

ZONING BOARD OF APPEALS

Town of Orangetown
26 Orangeburg Road
Orangeburg, New York 10962
(845) 359-8410 (ex. 4316)

Date: May 16, 2025

TO: OBAPAE

**NYS Dept of Environmental Conservation
New York State Dept. of Transportation
Palisades Interstate Park Commission
NYS Thruway Authority
ACOE
CSX**

**Rockland County Drainage
Rockland County Health
Rockland County Planning
Rockland County Highway
Rockland County Swr Dstrt #1
Orange and Rockland Utilities
Veolia**

This matter is scheduled for: June 18, 2025

Review of Plans: Varshavski, Mikhail, 72 Schuyler Road, Blauvelt, NY

Section 65.15 Block 1 Lot 12.2 R-80 zone

Chapter 43, R-80 District, Group A, Section 5.228 Caretaker’s Cottage (Front yard allowed, with rear yard proposed) for a caretaker’s cottage in the rear yard at an existing single-family residence. The premises are located at 72 Schuyler Road, Blauvelt, New York and identified on the Orangetown Tax Map as Section 65.15, Block 1, Lot 12.2 in the R-80 zoning district.

Please review the information enclosed and provide comments. These comments may be mailed, or e-mailed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 26 Orangeburg Road, Orangeburg, NY 10962
- Email to Zoning Board: KBettmann@orangetown.com

Zoning Board Meeting Date: June 18, 2025

- () Comments attached
- () No Comments at this time. Please send future correspondence for review.
- () No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
- () This project is out of the jurisdiction of this agency and has no further comments.

This project is before the **Zoning Board** on **Wednesday, June 18, 2025.**

Kindly forward your completed review to this office BEFORE June 18, 2025

Reviewing Agency _____

Name: _____ Date: _____

Signature: _____

Thank you, **Katlyn Bettmann (EXT. 4316)**

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: APR 09 2025

LAND USE BOARD APPLICATION

TOWN OF ORANGETOWN
LAND USE BOARDS

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLDR-6732-25
 ASSIGNED
 INSPECTOR: Mike

Referred from Planning Board: YES / NO
 If yes provide date of Planning Board meeting: _____

Project Name: 72 SCHUYLER ROAD

Street Address: 72 SCHUYLER ROAD BLAUVELT, NY

Tax Map Designation:

Section: 65.15 Block: 1 Lot(s): 12.2
 Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the EAST side of SCHUYLER ROAD, approximately
1,600 feet NORTH of the intersection of BRADLEY PARKWAY in the
 Town of ORANGETOWN in the hamlet/village of BLAUVELT.

Acreage of Parcel 5.532 AC.
 School District NYACK
 Ambulance District NYACK
 Water District ORANGETOWN

Zoning District R-80
 Postal District BLAUVELT
 Fire District NYACK
 Sewer District ORANGETOWN

Project Description: (If additional space required, please attach a narrative summary.)

PROPOSED CONSTRUCTION OF NEW ACCESSORY BUILDING

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 4/4/25 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

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APR 09 2025

FILL IN WHERE APPLICABLE.

TOWN OF ORANGETOWN
LAND USE PAGE

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area _____

Are there streams on the site? If yes, please provide the names. No

Are there wetlands on the site? If yes, please provide the names and type:

No

Project History:

Has this project ever been reviewed before? No

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

N/A

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

N/A



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

26 Orangeburg Road
Orangeburg, N.Y. 10962

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APR 23 2025

TOWN OF ORANGETOWN
LAND USE BOARDS
Fax: (845) 359-8526

(845)359-8410

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: 4.22.25 Section: 65.15 Block: 1 Lot: 12.2

Applicant: Varshavski

Address: 72 Schuyler Rd, Blauvelt, NY

RE: Application Made at: same

Referred For:

Chapter 43, Section 5.228 Caretakeers cottage allowed in R-80 District Front Yard w Rear Yrd proposed.

1 Variance required

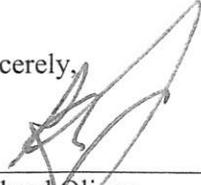
Comments:

Caretakers cottage in rear yard

Dear Varshavski:

Please be advised that the Building Permit Application # 6732-25, which you submitted on 2.24.25, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Katlyn Bettmann can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4316 or kbettmann@orangetown.com

Sincerely,


Richard Oliver
Deputy Building Inspector


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
10-01-2024: emd

4/22/25
Date
CC: Katlyn Bettmann
Elizabeth Decort

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: 72 Schuyler Road			
Project Location (describe, and attach a location map): 72 Schuyler Road Nyack, NY			
Brief Description of Proposed Action: Proposed accessory structure			
Name of Applicant or Sponsor: John Perkins R.A. , N.C.A.R.B.		Telephone: (845)429-4225	
		E-Mail: JohnPerkinsArchitect@Yahoo.com	
Address: PO Box 271			
City/PO: Tomkins Cove		State: NY	Zip Code: 10986
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		5.5 acres	
b. Total acreage to be physically disturbed?		.1 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		5.5 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

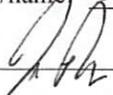
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APR 09 2025

		NO	YES	N/A
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

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APR 09 2025

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: John Perkins R.A., N.C.A.R.B. Date: 4/9/25		
Signature:  Title: ARCHITECT/AGENT		

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APR 09 2025

TOWN OF ORANGETOWN
LAND USE BOARDS

PRINT FORM

SWIS	PRINT KEY	NAME	ADDRESS
92489	65.15-1-4	County Of Rockland	County Office Building, New City, NY 10956
92489	65.15-1-5	Lily Chapin	47 Schuyler Rd, Nyack, NY 10960
92489	65.15-1-12.1	5 Kopac Lane LLC	141 Kinderkamack Rd Ste G, Park Ridge, NJ 07656
92489	65.15-1-12.2	Mikhail Varshavski	72 Schuyler Rd, Nyack, NY 10960
92489	65.15-1-12.3	Christopher Riccardi	92 Schuyler Rd, Central Nyack, NY 10960
92489	65.15-1-7.1	Rona Allen	43-45 Schuyler Rd, Nyack, NY 10960
92489	65.15-1-7.2	Rona Allen	43-45 Schuyler Rd, Nyack, NY 10960
92489	65.15-1-7.3	Christopher Fyfe	39 Schuyler Rd, Nyack, NY 10960
92489	65.15-1-7.4	Sherwin Reyes	22 Strawberry Hill Rd, W Nyack, NY 10994

392489 65.15-1-1.2 Town of Orangetown 26 Orangeburg Rd.
Orangeburg, NY, 10962

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APR 09 2025

TOWN OF ORANGETOWN
LAND USE BOARDS

Varshavski
72 Shuyler Road
Nyack, New York 10960

April 2, 2025

Building Inspector
Town of Orangetown
20 Greenbush road
Orangeburg, New York 10962

Re:
Varshavski
72 Shuyler Road
Nyack, New York 10960

To whom it may concern,

This letter should act as confirmation that John Perkins Architect should act as our agent in all phases of preparing the application for the Zoning Board of Appeals and Building permit applications. It should be noted Mr. Perkins will be acting as our contact and representative at any Board meetings. Please grant access to any reference materials in filing these applications in our file.
If you have any questions, please feel free to contact us.

