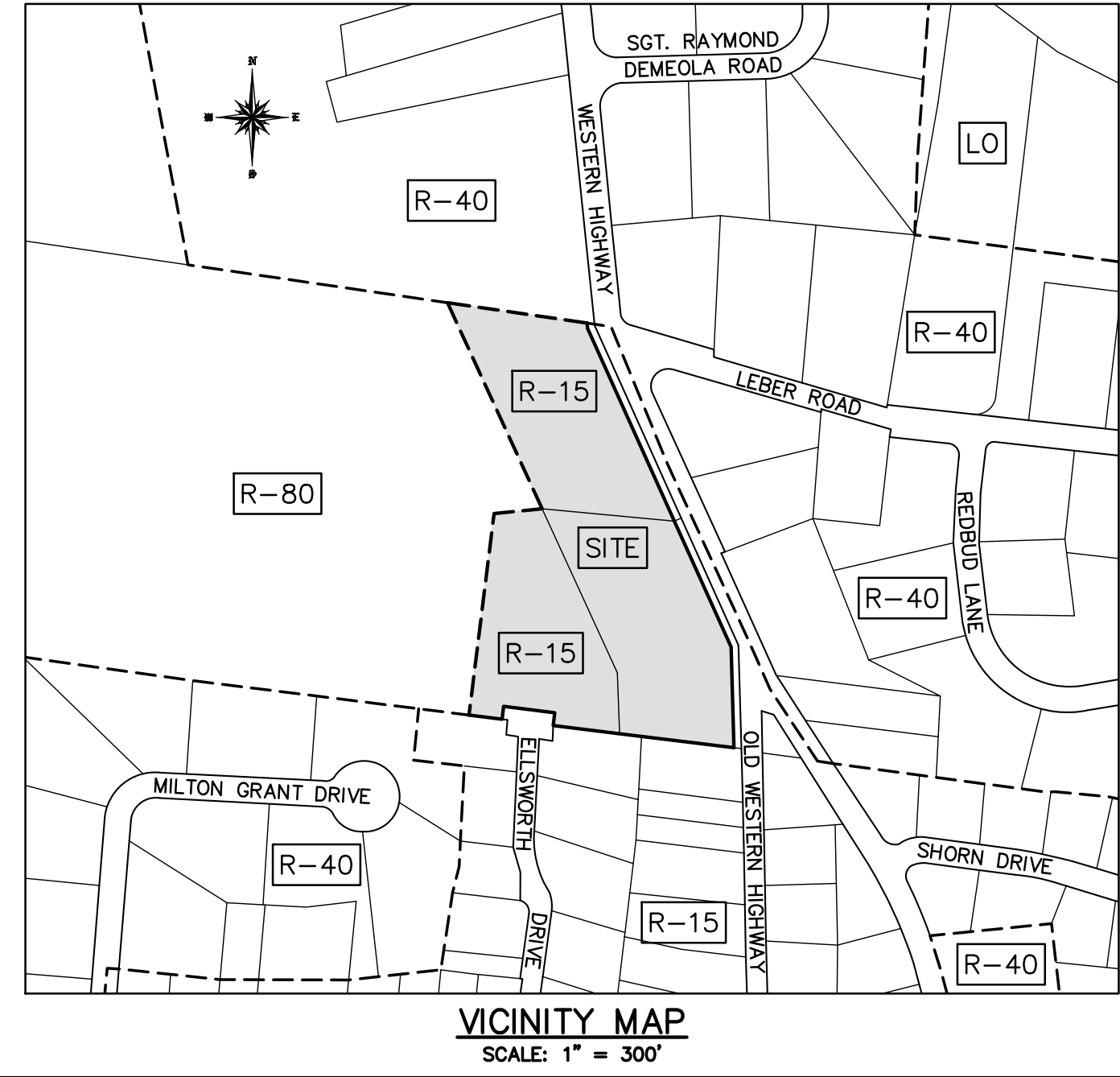




REFERENCES:
1. MAP ENTITLED "SUBDIVISION PLAT FOR ELLSWORTH ESTATES", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP 7172.
2. MAP ENTITLED "SUBDIVISION PLAT FOR HUDSON VALLEY ESTATES", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP 7173.

