

ZONING BOARD OF APPEALS

Town of Orangetown
26 Orangeburg Road
Orangeburg, New York 10962
(845) 359-8410 (ext. 4316)
Date: May 15, 2025

TO: OBAPAE
NYS Dept of Environmental Conservation
New York State Dept. of Transportation
Palisades Interstate Park Commission
NYS Thruway Authority
Scenic Hudson
ACOE
Rockland County Drainage
Rockland County Health
Rockland County Planning
Rockland County Highway
Rockland County Swr Dstrt #1
Orange and Rockland Utilities
Veolia

This matter is scheduled for: June 18, 2025

Review of Plans: Barbara, 155 Brightwood Avenue, Pearl River, NY

Section 68.12 Block 5 Lot 33 RG zone

Chapter 43, Table 3.12, RG District, Group Q, Column 4 (Floor Area Ratio: 30% permitted, 35% proposed), Column 8(Front yard: 25’ required, with 23.6’ proposed), and Column 11 (Rear yard 25’ required, 24.3’ proposed). Pre-existing non-conforming lot area & lot width, undersized lot applies, for an addition at an existing single-family residence. The premises are located at 155 Brightwood Ave, Pearl River, New York and identified on the Orangetown Tax Map as Section 68.12, Block 5, Lot 33 in the RG zoning district.

Please review the information enclosed and provide comments.
These comments may be mailed, or e-mailed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- **US Postal: 26 Orangeburg Road, Orangeburg, NY 10962**
- Email to Zoning Board: KBettmann@orangetown.com

Zoning Board Meeting Date: June 18, 2025

- () Comments attached
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

This project is before the **Zoning Board** on **Wednesday, June 18, 2025**

Kindly forward your completed review to this office **BEFORE June 18, 2025**

Reviewing Agency_____

Name:_____Date:_____

Signature: _____

Thank you, **Katlyn Bettmann (EXT. 4316)**

RECEIVED

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 4/18/2025

APR 25 2025

LAND USE BOARD APPLICATION

TOWN OF ORANGETOWN
LAND USE BOARDS

Please check all that apply:

- | | |
|---|---|
| <input type="checkbox"/> Commercial | <input checked="" type="checkbox"/> Residential |
| <input checked="" type="checkbox"/> Planning Board | <input type="checkbox"/> Historical Board |
| <input checked="" type="checkbox"/> Zoning Board of Appeals | <input type="checkbox"/> Architectural Board |
| <input type="checkbox"/> Subdivision | <input type="checkbox"/> Consultation |
| <input type="checkbox"/> Number of Lots | <input type="checkbox"/> Pre-Preliminary/Sketch |
| <input type="checkbox"/> Site Plan | <input checked="" type="checkbox"/> Preliminary |
| <input type="checkbox"/> Conditional Use | <input checked="" type="checkbox"/> Final |
| <input type="checkbox"/> Special Permit | <input type="checkbox"/> Interpretation |
| <input checked="" type="checkbox"/> Variance | |
| <input type="checkbox"/> Performance Standards Review | |
| <input type="checkbox"/> Use Variance | |
| <input type="checkbox"/> Other (specify): _____ | |

PERMIT#: BLDR-6952-25

ASSIGNED

INSPECTOR: Ken L.

Referred from Planning Board: YES / NO
If yes provide date of Planning
Board meeting: _____

Project Name: Barbara Residence 2-Story Addition

Street Address: 155 Brightwood Avenue

Pearl River, NY 10965

Tax Map Designation:

Section: 68.12 Block: 5 Lot(s): 33

Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the North side of Brightwood Avenue, approximately
455 feet West of the intersection of Middletown Road, in the
Town of ORANGETOWN in the hamlet/village of Pearl River.

Acreage of Parcel 0.15 (6500 sf)

School District Pearl River

Ambulance District Pearl River Alumni

Water District Veolia

Zoning District RG

Postal District 10965

Fire District Pearl River

Sewer District Orangetown

Project Description: (If additional space required, please attach a narrative summary.)

Rear 1st floor extension with partial 2nd story and front foyer to improve livability and function on a pre-existing

undersized lot. Renovation modernizes the aging home while maintaining neighborhood character.

Variances required due to existing nonconformities.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 4/25/25 Applicant's Signature: [Signature]

Michael C. Kalinowski, PE
For Matthew Barber

APPLICATION REVIEW FORM

RECEIVED

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

APR 25 2025
TOWN OF ORANGETOWN
LAND USE BOARDS

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ☐ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage 1625
- 2) Total square footage 2275
- 3) Number of dwelling units 1

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area No

Are there **streams** on the site? If yes, please provide the names. No

Are there **wetlands** on the site? If yes, please provide the names and type:

No

Project History:

Has this project ever been reviewed before? No

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

N/A

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

None



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

26 Orangeburg Road
Orangeburg, N.Y. 10962

RECEIVED

APR 25 2025

TOWN OF ORANGETOWN
LAND USE BOARDS
Fax: (845) 359-8526

Jane Slavin, R.A.
Director

(845)359-8410

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: 4.10.25 Section: 68.12 Block: 5 Lot: 33

Applicant: Barbara Matthew

Address: 155 Brightwood Ave, Pearl River, NY

RE: Application Made at: same

Referred For:

Chapter 43, Table 3.12, RG District, Column 4 Max FAR 30% w/ 35% proposed, Column 8 Min Front Yd 25' w/ 23.6' proposed, Column 11 Min Rear Yd 25' w/ 24.3' proposed,

3 variances required


Comments:

Addition


Dear Barbara Matthew:

Please be advised that the Building Permit Application # 6952-25, which you submitted on 4.1.25, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Katlyn Bettmann can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4316 or kbettmann@orangetown.com

Sincerely,


Richard Oliver
Deputy Building Inspector

4/10/25


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
10-01-2024: emd

4/10/25
Date
CC: Katlyn Bettmann
Elizabeth Decort

APPLICATION REVIEW FORM

RECEIVED

APR 25 2025

TOWN OF ORANGETOWN
LAND USE BOARD

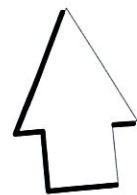
AFFIDAVIT

State of New York)
County of Rockland) SS.:
Town/Village of _____)

I, Matthew Barbara being duly sworn deposes and says
that he is the applicant, agent or attorney for applicant, in the matter of the petition
before the Zoning Board of Appeals (*board*) in the town/village of Orangetown
affecting property located at 155 Brightwood Ave, Pearl River, Rockland County, New York.

That the following are all of the owners of property 200 ft (*distance*) from
the premises as to which this application is being taken.

