

Historical Areas Board of Review(HABR)

Town of Orangetown Building Department
 26 Orangeburg Road, Orangeburg,
 New York 10962

PROPERTY ADDRESS: 116 GREENBUSH ROAD Section/Block/Lot: 77.10-2-9

1. Provide a narrative summary explaining the project and including any facts pertaining to this project which applicant feels would be of interest to the Board;
2. Architectural Plans;
3. It is preferable to the HABR if the Architect would appear at the meeting with the Applicant.
4. Please bring SAMPLES of building materials to the meeting.
5. Materials checklist: (please provide the brand name, type, style, model and color numbers):

	COLOR	MATERIAL	MANUFACTURER
Roof:	CHARCOAL	TIMBERLINE HDZ SHINGLES	GAF
Siding:	GRAYSTONE	MONDORAM VINYL SIDING, DOUBLE 4" ROUGH CEDAR FINISH	CERTAINTED
Decorative Siding:	N/A	_____	_____
Soffits & Fascia:	WHITE	ALUMINUM	TRI-BUILT
Gutters & Leaders:	WHITE	ALUMINUM	TRI-BUILT
Windows:	BLACK	VINYL	ANDERSEN 400 SERIES
Trim:	GRAYSTONE	VINYL	CERTAINTED
Shutters:	N/A	_____	_____
Front Door:	BLACK	FIBERGLASS	THERMA-TRU DOORS
SIDE Back Door:	BLACK	FIBERGLASS	THERMA-TRU DOORS
Garage Door(s):	BLACK	STEEL	CLOPAY CLASSIC
Other Door(s):	BLACK	WOOD/VINYL	ANDERSEN 200 SERIES
EXT. WALL SCONCE Lighting:	BLACK	METAL	HOME DECORATORS COLLECTION
FLOODLIGHT Lighting:	BLACK	METAL	DEFIANT
Stone or Rock being used on Structure:			
Stone or Rock being used on walkway(s):			RECEIVED
Other:			APR 25 2025
			TOWN OF ORANGETOWN LAND-USE BOARDS

RECEIVED

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: APR 25 2025

LAND USE BOARD APPLICATION

TOWN OF ORANGETOWN
LAND USE BOARDS

Please check all that apply:

<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input checked="" type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLDR-6780-25
ASSIGNED
INSPECTOR: Dom
Referred from Planning Board: YES / NO
If yes provide date of Planning Board meeting: _____

Project Name: Toledo
Residence

Street Address: 116 GREENBUSH ROAD
TAPPAN, NEW YORK 10983

Tax Map Designation:
Section: 77.10 Block: 2 Lot(s): 9
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the WEST side of GREENBUSH ROAD, approximately
1,300 feet SOUTH of the intersection of SOUTH WESTERN HWY, in the
Town of ORANGETOWN in the hamlet/village of TAPPAN.

Acreage of Parcel <u>0.67</u>	Zoning District <u>R-15</u>
School District <u>SOCD</u>	Postal District <u>10983</u>
Ambulance District <u>SOAC</u>	Fire District <u>TAPPAN</u>
Water District _____	Sewer District _____

Project Description: (If additional space required, please attach a narrative summary.)
ADDITION AND ALTERATIONS TO EXISTING SINGLE-FAMILY
RESIDENCE

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 2025-04-14 Applicant's Signature: _____

APPLICATION REVIEW FORM

RECEIVED

APR 25 2025

FILL IN WHERE APPLICABLE.

TOWN OF ORANGETOWN
LAND USE BOARDS

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If **subdivision**: N/A

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If **site plan**: N/A

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

N/A

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area no

Are there **streams** on the site? If yes, please provide the names. no

Are there **wetlands** on the site? If yes, please provide the names and type:

no

Project History:

Has this project ever been reviewed before? no.

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

N/A



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

26 Orangeburg Road
Orangeburg, N.Y. 10962

RECEIVED

APR 25 2025

TOWN OF ORANGETOWN
LAND USE BOARDS
Fax: (845) 359-8526

Jane Slavin, R.A.
Director

(845)359-8410

REFERRAL TO THE HISTORICAL AREAS BOARD OF REVIEW

Date: 3.13.25 Section: 77.10 Block: 2 Lot: 9

Applicant: Toledo

Address: 116 Greenbush Rd, Tappan, NY

RE: Application Made at: same

Referred For: Chapter 12, Section 12-4(E) Requires HABR approval

Comments:

Addition to existing Single Family Residence

Dear Toledo:

Please be advised that the Building Permit Application # 6780-25, which you submitted on 3.5.25, has been referred to the Historical Areas Board of Review. The Clerk to the Historical Areas Board of Review, Katlyn Bettmann can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4316 or kbettmann@orangetown.com

Sincerely,

Richard Oliver
Deputy Building Inspector

3/13/25

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
10-01-2024 : emd

3/13/25

Date
CC: Katlyn Bettmann
Elizabeth Decort

Summary of Application to Orangetown Historical Areas of Review Board

The Camilo Residence

April 25, 2025

116 Greenbush Road, Tappan, New York 10983

The intent of this design is the conversion of a common single-family High-Ranch style residence into a modern interpretation of a Garrison style Colonial with accommodation for the existing split-level entry. The intent is to enlarge the existing residence while maintaining sensitivity to the aesthetics of the historic district in which it is located. The Garrison style Colonial, common in the late 17th and early 18th centuries, lends itself particularly well to the simple gable design and the existing cantilever at the front façade. The use of more contemporary style windows and siding serves to bridge the gap between traditional design and modern construction techniques and materials, addressing concerns for energy efficiency and ease of maintenance.

The choice of siding color represents a compromise by the applicant, who initially desired white siding, but recognized that the proposed gray siding would be a more suitable choice in a historic district. The dark roof and white soffit, rakes, and fascia boards provide a contrast to the gray siding, corner boards and trim. The black windows and doors, while currently in vogue, are also evocative of traditional colonial era window and door treatments. The lantern-style lighting indicated represents an updated version of traditional coach lamps of the colonial period. The applicant has tried to create an attractive home which will be complimentary to the intrinsic purpose of the historic district and is hopeful that this board will agree.

RECEIVED

APR 25 2025

TOWN OF ORANGETOWN
LAND USE BOARDS

GEORGE HODOSH ASSOCIATES – ARCHITECTS, P.C.

120 North Main Street, Suite 501, New City, New York 10956

845-638-9336 ♦ www.HodoshAssociates.com ♦ Email: info@HodoshAssociates.com



THE CAMILO RESIDENCE

116 GREENBUSH ROAD, TAPPAN, NEW YORK 10983

GEORGE HODOSH ASSOCIATES-ARCHITECTS, P.C.

120 NORTH MAIN STREET - SUITE 501, NEW CITY, NEW YORK 10956
PHONE: (845) 638-9336 FAX: (845) 638-9380

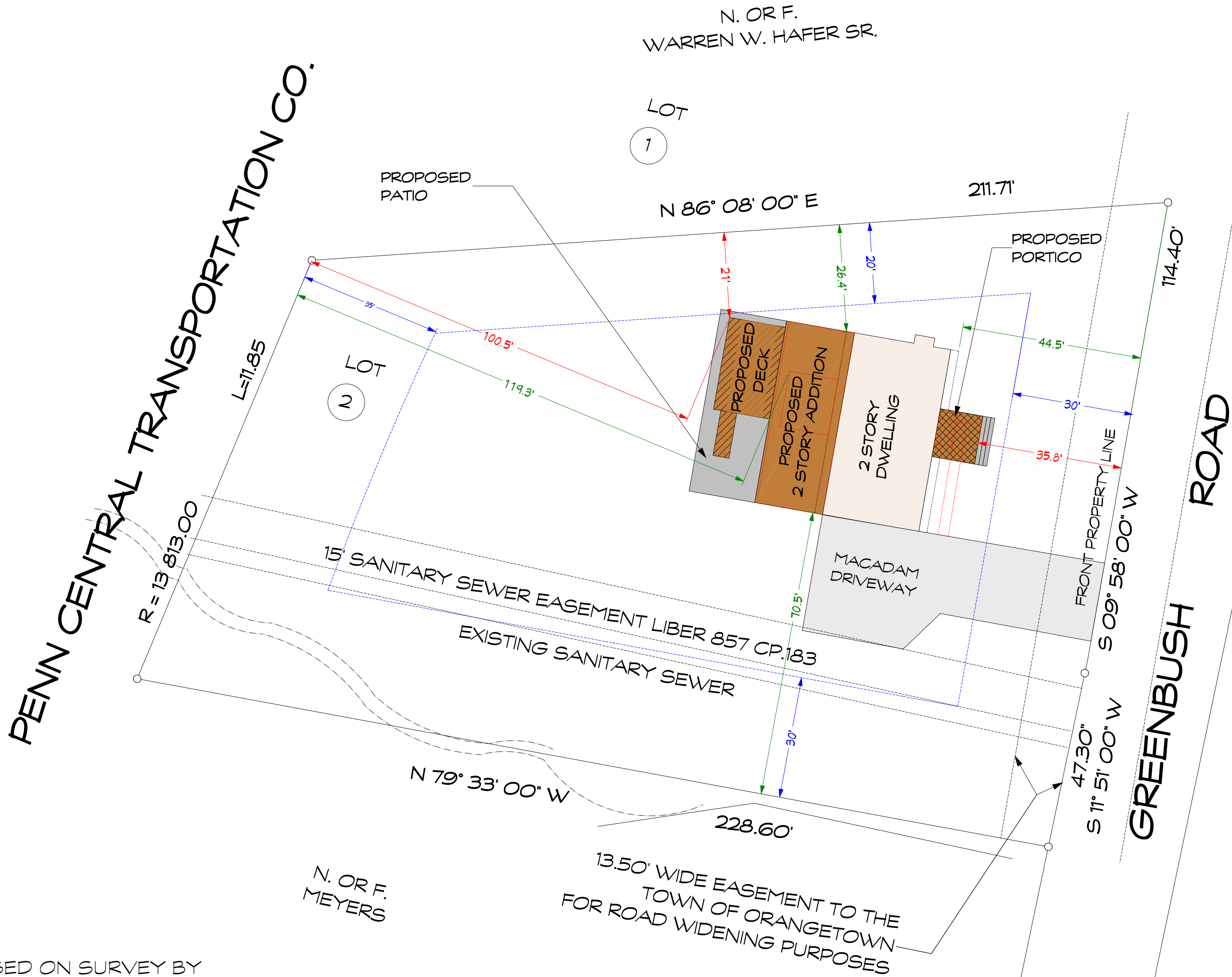
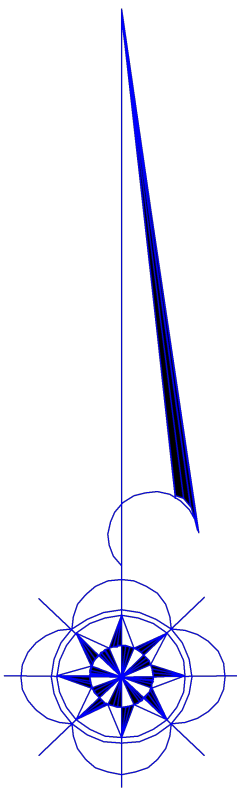
DATE: 2024-10-11
LAST REVISED: 2025-04-23