DISTRICTS:
SCHOOL: PEARL RIV UFSD 392408
FIRE: BLAUVELT FD00
WATER: BLAUVELT W001
LIBRARY: BLAUVELT LB002
AMBULANCE: SO ORANGETOWN AM001
SEWER: TOWN OF ORANGETOWN

APPROVAL-ROCKLAND COUNTY DRAINAGE AGENCY	OWNERS APPROVAL FOR FILING:
CHAIRMAN _____ DATE _____	OWNER _____ DATE _____
HEALTH DEPARTMENT APPROVAL	ORANGETOWN PLANNING BOARD APPROVAL:
THIS IS TO CERTIFY THAT THE "HEGARTY HOMES SUBDIVISION PLAN" WAS APPROVED ON THE DATE SHOWN BELOW. CONSENT IS HEREBY GIVEN TO THE FILING OF THIS MAP IN THE OFFICE THE COUNTY CLERK OF ROCKLAND COUNTY. THIS APPROVAL IS NULL AND VOID IF WATER AND SEWAGE DISPOSAL FACILITIES ARE NOT INSTALLED IN ACCORDANCE WITH THE FILED PLANS OR AMENDMENTS THERETO APPROVED BY THE DEPARTMENT.	
_____, P.E. SENIOR PUBLIC HEALTH ENGINEER	_____, P.E. DATE _____