SECTION-BLOCK-LOT	NAME	ADDRESS
68.12-5-18	Braden, Cynthia A	132 Forest Ave
68.12-5-19	McCabe, Mark	138 Forest Ave
68.12-5-20	Brennan, John K	144 Forest Ave
68.12-5-21	Ganley, Janice A	150 Forest Ave
68.12-5-22	Anderson, Thomas T	156 Forest Ave
68.12-5-23	Damon, Stefan	162 Forest Ave
68.12-5-24	Pegley, Desmond & Patrick	174 Forest Ave
68.12-5-30	Lenihan, Francis	171 Brightwood Ave
68.12-5-31	Conway, Douglas	165 Brightwood Ave
68.12-5-32	Travers, Michael G	159 Brightwood Ave
68.12-5-34	149 Brightwood LLC	149 Brightwood Ave
68.12-5-35	Kline, Gregory E	145 Brightwood Ave
68.12-5-36	Guagenti, Vito	139 Brightwood Ave
68.12-5-37	Amann, Todd	133 Brightwood Ave
69.13-1-1.1	Jenisa Realty Corp	170 Bogert Ave
68.16-2-26	Weyhrauch, Edward F	140 Brightwood Ave
68.16-2-27	McDine, Cathleen	146 Brightwood Ave
68.16-2-28	Franzese, Michael A	150 Brightwood Ave
68.16-2-29	O'Dwyer, Michael J	156 Brightwood Ave
68.16-2-30	O'Sullivan, Michael	164 Brightwood Ave
68.16-2-31	Palastro, John	163 Bogert
68.16-2-32	Flood, Kenneth H	159 Bogert
68.16-2-33	Massari, Joseph	155 Bogert
68.16-2-34	Babcock, Mary T	149 Bogert
68.16-2-35	Fleming, Christopher J	143 Bogert
68.16-2-36	Rosenfeld, David	139 Bogert



N. or F.
Ganley

S 86°00'00" E CHAIN LINK FENCE

SHED

65.00'

STONEWALL

28.5'

SCREENED
PORCH

32.6'

EXISTING
TWO STORY
DWELLING

155 Brightwood Ave.

16'

24.6'

16.3'

WALK

EXIST. PAVED DRIVEWAY

34.6'

65.00'

N 86°00'00" W

N 04°00'00" E

S 04°00'00" W

CURB

BRIGHTWOOD AVE.

50'

RO 80137

Land Survey
For
"BARBARA"

Pearl River

Town of Orangetown
Scale: 1" = 20'

Rockland County, NY
Area = 0.15 Ac.

May 9, 2024

Tax Lot Desig.: Section 68.12 Block 5 Lot 33

Certified to:
* Matthew Barbara

Certifications indicated hereon signify that this survey was prepared in accordance with the existing code of practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certification shall run only to the person for whom the survey is prepared, and on behalf to the title company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution. Certifications are not transferable to additional institutions or subsequent owners."

RECEIVED

MAY 08 2025

TOWN OF ORANGETOWN
LAND USE BOARDS



Robert E. Sorace, PLS
P.O. Box 189
New City, NY 10956
845-638-1498

Lic. 51264



N. or F.
Ganley

S 86°00'00" E CHAIN LINK FENCE

EXIST. SHED
TO BE REMOVED

65.00'

PROPOSED
PAVER
PATIO

PROPOSED
TWO STORY
ADDITION

PROPOSED
ONE STORY
ADDITION

EXISTING
TWO STORY
DWELLING
155 Brightwood Ave.

PROPOSED
ONE STORY
ADDITION

PROPOSED
COVERED
PORCH

PROP. WALK
OR SIMILAR

EXIST. PAVED DRIVEWAY

65.00'

N 86°00'00" W

N. or F.
Travers

BRIGHTWOOD AVE.

50'

RO 80137

PROPOSED ADDITION

Land Survey
For

"BARBARA"

Pearl River

Town of Orangetown
Scale: 1" = 20'

Rockland County, NY
Area = 0.15 Ac.

May 9, 2024
March 31, 2025 - Revised

Tax Lot Desig.: Section 68.12 Block 5 Lot 33

Zone RG Bulk Regulations Group Q

Item	Required	Existing	Proposed
Lot Area	10,000 sf	* 6,500 sf	No Change
Lot Width	75 ft.	* 65 ft.	No Change
Street Frontage	50 ft.	65 ft.	No Change
Front Yard	25 ft.	34.6 ft.	** 23.6 ft.
Side Yard	10 ft.	16 ft.	14 ft.
Total Side Yard	30 ft.	32.3 ft.	** 28.3 ft.
Rear Yard	25 ft.	28.5 ft.	** 24.3 ft.
Max.F.A.R.	0.30	0.25	** 0.35
Max Bldg. Height	1 ft. 4" per ft from lot line	5.2" per ft from lot line	11.6" per ft from lot line

* DENOTES PRE-EXISTING NON-CONFORMING
** DENOTES VARIANCE REQUIRED

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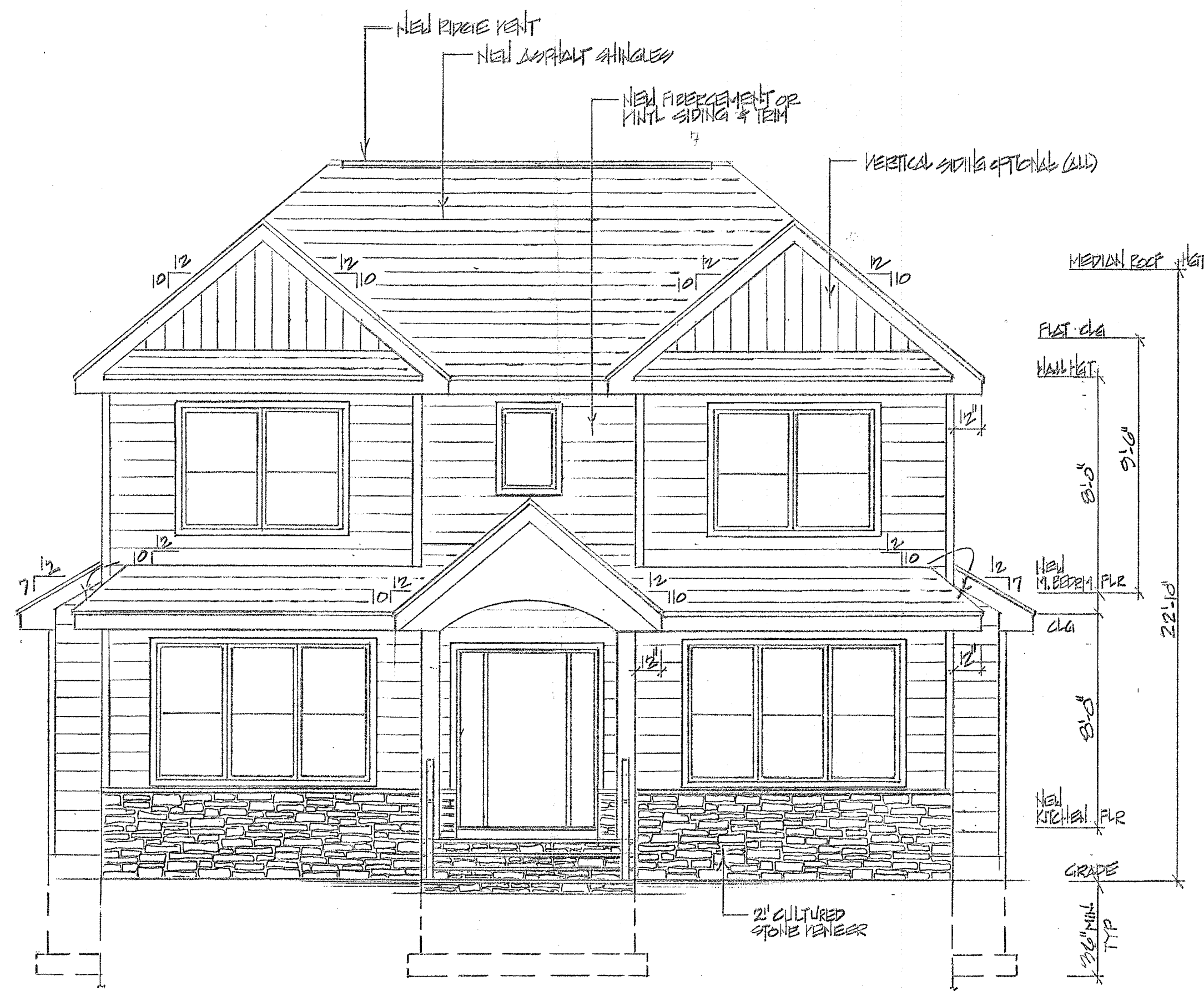
APR 25 2025