DRAWING LIST

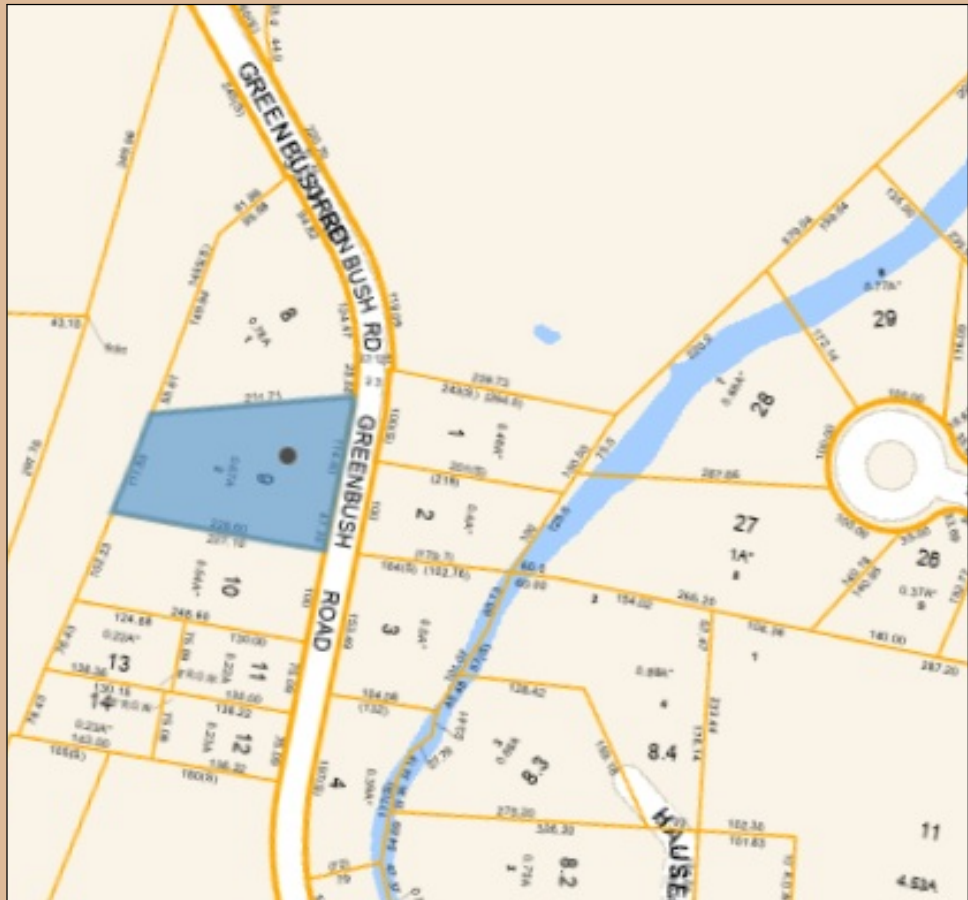
- 1 COVER SHEET
- D1 EXISTING BASEMENT PLAN
- D2 EXISTING FIRST FLOOR PLAN
- A1 BASEMENT PLAN
- A2 FIRST FLOOR PLAN
- 1 A3 FRONT ELEVATION
- A4 RIGHT ELEVATION
- A5 REAR ELEVATION
- A6 LEFT ELEVATION

24058, CAMILO

SCALE: 1" = 20'



PLOT PLAN BASED ON SURVEY BY
ADLER, CARUSO & YOUNG
PROFESSIONAL ENGINEERS
4 INDEPENDENCE AVE., TAPPAN, NEW YORK
DATED: 11-15-74
& ARCHITECTS FIELD MEASUREMENTS
& OBSERVATIONS



VICINITY MAP
SCALE: 1" = 200'

- EXISTING SETBACKS
- PROPOSED SETBACKS
- REQUIRED SETBACKS
- EXISTING STRUCTURE TO REMAIN
- PROPOSED DECK
- PROPOSED ADDITION
- PROPOSED PORTICO

TOWN OF ORANGETOWN TABLE OF BULK REQUIREMENTS ZONE: R-15 (HISTORIC DISTRICT) SECTION: 77.10 BLOCK : 2 LOT: 9

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (SQ. FT.)	15,000	29,163.65	29,163.65
MINIMUM LOT WIDTH (FEET)	100	149.9	149.9
MINIMUM STREET FRONTAGE (FEET)	75	161.7	161.7
FRONT YARD (FEET)	30	44.5	35.8
SIDE YARD (FEET)	20	26.4	21
TOTAL SIDE YARD (FEET)	50	96.9	91.5
REAR YARD (FEET)	35	119.3	100.5
1 MAXIMUM BUILDING HEIGHT (FEET)	1 FOOT (12) PER FOOT FROM FRONT PROPERTY LINE (30)	5.64' PER FOOT FROM FRONT PROPERTY LINE (19' - 11 13/16')	7.64' PER FOOT FROM FRONT PROPERTY LINE (21' - 10 3/8')
FLOOR AREA RATIO	0.20	0.08	0.14

THE DRAWINGS WERE PRODUCED IN COLOR. ANY REPRODUCTIONS MUST BE MADE IN COLOR TO PRESERVE THE INTEGRITY OF THE ORIGINAL DRAWINGS. ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGES RESULTING FROM FAILURE TO DO SO.

REVISIONS

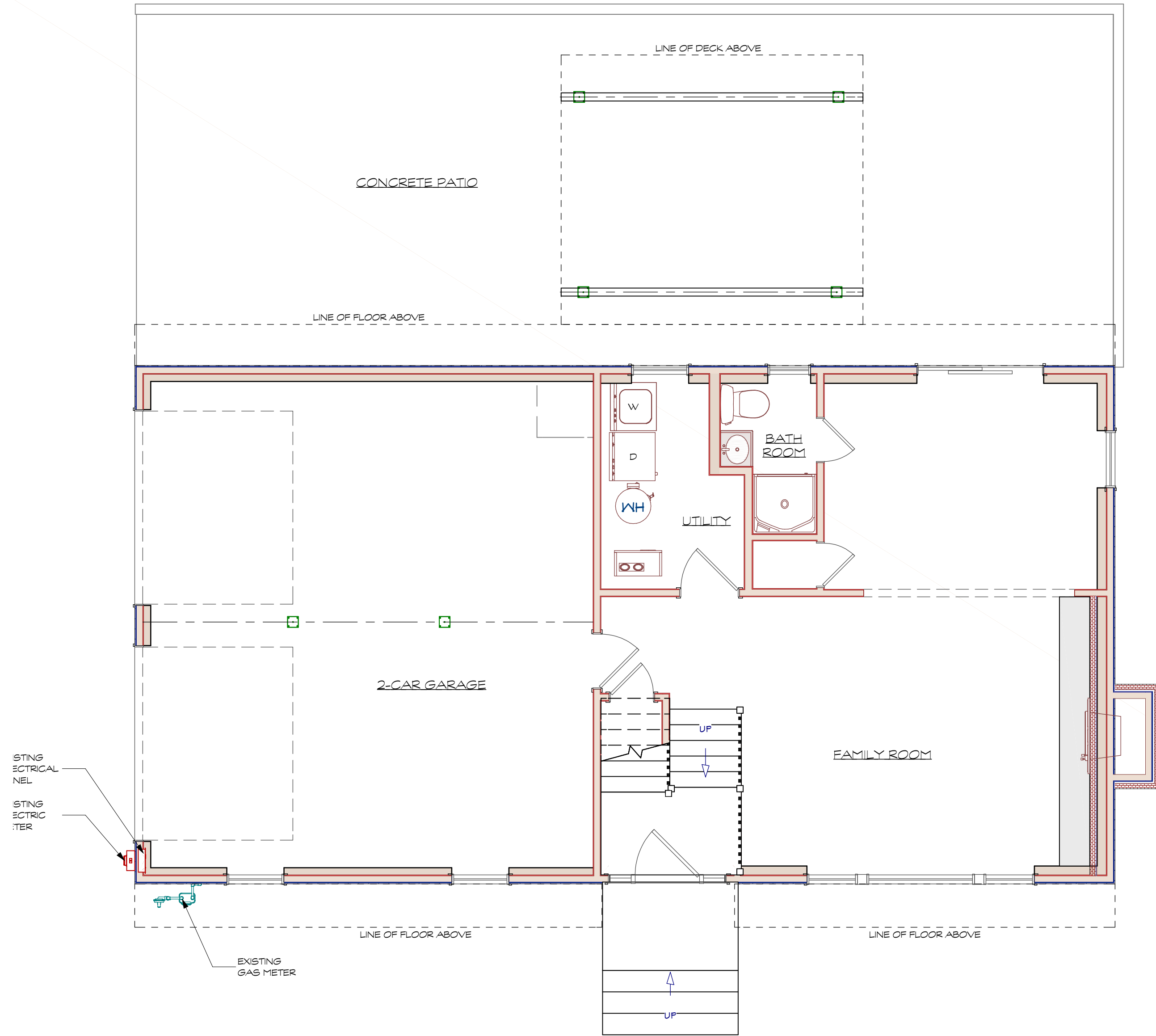
DATE	DESCRIPTION	BY
2024-10-11	EXISTING CONDITIONS	SAB
2024-10-25	PROPOSAL 1	SAB
2025-03-04	HABR SET 1	SAB/AYL
2025-03-11	HABR SET 1 - REV. PER S.I. COMMENTS	SAB/AYL
2025-04-23	HABR SET 1 - REV. PER S.I. COMMENTS	SAB/AYL