Respectfully Yours,



Mikhail Varshavski

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APR 09 2025

TOWN OF ORANGETOWN
LAND USE BOARDS

DECISION

DRIVEWAY GRADE VARIANCE APPROVED

To: Donald Brenner (Schuyler Hills)
4 Independence Avenue
Tappan, New York 10983

ZBA # 04-109
Date: 9 / 2 / 04

FROM: ZONING BOARD OF APPEALS: Town of Orangetown

Re: ZBA#04-109: Application of Schuyler Hills Lots 12.2 and 12.3 for a variance from Chapter 43, R-80 zone; Section 6.332 (Grade not to exceed 10%: 11.8 % proposed) for a private driveway to service two single-family residences. Premises are located at 52 Schuyler Road, Blauvelt, New York and are identified on the Orangetown Tax Map as Section 65.15, Block 1. Lots 12.2 & 12.2; R-80 zone.

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meeting held on Thursday, September 2, 2004 at which time the Board made the determination hereinafter set forth.

Donald Brenner, Attorney, appeared and testified.

The following documents were presented:

1. Site development plan Lot #1 dated April 6, 2004 revised July 14, 2004 signed and sealed by Jay Greenwell, PLS.
2. Site development plan Lot # 2 dated April 6, 2004 revised July 15, 2004 signed and sealed by Jay Greenwell, PLS.
3. A memorandum dated February 25, 2004 signed by John Giardiello, Director, Office of Building, Zoning and Planning Administration and Enforcement, Town of Orangetown.

Donald Brenner, Attorney, testified that this 3-lot subdivision has been before the Planning Board for over two years; that the Planning Board has approved the plan with restrictions to limit tree removal; that the roads/private drives are merged to save trees; that the plan was originally submitted by Bill Youngblood showing a 10% profile; that part of the roads grade was not labeled and the Town did not detect this error until after the plan was filed; that the property owner has no recourse against Mr. Youngblood since he died; that Mr. Jay Greenwell has taken over the project and has shown that where the contour lines are closer together the grade is 11.7%; that to change the plan to accommodate the 10% grade would mean a lot more disturbance to the area; and that the houses would have automated sprinklers in case of a fire that would be serviced by the well.

Jay Greenwell, Land Surveyor, testified that to follow the profile/grading/site plan that was stamped and filed the plan would need to change; that in some areas it would be a slight change but in others the cut to the land would be much deeper causing a lot more disturbance to either side of the proposed road; that this would mean higher walls, loss of more trees and a lot more disturbance to the critical environmental area; and that there is a hydrant shown on the plan but he does not know how it would be serviced.

04 OCT 13 PM 12:17

TOWN OF ORANGETOWN

Public Comment:

Greg Talenfeld, 47 Schuyler Road, abutting property owner, testified that he appreciates the Board minimizing the amount of land disturbance; that he owns a fieldstone house about which he has expressed concerns at previous meetings; that he would like any blasting kept to a minimum; that his house does not have a basement; that he would like to express concerns that the Central Nyack Fire Department raised concerning the grade and access to the houses; that the Planning Board required that a fire hydrant be shown on the plans and he would like to know where the developer would be getting water from for the hydrant.

Sloan Wayland, 42 Schuyler Road testified that he understood that a water pump must be put in by Nyack; that their approval is needed for service; that the houses would be serviced by wells; that the Central Nyack Water Company built the main up the hill but it stops at the bottom of Schuyler Road; that they have a separate Fire District because of the gap between their houses and Blauvelt.

The Board members made a personal inspection of the premises on Sunday, August 29, 2004 and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of New York was received.

The Planning Board as Lead Agency issued a negative declaration for the SEQRA environmental review purposed on February 13, 2002 (PB#02-05).

FINDINGS OF FACT AND CONCLUSIONS:

After personal observation of the property, hearing all the testimony and reviewing the documents presented, the Board found and concluded that:

1. The requested driveway grade variance would not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties. Reducing the grade to 10% would required plan changes which would cause serious disturbance to a critical environmental area.
2. The requested driveway grade variance would have no adverse effect or impact on the physical or environmental conditions in the neighborhood or district.
3. The benefits sought cannot be achieved by other means feasible for the applicant other than obtaining a variance.

TOWN CLERKS OFFICE

04 OCT 13 PM 12:17

TOWN OF ORANGETOWN

DECISION: In view of the foregoing and the testimony and documents presented, the Board: RESOLVED, that the application for the requested driveway grade variance is APPROVED; and FURTHER RESOLVED, that such decision and the vote thereon shall become effective and be deemed rendered on the date of adoption by the Board of the minutes of which they are a part.

General Conditions:

- (i) The approval of any variance or Special Permit is granted by the Board in accordance with and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.
- (ii) Any approval of a variance or Special Permit by the Board is limited to the specific variance or Special Permit requested but only to the extent such approval is granted herein and subject to these conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.
- (iii) The Board gives no approval of any building plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to any variances being requested.
- (iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance or Special Permit granted herein is subject to any conditions, the building department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning and Planning Administration and Enforcement which legally permits such occupancy.

TOWN CLERKS OFFICE

04 OCT 13 PM 2:17

TOWN OF ORANGE TOWN

Schuyler
ZBA # 04-109
Page 4 of 4

(v) Any foregoing variance or Special Permit will lapse if any contemplated construction of the project or any use for which the variance or Special Permit is granted is not substantially implemented within one year of the date of filing of this decision or that of any other board of the Town of Orangetown granting any required final approval to such project, whichever is later, but in any event within two years of the filing of this decision. Merely obtaining a Building Permit with respect to construction or a Certificate of Occupancy with respect to use does not constitute "substantial implementation" for the purposes hereof.

The foregoing resolution to approve the application for the requested driveway grade variance was presented and moved by Mr. Mowerson seconded by Mr. Munno, and carried as follows: Ms. Castelli, aye; Mr. Mowerson, aye; Mr. Munno, aye; and Mr. Duffy, aye. Mr. Castagna was absent.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

DATED: September 2, 2004

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN

By 
Deborah Arbolino
Administrative Aide

DISTRIBUTION:

APPLICANT
ZBA MEMBERS
SUPERVISOR
TOWN BOARD MEMBERS
TOWN ATTORNEY
DEPUTY TOWN ATTORNEY
OBZPAE
BUILDING INSPECTOR -N.A.