- SUBDIVISION NOTES:**
- THIS IS A SUBDIVISION OF TAX LOTS 70.05-1-14.1, 70.05-1-14.2 & 70.05-1-17.1 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAPS.
 - RECORD OWNER: HEGARTY HOMES INC, 75 MICHAEL ROBERTS COURT, PEARL RIVER, NY 10965.
 - APPLICANT: SAME AS ABOVE.
 - NUMBER OF LOTS: 3 EXISTING, 14 PROPOSED (ONE LOT TO BE CONVEYED TO THE TOWN OF ORANGETOWN).
 - AREA = 286,970 SF = 6.588 AC
 - ZONE: R-15
 - ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE SHALL BE INSTALLED UNDERGROUND. THIS PLAT DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP, AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239 L&N OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
 - THIS PLAT IS SUBJECT TO DETAILS OF GRADING, ROADS AND UTILITIES AS SHOWN ON CONSTRUCTION PLANS APPROVED BY THE PLANNING BOARD AND FILED WITH THE TOWN CLERK. LOT DRAINAGE SHOWN ON SUCH PLANS SHALL CONSTITUTE EASEMENTS RUNNING WITH THE LAND & SHALL NOT BE DISTURBED.
 - ANY EXISTING UTILITIES (POLES, HYDRANTS, ETC.) AFFECTED BY CONSTRUCTION OF THIS SITE PLAN SHALL BE RELOCATED AT THE DEVELOPERS EXPENSE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY.
 - NO BUILDING PERMIT SHALL BE ISSUED UNTIL SITE PLANS HAVE BEEN APPROVED BY ACABOR AND/OR HABR.
 - NO BUILDING PERMIT SHALL BE ISSUED UNTIL RESULTS OF TEST PITS HAVE BEEN SUBMITTED TO THE BUILDING DEPT.
 - MONUMENTS ARE TO BE SET AT ALL CORNERS OF ORIGINAL PARCEL WHERE NOT OTHERWISE MARKED. (SHOWN THUS: \times).
 - WATER SUPPLY: VEOLIA WATER NEW YORK.
 - DATUM: NAVD 88.
 - NEW TAX LOT NUMBERS SHOWN THUS: []
 - THE NEW CORNERS OF ALL LOTS SHALL BE MARKED WITH METAL RODS 3/4" IN DIAMETER & AT LEAST 30" IN LENGTH, TO BE INSTALLED AFTER FINAL GRADING.
 - ALL AREAS DISTURBED BY ON-SITE GRADING SHOULD BE LIMED AND FERTILIZED PRIOR TO SEEDING.
 - SIDEWALKS AND CURBS, WHERE REQUIRED, SHALL BE INSTALLED IN ACCORDANCE WITH HIGHWAY DEPT. SPECIFICATIONS. (SEE APPROVED "GRADING, DRAINAGE, SOIL EROSION & UTILITY PLAN" ON FILE WITH THE TOWN OF ORANGETOWN).
 - ALL SEWER CONNECTIONS SHALL BE APPROVED BY THE ORANGETOWN DEPT. OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING. THE TOWN OF ORANGETOWN SEWER INSPECTOR SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY SANITARY SEWER WORK BEING PERFORMED.
 - THE APPLICANT'S ENGINEER SHALL PROVIDE A COPY OF THE FIELD PERC TEST TO THE TOWN OF ORANGETOWN DEPT. OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING (DEME) AND THE BUILDING DEPT. PRIOR TO THE SIGNING OF THE PLAT, TO ENSURE ADEQUACY OF DESIGNED DRAINAGE SYSTEM.
 - AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES & VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEME, SUPT. OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING & PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
 - PLANS COMPLY WITH STORMWATER MANAGEMENT PHASE II REGULATIONS.
 - ALL LANDSCAPING SHOWN ON THE SUBDIVISION PLANS SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
 - PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION & SEDIMENTATION CONTROL AS REQUIRED BY THE PLANNING BOARD. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE TOWN D.E.M.E. SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION & SEDIMENTATION CONTROL MEASURES. THE APPLICANT SHALL CONTACT DEME AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.