THESE PLANS ARE NOT TO BE CONSIDERED VALID AND COMPLETE CONSTRUCTION DOCUMENTS UNLESS AND UNTIL THEY BEAR THE ARCHITECTURAL SEAL & SIGNATURE OF JONATHAN B. HODOSH.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

EXISTING BASEMENT PLAN

SCALE: 1/4" = 1' - 0"



CONSTRUCTION / DEMOLITION LEGEND

	EXISTING CONSTRUCTION TO BE REMOVED
	EXISTING CONSTRUCTION TO REMAIN
	PROPOSED NEW CONCRETE BLOCK WALL
	PROPOSED NEW POURED CONCRETE WALL
	PROPOSED FRAMED CONSTRUCTION WITH SOUND ATTENUATING INSULATION
	PROPOSED FRAMED CONSTRUCTION

	EXISTING WINDOW TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	PROPOSED WINDOW

	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	PROPOSED DOOR

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GEORGE HODOSH ASSOCIATES, P.C.
ARCHITECTS, P.C.
120 NORTH MAIN STREET - SUITE 501,
NEW CITY, NEW YORK 10956
PHONE: (845) 638-9336 FAX: (845) 638-9390



SCALE:	1/4" = 1'-0"
DATE:	2024-10-11
JOB #:	24038
DRAWN BY:	SAB
CHECKED BY:	JBH

PROPOSED ADDITIONS / ALTERATIONS:

THE CAMILO RESIDENCE

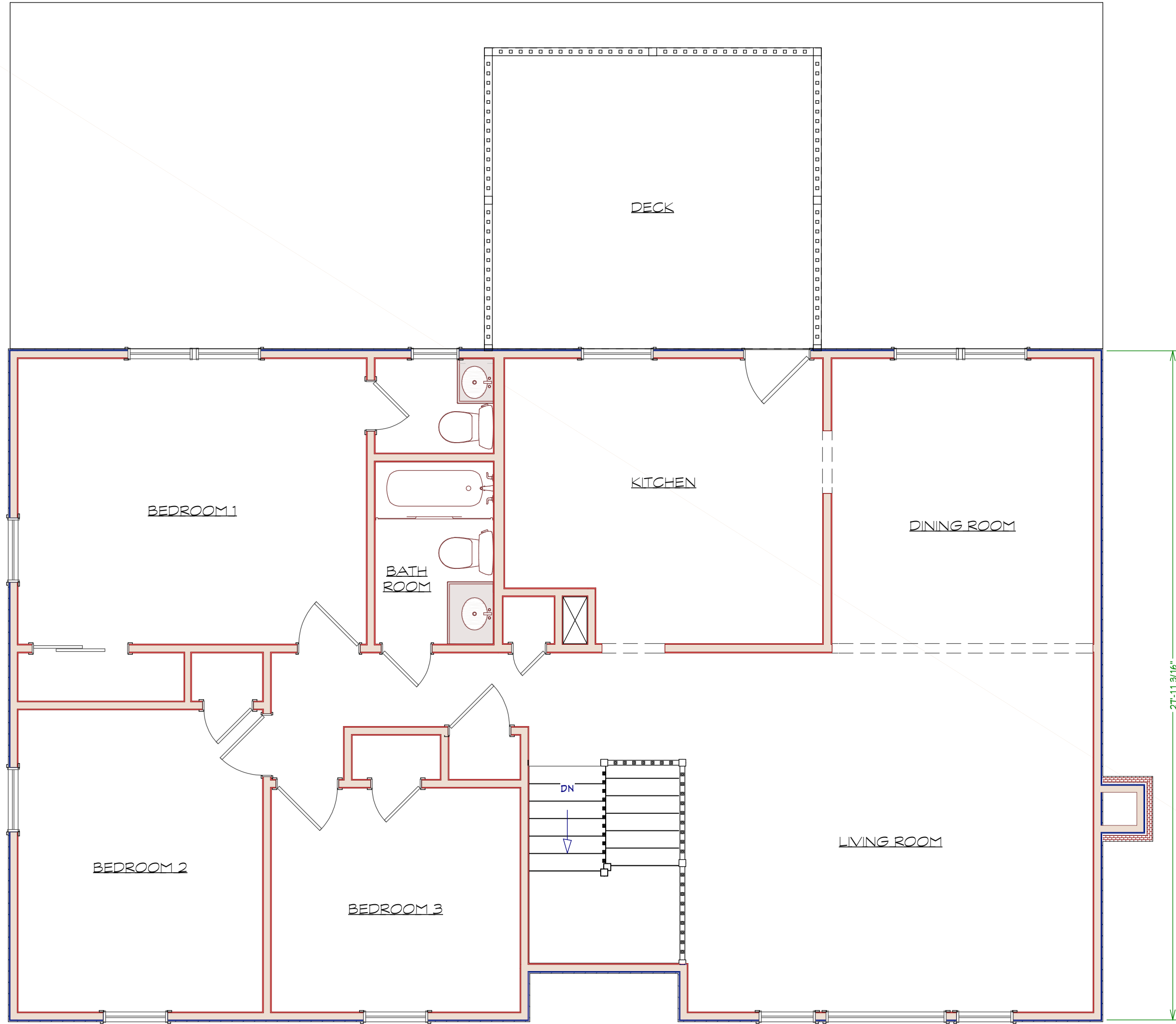
116 GREENBUSH ROAD, TAPPAN, NEW YORK 10983

SHEET TITLE:
EXISTING BASEMENT PLAN

D1

EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1' - 0"



CONSTRUCTION / DEMOLITION LEGEND

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2025-03-11	HABR SET 1 - REV. PER B.I. COMMENTS	SAB / ANTL
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D2

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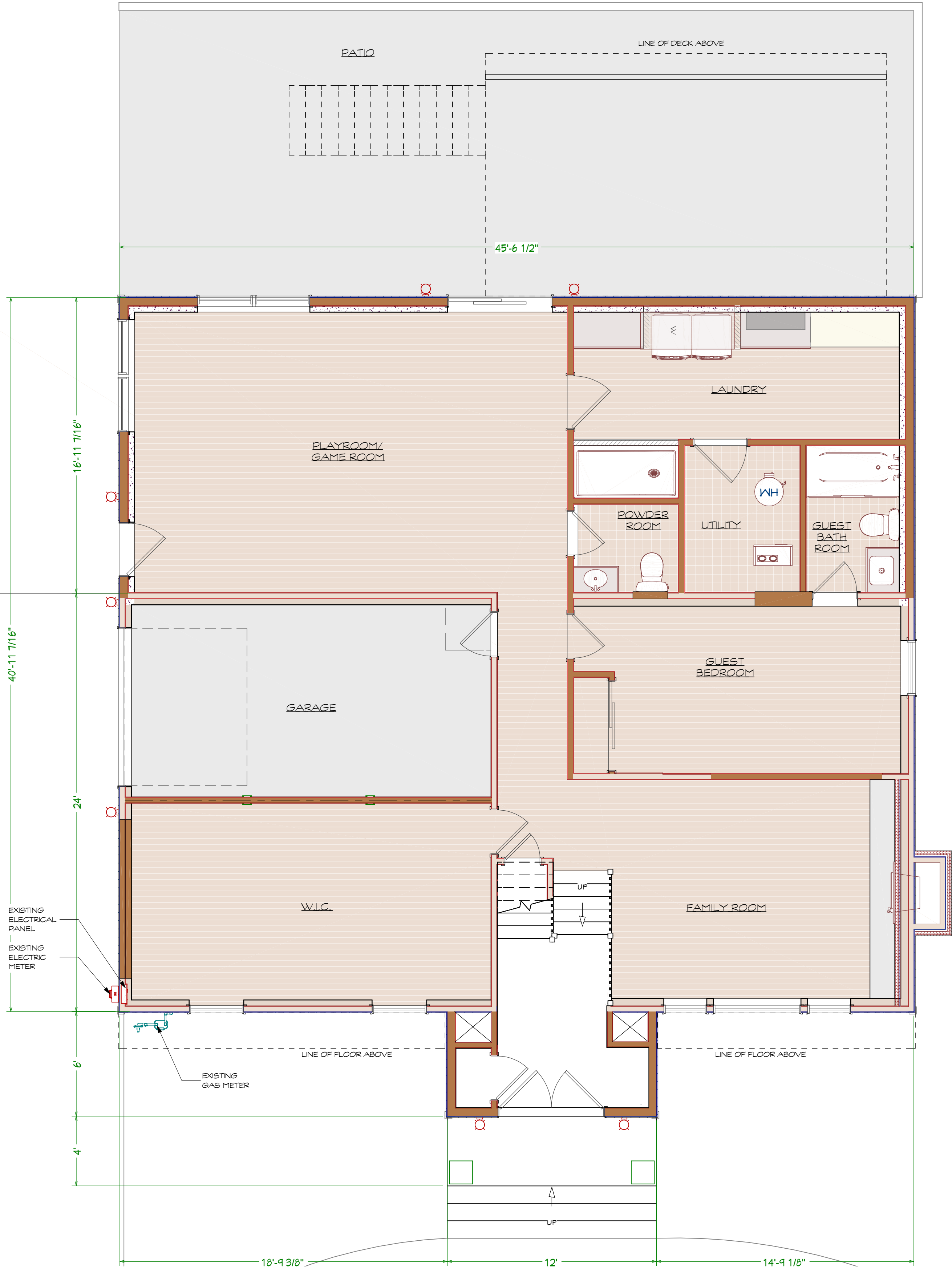


