

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 3/7/2025

### LAND USE BOARD APPLICATION

Please check all that apply:

|   |   |
|---|---|
| <input type="checkbox"/> Commercial                         | <input checked="" type="checkbox"/> Residential |
| <input checked="" type="checkbox"/> Planning Board          | <input type="checkbox"/> Historical Board       |
| <input checked="" type="checkbox"/> Zoning Board of Appeals | <input type="checkbox"/> Architectural Board    |
| <input type="checkbox"/> Subdivision                        | <input type="checkbox"/> Consultation           |
| <input type="checkbox"/> Number of Lots                     | <input type="checkbox"/> Pre-Preliminary/Sketch |
| <input type="checkbox"/> Site Plan                          | <input type="checkbox"/> Preliminary            |
| <input type="checkbox"/> Conditional Use                    | <input type="checkbox"/> Final                  |
| <input type="checkbox"/> Special Permit                     | <input type="checkbox"/> Interpretation         |
| <input checked="" type="checkbox"/> Variance                |   |
| <input type="checkbox"/> Performance Standards Review       |   |
| <input type="checkbox"/> Use Variance                       |   |
| <input type="checkbox"/> Other (specify): _____             |   |

PERMIT#: BLR-6533-25  
ASSIGNED  
INSPECTOR: Mike  
Referred from Planning Board: YES / NO  
If yes provide date of Planning Board meeting: \_\_\_\_\_

Project Name: Apicella

Street Address: 55 MEADOWS ST  
PEARL RIVER NY 10965

Tax Map Designation:  
Section: 69.09 Block: 3 Lot(s): 28  
Section: \_\_\_\_\_ Block: \_\_\_\_\_ Lot(s): \_\_\_\_\_

#### Directional Location:

On the West side of MEADOWS ST, approximately 300 feet NORTH of the intersection of PEARCE PKWY, in the Town of ORANGETOWN in the hamlet/village of PEARL RIVER.

Acreage of Parcel .25  
School District Pearl River  
Ambulance District Pearl River  
Water District VEBLER

Zoning District R-15  
Postal District Pearl River  
Fire District Pearl River  
Sewer District Town/City

#### Project Description: (If additional space required, please attach a narrative summary.)

Front Porch, Bear Addition, + 2nd story  
addition

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 3/7/2025 Applicant's Signature: [Signature]

## APPLICATION REVIEW FORM

### FILL IN WHERE APPLICABLE.

( IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE )

#### If **subdivision**:

- 1) Is any variance from the subdivision regulations required? \_\_\_\_\_
- 2) Is any open space being offered? \_\_\_\_ If so, what amount? \_\_\_\_\_
- 3) Is this a standard or average density subdivision? \_\_\_\_\_

#### If **site plan**:

- 1) Existing square footage \_\_\_\_\_
- 2) Total square footage \_\_\_\_\_
- 3) Number of dwelling units \_\_\_\_\_

If **special permit**, list special permit use and what the property will be used for.

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#### Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area \_\_\_\_\_

Are there **streams** on the site? If yes, please provide the names. \_\_\_\_\_

Are there **wetlands** on the site? If yes, please provide the names and type: \_\_\_\_\_

#### Project History:

Has this project ever been reviewed before? No \_\_\_\_\_

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

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List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

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OFFICE OF BUILDING, ZONING, PLANNING,  
ADMINISTRATION AND ENFORCEMENT  
**TOWN OF ORANGETOWN**

26 Orangeburg Road  
Orangeburg, N.Y. 10962

Jane Slavin, R.A.  
Director

(845)359-8410

Fax: (845) 359-8526

**REFERRAL TO THE ZONING BOARD OF APPEALS**

Date: 1.15.25 Section: 69.09 Block: 3 Lot: 28

Applicant: Apicella

Address: 55 Meadows St, Pearl River, NY

RE: Application Made at: same

Referred For:

Chapter 43, Section 3.12 R-15

Column 4, Max FAR 20% with 28% proposed, Column 8 Min Front Yard 30' with 21.8' proposed

Chapter 43, Section 5.21(e) max height 20' with 23.5' proposed

Chapter 43, Section 5.21 Undersized Lot applies

3 Variances required


Comments:

Front Porch, Rear Addition

Dear Apicella:

Please be advised that the Building Permit Application # 6533-25, which you submitted on 1.10.25, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Katlyn Bettmann can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4316 or kbettmann@orangetown.com

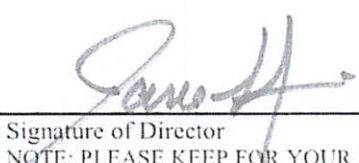
Sincerely,

  
Richard Oliver  
Deputy Building Inspector

RECEIVED

MAY 07 2025

TOWN OF ORANGETOWN  
LAND USE BOARDS

  
Signature of Director  
NOTE: PLEASE KEEP FOR YOUR RECORDS  
10-01-2024: emd

1/30/25  
Date  
CC: Katlyn Bettmann  
Elizabeth Decort



# APPLICATION FOR BUILDING/DEMOLITION PERMIT

APPLICANT MUST COMPLETE OR APPLICATION WILL NOT BE ACCEPTED

| ZONING BULK REQUIREMENTS |                 |                             |                        |
|--------------------------|-----------------|-----------------------------|------------------------|
| Zone: <u>R-15</u>        | Group: <u>M</u> | Use: <u>Single families</u> |                        |
|                          | Required        | Existing                    | Proposed               |
| Floor area ratio         | <u>0.20</u>     | <u>0.103 (1,128)</u>        | <u>0.2807 (3,081)</u>  |
| Lot area                 | <u>15,000</u>   | <u>10,977</u>               | <u>10,977</u>          |
| Lot width                | <u>100</u>      | <u>77</u>                   | <u>77</u>              |
| Street frontage          | <u>75</u>       | <u>77</u>                   | <u>77</u>              |
| Front yard setback       | <u>30</u>       | <u>30.8</u>                 | <u>21.8 (2nd step)</u> |
| Side yard setback        | <u>15</u>       | <u>18</u>                   | <u>18</u>              |
| Total side yard setback  | <u>30</u>       | <u>36.2</u>                 | <u>36.2</u>            |
| Rear yard setback        | <u>35</u>       | <u>79.0</u>                 | <u>61.0</u>            |
| Maximum building height  | <u>20'</u>      | <u>17.5'</u>                | <u>23.5'</u>           |

Number of stories: \_\_\_\_\_ Construction Type: \_\_\_\_\_ Occupancy Class: \_\_\_\_\_

Zoning Chart Information Completed by: \_\_\_\_\_

1. Sewage: (circle one) Town County Private  
2. How many kitchens on the property? \_\_\_\_\_  
3. Are there any renters, tenants, lessees or boarders at this property? YES / NO  
4. Are there any other building permits on this property? YES / NO  
5. Is the property in a flood plain? YES / NO

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## AFFIDAVIT

State of New York)

County of Rockland) SS.:

Town / Village of ORANGETOWN)

MAY 07 2025

TOWN OF ORANGETOWN  
LAND USE BOARDS

I, Christopher Apicella being duly sworn, deposes and says that he/she is the (circle one) owner, lessee, engineer, surveyor, architect, builder, or agent of the owner) in fee of the premises to which this application applies; that he/she (the applicant) is duly authorized to make this application and that the statements contained in the papers submitted herein are true to the best of his/her knowledge and belief, and that the work will be performed in the manner set forth in the application and in the plans and specifications filed therewith, and in accordance with the State Uniform Building Code and all other applicable laws, ordinances and regulations of the municipality. I also declare that the structure or area described in this application will not be occupied or used until I have obtained a Certificate of Occupancy or Certificate of Compliance.