TOWN OF ORANGETOWN
LAND USE BOARDS



Robert E. Sorace, PLS
P.O. Box 189
New City, NY 10956
845-638-1498

Lic. 51264



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION



REAR ELEVATION



LEFT SIDE ELEVATION

STATE OF NEW YORK ADOPTED CODES AND STANDARDS

INTERNATIONAL RESIDENTIAL CODE- NY EDITION, 2020
NATIONAL ELECTRIC CODE, 2020
NATIONAL STANDARD PLUMBING CODE, 2020
INTERNATIONAL ENERGY CONSERVATION CODE, 2020 (RESIDENTIAL)
NYSTRECH ENERGY CODE-2020
INTERNATIONAL MECHANICAL CODE, 2020
INTERNATIONAL FUEL GAS CODE, 2020
2020 RESIDENTIAL PRESCRIPTIVE PACKAGE

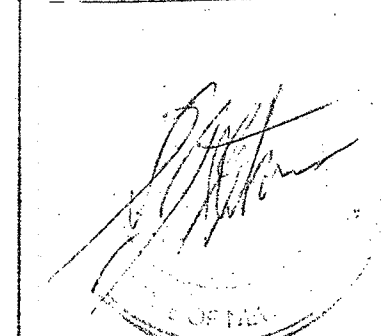
NOTE: TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF,
PLANS ARE IN COMPLIANCE WITH THE 2020 IECC & NYS ENERGY CODE

RECEIVED

APR 25 2025

TOWN OF ORANGETOWN
LAND USE BOARDS

BARBARA RESIDENCE
TWO-STORY ADDITION
155 BRIGHTWOOD AVENUE
PEARL RIVER, NEW YORK



HARRY J. GOLDSTEIN
ARCHITECT
DESIGN & DEVELOPMENT

4 REGINA ROAD
MONSEY, NEW YORK 10952
(845) 355-7942 (914) 393-5787

PROJECT 240519
DECEMBER 12, 2024

1
O
F
3

GENERAL SPECIFICATIONS

GENERAL NOTES

1. ALL WORK PERFORMED SHALL COMPLY WITH THE BUILDING AND ZONING ORDINANCES OF THE TOWN OF CANTON, NEW YORK, AND THE N.Y.S. BUILDING AND ENERGY CODES.
2. THESE PLANS ARE TO BE USED FOR PERMITS & CONSTRUCTION GUIDE ONLY. IT IS NOT INTENDED TO BE USED AS A CONTRACT DOCUMENT, UNLESS OTHERWISE INDICATED BY ARCHITECT.
3. CONTRACTOR OR ANY SUBCONTRACTOR DOING ANY WORK UNDER THIS CONTRACT SHALL CARRY LIABILITY AND PROPERTY DAMAGE INSURANCE AGAINST ACCIDENTS OF ALL KINDS AND SHALL FURNISH OWNER WITH CERTIFICATE OF INSURANCE.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS ON THESE PLANS AGAINST FIELD CONDITIONS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
5. ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS SHALL BE CONSIDERED AS REASONABLY CORRECT BUT IT SHALL BE UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATION AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESSEEN OR OTHER CONDITION.
6. ARCHITECT AND RELATED CONSULTANTS HAVE NOT BEEN RETAINED FOR CONSTRUCTION INSPECTION SERVICES OR FOR APPROVAL OF SHOP DRAWINGS. ARCHITECT IS ONLY RESPONSIBLE FOR THESE WORKING DRAWINGS AND THEIR RELATED SPECIFICATIONS. IT REMAINS INDICATED ON THE CONTRACTOR TO INFORM THE BUILDING DEPARTMENT OR THE ARCHITECT OF ANY DISCREPANCY OR CHANGE ON APPROVED PLANS AND OF ANY UNFORESSEEN DEVELOPMENT THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION.
7. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXISTING STRUCTURE OR ANY UNFORESSEEN PROBLEMS PRIOR TO NEW CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NEW CONSTRUCTION AND/OR DEMOLITIONS OPERATIONS AND METHODS.
8. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. ALL DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED. ARCHITECT SHALL BE INFORMED OF ANY DISCREPANCIES, MATCH ALL EXISTING MATERIALS, DIMENSIONS, AND CONDITIONS AS THEY APPLY.
9. ALL DIMENSIONS ARE APPROXIMATE AND ARE TO BE FIELD VERIFIED PRIOR TO START OF WORK. DO NOT SCALE DIMENSIONS FROM DRAWINGS. WRITTEN DIMENSIONS ARE TO BE FOLLOWED FOR CONSTRUCTION PURPOSES.
10. ALL CONSTRUCTION & MATERIALS SHALL BE NEW - UNLESS OTHERWISE NOTED. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR, UNLESS OTHERWISE NOTED.
11. ALL WORK OF THE VARIOUS TRADES INVOLVED WITH THE CONSTRUCTION OF THIS PROJECT, IS TO BE PERFORMED BY CAPABLE AND REPUTABLE CONTRACTORS, LICENSED IN THE STATE OF NEW YORK AND AS REQUIRED BY THE LOCAL GOVERNING AGENCY.
12. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT HAS BEEN SECURED AS REQUIRED BY THE APPLICABLE GOVERNING AGENCY OR AGENCIES.
13. ALL CONDITIONS AND DIMENSIONS SHALL BE VERIFIED BEFORE START OF ANY WORK AND DISCREPANCIES OR VARIATIONS TO APPROVED PLAN ARE TO BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING.
14. PRIOR TO COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE FROM THE JOB SITE ALL TOOLS, SURPLUS MATERIALS, EQUIPMENT, SCRAP, DEBRIS, AND WASTE EXCEPT AS OTHERWISE NOTED BY THE OWNER.