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DATE:	2024-10-11
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DRAWN BY:	SAB
CHECKED BY:	JBH

PROPOSED ADDITIONS / ALTERATIONS:
THE CAMILO RESIDENCE
116 GREENBUSH ROAD, TAPPAN, NEW YORK 10983
SHEET TITLE:
EXISTING FIRST FLOOR PLAN

BASEMENT PLAN

SCALE: 1/4" = 1' - 0"



CONSTRUCTION / DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO REMAIN
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A1



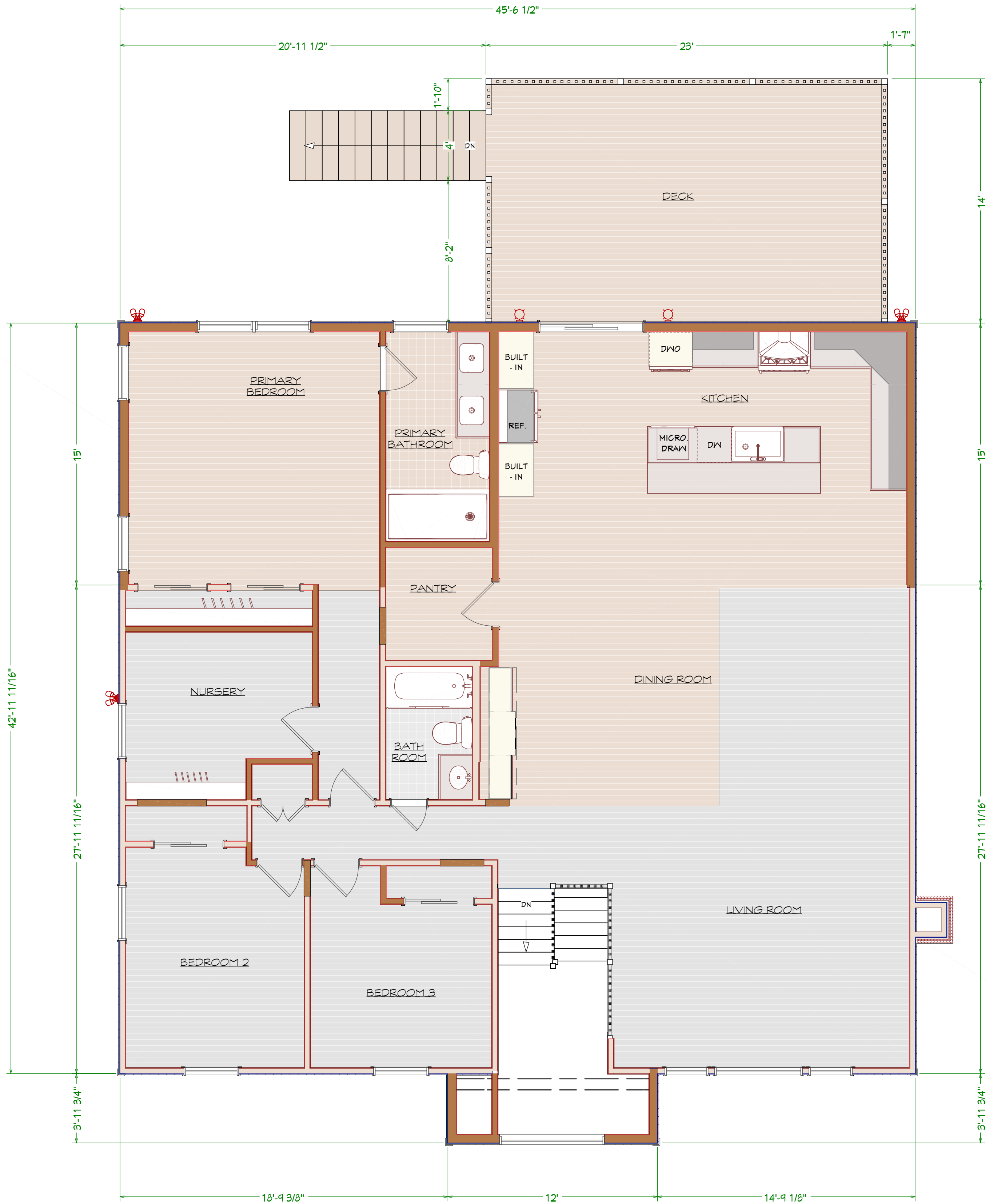
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PROPOSED ADDITIONS / ALTERATIONS:
THE CAMILO RESIDENCE
116 GREENBUSH ROAD, TAPPAN, NEW YORK 10983
SHEET TITLE:
BASEMENT PLAN

SCALE:	1/4" = 1'-0"
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FIRST FLOOR PLAN

SCALE: 1/4" = 1' - 0"



CONSTRUCTION / DEMOLITION LEGEND

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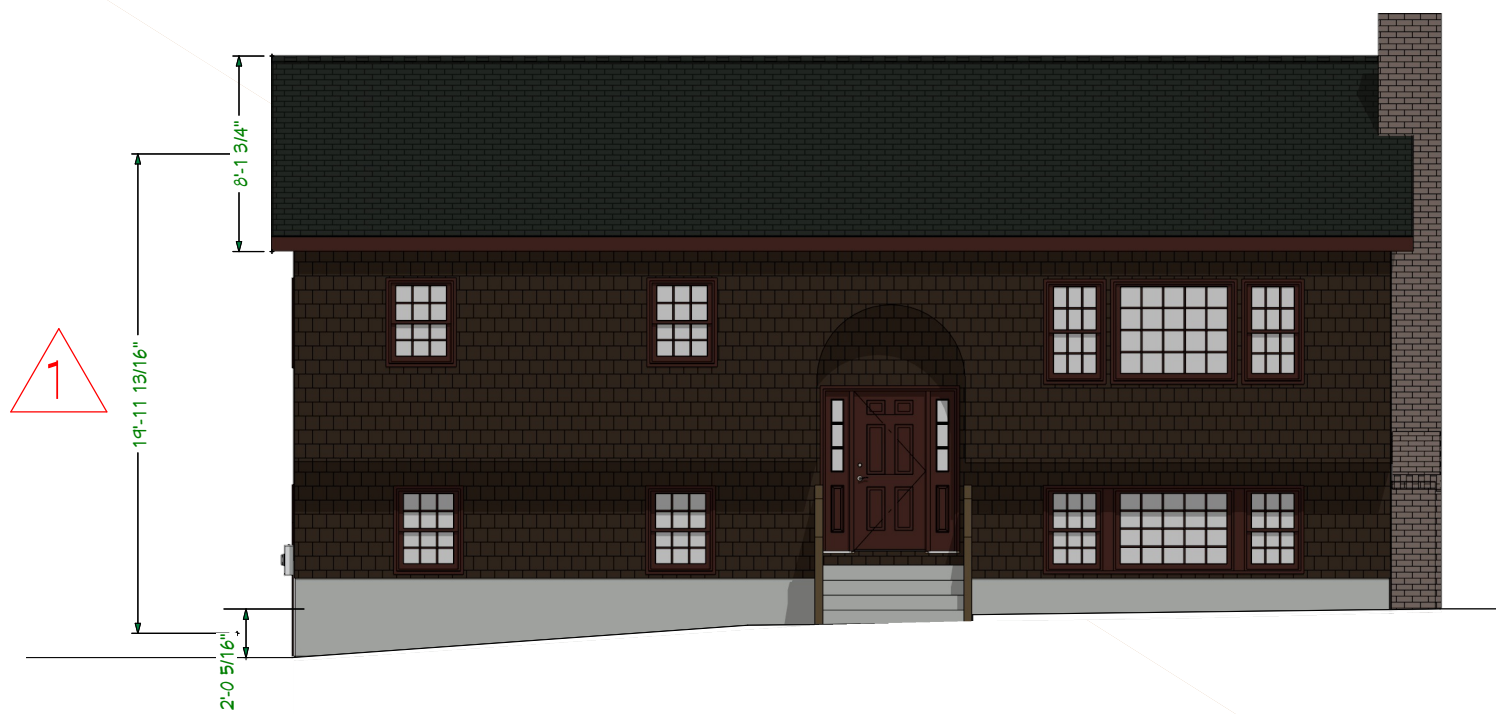
A2

GEORGE HODOSH ASSOCIATES, P.C.
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SCALE:	1/4" = 1'-0"
DATE:	2024-10-11
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PROPOSED ADDITIONS / ALTERATIONS:
THE CAMILO RESIDENCE
116 GREENBUSH ROAD, TAPPAN, NEW YORK 10983
SHEET TITLE:
FIRST FLOOR PLAN



EXISTING FRONT ELEVATION

SCALE: 1/8" = 1' - 0"