TOWN CLERK
HIGHWAY DEPARTMENT
ASSESSOR
DEPT. of ENVIRONMENTAL
MGMT. and ENGINEERING
FILE,ZBA, PB
CHAIRMAN, ZBA, PB, ACABOR

TOWN CLERKS OFFICE

04 OCT 13 P12:17

TOWN OF ORANGETOWN



TL 65.15-1-12.1
N/F
POMONA PANORAMA ESTATES
LTD
(LOT 3 SCHUYLER HILLS)

TL 65.15-1-7
N/F
SCHLYER ASSOCIATES LLC

TL 65.15-1-5
N/F
GREGORY & ROCK
TALENFELD

TL 65.15-1-12.3
N/F
CHRISTOPHER & DEBBIE
RICCARDI

TL 65.15-1-12.3
N/F
CHRISTOPHER & DEBBIE
RICCARDI
(LOT 1 SCHUYLER HILLS)

TL 65.16-1-1.2
N/F
TOWN OF ORANGETOWN

Town of Orangetown
MEETING OF:
JUN 18 2025
ZONING BOARD OF APPEALS

RECEIVED
MAY 15 2025
TOWN OF ORANGETOWN
LAND USE BOARD

REVISION	DATE	DESCRIPTION
 ATZL, NASHER & ZIGLER P.C. ENGINEERS-SURVEYORS-PLANNERS 232 North Main Street New City, New York 10956 Tel: (845) 634-4694 Fax: (845) 634-5543 E-mail: info@anzny.com Web: www.ANZNY.com		
PROJECT:		
SCHUYLER HILLS		
TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK		
TITLE:		
"AS-BUILT"		
DRAWN BY: LF		CHECKED BY: JRA
DATE: FEBRUARY 02, 2024		SCALE: 1 IN. = 30 FT.
PROJECT NO: 4007		DRAWING NO: 1

TAX MAP REFERENCE:
TOWN OF ORANGETOWN TAX MAP
SECTION 65.15, BLOCK 1, LOT 12.2

LOT AREA:
241,016 SQ.FT. OR 5.5329 ACS.

NOTE:
DRAINAGE IMPROVEMENT LOCATIONS
PER BUILDER.

"UNAUTHORIZED ALTERATIONS OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S EMBOSSED SEAL IS A VIOLATION OF SECTION 2700, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW."
"ONLY COPIES FROM THE ORIGINAL TRACING OF THIS SURVEY MAP MARKED WITH THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES."
"CERTIFICATION INDICATED HERE ON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE DELAWARE - HUDSON LAND SURVEYORS ASSOCIATION. SAID CERTIFICATION SHALL RUN ONLY TO THOSE NAMED INDIVIDUALS AND/OR INSTITUTIONS FOR WHOM THE SURVEY WAS PREPARED. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INDIVIDUALS INSTITUTE THEIR SUCCESSORS AND/OR ASSIGNS OR SUBSEQUENT OWNERS."



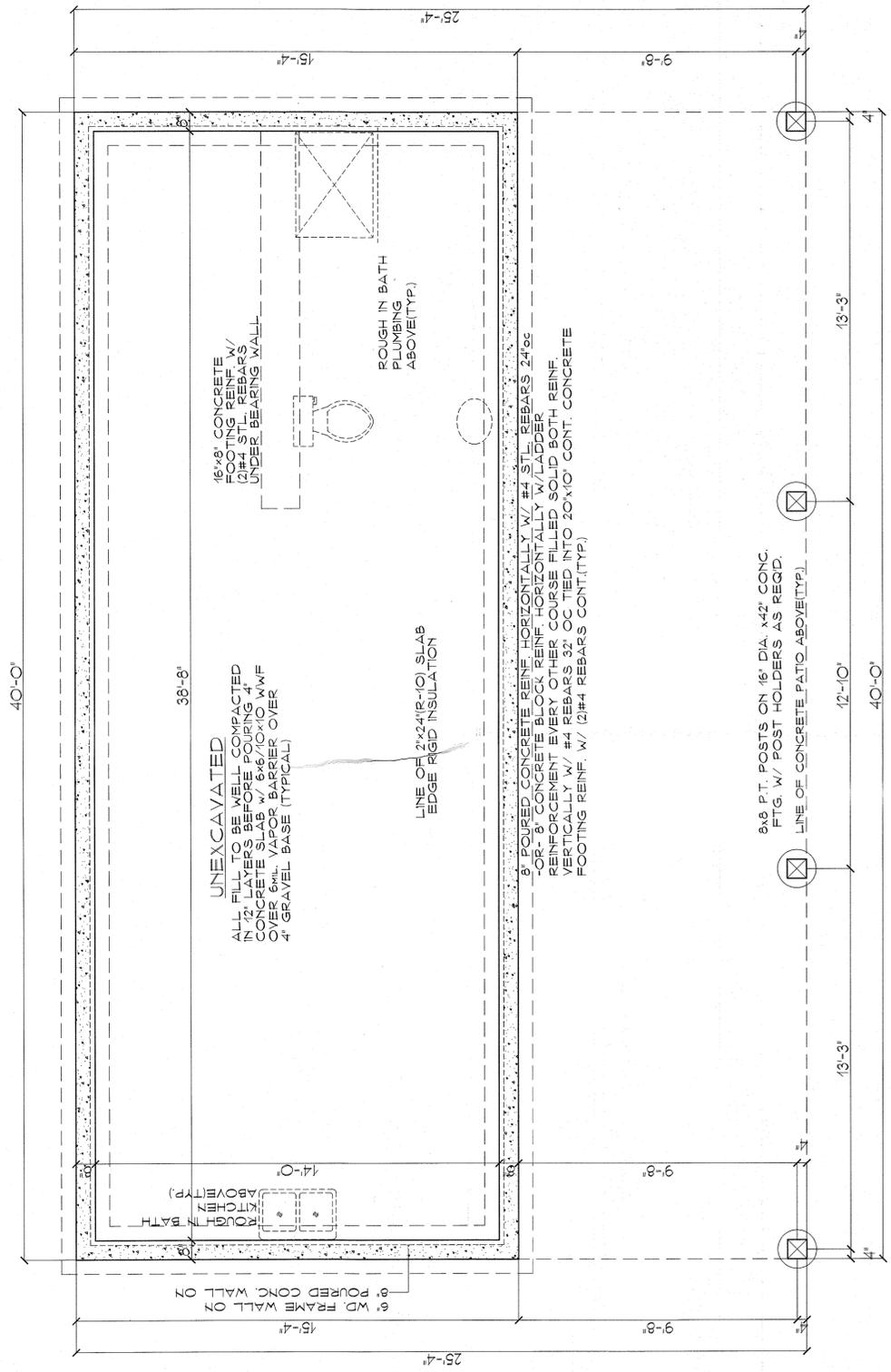
- REFERENCE:
- FINAL MINOR SUBDIVISION FOR SCHUYLER HILLS FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON OCTOBER 31, 2003, IN BOOK 123, PAGE 54, AS MAP NO. 7622.
 - AMENDED SUBDIVISION PLAT FOR SCHUYLER HILLS FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON MARCH 13, 2008, IN BOOK 127, PAGE II, AS MAP NO. 7292.