SITE NOTES

15. CONTRACTOR/OWNER IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND VERIFYING LOCATION OF SAME UTILITY COMPANIES LINES, SERVICES AND OTHER POSSIBLE EQUIPMENT OF UTILITY COMPANY.
16. ALL EXISTING CONDITIONS INDICATED ON THE PLANS TO BE REMOVED OR RELOCATED ARE TO BE SO EXECUTED IN A MANNER THAT WILL NOT DISTURB ADJACENT AREAS OR CONDITIONS WHICH ARE TO REMAIN.
17. EXTREME CAUTION IS TO BE TAKEN DURING EXCAVATION AND/OR DEMOLITION. CONTRACTOR TO OBSERVE ANY VARIATIONS OR UNFORESSEEN DISCREPANCIES IN THE PLANS AND REPORT IMMEDIATELY TO THE OWNER.
18. ALL FOOTINGS TO REST ON VIRGIN SOIL HAVING A MINIMUM BEARING CAPACITY OF 3,000 P.S.F. AT 3' MINIMUM BELOW THE FINISHED GRADE.
19. EARTH UNDER CONCRETE SLAB BE THOROUGHLY COMPACTED AND CLEANED OF DEBRIS, WATER AND OTHER MATTER. THE SUB-GRADE SHALL DROUGHT TO A TRUE PLANE & COMPACTED TO SOLE BEARING. ALL FILL MATERIAL SHALL BE SOIL OR SOIL-ROCK MIXTURE FREE FROM ORGANIC MATTER AND OTHER OBJECTIONABLE MATERIAL. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER 6" IN DIAMETER OR DIMENSION AND NOT MORE THAN 15% OF THE ROCKS OR LUMPS SHALL BE LARGER THAN 2" IN GREATEST DIMENSION.
20. DO NOT BACKFILL UNTIL MAIN FLOOR SYSTEMS, INCLUDING SLABS AND FLOOR DECK, ARE INSTALLED.
21. BACKFILL AGAINST 8" POURED CONCRETE WALLS SHALL BE A MAXIMUM OF 7" OF 10" CONCRETE BLOCK WALLS MAXIMUM 8" ABOVE SLAB TO ADJACENT GRADE.
22. TOP 6" OF NEWLY GRADED AREAS IS TO BE TOP SOIL, RAKED FREE FROM DEBRIS, STICKS, STONES OVER 2" IN SIZE AND OBJECTIONABLE MATERIAL.
23. GENERAL CONTRACTOR OR OWNER SHALL FIELD VERIFY ALL INVERT ELEVATIONS AND SEWER CONDITIONS INDICATED PRIOR TO CONSTRUCTION. ARCHITECT ASSUMES NO RESPONSIBILITY FOR INFORMATION CONTAINED IN SURVEYS OR SEWER DEPT. RECORDS.
24. FOOTING DRAINS TO BE PROVIDED WHERE REQUIRED AND APPROPRIATE THEY SHALL BE Laid IN GRAVEL BED AND PROTECTED AT TOP WITH FILTER FABRIC AND PROVIDE POSITIVE OUTFLOW TO STORM DRAIN OR DRY WELL.
25. FINISHED GRADE AND DRIVEWAY SHALL DITCH AWAY FROM THE BUILDING, SO THAT ALL SURFACE WATER FLOWS AWAY FROM IT.
26. INSTALLATION OF GAS METERS SHALL BE IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
27. INSTALLATION OF ELECTRIC METERS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH LOCAL UTILITY COMPANY SPECIFICATIONS.
28. FINISHED GRADE HEIGHT SHALL BE MINIMUM 8" BELOW ADJACENT FRAMING AND MAXIMUM (IF ANY) AS PER LOCAL CODES.

CONCRETE AND MASONRY

29. NEW POURED CONCRETE TO BE MINIMUM 3,000 P.S.F. COMPRESSIVE STRENGTH IN 28 DAYS; 40 BAGS OF CEMENT MIN. PER CUBIC YARD OF CONCRETE AND MAXIMUM 7 1/4 GALLONS OF WATER PER 94 LB SACK OF CEMENT; 6 1/4 GALLONS OF WATER PER 94 POUND SACK OF CEMENT FOR AIR ENTRAINED CONCRETE. SUBMIT TESTING REPORTS PERFORMED BY APPROVED TESTING LABORATORY, AS REQUIRED BY LOCAL OFFICIALS.
30. CONCRETE DESIGN, MATERIALS, AND METHODS OF CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE STANDARD & RATIO OF THE AMERICAN CONCRETE INSTITUTE. ALL MASONRY OR CONCRETE ANCHORS AND FASTENERS OF ANY KIND, TO BE GALVANIZED OR ZINC COATED.
31. BLOCK FOUNDATION WALLS TO BE REINFORCED HORIZONTALLY WITH DUB-WALL EVERY SECOND COURSE AND VERTICALLY WITH #4 REBAR EVERY FOUR FEET (BLOCK SHALL BE FILLED SOLID WITH CONCRETE AROUND REINFORCING BARS). TOP COURSE OF BLOCK SHALL BE FILLED SOLID WITH CONCRETE AND 3/8" DIAMETER ANCHOR BOLTS SHALL BE PLACED 4'-0" TO 6'-0" O.C.