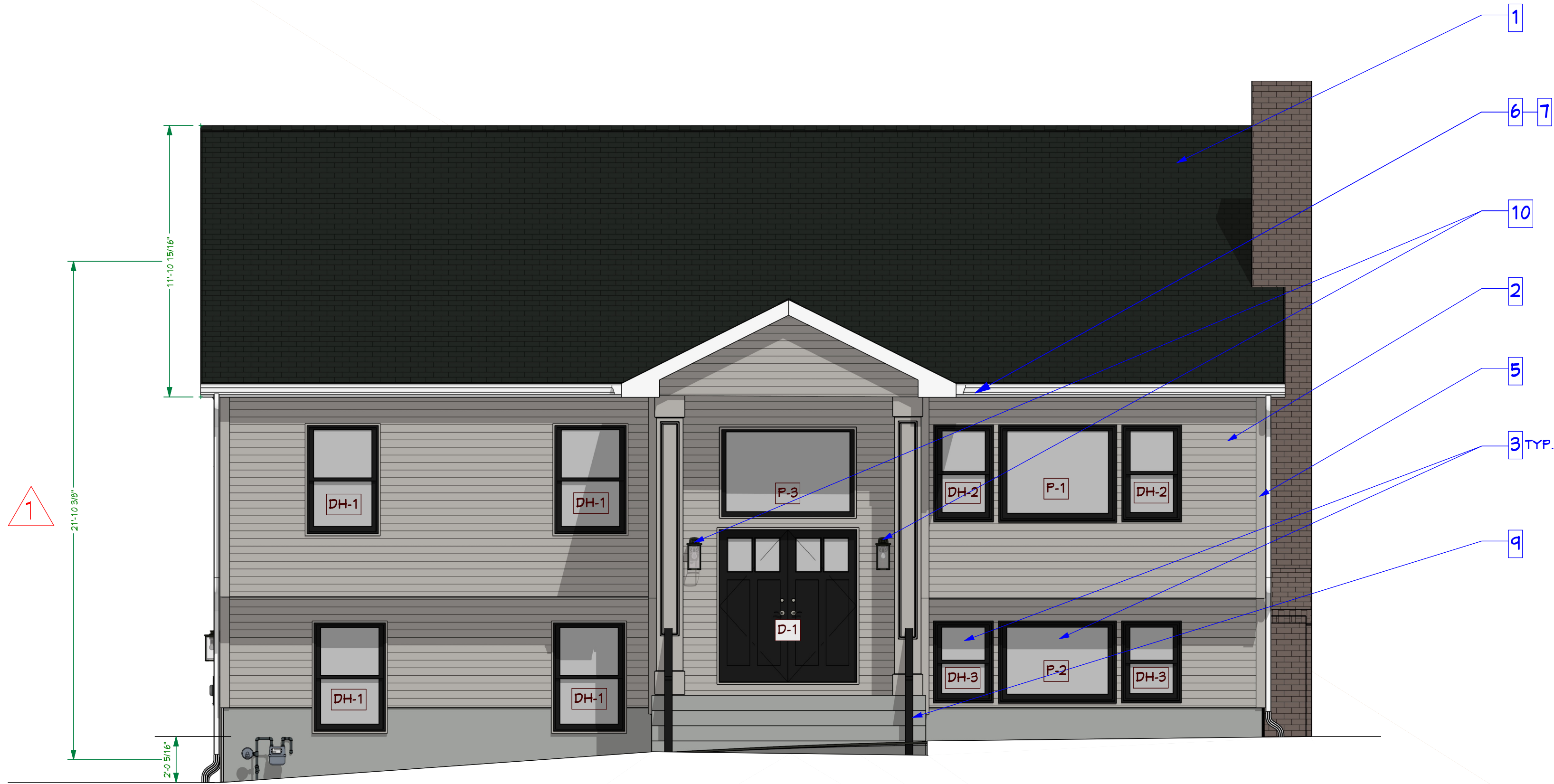
		COLOR	SYMBOL	MATERIAL	MANUFACTURER
1.	ROOFING	CHARCOAL		TIMBERLINE HDZ SHINGLES	GAF
2.	SIDING	GRAYSTONE		MONOGRAM VINYL SIDING, DOUBLE 4", ROUGH CEDAR FINISH	CERTAINTED
3.	WINDOWS	BLACK	N/A	ANDERSEN 400 SERIES DOUBLE-HUNG/PICTURE WINDOW	ANDERSEN
4.	DOORS	BLACK	N/A	SEE DOOR SCHEDULE BELOW	THERMA-TRU DOORS ANDERSEN CLOPAY
5.	TRIM	GRAYSTONE	N/A	VINYL	CERTAINTED
6.	GUTTERS & LEADERS	WHITE	N/A	ALUMINUM	TRI-BUILT
7.	SOFFITS & FASCIA	WHITE	N/A	ALUMINUM	TRI-BUILT
8.	DECKING	GRAY	N/A	PRESSURE-TREATED LUMBER - PAINTED (GRAY DECKING, GRAY STRINGERS, AND POSTS)	N/A
9.	RAILING	BLACK	N/A	PRESSURE-TREATED LUMBER - PAINTED	N/A
10.	EXTERIOR LIGHTING	BLACK	N/A	EXTERIOR WALL SCONCE	HOME DECORATORS COLLECTION
11.	EXTERIOR LIGHTING	BLACK	N/A	FLOOD LIGHT	DEFIANT

	WINDOW STYLE	WINDOW SERIES	WINDOW NUMBER	EXTERIOR WINDOW COLOR	MANUFACTURER
DH-1	DOUBLE-HUNG	400	TKB046	BLACK	ANDERSEN
DH-2	DOUBLE-HUNG	400	TKQ4310	BLACK	ANDERSEN
DH-3	DOUBLE-HUNG	400	TKQ432	BLACK	ANDERSEN
P-1	PICTURE	400	DHP410310	BLACK	ANDERSEN
P-2	PICTURE	400	P5035	BLACK	ANDERSEN
P-3	PICTURE	400	P6040	BLACK	ANDERSEN

	DOOR STYLE	DOOR SERIES	DOOR NUMBER	EXTERIOR DOOR COLOR	MANUFACTURER
D-1	FRONT ENTRY - SWING	2 LITE CRAFTSMAN STYLE FIR GRAIN FIBERGLASS	CCA220-02	PAINT - ONYX (BLACK)	THERMA-TRU DOORS
D-2	SLIDER	200	NLG06060L	BLACK	ANDERSEN
D-3	SIDE ENTRY - SWING	2 LITE CRAFTSMAN STYLE FIR GRAIN FIBERGLASS	CCA220	PAINT - ONYX (BLACK)	THERMA-TRU DOORS
D-4	OVERHEAD GARAGE	CLASSIC STEEL	N/A	BLACK	CLOPAY

FRONT ELEVATION

SCALE: 1/4" = 1' - 0"



NOTE: CONTRACTOR SHALL PROVIDE WINDOW SPECIFICATIONS TO ARCHITECT PRIOR TO ORDERING FOR ARCHITECT'S REVIEW

NOTE: NOTED EGRESS WINDOWS SHALL MEET NY STATE EGRESS CODES MINIMUM OPENINGS (5.7 SQUARE FEET AT GRADE FLOOR OR BELOW GRADE OPENINGS), 20" WIDTH, 24" HEIGHT MINIMUM) IN STANDARD 6'-10" HEADER APPLICATION.

E EXISTING DOOR OR WINDOW TO REMAIN

PROPOSED ADDITIONS / ALTERATIONS:

THE CAMILO RESIDENCE

116 GREENBUSH ROAD, TAPPAN, NEW YORK 10983

SHEET TITLE:

FRONT ELEVATION

SCALE:	1/4" = 1'-0"
DATE:	2024-10-11
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DRAWN BY:	SAB
CHECKED BY:	JBH



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CONSTRUCTION / DEMOLITION LEGEND

	EXISTING CONSTRUCTION TO BE REMOVED
	EXISTING CONSTRUCTION TO REMAIN
	PROPOSED NEW CONCRETE BLOCK WALL
	PROPOSED NEW POURED CONCRETE WALL
	PROPOSED FRAMED CONSTRUCTION WITH SOUND ATTENUATING INSULATION
	PROPOSED FRAMED CONSTRUCTION

	EXISTING WINDOW TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	PROPOSED WINDOW