KRYSTAL JONES  
NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 01JO6322188  
Qualified in Rockland County  
Commission Expires MARCH 30, 2027

Signature and Mailing Address

55 MEADOWS ST  
PEARL RIVER NY 10965  
[Signature]

SWORN to before me this 20 day of DECEMBER, 2024

Witness: \_\_\_\_\_

(If not witnessed by Building Department personnel, Notary signature is required.)

Krystal Jones, Notary Public

## OFFICIAL USE ONLY:

Checked by: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Granted for: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Director, OBZPAE

| SWIS   | PRINT KEY  | NAME                                | ADDRESS                               |
|--------|------------|-------------------------------------|---------------------------------------|
| 392489 | 69.09-2-15 | Fred C Clarkston<br>Craig Clarkston | 835 Mohawk St,Lewiston, NY 14092      |
| 392489 | 69.09-2-39 | Juan Ramos                          | 90 Arlene Ct,Pearl River, NY 10965    |
| 392489 | 69.09-2-40 | Vernadette Williams                 | 103 Pearce Pkwy,Pearl River, NY 10965 |
| 392489 | 69.09-3-21 | Darren J Robinson                   | 149 Pearce Pkwy,Pearl River, NY 10965 |
| 392489 | 69.09-3-22 | Jose Salce                          | 40 Meadows St,Pearl River, NY 10965   |
| 392489 | 69.09-3-23 | Michael Duignan                     | 46 Meadows St,Pearl River, NY 10965   |
| 392489 | 69.09-3-24 | Denis F Tarrant                     | 52 Meadows St,Pearl River, NY 10965   |
| 392489 | 69.09-3-25 | William Buchan                      | 58 Meadows St,Pearl River, NY 10965   |
| 392489 | 69.09-3-26 | Alice T Mc Partland                 | 66 Meadows St,Pearl River, NY 10965   |
| 392489 | 69.09-3-27 | Michael N Shea                      | 63 Meadows St,Pearl River, NY 10965   |
| 392489 | 69.09-3-28 | Christopher Apicella                | 55 Meadows St,Pearl River, NY 10965   |
| 392489 | 69.09-3-29 | Andrew Eanniello                    | 49 Meadows St,Pearl River, NY 10965   |
| 392489 | 69.09-3-30 | Veronica S Mc Keever                | 43 Meadows St,Pearl River, NY 10965   |
| 392489 | 69.09-3-31 | Joshua L Kelly                      | 37 Meadows St,Pearl River, NY 10965   |
| 392489 | 69.09-3-32 | Michael Pacella                     | 4 Wright St,Pearl River, NY 10965     |
| 392489 | 69.09-3-33 | Dalva L Da Silva                    | 12 Wright St,Pearl River, NY 10965    |
| 392489 | 69.09-3-34 | William P Lee                       | 18 Wright St,Pearl River, NY 10965    |
| 392489 | 69.09-3-35 | William P O'Connor                  | 24 Wright St,Pearl River, NY 10965    |
| 392489 | 69.09-3-36 | William Gerondel                    | 32 Wright St,Pearl River, NY 10965    |
| 392489 | 69.09-3-37 | Linda M Hoffman                     | 4 Pauline Ter,Pearl River, NY 10965   |
| 392489 | 69.09-3-38 | Scott Frankland                     | 10 Pauline Ter,Pearl River, NY 10965  |
| 392489 | 69.09-3-39 | Ostende M Alvarado                  | 16 Pauline Ter,Pearl River, NY 10965  |
| 392489 | 69.09-3-40 | Kevin Brauer                        | 69 Meadows St,Pearl River, NY 10965   |
| 392489 | 69.09-3-41 | Liam O'Connor                       | 72 Meadows St,Pearl River, NY 10965   |
| 392489 | 69.09-3-42 | Brian O'Sullivan                    | 30 Pauline Terr,Pearl River, NY 10965 |
| 392489 | 69.09-3-43 | Dennis Cahill                       | 38 Pauline Ter,Pearl River, NY 10965  |
| 392489 | 69.09-5-23 | Kathleen Degnan                     | 23 Meadows St,Pearl River, NY 10965   |

RECEIVED

MAY 07 2025

TOWN OF ORANGETOWN  
LAND USE BOARDS

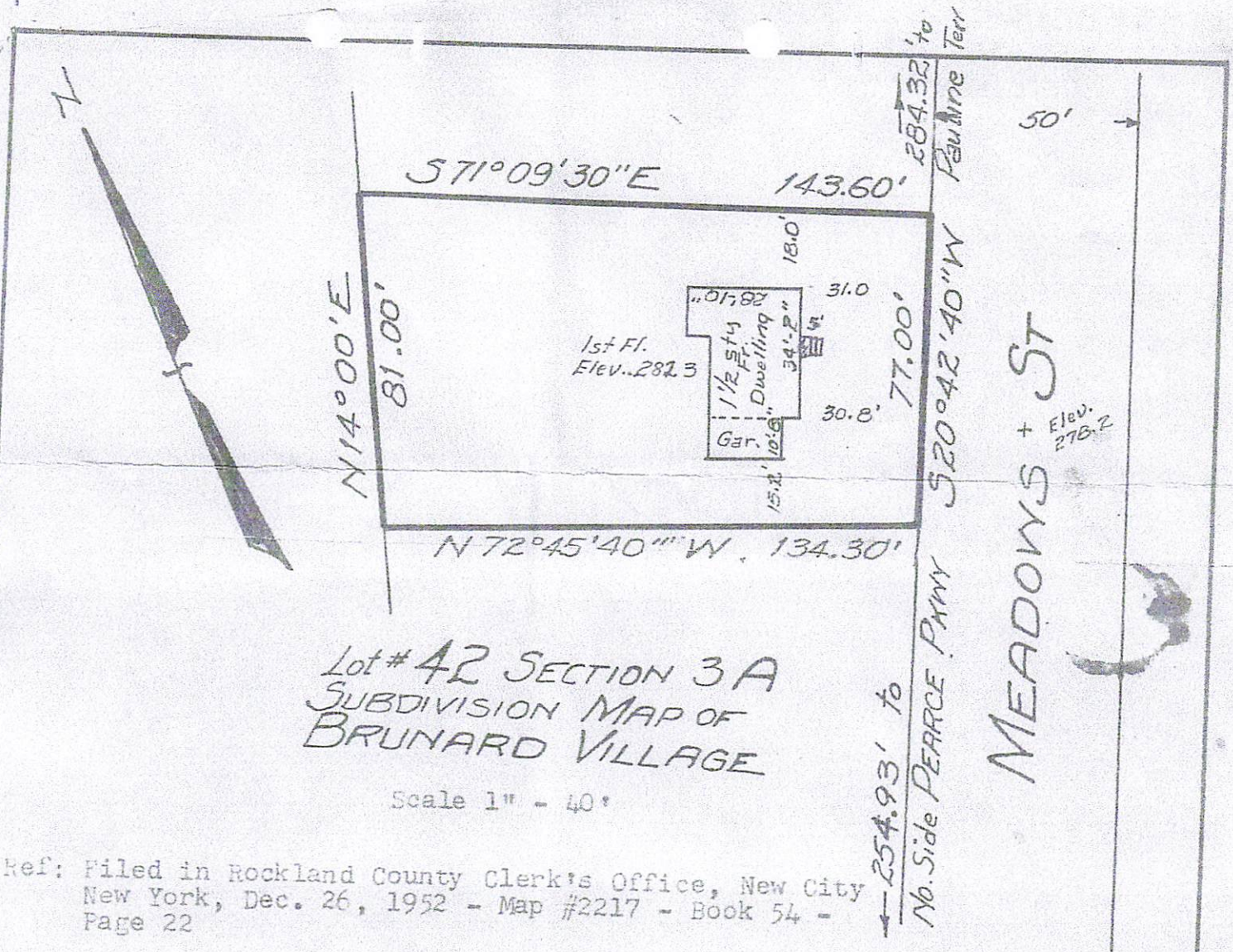


The screenshot displays the Rockland County GML Map Application interface. On the left, a map shows several land parcels, each labeled with a number (e.g., 27, 28, 29, 30, 31, 37, 38, 40, 41, 42, 43) and its area in acres (e.g., 0.26A, 0.25A, 0.24A, 0.23A, 0.29A). The parcels are situated along a street labeled "STREET". A search bar at the top left contains the text "GML Sec. 239". A scale bar at the bottom left indicates a distance of 60 feet.