 - NO BUILDING PERMIT WILL BE ISSUED UNTIL SEWAGE DISPOSAL ARRANGEMENTS HAVE BEEN APPROVED BY THE ROCKLAND COUNTY DEPT. OF HEALTH AND/OR THE TOWN OF ORANGETOWN.
 - SANITARY SEWER INFILTRATION & EXFILTRATION LIMIT IS 100 GALLONS PER INCH DIAMETER PER MILE PER DAY. CERTIFICATES OF OCCUPANCY MAY NOT BE REQUESTED UNTIL ANY OCCUPANCY IS PERMITTED, UNTIL A CERTIFICATE OF COMPLIANCE CERTIFIED BY A LICENSED NYS PROFESSIONAL ENGINEER, IS SUBMITTED TO AND APPROVED BY THE TOWN OF ORANGETOWN. COPIES OF THIS CERTIFICATE SHALL BE SENT TO THE ROCKLAND COUNTY DEPARTMENT OF HEALTH.
 - THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREAS WITH MANY TREES. STEPS THAT WILL BE TAKEN TO PRESERVE AND PROTECT EXISTING TREES ARE AS FOLLOWS:
 - NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
 - THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH TREES.
 - TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT.
 - THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
 - ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH.
 - DRIP LINE OF THE TREE CANOPY.
 - ALL HOUSES SHALL BE SERVED BY GRAVITY SEWER CONNECTIONS WITH A MIN. SLOPE OF 2%.
 - HOUSE SEWER AND WATER SERVICE LINES SHALL BE LAID IN SEPARATE TRENCHES WITH A MIN. SEPARATION OF 10 FEET.
 - THE CONTRACTOR'S TRAILER, IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE PLANNING BOARD.
 - IF THE APPLICANT, DURING THE COURSE OF CONSTRUCTION, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREAS, UNDERGROUND WATER, SOFT OR SILTY AREAS, IMPROPER DRAINAGE OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL PLANNING, SUCH CONDITIONS SHALL BE REPORTED IMMEDIATELY TO DEME. THE APPLICANT SHALL SUBMIT THEIR RECOMMENDATIONS AS TO SPECIAL TREATMENT TO BE GIVEN SUCH AREAS TO SECURE ADEQUATE, PERMANENT AND SATISFACTORY CONSTRUCTION. DEME SHALL INVESTIGATE THE CONDITION(S) AND SHALL EITHER APPROVE THE APPLICANTS RECOMMENDATIONS TO CORRECT THE CONDITION(S), OR ORDER A MODIFICATION THEREOF. IN THE EVENT OF THE APPLICANTS DISAGREEMENT WITH THE DECISION OF DEME, OR IN THE EVENT OF A SIGNIFICANT CHANGE RESULTING TO THE SUBDIVISION PLAN, OR SITE PLAN, OR ANY CHANGE THAT INVOLVES A WETLAND REGULATED AREA, THE MATTER SHALL BE DECIDED BY THE AGENCY WITH JURISDICTION IN THAT AREA (i.e. WETLANDS-US ARMY CORP OF ENGINEERS).
 - PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE COMPLETION OF CONSTRUCTION.
 - THE PLANNING BOARD SHALL RETAIN CONTROL OVER LIGHTING, LANDSCAPING, SIGNS & REFUSE CONTROL.
 - ALL EXISTING STRUCTURES SHALL BE REMOVED PRIOR TO THE SIGNING OF THE SUBDIVISION PLAT. ROCKLAND COUNTY DEPARTMENT OF HEALTH (RCDH) APPROVAL IS LIMITED TO 5 YEARS AND SHALL EXPIRE 5 YEARS FROM THE DATE OF THE RCDH APPROVAL. TIME EXTENSIONS MAY BE GRANTED BY THE RCDH BASED UPON DEVELOPMENT FACTS AND THE REALTY SUBDIVISION REGULATIONS IN EFFECT AT THAT TIME. A NEW PLAN SUBMISSION MAY BE REQUIRED TO OBTAIN A TIME EXTENSION.
 - A NOTE SHALL BE ADDED TO THE PLANS STATING THAT THE TOWN OF ORANGETOWN SEWER INSPECTOR SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY WORK BEING DONE ON OR NEAR ANY OF THE PROPOSED SANITARY SEWER IMPROVEMENTS AND OR THE PROPOSED SANITARY HOUSE CONNECTIONS.