	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	PROPOSED DOOR

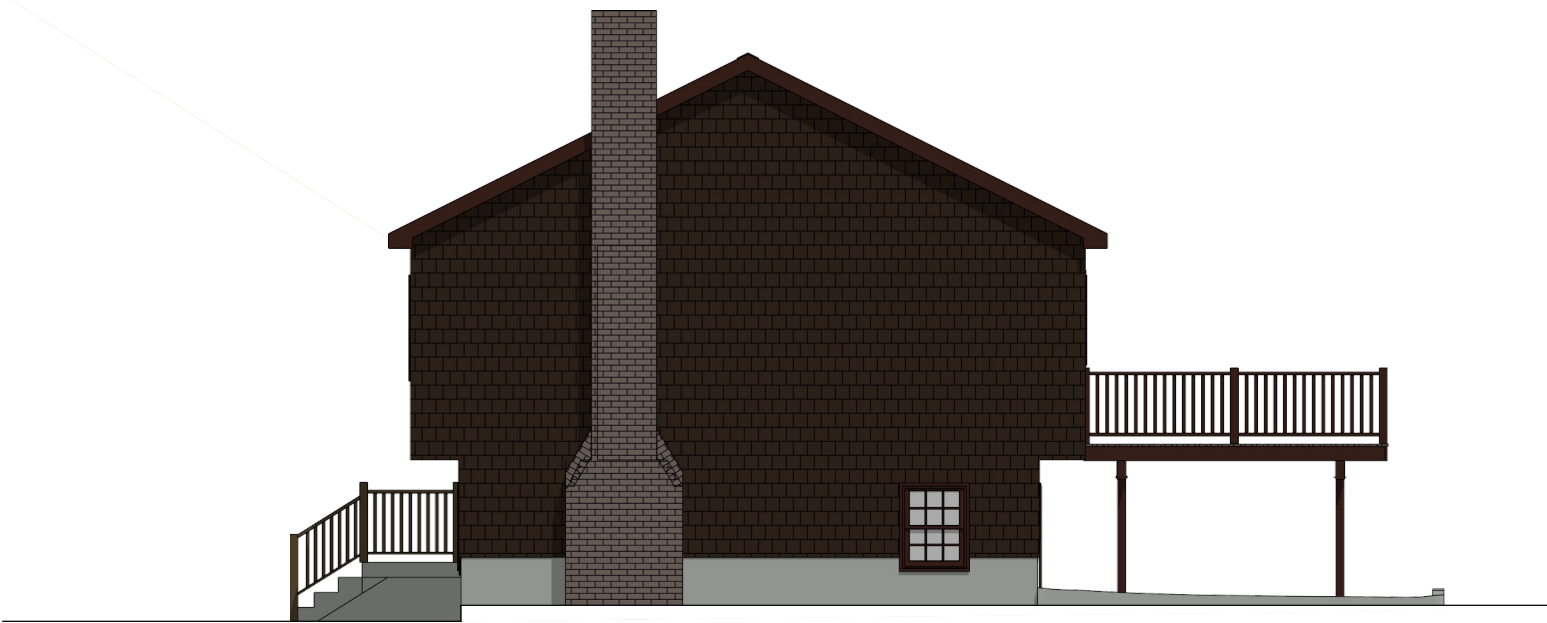
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REVISIONS

2024-10-11	EXISTING CONDITIONS	SAB
2024-10-25	PROPOSAL 1	SAB
2025-03-04	HABR SET 1	SAB / ANTL
2025-03-11	HABR SET 1 - REV. PER B.I. COMMENTS	SAB / ANTL
2025-04-23	HABR SET 1 - REV. PER B.I. COMMENTS	SAB / ANTL

A3



EXISTING RIGHT ELEVATION

SCALE: 1/8" = 1' - 0"

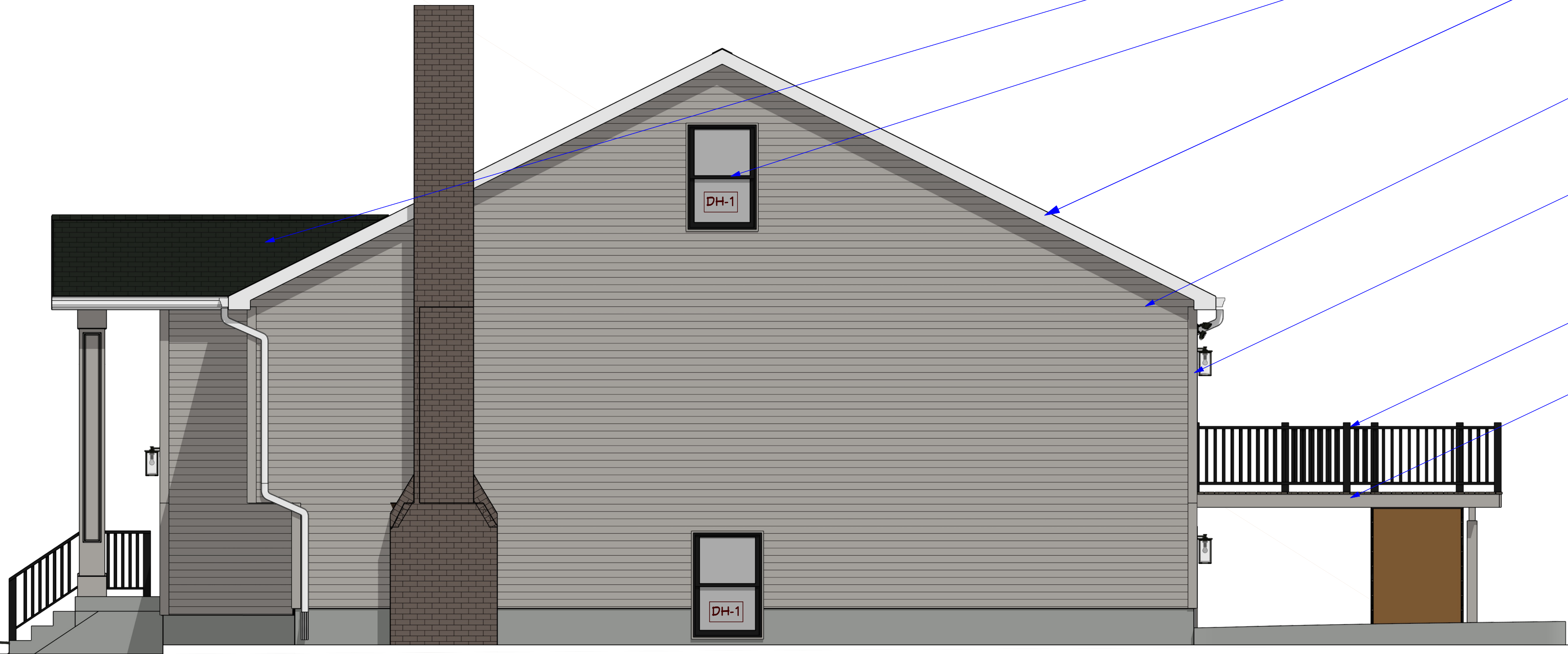
		COLOR	SYMBOL	MATERIAL	MANUFACTURER
1.	ROOFING	CHARCOAL		TIMBERLINE HDZ SHINGLES	GAF
2.	SIDING	GRAYSTONE		MONGRAM VINYL SIDING, DOUBLE 4", ROUGH CEDAR FINISH	CERTAINTED
3.	WINDOWS	BLACK	N/A	ANDERSEN 400 SERIES DOUBLE-HUNG/ PICTURE WINDOW	ANDERSEN
4.	DOORS	BLACK	N/A	SEE DOOR SCHEDULE BELOW	THERMA-TRU DOORS ANDERSEN CLOPAY
5.	TRIM	GRAYSTONE	N/A	VINYL	CERTAINTED
6.	GUTTERS & LEADERS	WHITE	N/A	ALUMINUM	TRI-BUILT
7.	SOFFITS & FASCIA	WHITE	N/A	ALUMINUM	TRI-BUILT
8.	DECKING	GRAY	N/A	PRESSURE-TREATED LUMBER - PAINTED (GRAY DECKING, GRAY STRINGERS, AND POSTS)	N/A
9.	RAILING	BLACK	N/A	PRESSURE-TREATED LUMBER - PAINTED	N/A
10.	EXTERIOR LIGHTING	BLACK	N/A	EXTERIOR WALL SCONCE	HOME DECORATORS COLLECTION
11.	EXTERIOR LIGHTING	BLACK	N/A	FLOOD LIGHT	DEFIANT

	WINDOW STYLE	WINDOW SERIES	WINDOW NUMBER	EXTERIOR WINDOW COLOR	MANUFACTURER
DH-1	DOUBLE-HUNG	400	TKB046	BLACK	ANDERSEN
DH-2	DOUBLE-HUNG	400	TKQ4310	BLACK	ANDERSEN
DH-3	DOUBLE-HUNG	400	TKQ432	BLACK	ANDERSEN
P-1	PICTURE	400	DHP410310	BLACK	ANDERSEN
P-2	PICTURE	400	P5035	BLACK	ANDERSEN
P-3	PICTURE	400	P6040	BLACK	ANDERSEN

	DOOR STYLE	DOOR SERIES	DOOR NUMBER	EXTERIOR DOOR COLOR	MANUFACTURER
D-1	FRONT ENTRY - SWING	2 LITE CRAFTSMAN STYLE FIR GRAIN FIBERGLASS	CCA220-02	PAIN'T - ONYX (BLACK)	THERMA-TRU DOORS
D-2	SLIDER	200	NLG06060L	BLACK	ANDERSEN
D-3	SIDE ENTRY - SWING	2 LITE CRAFTSMAN STYLE FIR GRAIN FIBERGLASS	CCA220	PAIN'T - ONYX (BLACK)	THERMA-TRU DOORS
D-4	OVERHEAD GARAGE	CLASSIC STEEL	N/A	BLACK	CLOPAY

RIGHT ELEVATION

SCALE: 1/4" = 1' - 0"



NOTE: CONTRACTOR SHALL PROVIDE WINDOW SPECIFICATIONS TO ARCHITECT PRIOR TO ORDERING FOR ARCHITECT'S REVIEW

NOTE: NOTED EGRESS WINDOWS SHALL MEET NY STATE EGRESS CODES MINIMUM OPENINGS (5.7 SQUARE FEET AT GRADE FLOOR OR BELOW GRADE OPENINGS), 20" WIDTH, 24" HEIGHT MINIMUM) IN STANDARD 6'-10" HEADER APPLICATION.

EXISTING DOOR OR WINDOW TO REMAIN

PROPOSED ADDITIONS / ALTERATIONS:

THE CAMILO RESIDENCE

116 GREENBUSH ROAD, TAPPAN, NEW YORK 10983

SHEET TITLE:

RIGHT ELEVATION



GEORGE HODOSH ASSOCIATES, P.C.
ARCHITECTS, P.C.