On the right side, a panel titled "GML Sec. 239" provides detailed information about the selected parcel. The panel includes a search bar, a "Select" button, and a "Results" tab. The "Results" tab shows the following information:

- Export Search URL
- Zoom All
- Clear
- Report
- Features selected: 1
- Export All to CSV
- PARCEL DATE: June 2024
- PRINT\_KEY: 69.09-3-28
- OLD ID: 40-16-126.6
- SWIS: 392489
- MUNICIPALITY: ORANGETOWN
- TOWN: ORANGETOWN
- VILLAGE: N/A
- ADDRESS: 55 MEADOWS ST
- ADDRESS 2:
- ALTERNATE ADDRESS:
- CITY: PEARL RIVER
- STATE: NY
- ZIP: 10965
- OWNER: CHRISTOPHER APICELLA
- ADDITIONAL OWNERS: SAMMANTHA CACIOPPO-C
- DATE OF DEED: 04/16/2024
- BOOK-PAGE: N/A
- INSTRUMENT: 2024-00010613
- DEED\_ACRES: 0.25
- GIS CALCULATED ACRES: 0.25898909
- REQUIRES\_GML\_REVIEW: NO
- ROW - PALISADES INTERSTATE PARKWAY: NO
- ROW - NYS THRUWAY: NO
- COUNTY PARK: NO
- ROW COUNTY HWY: NO
- ROW NYS HWY: NO
- COUNTY REGULATED STREAMS: NO
- LONG PATH HIKING TRAIL: NO
- NYS PARK: NO
- NYS FACILITY: NO
- COUNTY FACILITY: NO
- VILLAGE BOUNDARY: NO
- TOWN BOUNDARY: NO
- ORANGE COUNTY BOUNDARY: NO
- X LONGITUDE: -74.0064847
- Y LATITUDE: 41.06784123
- SUBDIVISION MAP: 2217





Lot #42 SECTION 3A  
SUBDIVISION MAP OF  
BRUNARD VILLAGE

Scale 1" = 40'

Ref: Filed in Rockland County Clerk's Office, New City  
New York, Dec. 26, 1952 - Map #2217 - Book 54 -  
Page 22

To be conveyed to  
Joseph L. and Marie T. Apicella

Certified to: Inter County Title Guaranty and Mortgage Company and  
Rockland National Bank, Suffern to be correct and  
accurate

RECEIVED

MAY 01 2025

TOWN OF ORANGETOWN  
LAND USE BOARDS

Barbour and Jost Surveyors  
New City, New York

Feb. 21, 1961 - Field Check  
19-2654 c

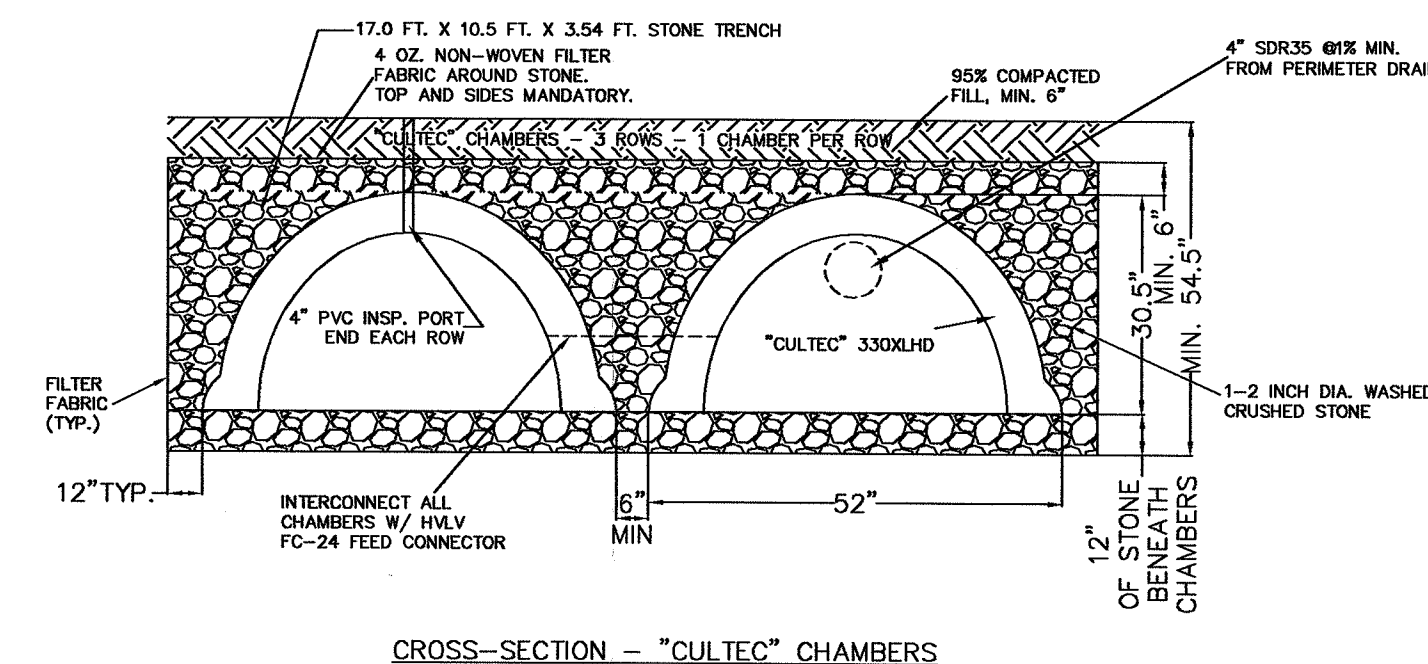
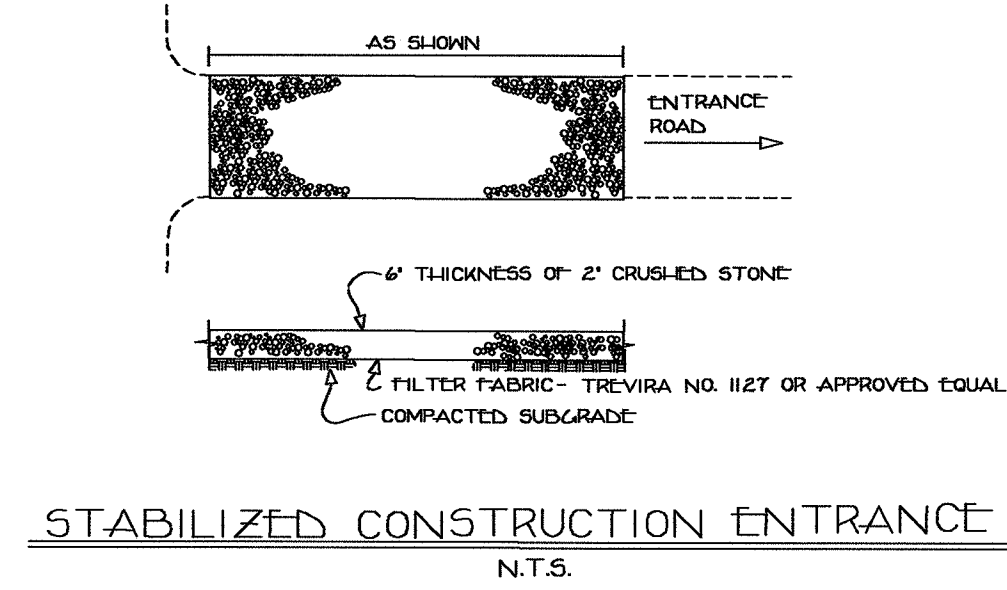
*by Robert Jost*



TAX LOT: SECTION 69.09, BLOCK 3, LOT 28  
REFERENCE:  
ALL BOUNDARY INFORMATION IS REFERENCED  
FROM A SURVEY PREPARED BY ANTHONY R. CELENTANO, PLS  
DATED APRIL 8, 2025, PROVIDED BY OWNER.