LEGEND

- 2' --- EXISTING 2' CONTOUR
- 10' --- EXISTING 10' CONTOUR
- W --- EXISTING WATERLINE
- --- EXISTING FIRE HYDRANT
- G --- EXISTING GAS LINE
- CB --- EXISTING CATCH BASIN
- --- EXISTING STORM DRAIN LINE
- SMH --- EXISTING SEWER MANHOLE
- S --- S --- EXISTING SEWER LINE
- ME03 --- EXISTING SPOT ELEVATION
- --- EXISTING STONEWALL
- --- EXISTING SIGN
- LP --- EXISTING LIGHT POLE
- UP --- EXISTING UTILITY POLE
- TC --- TOP OF CURB
- DC --- DROP OF CURB
- TW --- TOP OF WALL
- BW --- BOTTOM OF WALL
- --- TRANSFORMER BOX
- --- ELECTRIC BOX

P:\DRAWINGS\6007\4007 AS-BUILT 2-9-2024.DWG

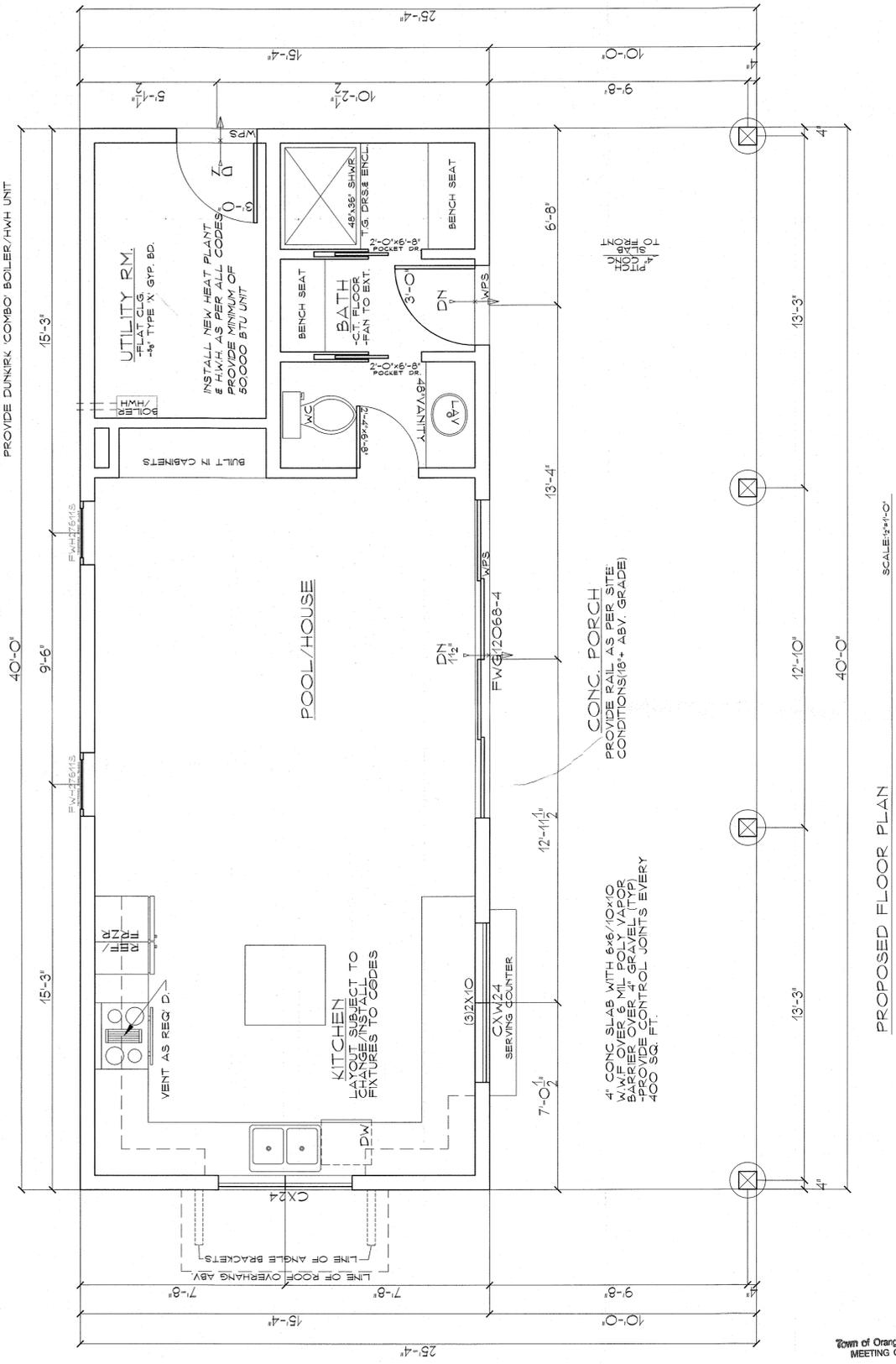
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT/LOANED TO THE CLIENT FOR USE AS A CONSTRUCTION GUIDE FOR THIS PROJECT ONLY. SUBSTITUTIONS AND/OR REVISIONS MADE DIFFERING FROM THESE PLANS WITHOUT WRITTEN NOTICE MAY VOID THE ARCHITECT'S RESPONSIBILITY.
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PROPOSED FOUNDATION PLAN SCALE: 1/8"=1'-0"

AREA DATA
 COVERED PORCH AREA = 400 SQ. FT.
 CARPANA AREA = 613 SQ. FT.
 TOTAL FLOOR AREA = 1013 SQ. FT.

HVAC DATA
 PROPOSED HEATED AREA = 613 +/- SQ. FT.
 PROPOSED HEATING REQUIRED = 47 BTU/S.F.
 TOTAL BTU REQUIRED = 28811 BTU
 USE BOILER WITH A 30000 BTU OUTPUT
 PROVIDE DUNKIRK COMBO BOILER/HWH UNIT



PROPOSED FLOOR PLAN SCALE: 1/8"=1'-0"