120 NORTH MAIN STREET - SUITE 501,
NEW CITY, NEW YORK 10956
PHONE: (845) 638-9336 FAX: (845) 638-9390

CONSTRUCTION / DEMOLITION LEGEND

	EXISTING CONSTRUCTION TO BE REMOVED
	EXISTING CONSTRUCTION TO REMAIN
	PROPOSED NEW CONCRETE BLOCK WALL
	PROPOSED NEW POURED CONCRETE WALL
	PROPOSED FRAMED CONSTRUCTION WITH SOUND ATTENUATING INSULATION
	PROPOSED FRAMED CONSTRUCTION

	EXISTING WINDOW TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	PROPOSED WINDOW

	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	PROPOSED DOOR

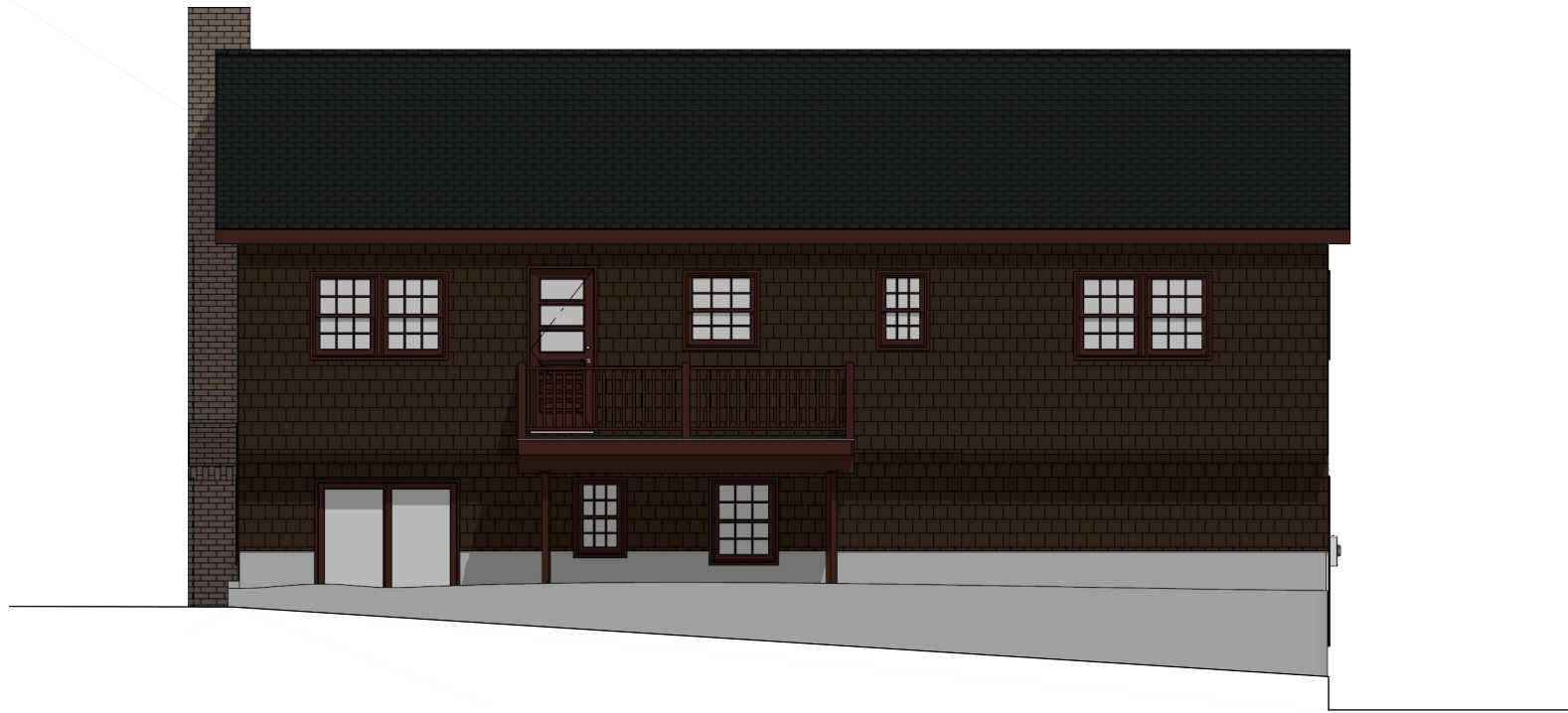
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REVISIONS

2024-10-1	EXISTING CONDITIONS	SAB
2024-10-25	PROPOSAL 1	SAB
2025-03-04	HABR SET 1	SAB / AYL
2025-03-1	HABR SET 1 - REV. PER B.I. COMMENTS	SAB / AYL
2025-04-23	HABR SET 1 - REV. PER B.I. COMMENTS	SAB / AYL

A4



EXISTING REAR ELEVATION

SCALE: 1/8" = 1' - 0"

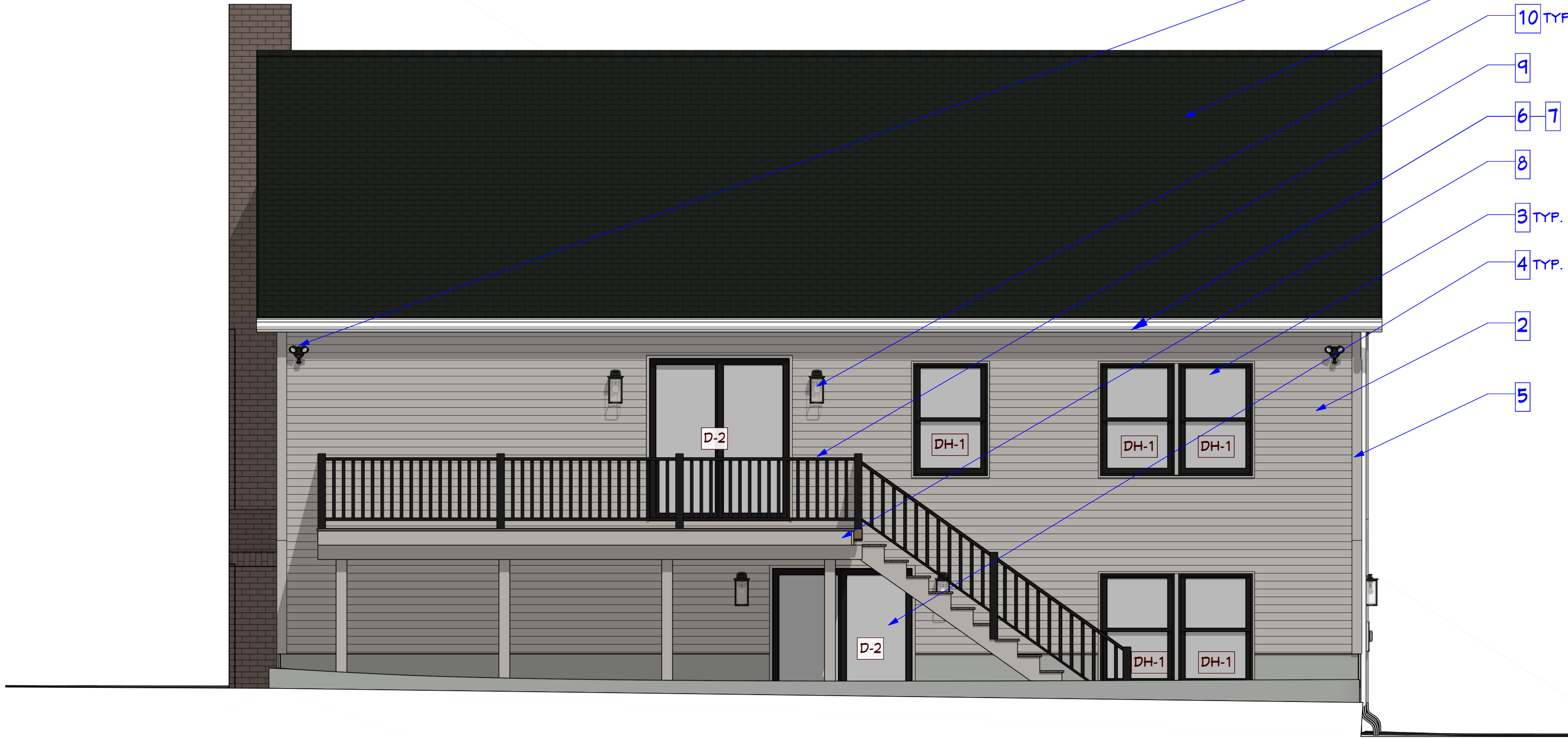
		COLOR	SYMBOL	MATERIAL	MANUFACTURER
1.	ROOFING	CHARCOAL		TIMBERLINE HDZ SHINGLES	GAF
2.	SIDING	GRAYSTONE		MONGRAM VINYL SIDING, DOUBLE 4", ROUGH CEDAR FINISH	CERTAINTEED
3.	WINDOWS	BLACK	N/A	ANDERSEN 400 SERIES DOUBLE-HUNG/ PICTURE WINDOW	ANDERSEN
4.	DOORS	BLACK	N/A	SEE DOOR SCHEDULE BELOW	THERMA-TRU DOORS ANDERSEN CLOPAY
5.	TRIM	GRAYSTONE	N/A	VINYL	CERTAINTEED
6.	GUTTERS & LEADERS	WHITE	N/A	ALUMINUM	TRI-BUILT
7.	SOFFITS & FASCIA	WHITE	N/A	ALUMINUM	TRI-BUILT
8.	DECKING	GRAY	N/A	PRESSURE-TREATED LUMBER - PAINTED (GRAY DECKING, GRAY STRINGERS, AND POSTS)	N/A
9.	RAILING	BLACK	N/A	PRESSURE-TREATED LUMBER - PAINTED	N/A
10.	EXTERIOR LIGHTING	BLACK	N/A	EXTERIOR WALL SCONCE	HOME DECORATORS COLLECTION
11.	EXTERIOR LIGHTING	BLACK	N/A	FLOOD LIGHT	DEFIANT