ENERGY CODE

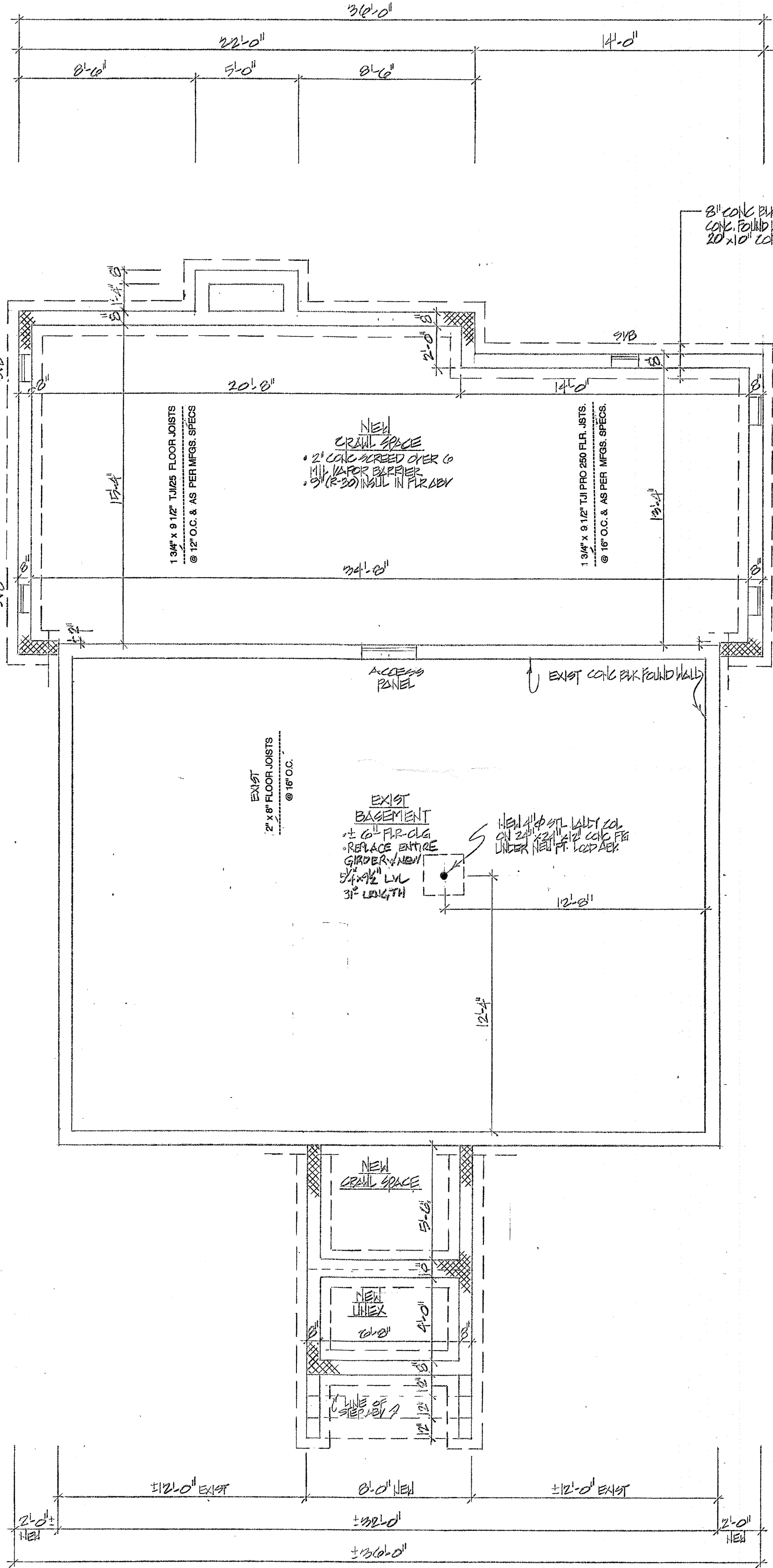
TABLE R601.2.1 INSULATION AND PENETRATION REQUIREMENTS BY COMPONENTS ROCKLAND/CLIMATE ZONE 5									
CLIMATE ZONE	ROOF/CEILING U-FACTOR	WALLS U-FACTOR	FLOOR U-FACTOR	GLAZED WINDOW U-FACTOR	CEILING U-FACTOR	WALL U-FACTOR	FLOOR U-FACTOR	GLAZED WINDOW U-FACTOR	CEILING U-FACTOR
4 except Marine	0.35	0.35	0.40	49	20 ft 13 x 5 ft	8/13	18	10/13	10.2 ft
5 and Marine 4	0.27	0.35	NR	49	13 x 5 ft	13/17	30 ft	16/19	10.2 ft

BARBARA RESIDENCE TWO-STORY ADDITION

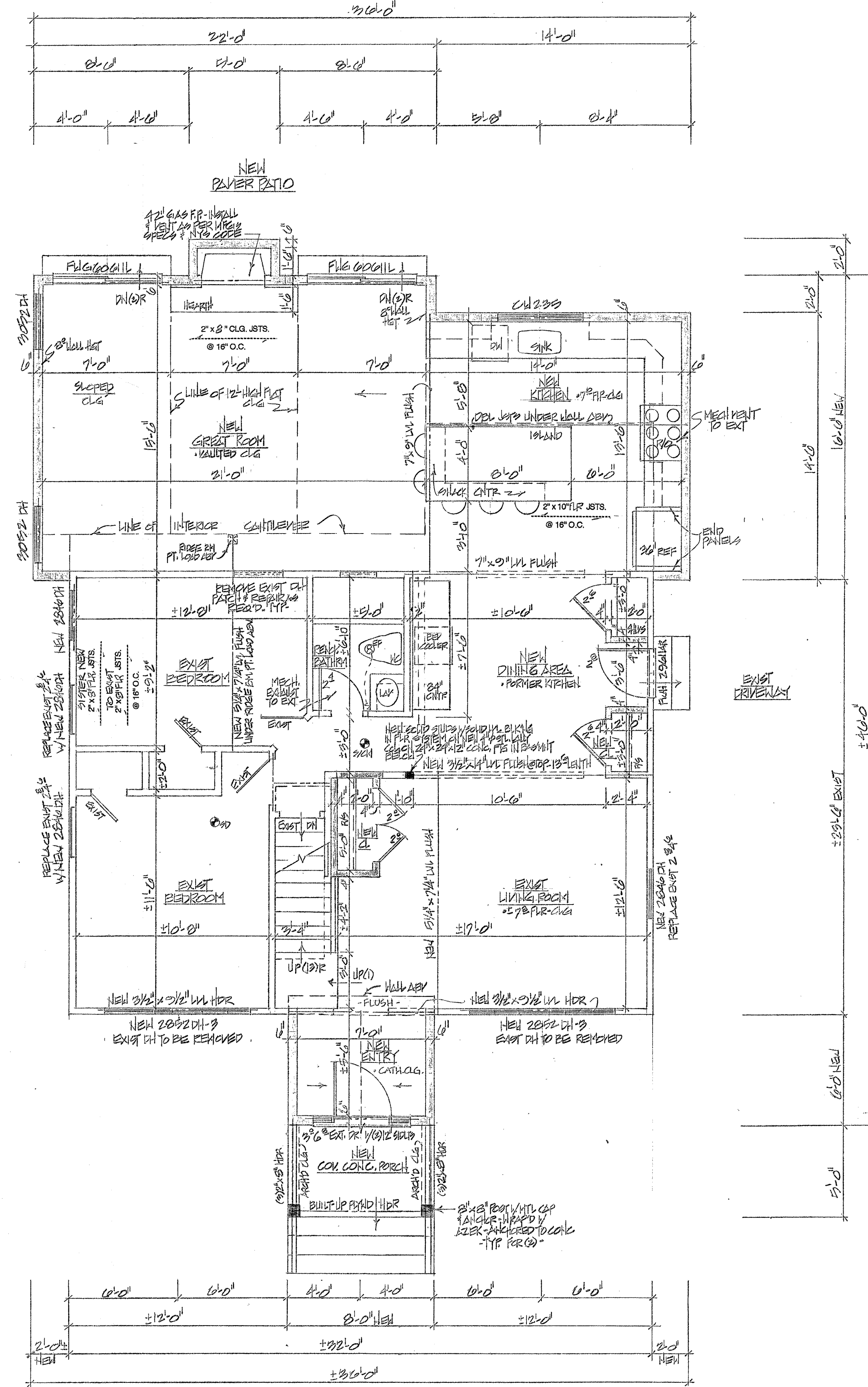
155 BRIGHTWOOD AVENUE
PEARL RIVER, NEW YORK

PROJECT 240519
DECEMBER 12, 2024

2
OF
3



BASEMENT/FOUNDATION PLAN



MAIN FLOOR PLAN

NOTE: ALL HEADERS ARE TO BE (2) 2"x10" UNLESS OTHERWISE INDICATED

SCALE: 1/4" = 1'-0"