LEGEND FOR EROSION CONTROL  
DURING CONSTRUCTION

STAB. CONSTRUCTION ENTRANCE  
SILT FENCE

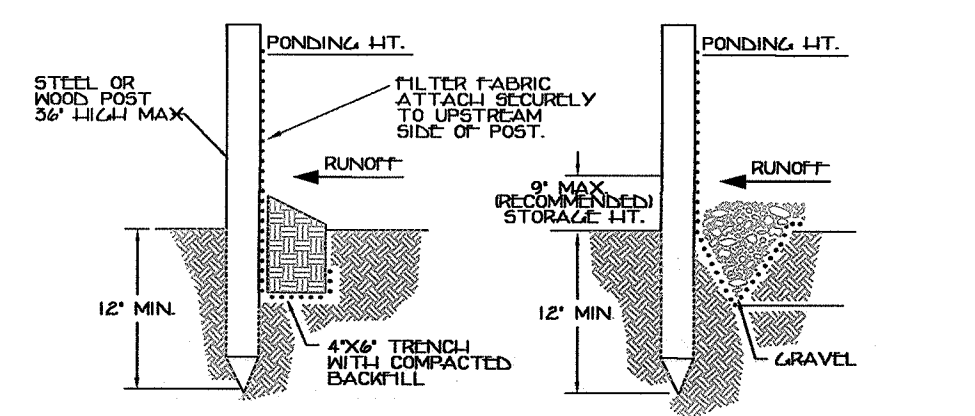
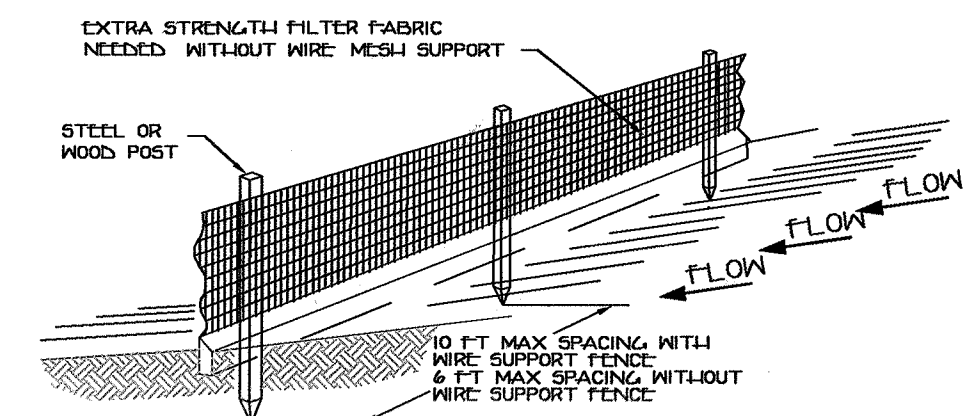


DRAINAGE CALCULATION:  
PROPOSED ADDITIONAL COVERAGE-1.017 SF  
SOILS - WEATHERFIELD TC  
1.017 SF X 0.012 = 0.012 SF OF STORAGE REQUIRED  
INSTALL 3-CULTEC 330XLHD  
PROVIDES 0.017 SF OF STORAGE

BULK REQUIREMENTS:

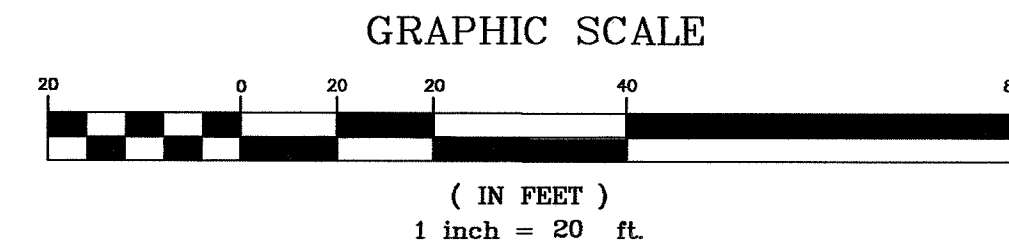
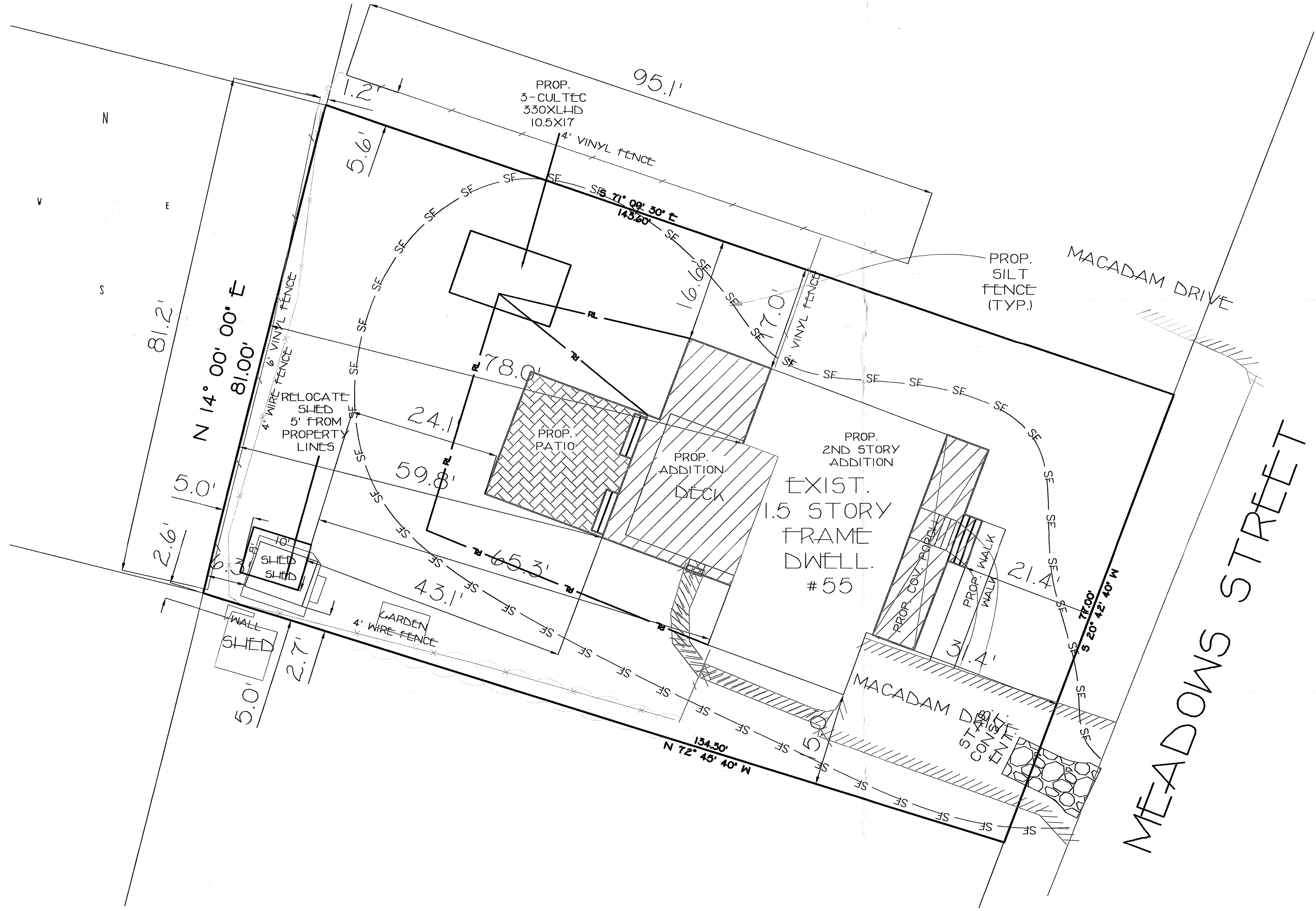
| ZONE R-15                | USE GROUP M | REQUIRED               | EXISTING   | PROPOSED    |
|--------------------------|-------------|------------------------|------------|-------------|
| MAXIMUM FLOOR AREA RATIO |             | 0.20                   | 0.03       | 0.2807**    |
| MINIMUM LOT AREA         |             | 15000 SQ.FT.           | 10956 SF * | 10956 SF *  |
| MINIMUM LOT WIDTH        |             | 100 FT.                | 77.8 FT. * | 77.8 FT. *  |
| MINIMUM STREET FRONTAGE  |             | 75 FT.                 | 77.0 FT.   | 77.0 FT.    |
| MIN. FRONT YARD          |             | 30 FT.                 | 31.4 FT.   | 21.4 FT. ** |
| MINIMUM SIDE YARD        |             | 20 FT.                 | 15.0 FT. * | 15.0 FT. *  |
| MINIMUM TOTAL SIDE YARD  |             | 50 FT.                 | 32.0 FT. * | 31.6 FT. ** |
| MINIMUM REAR YARD        |             | 35 FT.                 | 78.0 FT.   | 59.8 FT.    |
| MAXIMUM BUILDING HEIGHT  |             | 12 INCHES FROM LOT 21A | 17.5 FT.   | 23.5 FT. ** |