NET LOT AREA BREAKDOWN:

LOT #1:
GROSS AREA = 57,016 SF

LOT #2:
GROSS AREA = 15,306 SF

LOT #3:
GROSS AREA = 15,899 SF
AREA WITHIN WESTERN EASEMENT = 498 SF
AREA WITHIN EASTERN EASEMENT = 469 SF
NET AREA = 15,899 SF - (½)(498 SF) - (½)(469 SF) = 15,415 SF

LOT #4:
GROSS AREA = 15,716 SF
AREA WITHIN WESTERN EASEMENT = 498 SF
AREA WITHIN EASTERN EASEMENT = 469 SF
NET AREA = 15,716 SF - (½)(498 SF) - (½)(469 SF) = 15,238 SF

LOT #5:
GROSS AREA = 15,439 SF

LOT #6:
GROSS AREA = 16,448 SF
AREA WITHIN WESTERN EASEMENT = 1,770 SF
NET AREA = 16,448 SF - (½)(1,770 SF) = 15,564 SF

LOT #7:
GROSS AREA = 17,297 SF
AREA WITHIN WESTERN EASEMENT = 4,118 SF
NET AREA = 17,297 SF - (½)(4,118 SF) = 15,238 SF

LOT #8:
GROSS AREA = 15,439 SF

LOT #9:
GROSS AREA = 15,899 SF
AREA WITHIN WESTERN EASEMENT = 498 SF
AREA WITHIN EASTERN EASEMENT = 469 SF
NET AREA = 15,899 SF - (½)(498 SF) - (½)(469 SF) = 15,415 SF