EXIST. S.F.: 768; NEW S.F.: 1,626
TOTAL MAIN FLR. S.F.: 1,394

HARRY J. GOLDSTEIN
ARCHITECT
DESIGN & DEVELOPMENT

4 REGINA ROAD
MONSIEY, NEW YORK 10952
(845) 356-7942 (914) 393-7378

GENERAL SPECS. CONTINUED

FRAMING

22. ALL LUMBER MATERIALS USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIAL, FREE FROM ROT, LARGE AND LOOSE KNOTS, SHADES, AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED AND OF SIZES INDICATED ON DRAWINGS. STUDS, SILL POSTS, LINTELS AND RAFTERS SHALL BE NO.1 OR BETTER (10% MAXIMUM GRADES EXCEPT IF NOTED OTHERWISE HEREINAFTER IN THIS SPECIFICATION OR ON THE DRAWINGS. THE MAX UNIT STRESS FOR HEM-FIR SHALL BE:

FIBER STRESS (F _b)	1500 PSI
HORIZONTAL SHEAR (F _v)	95 PSI
MODULUS OF ELASTICITY (E)	1,400,000 PSI

WHERE INDICATED ON THE DRAWINGS WITH THE NOTATION F_b-1500 ONLY DOUGLAS FIR LARCH-NORTH (15% MAX. MOISTURE NO. 1 GRADE) SHALL BE USED WITH THE FOLLOWING MIN. UNIT STRESSES:

FIBER STRESS (F _b)	1500 PSI
HORIZONTAL SHEAR (F _v)	95 PSI
MODULUS OF ELASTICITY (E)	1,800,000 PSI

CALCULATED DESIGN LOADS (ADD 10 PSI DEAD LOAD ALL SPANS):

ROOF	30 PSI LIVE LOAD (60)
FLOORS	40 PSI LIVE LOAD (80)
ATTIC	20 PSI LIVE LOAD (40)
DECKS	60 PSI LIVE LOAD (70)

23. ALL SILL PLATES IN CONTACT WITH CONCRETE OR MASONRY WALLS, SLABS, ETC. SHALL BE PRESSURE TREATED LUMBER (UNLESS OTHERWISE NOTED). SILL SEAL SHALL BE OWENS CORNING SILL SEALER (OR APPROVED EQUAL). TERMITES SHALL BE INSTALLED WHERE REQUIRED BY SITE CONDITIONS AND BUILDING CODES.

24. DOUBLE JOISTS SHALL BE INSTALLED UNDER ALL PARTITIONS RUNNING PARALLEL WITH SPANS AND AROUND ALL FLOOR OPENINGS. DOUBLE STUDS SHALL BE INSTALLED AROUND ALL WALL OPENINGS. ONE ROW OF SOLID BRIDGING AT MID-HEIGHT WITHIN ALL EXTERIOR BEARING WALLS. DOUBLE FRAMING AROUND ALL SKYLIGHTS. ROOF AND FLOOR TRUSSES (T₁) AND LVL (MICRO-LAM) TO BE INSTALLED IN STRICT COMPLIANCE WITH MANUFACTURERS SPECIFICATIONS. FLOOR JOISTS SHALL RECEIVE CROSSBRIDGING AT 7'-0" O.C. MAXIMUM SPACING.

25. INTERIOR SUBFLOOR SHALL BE 3/4" TONGUE AND GROOVE SHEATHING GLUED AND NAILED OVER PREBRIDGED FLOOR TRUSSES OR TWO LAYERS OF 1/2" PLYWOOD LAM PERPENDICULAR TO EACH OTHER WITH BUILDING PAPER BETWEEN LAYERS. GLUED AND NAILED TO FLOOR JOISTS. EXTERIOR SHEATHING SHALL BE 1/2" EXTERIOR GRADE APPLIED HORIZONTALLY WITH VERTICAL JOINTS STAGGERED 4'-0". ROOF SHEATHING SHALL BE 1/2" EXTERIOR GRADE PLYWOOD, UNLESS OTHERWISE NOTED.

26. EXTERIOR WALLS SHALL BE 2" X 8" WOOD FRAMING. INTERIOR PARTITIONS SHALL BE 2" X 4" WOOD FRAMING. STUDS SHALL BE PLACED AT 16" ON CENTER (UNLESS OTHERWISE NOTED) AND RECEIVE BLOCKING AT MID-HEIGHT AS REQUIRED. STUDS AT CABLE ENDS UNDER CATHEDRAL CEILINGS SHALL RUN FULL HEIGHT FROM SILL PLATE TO ROOF AND SHALL RECEIVE SOLID BLOCKING AT 8'-0" ABOVE FLOOR. ALL BEARING WALLS AND PARTITIONS SHALL RECEIVE BLOCKING AT MID-HEIGHT.

27. HEADERS OVER ALL DOORS, WINDOWS, AND OTHER OPENINGS UNDER 6'-0" SHALL BE (2) 2" X 10" (UNLESS OTHERWISE NOTED). HEADER OPENINGS 6'-0" TO 8'-0" SHALL RECEIVE (2) 2" X 10" OR (2) 2" X 12" HEADERS IN EXTERIOR WALLS, UNLESS OTHERWISE NOTED.

28. ALL EXTERIOR DECKS SHALL BE FRAMED WITH PRESSURE TREATED LUMBER (UNLESS OTHERWISE NOTED). LUMBER SHALL HAVE THE FOLLOWING MINIMUM STRESSES: F 1000 PSI AND E 1,200,000 PSI AND SHALL BE SOUTHERN YELLOW PINE OR APPROVED EQUAL. GALVANIZED HEAVY DUTY POST BASES SHALL BE PROVIDED AT BASE OF ALL WOOD COLUMNS. DECK JOISTS SHALL RECEIVE DIAGONAL CROSS BRACE OR DIAGONAL BRACING. DECKING AND RAILS TO BE NON-TOXIC LUMBER, I.E. DOUGLAS FIR, CEDAR, OR EQUAL. RAILINGS TO BE CONSTRUCTED AT 36" HEIGHT AND WITH MAXIMUM 4" SPHERE OPENING, AS PER CODES.

29. ROOFING MATERIAL SHALL BE MINIMUM 20 YEAR FIBERGLASS SHINGLES (OWENS CORNING OR APPROVED EQUAL) OVER 15# ROOFING FELT. VALLEY FLASHING AND OTHER APPROPRIATE FLASHING SHALL BE PROVIDED AS REQUIRED. ICE AND WATER SHIELD SHALL BE INSTALLED AS REQUIRED.

30. FASCIA BOARDS SHALL BE SCARFED AT A 45 DEGREE ANGLE OR 90 DEGREE ANGLE. FASCIA BOARDS SHALL BE COMMON PINE WRAPPED IN ALUMINUM, UNLESS OTHERWISE NOTED.

31. ALUMINUM GUTTERS AND LEADERS SHALL BE PROVIDED AS REQUIRED. SPLASH BLOCKS SHALL BE PROVIDED AT OUTLETS UNLESS OTHER PROVISIONS FOR WATER DRAINAGE ARE PROVIDED. ALL WATER MUST DRAIN AWAY FROM STRUCTURE SO AS NOT TO CONTRIBUTE TO GROUND WATER SEEPAGE AT FOUNDATION.