\* EXISTING NON-CONFORMING  
\*\* VARIANCE REQUIRED



1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE FENCING EFFICIENCY.

SILT FENCE  
N.T.S.



UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE SURVEYOR OR ENGINEER SHALL NOT BE VALID.  
CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.  
USE OF UNSEALED COPIES OF THIS DOCUMENT IN ANY COURT, FINANCIAL OR LAND TRANSACTION, OR FILING WITH ANY AGENCY OR OFFICE IS AN UNAUTHORIZED USE AND A VIOLATION OF FEDERAL COPYRIGHT LAW.  
PAUL GDANSKI, P.E., PLS 075890 ©

| DATE    | REVISIONS |
|---------|-----------|
| 4/22/25 | REVISE    |
| 4/26/25 | REVISE    |
|         |           |
|         |           |
|         |           |
|         |           |
|         |           |
|         |           |

PLOT PLAN  
FOR  
APICELLA  
69.09-3-28  
55 MEADOWS STREET  
LOCATED IN THE  
HAMLET OF PEARL RIVER  
TOWN OF ORANGETOWN  
ROCKLAND COUNTY, NEW YORK

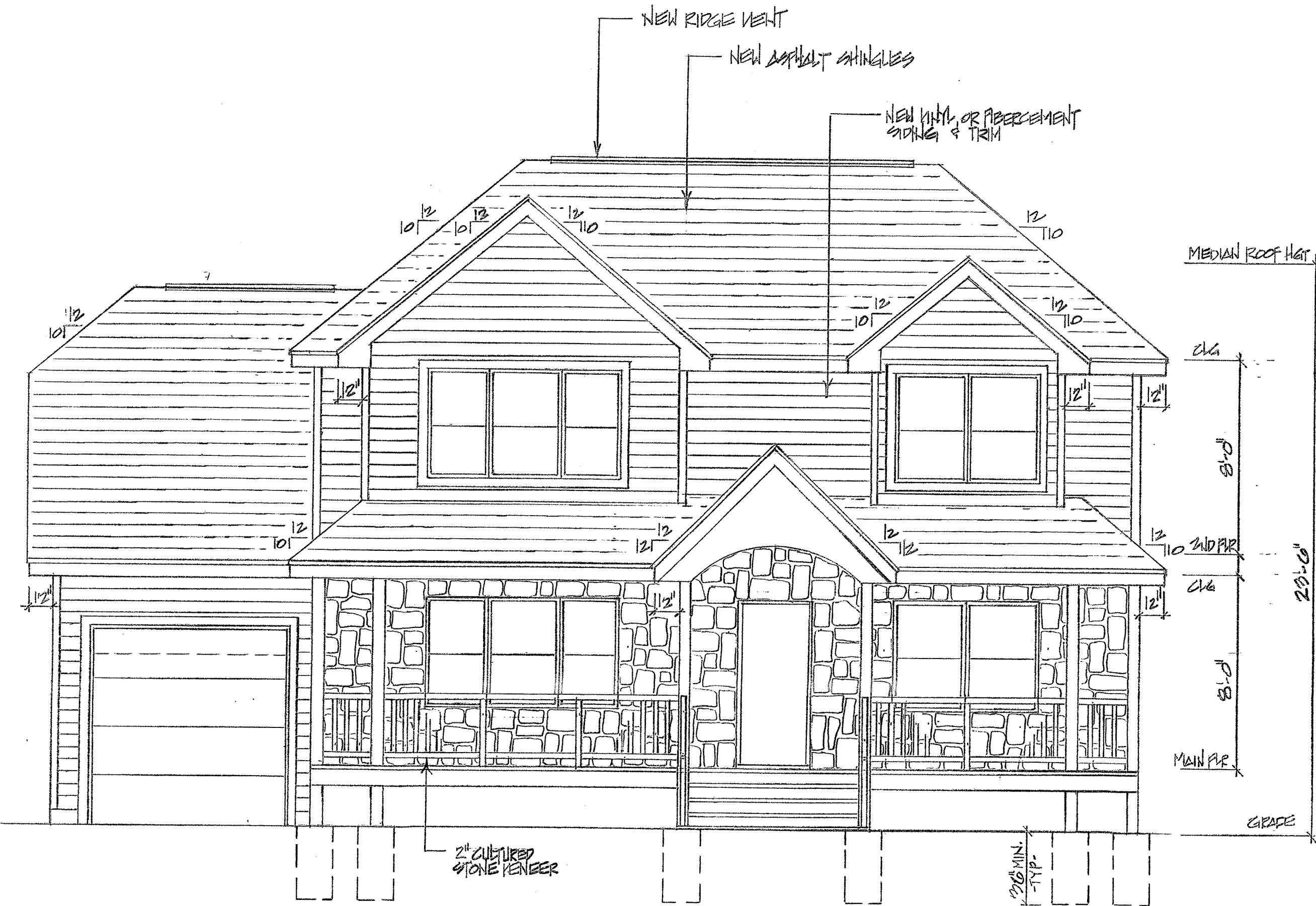
PAUL GDANSKI P.E., PLLC  
3512 WILTTIER COURT  
MAHWAH, NEW JERSEY 07430  
TEL: (917) 418-0999  
EMAIL: PGSKI@EARTHLINK.NET  
55MEAD  
APRIL 9, 2025  
1" = 10'  
1 OF 1