	WINDOW STYLE	WINDOW SERIES	WINDOW NUMBER	EXTERIOR WINDOW COLOR	MANUFACTURER
DH-1	DOUBLE-HUNG	400	TKB046	BLACK	ANDERSEN
DH-2	DOUBLE-HUNG	400	TKQ4B10	BLACK	ANDERSEN
DH-3	DOUBLE-HUNG	400	TKQ4B32	BLACK	ANDERSEN
P-1	PICTURE	400	DHP410B10	BLACK	ANDERSEN
P-2	PICTURE	400	PB035	BLACK	ANDERSEN
P-3	PICTURE	400	P6040	BLACK	ANDERSEN

	DOOR STYLE	DOOR SERIES	DOOR NUMBER	EXTERIOR DOOR COLOR	MANUFACTURER
D-1	FRONT ENTRY - SWING	2 LITE CRAFTSMAN STYLE FIR GRAIN FIBERGLASS	CCA220-02	PAINT - ONYX (BLACK)	THERMA-TRU DOORS
D-2	SLIDER	200	NLGD6068L	BLACK	ANDERSEN
D-3	SIDE ENTRY - SWING	2 LITE CRAFTSMAN STYLE FIR GRAIN FIBERGLASS	CCA220	PAINT - ONYX (BLACK)	THERMA-TRU DOORS
D-4	OVERHEAD GARAGE	CLASSIC STEEL	N/A	BLACK	CLOPAY

REAR ELEVATION

SCALE: 1/4" = 1' - 0"



NOTE: CONTRACTOR SHALL PROVIDE WINDOW SPECIFICATIONS TO ARCHITECT PRIOR TO ORDERING FOR ARCHITECT'S REVIEW

NOTE: NOTED EGRESS WINDOWS SHALL MEET NY STATE EGRESS CODES MINIMUM OPENINGS (5.7 SQUARE FEET AT GRADE FLOOR OR BELOW GRADE OPENINGS), 20" WIDTH, 24" HEIGHT MINIMUM) IN STANDARD 6'-10" HEADER APPLICATION.

E EXISTING DOOR OR WINDOW TO REMAIN

PROPOSED ADDITIONS/ ALTERATIONS:

THE CAMILO RESIDENCE

116 GREENBUSH ROAD, TAPPAN, NEW YORK 10983

SHEET TITLE:

REAR ELEVATION

SCALE:	1/4" = 1'-0"
DATE:	2024-10-11
JOB #:	24038
DRAWN BY:	SAB
CHECKED BY:	JBH



GEORGE HODOSH ASSOCIATES, P.C.
ARCHITECTS, P.C.

120 NORTH MAIN STREET - SUITE 501,
NEW CITY, NEW YORK 10956
PHONE: (845) 638-9336 FAX: (845) 638-9350

CONSTRUCTION / DEMOLITION LEGEND

	EXISTING CONSTRUCTION TO BE REMOVED
	EXISTING CONSTRUCTION TO REMAIN
	PROPOSED NEW CONCRETE BLOCK WALL
	PROPOSED NEW POURED CONCRETE WALL
	PROPOSED FRAMED CONSTRUCTION WITH SOUND ATTENUATING INSULATION
	PROPOSED FRAMED CONSTRUCTION

	EXISTING WINDOW TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	PROPOSED WINDOW

	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	PROPOSED DOOR

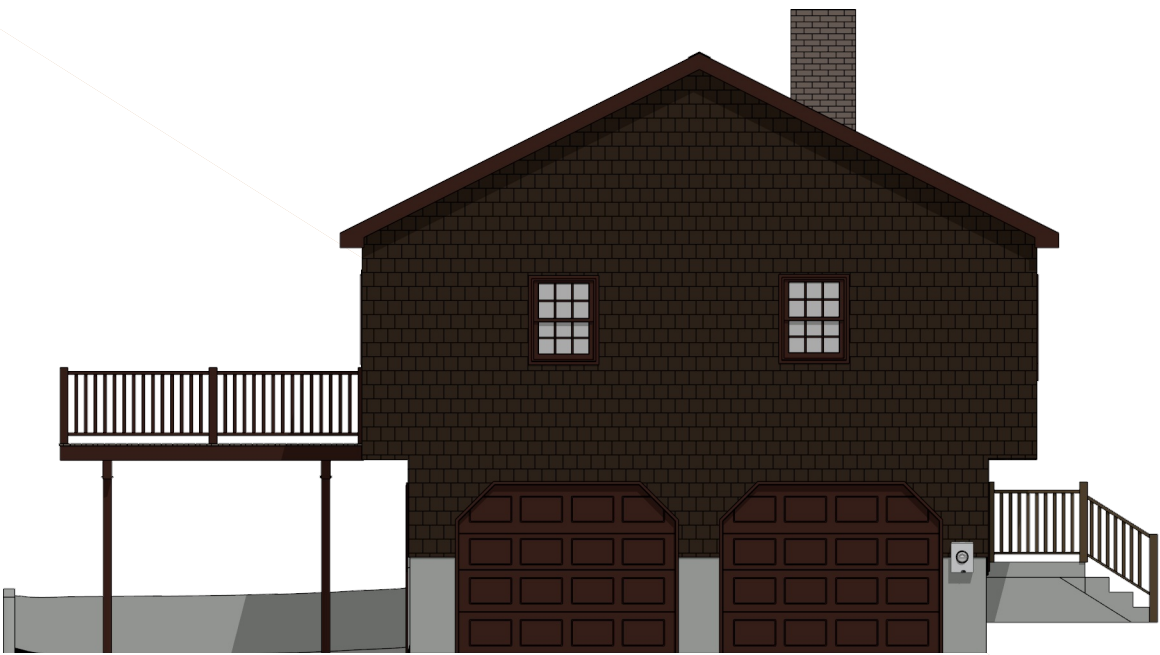
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REVISIONS

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2024-10-25	PROPOSAL 1	SAB
2025-03-04	HABR SET 1	SAB/ATL
2025-03-11	HABR SET 1 - REV. PER B.I. COMMENTS	SAB/ATL
2025-04-28	HABR SET 1 - REV. PER B.I. COMMENTS	SAB/ATL

A5



EXISTING LEFT ELEVATION

SCALE: 1/8" = 1' - 0"

		COLOR	SYMBOL	MATERIAL	MANUFACTURER
1.	ROOFING	CHARCOAL		TIMBERLINE HDZ SHINGLES	GAF
2.	SIDING	GRAYSTONE		MONGRAM VINYL SIDING, DOUBLE 4", ROUGH CEDAR FINISH	CERTAINTeed
3.	WINDOWS	BLACK	N/A	ANDERSEN 400 SERIES DOUBLE-HUNG/ PICTURE WINDOW	ANDERSEN
4.	DOORS	BLACK	N/A	SEE DOOR SCHEDULE BELOW	THERMA-TRU DOORS ANDERSEN CLOPAY
5.	TRIM	GRAYSTONE	N/A	VINYL	CERTAINTeed
6.	GUTTERS & LEADERS	WHITE	N/A	ALUMINUM	TRI-BUILT
7.	SOFFITS & FASCIA	WHITE	N/A	ALUMINUM	TRI-BUILT
8.	DECKING	GRAY	N/A	PRESSURE-TREATED LUMBER - PAINTED (GRAY DECKING, GRAY STRINGERS, AND POSTS)	N/A
9.	RAILING	BLACK	N/A	PRESSURE-TREATED LUMBER - PAINTED	N/A
10.	EXTERIOR LIGHTING	BLACK	N/A	EXTERIOR WALL SCENCE	HOME DECORATORS COLLECTION
11.	EXTERIOR LIGHTING	BLACK	N/A	FLOOD LIGHT	DEFIANT

	WINDOW STYLE	WINDOW SERIES	WINDOW NUMBER	EXTERIOR WINDOW COLOR	MANUFACTURER
DH-1	DOUBLE-HUNG	400	TKB046	BLACK	ANDERSEN
DH-2	DOUBLE-HUNG	400	TKQ4B10	BLACK	ANDERSEN
DH-3	DOUBLE-HUNG	400	TKQ4B32	BLACK	ANDERSEN
P-1	PICTURE	400	DHP410B10	BLACK	ANDERSEN
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P-3	PICTURE	400	P6040	BLACK	ANDERSEN

	DOOR STYLE	DOOR SERIES	DOOR NUMBER	EXTERIOR DOOR COLOR	MANUFACTURER
D-1	FRONT ENTRY - SWING	2 LITE CRAFTSMAN STYLE FIR GRAIN FIBERGLASS	CCA220-02	PAIN'T - ONYX (BLACK)	THERMA-TRU DOORS
D-2	SLIDER	200	NLG06060L	BLACK	ANDERSEN
D-3	SIDE ENTRY - SWING	2 LITE CRAFTSMAN STYLE FIR GRAIN FIBERGLASS	CCA220	PAIN'T - ONYX (BLACK)	THERMA-TRU DOORS
D-4	OVERHEAD GARAGE	CLASSIC STEEL	N/A	BLACK	CLOPAY

LEFT ELEVATION

SCALE: 1/4" = 1' - 0"



NOTE: CONTRACTOR SHALL PROVIDE WINDOW SPECIFICATIONS TO ARCHITECT PRIOR TO ORDERING FOR ARCHITECT'S REVIEW

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EXISTING DOOR OR WINDOW TO REMAIN

PROPOSED ADDITIONS / ALTERATIONS:

THE CAMILO RESIDENCE

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SHEET TITLE:

LEFT ELEVATION

SCALE:	DATE:	JOB #:	DRAWN BY:	CHECKED BY:
1/4" = 1'-0"	2024-10-11	24038	SAB	JBH



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	PROPOSED WINDOW

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AG