RECEIVED
 MAY 05 2025
 TOWN OF ORANGETOWN
 LAND USE BOARDS

BOARD OF APPEALS
 JUN 18 2025



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DRAWING TITLE:
FLOOR PLANS

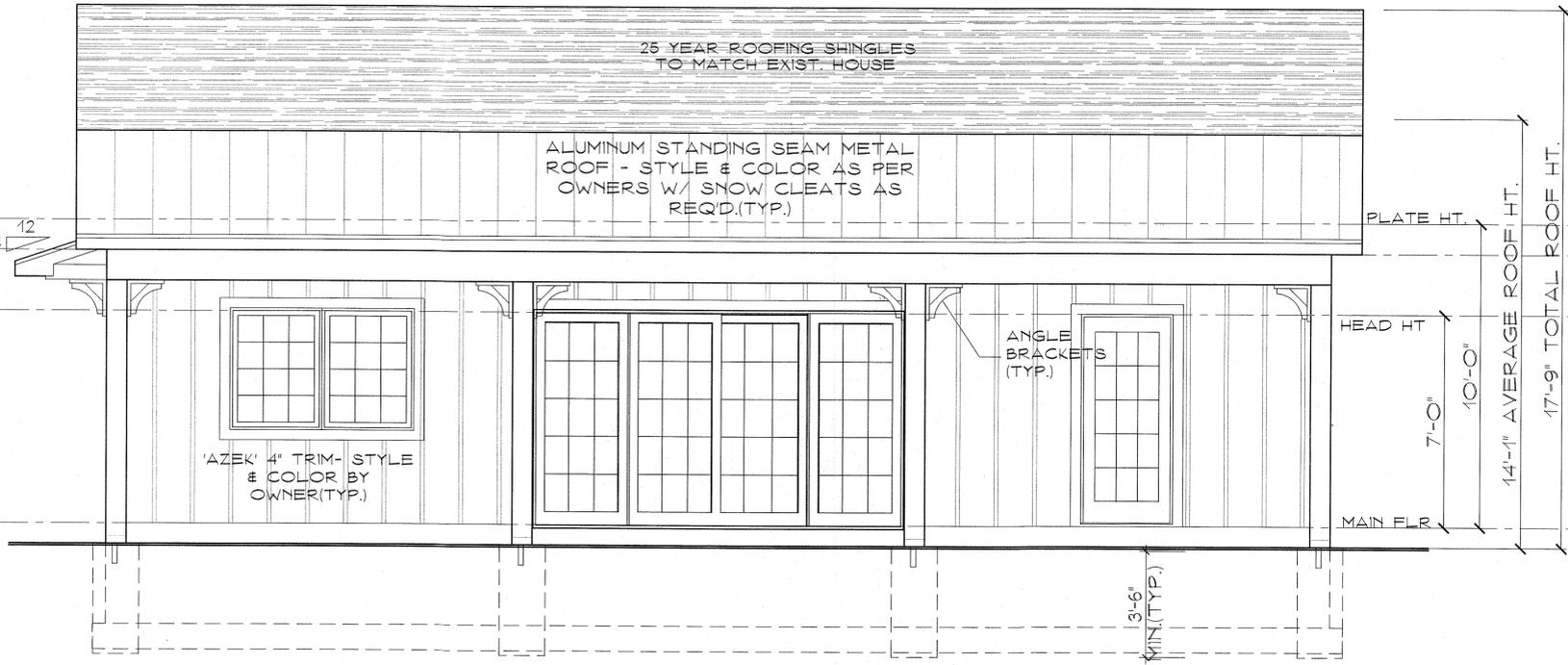
PROPOSED ACCESSORY BUILDING
 FOR THE
VARSHAVSKI RESIDENCE
 72 SCHUYLER ROAD
 BLAUVELT, NEW YORK

DATE:
 JANUARY 30, 2025
 Issue For Board Review
 FEBRUARY 14, 2025

SHEET:
 1 OF 2

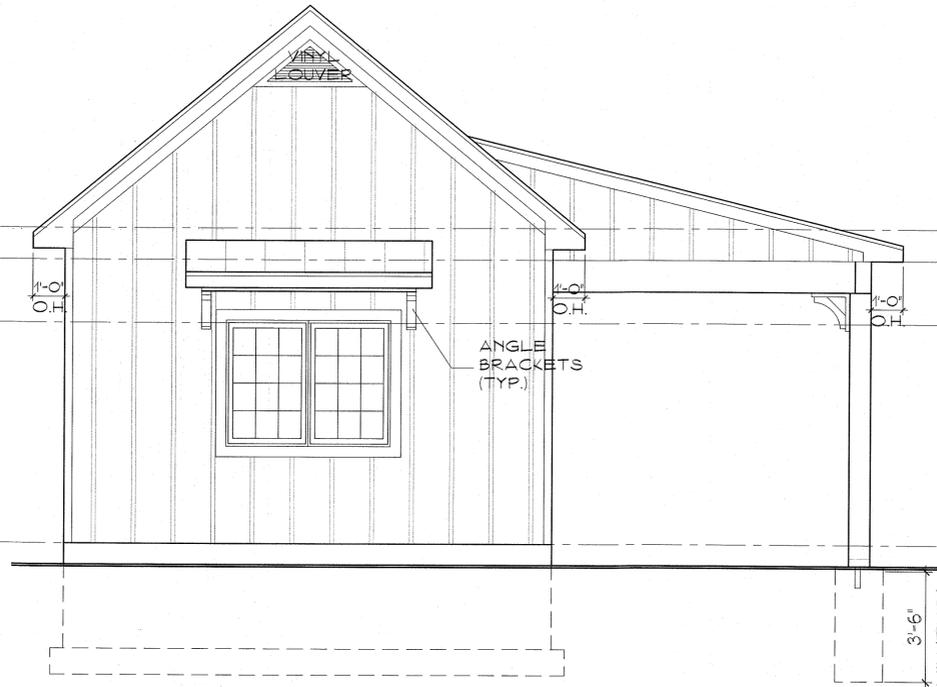
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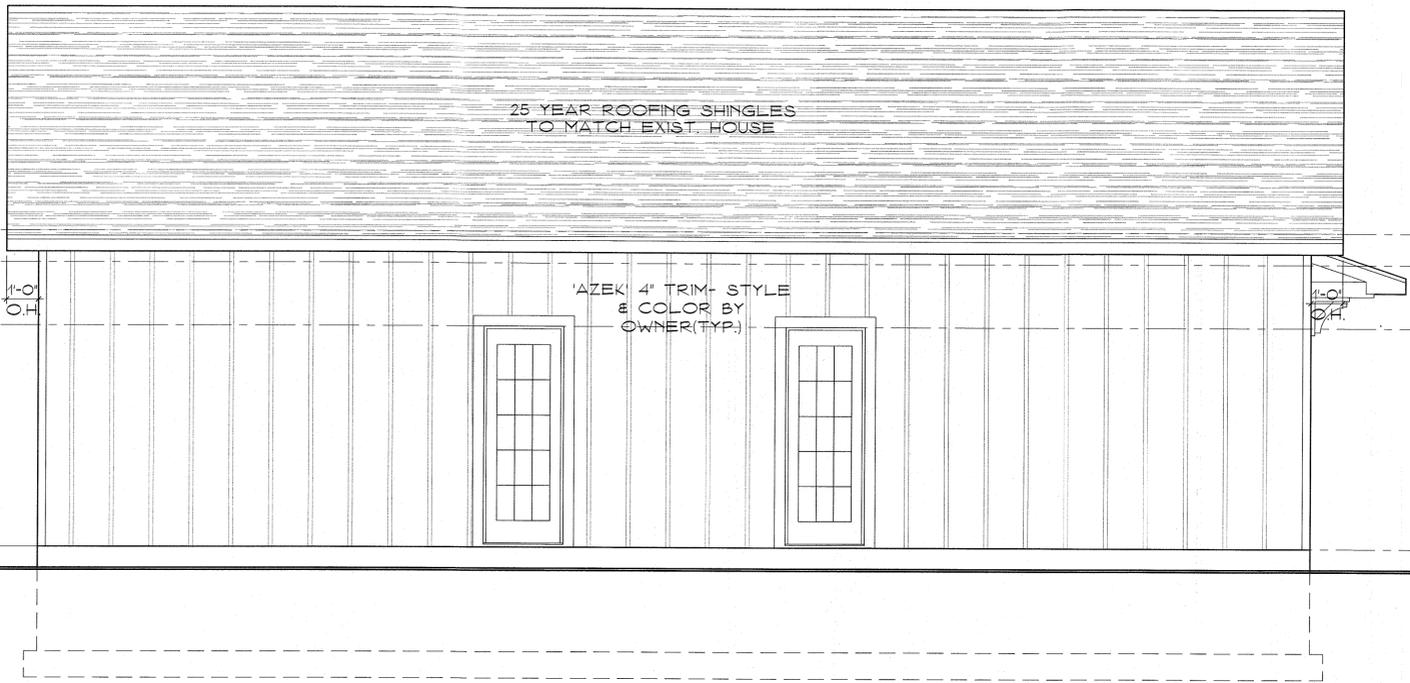
PROPOSED FRONT ELEVATION