STATE OF NEW YORK ADOPTED CODES AND STANDARDS

INTERNATIONAL RESIDENTIAL CODE- NY EDITION, 2020  
NATIONAL ELECTRIC CODE, 2020  
INTERNATIONAL STANDARD PLUMBING CODE, 2020  
INTERNATIONAL ENERGY CONSERVATION CODE, 2020 (RESIDENTIAL)  
NYS ENERGY CODE-2020  
INTERNATIONAL MECHANICAL CODE, 2020  
INTERNATIONAL FUEL GAS CODE, 2020  
2020 RESIDENTIAL PRESCRIPTIVE PACKAGE

NOTE: TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, PLANS ARE IN COMPLIANCE WITH THE 2020 IECC & NYS ENERGY CODE



FRONT ELEVATION

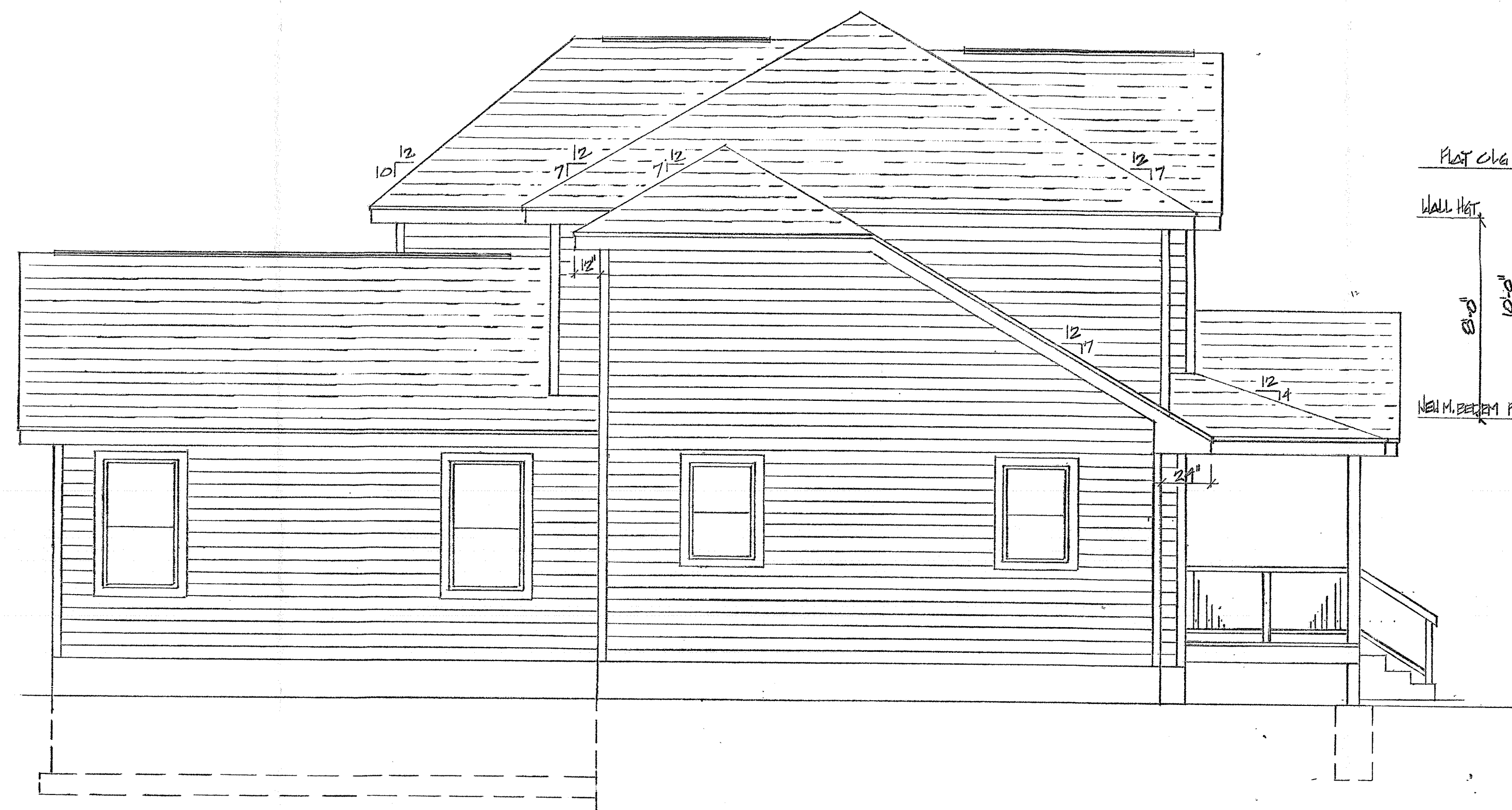
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION



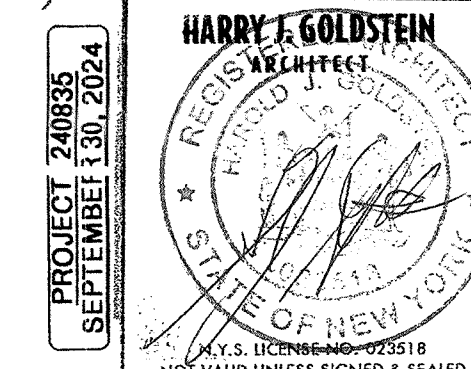
REAR ELEVATION



LEFT SIDE ELEVATION

APICELLA RESIDENCE  
TWO-STORY ADDITION

55 MEADOWS STREET  
PEARL RIVER, N.Y.

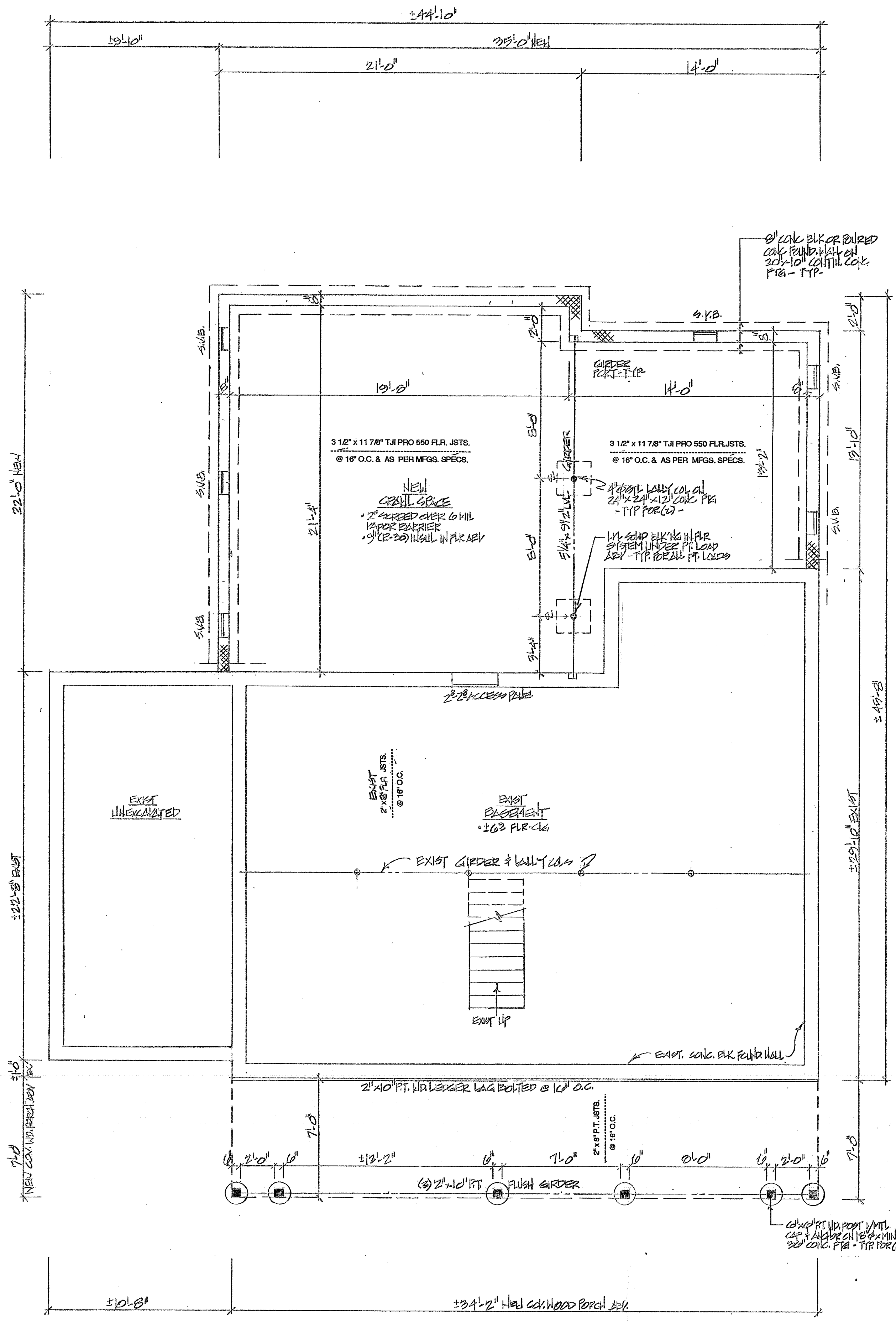


HARRY J. GOLDSTEIN  
ARCHITECT  
DESIGN & DEVELOPMENT  
4 REGINA ROAD  
MONROE, NEW YORK 10952  
(845) 356-7942 (914) 393-5787

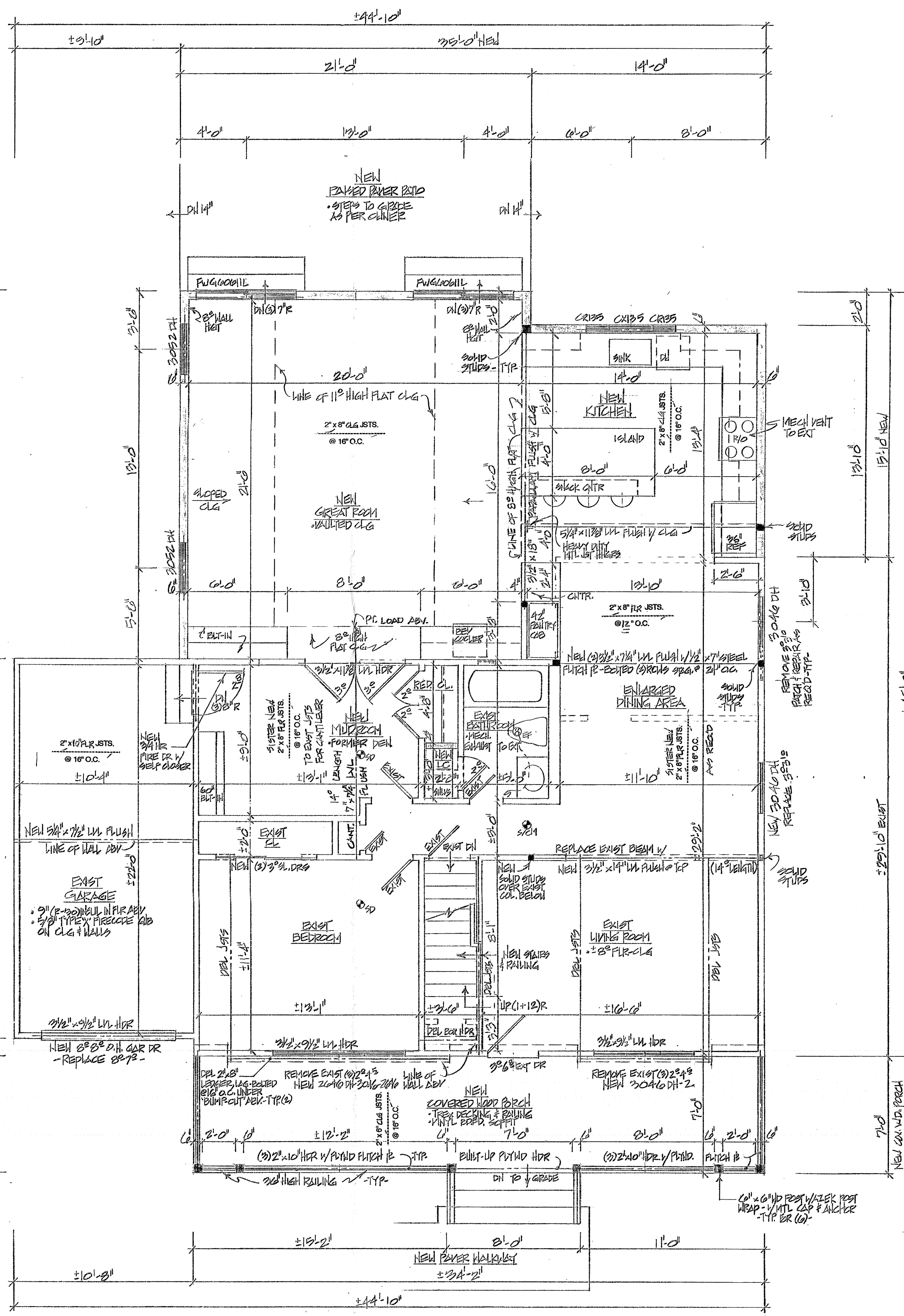
1  
OF  
3

Town of Orangetown  
MEETING OF:  
JUN 18 2025  
ZONING BOARD OF APPEALS





**BASEMENT/FOUNDATION PLAN**



**MAIN FLOOR PLAN**

NOTE: ALL HEADERS ARE TO BE (2) 2"x10" UNLESS OTHERWISE INDICATED

SCALE: 1/4"=1'-0"