LOT #10:
GROSS AREA = 16,056 SF
AREA WITHIN WESTERN EASEMENT = 472 SF
NET AREA = 16,056 SF - (½)(472 SF) = 15,820 SF

LOT #11:
GROSS AREA = 14,778 SF
AREA WITHIN WESTERN EASEMENT = 1,103 SF
NET AREA = 14,778 SF - (½)(1,103 SF) = 15,329 SF

LOT #12:
GROSS AREA = 14,771 SF
AREA WITHIN WESTERN EASEMENT = 2,092 SF
NET AREA = 14,771 SF - (½)(2,092 SF) = 15,817 SF

LOT #13:
GROSS AREA = 16,002 SF
AREA WITHIN WESTERN EASEMENT = 1,431 SF
NET AREA = 16,002 SF - (½)(1,431 SF) = 16,717 SF

LOT #14:
GROSS AREA = 17,789 SF

BULK REGULATIONS - R-15 - SINGLE FAMILY DETACHED RESIDENCES								
	MINIMUM LOT AREA	MINIMUM LOT WIDTH	MINIMUM STREET FRONTAGE	MINIMUM FRONT YARD	MINIMUM SIDE YARD	TOTAL SIDE YARDS	MINIMUM REAR YARD	MAXIMUM BUILDING HEIGHT
REQUIRED	15,000 SF	100 FT	75 FT	30 FT	20 FT	50 FT	35 FT	1 FT / 1 FT
PROVIDED LOT #1	57,016 SF							
PROVIDED LOT #2	15,155 SF	102 FT	99.7 FT	30'+	20'+	50'+	35'+	≤1' / FT
PROVIDED LOT #3	15,387 SF	100 FT	100 FT	30'+	20'+	50'+	35'+	≤1' / FT
PROVIDED LOT #4	16,669 SF	167 FT	255.8 FT	30'+	20'+	50'+	35'+	≤1' / FT
PROVIDED LOT #5	15,439 SF	115 FT	122.1 FT	30'+	20'+	50'+	35'+	≤1' / FT
PROVIDED LOT #6	15,564 SF	100 FT	75.5 FT	30'+	20'+	50'+	35'+	≤1' / FT
PROVIDED LOT #7	15,238 SF	123 FT	84.6 FT	30'+	20'+	50'+	35'+	≤1' / FT
PROVIDED LOT #8	15,306 SF	114 FT	75.1 FT	30'+	20'+	50'+	35'+	≤1' / FT
PROVIDED LOT #9	15,415 SF	123 FT	77.3 FT	30'+	20'+	50'+	35'+	≤1' / FT
PROVIDED LOT #10	15,820 SF	126 FT	134.2 FT	30'+	20'+	50'+	35'+	≤1' / FT
PROVIDED LOT #11	15,329 SF	128 FT	220.8 FT	30'+	20'+	50'+	35'+	≤1' / FT
PROVIDED LOT #12	16,024 SF	129 FT	141.5 FT	30'+	20'+	50'+	35'+	≤1' / FT
PROVIDED LOT #13	16,729 SF	101 FT	100.0 FT	30'+	20'+	50'+	35'+	≤1' / FT
PROVIDED LOT #14	17,789 SF	108 FT	75 FT	30'+	20'+	50'+	35'+	≤1' / FT

PROJECT:

HEGARTY HOMES
SUBDIVISION PLAN

TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

PROJECT LOCATION

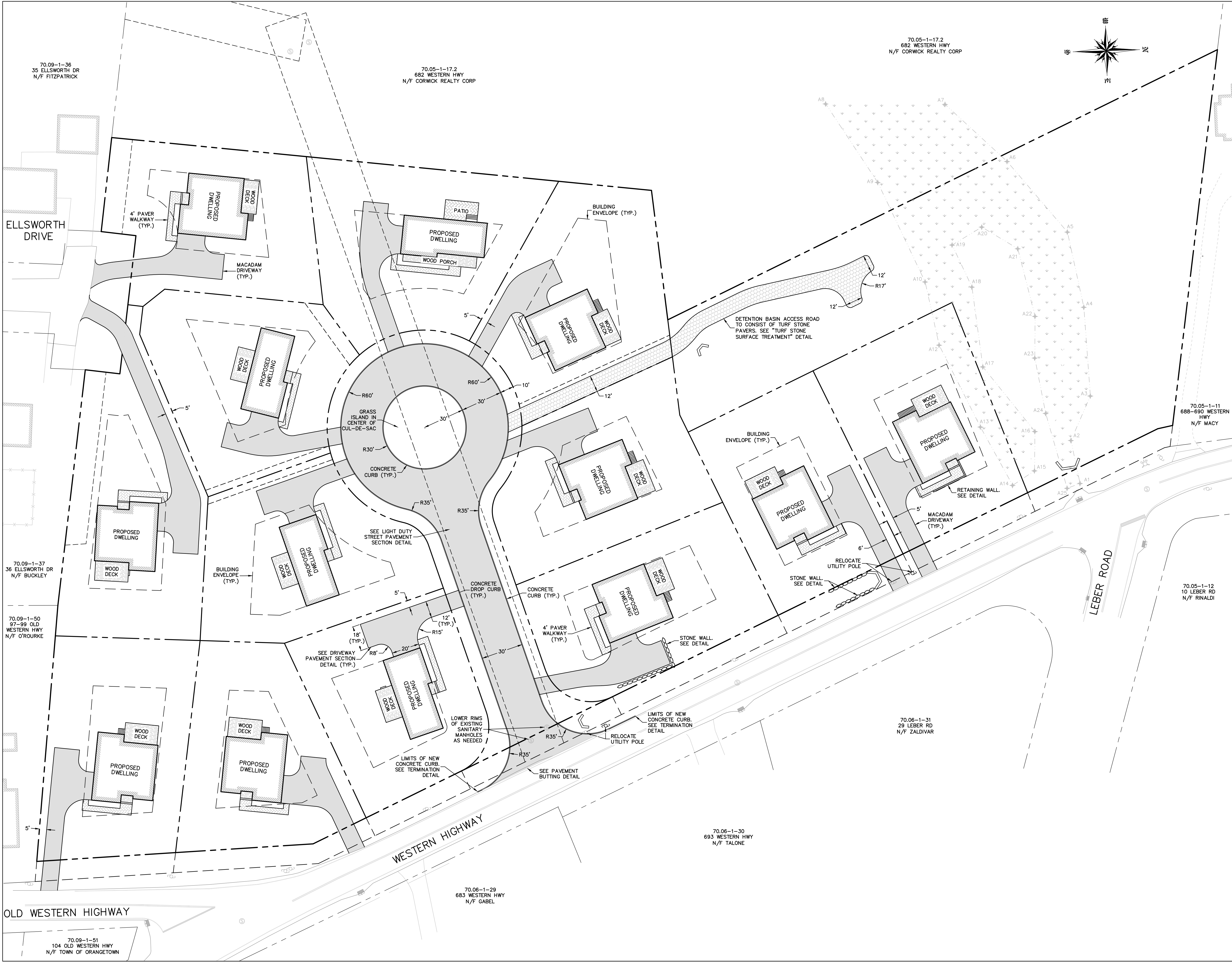
APPLICANT:
HEGARTY HOMES, INC.
75 MICHAEL ROBERTS COURT
PEARL RIVER, NEW YORK 10965