SCALE: 3/8"=1'-0"



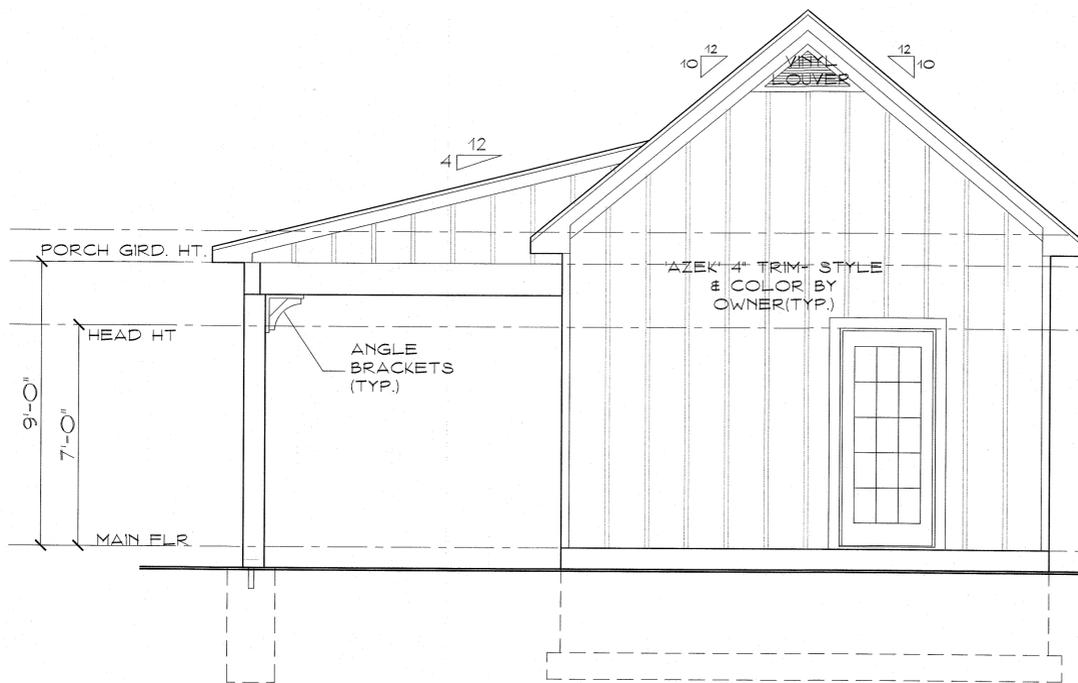
PROPOSED LEFT ELEVATION

SCALE: 3/8"=1'-0"



PROPOSED REAR ELEVATION

SCALE: 3/8"=1'-0"



PROPOSED RIGHT ELEVATION

SCALE: 3/8"=1'-0"

ISSUE FOR BOARD REVIEW ONLY - NOT FOR CONSTRUCTION

ISSUE FOR BOARD REVIEW ONLY



REVISION

DRAWING TITLE

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ELEVATIONS

PROPOSED ACCESSORY BUILDING

FOR THE

VARSHAVSKI RESIDENCE

72 SCHUYLER ROAD
BLAUVELT, NEW YORK

DATE:

JANUARY 30, 2025

Issue For Board Review

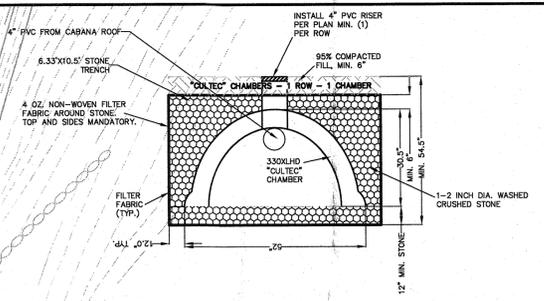
FEBRUARY 14, 2025

SHEET:

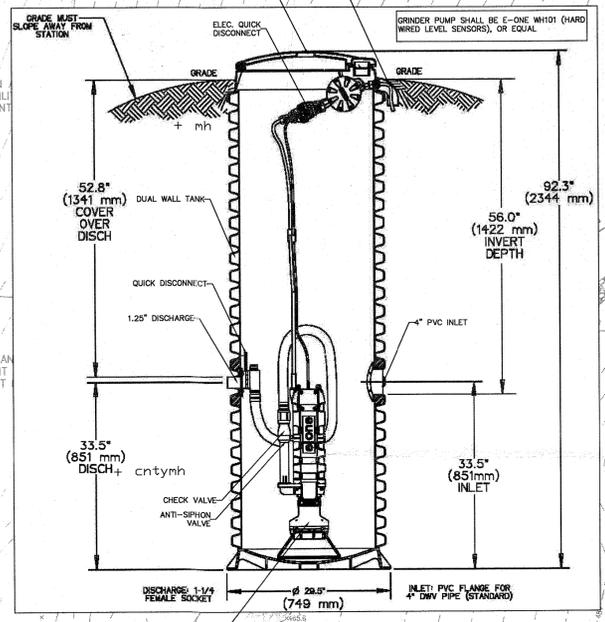
2 OF 2

PLANS VALID FOR PERMIT & CONSTRUCTION ONLY IF SIGNED AND SEALED. Note: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter these documents in any way.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2020 RESIDENTIAL BUILDING CODE OF NEW YORK STATE

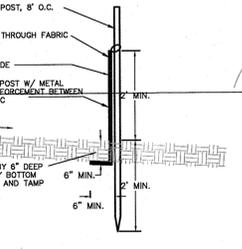


CROSS-SECTION - "CULTEC" CHAMBERS



GRINDER PUMP DETAIL

- NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES, AS WELL AS MANUFACTURER'S RECOMMENDATIONS.
 2. IF GROUNDWATER ENCOUNTERED DURING CONSTRUCTION, ENGINEER SHALL BE CONTACTED IN WRITING TO PROVIDE CONCRETE BALLAST SPECIFICATIONS.
 3. GROUNDWATER ENCOUNTERED SHALL BE REPORTED TO THE TOWN ENGINEER.
 4. ALL PUMPS SHALL BE PROVIDED WITH SERVICE TO ALL EXISTING/PROPOSED PLUMBING FIGURES.
 5. ALL PUMPS SHALL BE PROVIDED WITH ELEVATIONS SHALL BE SET BY MANUFACTURER.
 6. CONTRACTOR SHALL PROVIDE ELECTRICAL AND CONTROL ALARM CIRCUITS TO PUMP.
 7. ALL PIPES SHALL BE PROTECTED FROM FROST.
 8. ALL MISCELLANEOUS FITTINGS REQUIRED TO PROVIDE A FULLY FUNCTIONING SYSTEM SHALL BE INCLUDED.