**GENERAL SPECIFICATIONS**

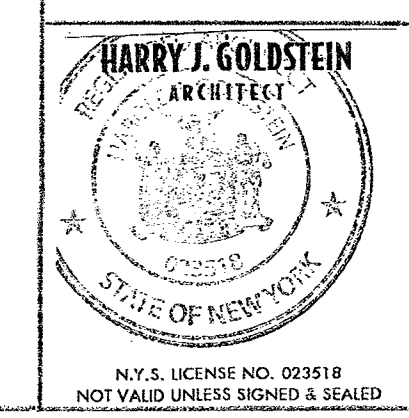
- GENERAL NOTES**
1. ALL WORK PERFORMED SHALL COMPLY WITH THE BUILDING AND ZONING ORDINANCES OF THE TOWN OF ORANGETOWN, N.Y., AND THE N.Y.S. BUILDING AND EROSION CODES.
  2. THESE PLANS ARE TO BE USED FOR PERMIT & CONSTRUCTION GUIDE ONLY. IT IS NOT INTENDED TO BE USED AS A CONTRACT DOCUMENT, UNLESS OTHERWISE INDICATED BY ARCHITECT.
  3. CONTRACTOR OR ANY SUBCONTRACTOR DOING ANY WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND SHALL FURNISH OWNER WITH CERTIFICATE OF INSURANCE.
  4. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON THESE PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
  5. ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS SHALL BE CONSIDERED AS REASONABLY CORRECT, BUT IT SHALL BE UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESEEN OR OTHER CONDITION.
  6. ARCHITECT AND RELATED CONSULTANTS HAVE NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES OR FOR APPROVAL OF SHOP DRAWINGS. ARCHITECT IS ONLY RESPONSIBLE FOR THESE WORKING DRAWINGS AND THEIR RELATED SPECIFICATIONS. IT REMAINS INCUMBENT ON THE CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OR THE ARCHITECT OF ANY DISCREPANCY OR CHANGE ON APPROVED PLANS AND OF ANY UNFORESEEN DEVELOPMENT THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.
  7. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURE OR ANY UNFORESEEN PROBLEMS PRIOR TO NEW CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NEW CONSTRUCTION AND/OR REMEDIATION OPERATIONS AND METHODS.
  8. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED. ARCHITECT SHALL BE INFORMED OF ANY DISCREPANCIES, MATCH ALL EXISTING MATERIALS, DIMENSIONS, AND CONDITIONS AS THEY APPLY.
  9. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO START OF WORK. DO NOT SCALE DIMENSIONS FROM DRAWINGS. WRITTEN DIMENSIONS ARE TO BE FOLLOWED FOR CONSTRUCTION PURPOSES.
  10. ALL CONSTRUCTION & MATERIALS SHALL BE NEW - UNLESS OTHERWISE NOTED. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR, UNLESS OTHERWISE NOTED.
  11. ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT, IS TO BE PERFORMED BY CAPABLE AND REPUTABLE CONTRACTORS, LICENSED IN THE STATE OF NEW YORK AND AS REQUIRED BY THE LOCAL GOVERNING AGENCY.
  12. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT HAS BEEN SECURED AS REQUIRED BY THE APPLICABLE GOVERNING AGENCY OR AGENCIES.
  13. ALL CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BEFORE START OF ANY WORK AND DISCREPANCIES OR VARIATIONS TO APPROVED PLAN ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING.
  14. PRIOR TO COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE FROM THE JOB SITE ALL TOOLS, SURPLUS MATERIALS, EQUIPMENT, SCRAP, DEBRIS, AND WASTE EXCEPT AS OTHERWISE NOTED BY THE OWNER.
- SIDE NOTES**
15. CONTRACTOR/OWNER IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND VERIFYING LOCATION OF SAME UTILITY COMPANIES LINES, SERVICES AND OTHER POSSIBLE EQUIPMENT OF UTILITY COMPANY.
  16. ALL EXISTING CONDITIONS INDICATED ON THE PLANS TO BE REMOVED OR RELOCATED ARE TO BE SO EXECUTED IN A MANNER THAT WILL NOT DISTURB ADJACENT AREAS OR CONDITIONS WHICH ARE TO REMAIN.
  17. EXTREME CAUTION IS TO BE TAKEN DURING EXCAVATION AND/OR DEMOLITION. CONTRACTOR TO OBSERVE ANY VARIATIONS OR UNFORESEEN DISCREPANCIES IN THE PLANS AND REPORTED IMMEDIATELY TO THE OWNER.
  18. ALL FOOTINGS TO REST ON VIRGIN SOIL, HAVING A MINIMUM BEARING CAPACITY OF 3000 P.S.F. AT 3' MINIMUM BELOW THE FINISHED GRADE.
  19. EARTH UNDER CONCRETE SLAB BE THOROUGHLY COMPACTED AND CLEANED OF DEBRIS, WATER AND OTHER WASTE. THE SUB-GRADE SHALL DRAIN TO A TRUE PLANE & COMPACTED TO SOLID BEARING. ALL FILL MATERIAL SHALL BE SOIL OR SOIL-ROCK MIXTURE FREE FROM ORGANIC MATTER AND OTHER OBJECTIONABLE MATERIAL. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER SIX INCHES IN GREATEST DIMENSION AND NOT MORE THAN 1% OF THE ROCKS OR LUMPS SHALL BE LARGER THAN 2" IN GREATEST DIMENSION.
  20. DO NOT BACKFILL UNTIL MAIN FLOOR SYSTEMS, INCLUDING SLABS AND FLOOR DECKING, ARE INSTALLED.
  21. BACKFILL AGAINST POURED CONCRETE WALLS SHALL BE A MAXIMUM OF 7' 0" AND 10" CONCRETE BLOCK WALLS MAXIMUM 6' 0" ABOVE SLAB TO ADJACENT GRADE.
  22. TOP 6" OF NEWLY GRADED AREAS IS TO BE TOP SOIL, BAKED FREE FROM DEBRIS, STICKS, STONES OVER 2" IN SIZE AND OBJECTIONABLE MATERIAL.
  23. GENERAL CONTRACTOR OR OWNER SHALL FIELD VERIFY ALL INVERT ELEVATIONS AND SEWER CONDITIONS INDICATED PRIOR TO CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR INFORMATION CONTAINED IN SURVEYS ON OWNER'S RECORDS.
  24. FOOTING DRAINS TO BE PROVIDED WHERE REQUIRED AND APPROPRIATE THEY SHALL BE LAID IN GRAVEL BED AND PROTECTED AT TOP WITH FILTER FABRIC AND PROVIDE POSITIVE OUTFLOW TO STORM DRAIN OR DRY WELL.
  25. FINISHED GRADE AND DRIVEWAY SHALL PITCH AWAY FROM THE BUILDING, SO THAT ALL SURFACE WATER FLOWS AWAY FROM IT.
  26. INSTALLATION OF GAS METERS SHALL BE IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
  27. INSTALLATION OF ELECTRIC METERS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
  28. FINISHED GRADE HEIGHT SHALL BE MINIMUM 6" BELOW ADJACENT FRAMING AND MAXIMUM 4" ABOVE AS PER LOCAL CODES.
- CONCRETE AND MASONRY**
29. NEW POURED CONCRETE TO BE MINIMUM 3000 P.S.F. COMPRESSIVE STRENGTH IN 28 DAYS. AS BASIS OF GUESS MIN. PER CUBIC YARD OF CONCRETE AND MAXIMUM 7 1/4 GALLONS OF WATER PER BAG OF CEMENT. 5 1/4 GALLONS OF WATER PER BAG OF PORTLAND CEMENT FOR AIR ENTRAINMENT CONCRETE. SUBMIT TESTING REPORTS PERFORMED BY APPROVED TESTING LABORATORY, AS REQUIRED BY LOCAL OFFICIALS.
  30. CONCRETE DESIGN, MATERIALS, AND METHODS OF CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE STANDARD SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE. ALL MASONRY OR CONCRETE ANCHORS AND FASTENERS OF ANY KIND, TO BE GALVANIZED OR ZINC COATED.
  31. BLOCK FOUNDATION WALLS TO BE REINFORCED HORIZONTALLY WITH DUB-O-WALL EVERY SECOND COURSE AND VERTICALLY WITH #4 REBARS EVERY FOUR FEET. BLOCK SHALL BE FILLED SOLID WITH CONCRETE AROUND REINFORCING BARS. TOP COURSE OF BLOCK SHALL BE FILLED SOLID WITH CONCRETE AND 5/8" DIAMETER ANCHOR BOLTS SHALL BE PLACED 4" TO 6" O.C.

**ENERGY CODE**

TABLE 1: MINIMUM INSULATION REQUIREMENTS BY COMPONENTS - HOUSE-AND-RANGE: CLIMATE ZONE 5

| CLIMATE ZONE   | CEILING | WALLS | FLOOR | BASEMENT | SLAB | CHIMNEY |
|----------------|---------|-------|-------|----------|------|---------|
| 1 except North | 0.35    | 0.20  | 0.40  | 10       | 10.2 | 10.7/3  |
| 2 except North | 0.27    | 0.20  | 0.40  | 10       | 10.2 | 10.7/3  |
| 3 except North | 0.27    | 0.20  | 0.40  | 10       | 10.2 | 10.7/3  |

**APICELLA RESIDENCE**  
**TWO-STORY ADDITION**  
**55 MEADOWS STREET**  
**PEARL RIVER, N.Y.**



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PROJECT 2025  
SEPTEMBER 2024

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Town of Orangetown  
MEETING OF:  
JUN 18 2025  
ZONING BOARD OF APPEALS