32. WINDOWS SHALL BE SIZE, TYPE AND MFG. AS INDICATED ON PLANS, WITH SCREENS AND HARDWARE PROVIDED. GLAZING LESS THAN 18" ABOVE FLOOR SHALL BE TEMPERED. OPTIONS SUCH AS GLAZING, GRILLS, COLORS, ETC., SHALL BE SELECTED BY OWNER AND/OR BUILDER PRIOR TO CONSTRUCTION. HEAD HEIGHT SHALL BE 8'-0" UNLESS OTHERWISE NOTED.

33. EXTERIOR DOORS TO BE OF THE MANUFACTURER, TYPE, SIZE, AND STYLE AS INDICATED ON THE DRAWINGS. ANY MANUFACTURER'S OPTIONS SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR UNLESS OTHERWISE INDICATED ON THE DRAWINGS. ALL DOORS SHALL BE 6'-8" HEIGHT UNLESS OTHERWISE NOTED. PROVIDE WEATHER STRIP SADDLE ON ALL EXTERIOR DOORS. PROVIDE ALUMINUM SADDLE ON ALL INTERIOR PER SONNEL GARAGE DOORS.

34. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH LOCAL HEALTH DEPARTMENT REQUIREMENTS AND SHALL BE SUBJECT TO THE APPROVAL OF THE PLUMBING INSPECTOR. PLUMBING WORK SHALL BE PROVIDED BY CONTRACTOR. BATHROOM FIXTURES SHALL BE KOHLER, AMERICAN STANDARD, OR APPROVED EQUAL. OWNER SHALL SELECT FIXTURES AND COLORS. PLUMBING FIXTURES TO BE MANUFACTURED 9" (OR EQUAL).

35. ALL ELECTRICAL WORK SHALL CONFORM COMPLETELY TO THE REQUIREMENTS OF THE N.E.C. AND LOCAL UTILITY COMPANY. GROUND FAULT INTERRUPTERS, DUPLEX RECEPTS, ETC., SHALL BE INSTALLED AS REQUIRED ACCORDING TO KITCHEN AND/OR BATH LAYOUTS AND CODE REQUIREMENTS.

36. ALL HEATING AND AIR CONDITIONING WORK SHALL CONFORM COMPLETELY TO THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES. THE HEATING AND AIR CONDITIONING SYSTEM SHALL MEET ALL REQUIREMENTS OF THE NEW JERSEY STATE ENERGY CONSERVATION CONSTRUCTION CODE AS THEY APPLY.

37. APPLY FOUNDATION DAMPROOFING OR WATERPROOFING ON ALL BACKFILL FACES OF WALLS BELOW EARTH GRADE.

38. PROVIDE 15# BUILDING FELT, "TYNEX", "TYPAR", OR EQUAL, BEHIND ALL SIDING, WINDOW, AND DOOR CASINGS, NAIL TRIMS, ETC.

39. ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED, CAULKED, WEATHER STRIPPED OR OTHERWISE PROPERLY SEALED.

40. ALL EXTERIOR WALLS AND ROOFS SHALL BE INSULATED AS INDICATED ON PLANS AND AS PER CODES. INSULATION SHALL BE POLY OR KRAFT FACED FIBERGLASS BATT INSULATION. RIDGE VENTS SHALL BE INSTALLED IN CATHEDRAL CEILINGS AS REQUIRED.

41. ALL GYPSUM BOARD SHALL BE SCREWED ON CEILINGS AND/OR NAILED TO WALLS. IT RECEIVE THREE COATS OF BRANCO, FINISHED TO RECEIVE TWO COATS OF PAINT. ONE COAT OF PRIMER, COLORS BY OWNER. BATHROOMS SHALL RECEIVE WATERPROOF SHEETROCK BEHIND TILE AREAS, AND WOODWORKING OR APPROVED EQUAL BEHIND TILE IN BATH AND SHOWER AREAS.

42. FLOORING, TRIM, CLOSET SHELVING, CABINETRY, APPLIANCES, FIXTURES, HARDWARE ETC., SHALL BE SELECTED BY OWNER AND INSTALLED BY BUILDER IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

43. INTERIOR DOORS SIZED AS INDICATED ON DRAWINGS, STYLE AND TYPE BY OWNER/CONTRACTOR.

44. CERAMIC TILE OR MARBLE FLOORS IN THE AREA INDICATED ON PLANS SHALL BE INSTALLED IN A "WET" BASE.

45. OAK HARDWARE FLOORS SHALL BE INSTALLED MINIMUM 3 DAYS AFTER DELIVERY AND BUILDING TO BE HEATED. OAK FLOORS TO RECEIVE TWO COATS OF POLYURETHANE, QTY SEAL OR EQUAL.

46. STAIRS TO BE AS INDICATED ON DRAWINGS WITH A MINIMUM OF 9" TREAD, AND A MAXIMUM RISE OF 8". MATERIAL AND STYLE BY OWNER, UNLESS OTHERWISE INDICATED. ALL RAILINGS TO BE 3" X 4" (MINIMUM). STYLE AND MATERIAL TO BE SELECTED BY OWNER, AND SHALL CONFORM TO ALL STATE AND LOCAL CODES. 6" SPHERE MAXIMUM OPENING. ALL EXPOSED WOOD AND TRIM TO RECEIVE ONE COAT OF STAIN AND OPTIONAL TWO COATS POLYURETHANE.