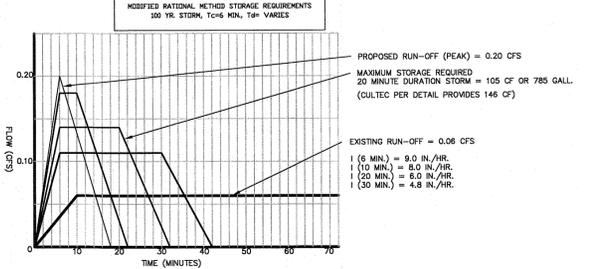


SILT FENCE DETAIL



10'X25' WHEEL CLEANING BLANKET

PROP. CABANA AND COVERED PATIO = 1,013 SF = 0.023 AC.
 C (EXISTING) = 0.30 (LAWN)
 C (PROPOSED) = 0.98 (IMPERVIOUS)

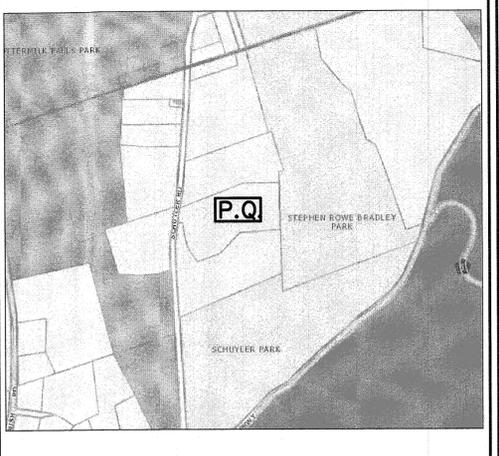
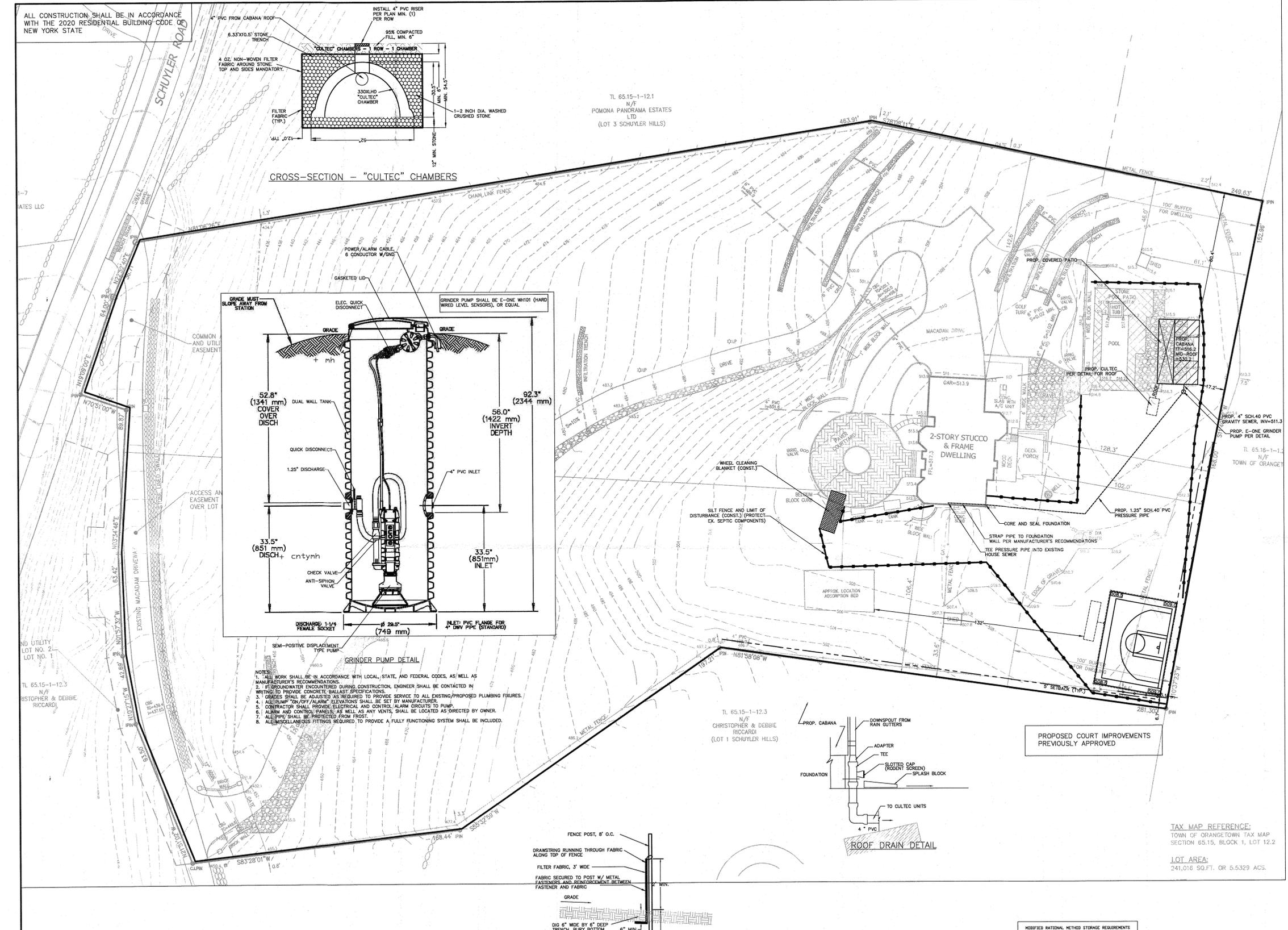


CABANA HEIGHT CALCULATION:
 AVG. FINISHED GRADE = 516.0
 PROP. MID-ROOF = 530.2
 PROP. HEIGHT = 14.2' = 0.83 FT./FT.

REVISION NO.	DATE	DESCRIPTION
2	3/17/25	DRAINAGE, CABANA PUMP
1	2/14/25	POOL, HOUSE LOCATION

BULK TABLE		
ZONE:	REQUIRED	PROPOSED
R-80 RESIDENTIAL		
MAXIMUM FLOOR AREA RATIO	0.10	<0.10
MINIMUM LOT AREA (SF)	80,000	241,016
MINIMUM LOT WIDTH (FT.)	150.0	389.3
MINIMUM STREET FRONTAGE (FT.)	100.0	100.7
MINIMUM FRONT YARD (FT.)	50.0	495.5
MINIMUM SIDE YARD (FT.) (CABANA)	30.0	80.4
MINIMUM REAR YARD (FT.) (CABANA)	100.0	249.0
MINIMUM TOTAL SIDE YARD (FT.)	50.0	17.2**
MAXIMUM BUILDING HEIGHT (FT./FT.)	0.67	NO CHANGE

