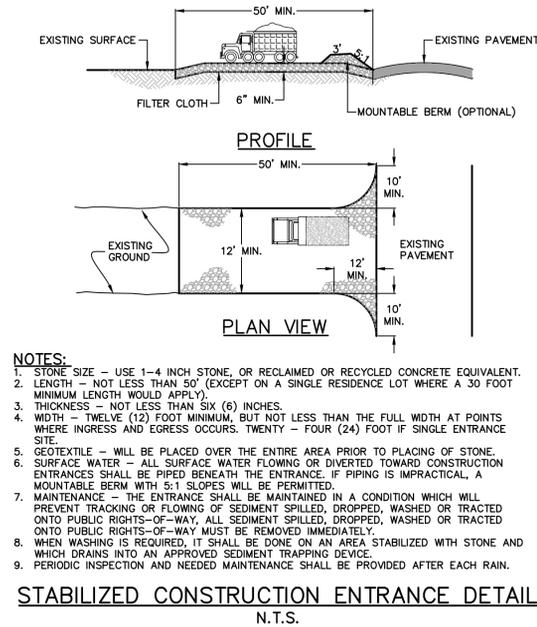
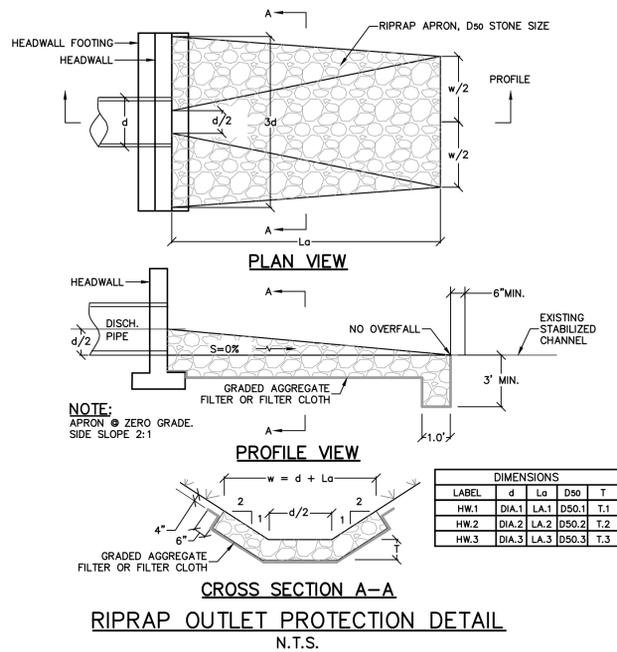


**PROJECT LOCATION**

REV	DESCRIPTION	BY	DATE







- STANDARD EROSION CONTROL NOTES:**
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, AND SHALL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
  - THE SITE AT ALL TIMES SHALL BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
  - THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND INSPECTING ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
  - STOCKPILES ARE NOT TO BE LOCATED WITHIN FLOODPLAIN BUFFER, ON A SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAY BALE SEDIMENT BARRIER OR SILT FENCE.
  - A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
  - ALL SOIL WASHED, DROPPED, SPILLED, OR TRACKED OUTSIDE THE WORK AREA OR ONTO PUBLIC RIGHT-OF-WAY, SHALL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
  - DUST SHALL BE CONTROLLED AT ALL TIMES IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
  - TREES TO REMAIN AFTER CONSTRUCTION WITHIN THE WORK AREA SHALL BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
  - TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTION SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
  - ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN OPEN OR UNFINISHED FOR MORE THAN 10 DAYS SHALL BE TEMPORARILY SEEDDED WITH 1/2 LB. OF RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR HAY PER 1,000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE. A TEMPORARY SEEDING AND/ OR MULCHING SHOULD BE APPLIED TO DISTURBED AREAS THAT ARE LEFT FOR 15 DAYS UNLESS CONSTRUCTION WILL BEGIN WITHIN 30 DAYS.
  - SILT THAT LEAVES THE SITE SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
  - AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SILTATION DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS RE-GRADED, PLANTED, OR TREATED IN ACCORDANCE WITH THE APPROVED PLANS.
  - ALL AREAS DISTURBED BY ON-SITE GRADING, THAT WILL NOT BE CONSTRUCTED UPON, SHALL BE STABILIZED WITH PERMANENT VEGETATIVE COVER, USING THE FOLLOWING SEEDING SCHEDULE, OR EQUIVALENT:
 

	1 LB. PER ACRE	1 LB. PER 1,000 SF
KENTUCKY BLUE GRASS	1	0.45
CREeping RED FESCUE	20	0.45
PERENNIAL RYE GRASS	5	0.10
  - ALL SEEDING AREAS TO HAVE AN APPLICATION OF THE FOLLOWING:
 

	1 LB. PER ACRE	1 LB. PER 1,000 SF
LIME - AMOUNT NEEDED TO OBTAIN A pH OF 5.5		
FERTILIZER - 15 LBS. PER 1,000 SF OF 10-20-10 FERTILIZER OR APPROVED EQUAL		

 IF NOT LANDSCAPED OTHERWISE, ALL NEW CONSTRUCTED STEEP PERMANENT SLOPE LESS THEN 1 (VERTICAL) : 2.5 (HORIZONTAL) TO BE SEEDDED WITH THE FOLLOWING:
 

	1 LB. PER ACRE	1 LB. PER 1,000 SF
CREeping RED FESCUE	10	0.45
CROWN VETCH	15	0.35
BIRDSFOOT TREFOIL	8	0.20
FALL FESCUE OR SMOOTH BROMEGRASS	5	0.35
W/PERENNIAL RYE GRASS	15	0.10
  - ALL SLOPES 1 (VERTICAL) : 2.5 (HORIZONTAL) TO BE MULCHED AND STABILIZED WITH CLOTH FABRIC AND PINNED TO THE GROUND.
  - 500 CAN BE USED INSTEAD OF SEED.
 

CONSTRUCTION SEQUENCE:

    - CONSTRUCT STABILIZING CONSTRUCTION ENTRANCE.
    - INSTALL SEDIMENT BARRIERS AS PER NOTE 1 ABOVE.
    - CONSTRUCT DIVERSIONS SWALES AND DRAINAGE SYSTEMS WITH MINIMUM NECESSARY CLEARING.
    - CLEAR EXISTING TREES AND VEGETATION FROM AREAS TO BE EXCAVATED OR FILLED, STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE DISTURBED WITH THE FOLLOWING:
    - PERFORM NECESSARY EXCAVATION OR FILL OPERATIONS TO BRING SITE TO DESIRED SUBGRADE. INSTALL STORM DRAINAGE SYSTEM.
    - INSTALL SEDIMENT CONTROL BARRIERS AROUND ALL STORM DRAIN INLETS.
    - SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OR 30 DAYS AS PER NOTE 2 ABOVE.
    - AFTER COMPLETION OF THE SITE CONSTRUCTION FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED AS PER NOTES 5 AND 6 ABOVE.
    - REMOVE SEDIMENT BARRIERS AS PER NOTE 4 ABOVE.
    - MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE SPECS.
    - ALL CONSTRUCTION TO MEET CURRENT VILLAGE SPECS.
    - 4" OF TOP SOIL TO BE SPREAD PRIOR TO SEEDING IN ALL DISTURBED AREAS.

REV	DESCRIPTION	BY	DATE



DISCLAIMER:  
UNAUTHORIZED ALTERATION OR ADDITIONS TO THESE PLANS IS A VIOLATION OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 7209, SUBSECTION 2.