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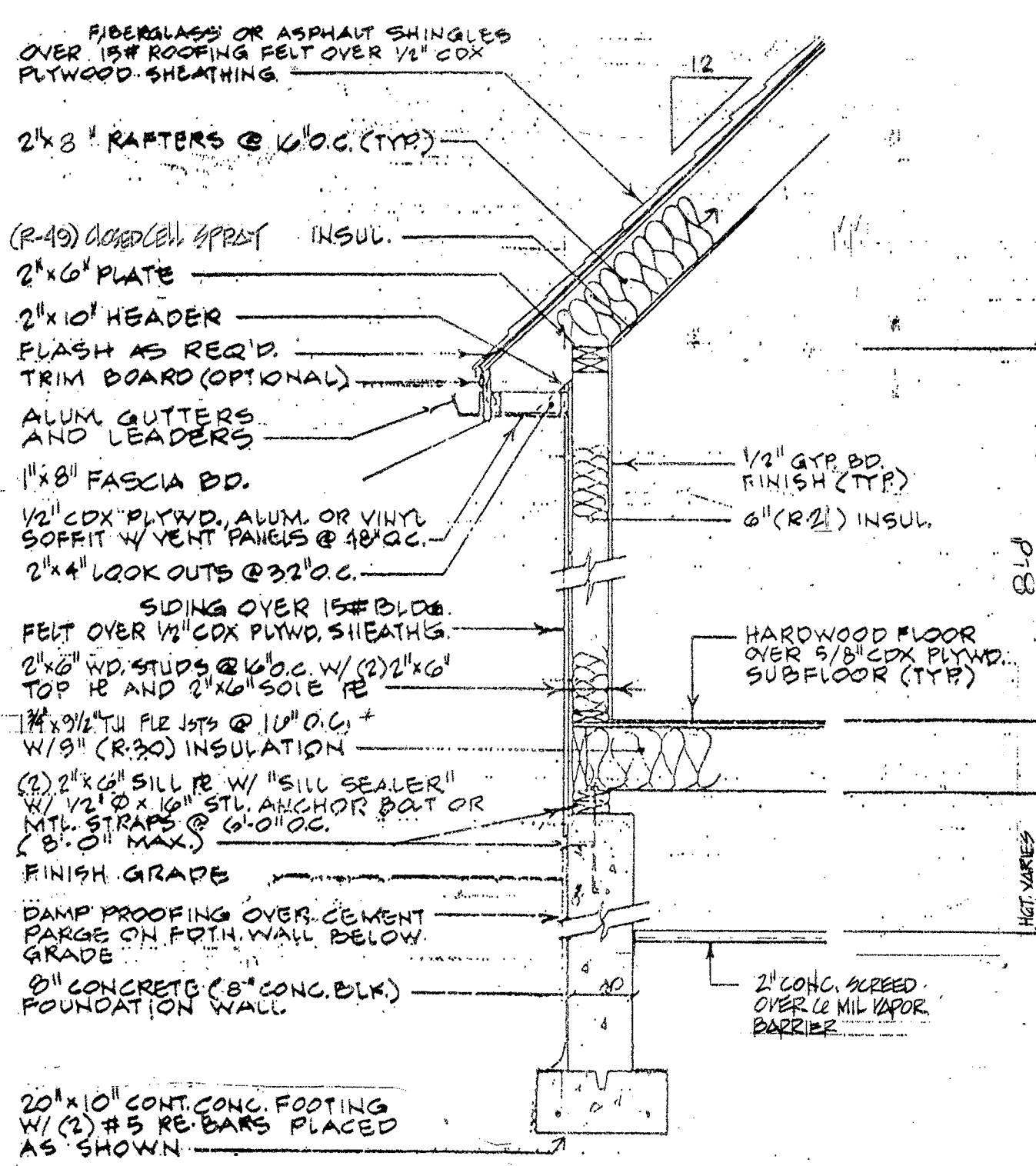
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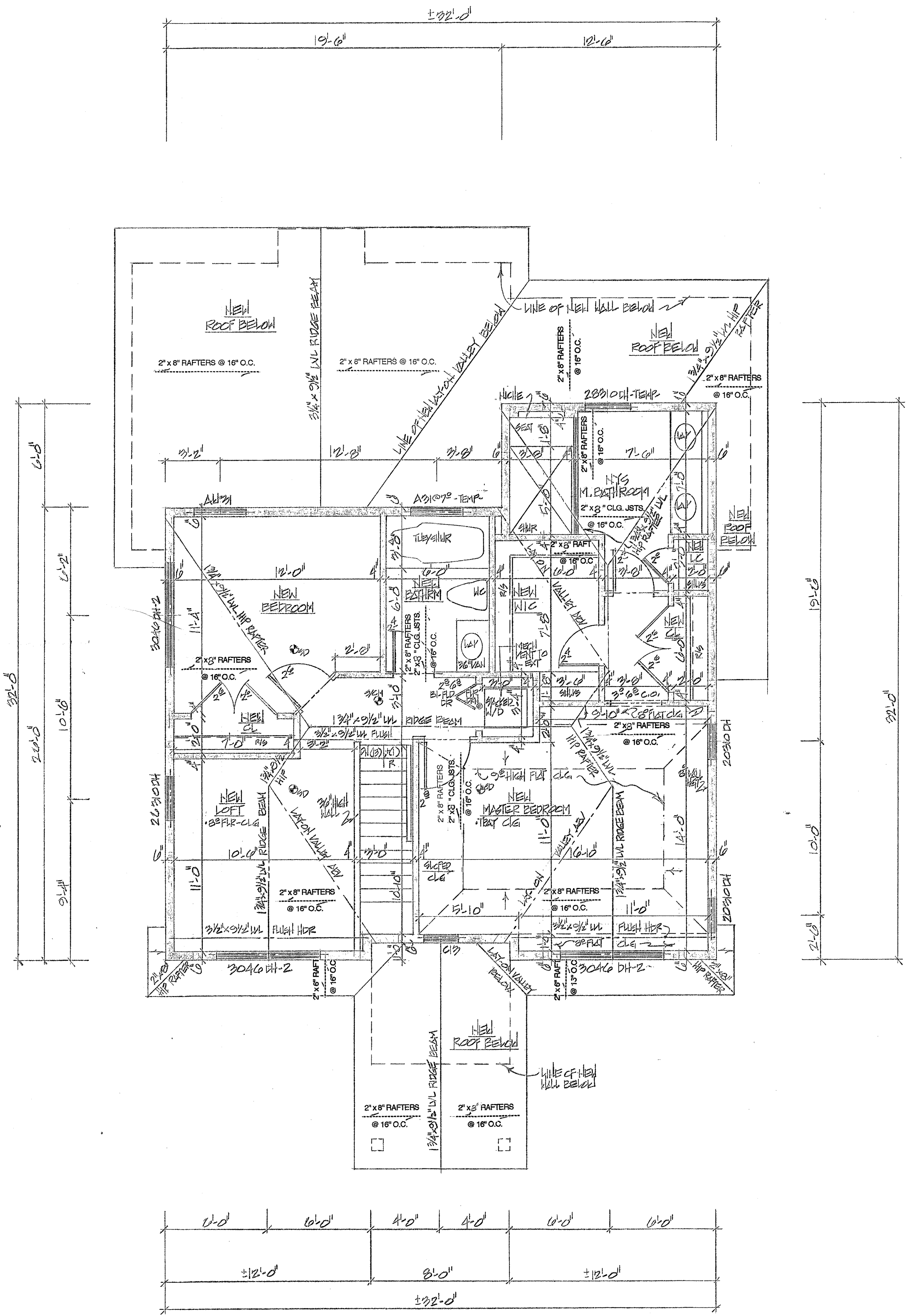
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TYPICAL WALL SECTION

SCALE: 1/2" = 1'-0"



SECOND FLOOR/ROOF PLAN

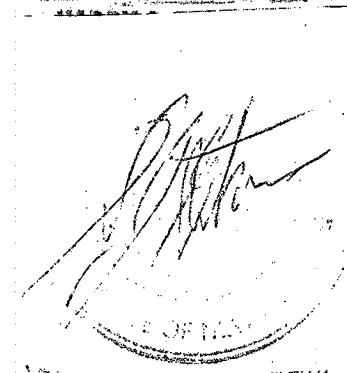
SCALE: 1/4" = 1'-0"

NEW SECOND FLOOR S.F.: 866
NEW TOTAL LIVING S.F.: 2260

NOTE: ALL HEADERS ARE TO BE (2) 2" X 10" UNLESS OTHERWISE INDICATED

BARBARA RESIDENCE
TWO-STORY ADDITION

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PEARL RIVER, NEW YORK



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PROJECT 240519
DECEMBER 12, 2024

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