** - VARIANCE REQUIRED



- NOTES:
1. PROPERTY KNOWN AS LOT 12.2 BLOCK 1 SECTION 65.15 AS SHOWN ON THE CURRENT TAX MAPS OF THE TOWN OF ORANGETOWN.
 2. APPLICANT/OWNER: NARSANESS #72 SCHUYLER ROAD NYACK, NY
 3. TOTAL AREA OF LOT: 241,016 SF
 4. IMPROVEMENTS ON OR UNDER THE LANDS ARE NOT VISIBLE MAY NOT BE SHOWN.
 5. THERE ARE NO EXISTING OR PROPOSED CONVEYANCES OR DEED RESTRICTIONS.
 6. SURVEY INFORMATION SHOWN HEREON HAS BEEN TAKEN FROM A SURVEY PREPARED BY ATZL, NASHER & DODGER, P.L.S., DATED 2/2/24.
 7. THIS PLAN FOR ZONING AND GRADING/DRAINAGE PURPOSES ONLY.
 8. PROPOSED UTILITIES FROM EX. DWELLING.
 9. TEST PITS TO BE PERFORMED TO CONFIRM CULTEC FUNCTION. IF GROUNDWATER ENCOUNTERED, DESIGN WILL BE MODIFIED AS REQUIRED. EXISTING SEPTIC SYSTEM LOCATION, IF APPLICABLE, SHALL BE CONFIRMED PRIOR TO CULTEC CONSTRUCTION.
 10. SCHOOL DISTRICT: NYACK WATER, TOWN OF ORANGETOWN
 11. LIGHTING: TOWN OF ORANGETOWN SEWER: TOWN OF ORANGETOWN
 12. ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.
 13. THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 230.84 OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
 14. AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SURT, OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND THE OBLIGATION OF THE PROPERTY OWNERS TO ARRANGE SUCH A MEETING.
 15. ADDITIONAL CERTIFICATION BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH THE STORMWATER MANAGEMENT PHASE II REGULATIONS.
 16. ALL COURT AREAS MUST DISCHARGE TO THE CULTEC SYSTEM.
 17. THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
 - A. NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
 - B. THERE WILL BE NO EXCAVATION OR STOCKING OF EARTH UNDERNEATH TREES.
 - C. TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5' TO 10' RADIUS FROM THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
 - ORP LINE OF TREE CANOPY. METHOD CHOSEN SHOULD BE BASED ON PROVIDING MAX PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE EST. TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:
 - 1. LIGHT TO HEAVY IMPACTS: MIN. 8 INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. REMOVE CHIPS UPON COMPLETION OF WORK.
 - 2. LIGHT IMPACTS: ONLY INSTALLATION OF 3/4" IN. OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED. THE BARRIER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED OR PRESERVED IN A RAISED BED, WITH THE TREE WELL A RADIUS OF THREE FEET LARGER THAN THE TREE CANOPY.

- SOIL EROSION AND SEDIMENT CONTROL NOTES:
1. TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CONSTRUCTED USING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS. HAY BALES OR OTHER SUITABLE MATERIALS, DIVERSION SWALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO INSURE THAT ALL SILT LADEN MATERIALS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO BE FILLED IN, BUT SHALL BE CLEARED PERIODICALLY DURING THE COURSE OF CONSTRUCTION.
 2. ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN THIRTY (30) DAYS, SHALL BE TEMPORARILY SEEDED WITH 1 1/2 LB. OF PERENNIAL OR MULCHED WITH 100 LBS. OF STRAW OR HAY PER 1000 SQUARE FEET. ROADWAYS SHALL BE STABILIZED AS PRACTICABLE BY INSTALLATION OF THE BARE COURSE.
 3. SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.
 4. AT THE COMPLETION OF THE PROJECT, ALL TEMPORARY SEDIMENT DEVICES SHALL BE REMOVED AND THE AFFECTED AREAS REGRADED, REPLANTED OR TREATED IN ACCORDANCE WITH THE APPROVED SITE PLANS.
 5. THE SEED MIXTURE FOR PERMANENT SEEDINGS SHALL BE:
 - KENTUCKY BLUEGRASS - 40 LBS./AC. (0.82 #/1000 SF)
 - CREWING RED FESCUE - 140 LBS./AC. (2.81 #/1000 SF)
 - PERENNIAL REGGRASS - 50 LBS./AC. (1.15 #/1000 SF)
 6. THE FOLLOWING APPLICATION RATES ARE TO BE USED FOR PERMANENT SEEDINGS:
 - LIME IS TO BE APPLIED TO ATTAIN A PH OF AT LEAST 5.5 TO 6.0, OR AT A RATE OF 2 TONS/ACRES. FERTILIZER IS TO BE APPLIED AT A RATE OF 600 LBS. PER ACRE OR OTHER 5-10-10 OR 10-10-10.
 7. SSD CAN BE USED INSTEAD OF SEED.
 8. CONSTRUCTION SEQUENCE FOR EROSION CONTROL:
 - A. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.
 - B. INSTALL SEDIMENT BARRIERS AS PER NOTE #1 ABOVE.
 - C. CLEAR EXISTING TREES AND VEGETATION FROM AREAS TO BE EXCAVATED OR FILLED, STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE DISTURBED.
 - D. REFORM OR FILL OPERATIONS TO BRING SITE TO DESIRED.
 9. SUBGRADE-INSTALL STORM DRAINAGE SYSTEM.
 - A. INSTALL SEDIMENT BARRIERS AROUND ALL STORM DRAIN INLETS.
 - B. SEED ALL DISTURBED AREAS WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OF 30 DAYS AS PER NOTE #2 ABOVE.
 - C. AFTER COMPLETION OF THE SITE CONSTRUCTION, FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED AS PER NOTE #5 AND #6 ABOVE.
 - D. REMOVE SEDIMENT BARRIERS AS PER NOTE #4 ABOVE.
 - E. MAINTAIN ALL SEEDED AND PLANTED AREAS TO INSURE A VIABLE STABILIZED VEGETATIVE COVER.
- CONSTRUCTION SEQUENCE:
1. INSTALL ALL SOIL EROSION AND SEDIMENT CONTROL DEVICES AS PER PLAN.
 2. EXCAVATE AND INSTALL FOUNDATION.
 3. CONSTRUCT DRAINAGE SYSTEM.
 4. COMPLETE POOL/PATIO CONSTRUCTION.
 5. INSTALL LANDSCAPING AND SSD.
 6. TOPSOIL, FERTILIZE, SEED AND HAY MULCH ALL OTHER DISTURBED AREAS.
 7. REMOVE SOIL EROSION AND SEDIMENT CONTROL DEVICES UPON FINAL STABILIZATION.

TOWN OF ORANGETOWN
 MEETING OF:
 JUN 18 2025
 RECEIVED
 MAY 05 2025
 TOWN OF ORANGETOWN
 LAND USE BOARDS

THOMAS W. SKRABLE, P.E.
 CABANA AND SEPTIC PLAN
 SECTION 65.15 BLOCK 1 LOT 12.2
 #72 SCHUYLER ROAD
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY NEW YORK

THOMAS W. SKRABLE, P.E., P.P., C.M.E.
 CONSULTING ENGINEER
 65 RAMAPO VALLEY ROAD, SUITE 213, MAHWAH, NJ 201-529-5010

DRAWN BY:	T.S.
SURVEYED BY:	A.N.Z.
DESIGNED BY:	T.S.
CHECKED BY:	T.S.
D'WG NO.	24072PPO
JOB NO.	24-072
SHEET	1 OF 1
1" = 30' H	