SURVEYOR:
JAY A. GREENWELL, PLS, LLC
75 WAYNE AVENUE
SUFFERN, NEW YORK 10901
TEL: 845.357.0830

REV	DESCRIPTION	BY	DATE

SEAL:

STUART B. STROW
PROFESSIONAL ENGINEER
N.Y.S. Lic. No. 66876



PROJECT:

HEGARTY HOMES
SUBDIVISON PLAN

TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

PROJECT LOCATION

APPLICANT:

HEGARTY HOMES, INC.
75 MICHAEL ROBERTS COURT
PEARL RIVER, NEW YORK 10965

SURVEYOR:

JAY A. GREENWELL, PLS, LLC
34 WAYNE AVENUE
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OF THE N.Y.S. EDUCATION LAW, ARTICLE 145, SECTION 7209, SUBSECTION 2.

PROJECT:

HEGARTY HOMES
SUBDIVISON PLAN

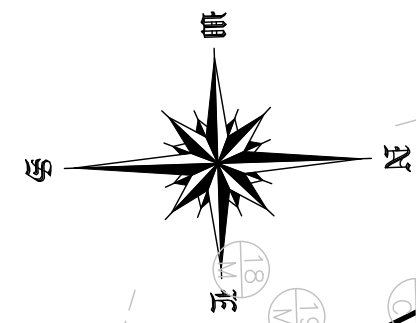
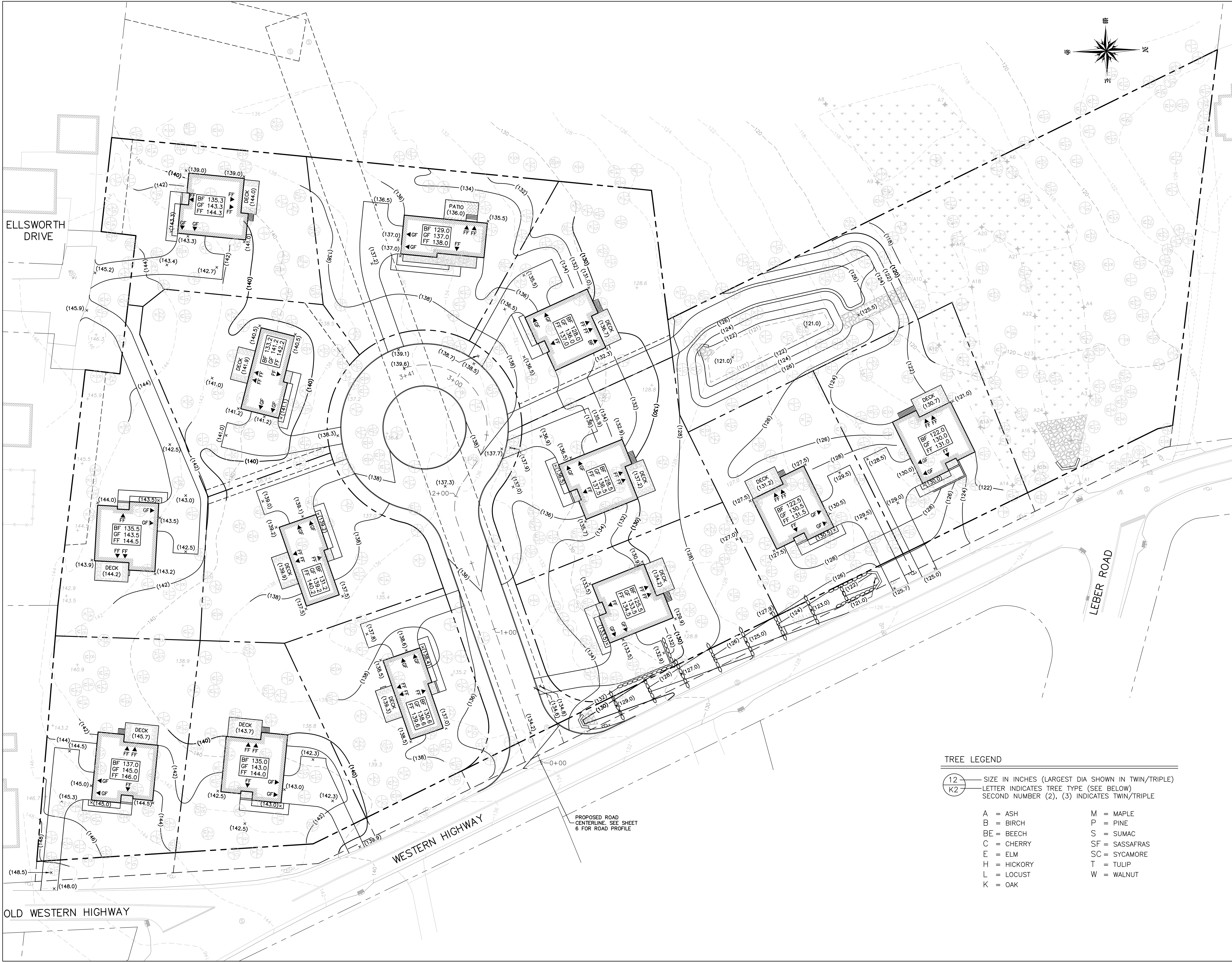
SCALE:
1" = 30'

0 30' 60'

SHEET TITLE:

PLANIMETRIC SITE
LAYOUT PLAN

DRAWN BY:	MR/AG	CHECKED BY:	SS/JAG
DATE:	4.30.25	PROJECT NO:	2510
SHEET NUMBER:	2		




PROJECT:

HEGARTY HOMES SUBDIVISON PLAN

TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK




PROJECT LOCATION 

APPLICANT:
HEGARTY HOMES, INC.
75 MICHAEL ROBERTS COURT
PEARL RIVER, NEW YORK 10965

SURVEYOR:
JAY A. GREENWELL, PLS, LLC
34 WAYNE AVENUE
SUFFERN, NEW YORK 10901
TEL: 845.357.0830

REV	DESCRIPTION	BY	DATE

SEAL:



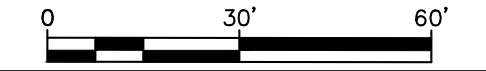
STUART H. STROW
PROFESSIONAL ENGINEER
N.Y.S. Lic. No. 66876

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PROJECT:

HEGARTY HOMES SUBDIVISON PLAN

SCALE: 1" = 30'



SHEET TITLE:

GRADING PLAN

DRAWN BY:	MR/AG	CHECKED BY:	SS/JAG
DATE:	4.30.25	PROJECT NO:	2510
SHEET NUMBER:			

- TREE LEGEND
- 12

K2

—

—
- SIZE IN INCHES (LARGEST DIA SHOWN IN TWIN/TRIPLE)
LETTER INDICATES TREE TYPE (SEE BELOW)
SECOND NUMBER (2), (3) INDICATES TWIN/TRIPLE
- A = ASH

B = BIRCH

BE = BEECH

C = CHERRY

E = ELM

H = HICKORY

L = LOCUST

K = OAK
- M = MAPLE

P = PINE

S = SUMAC

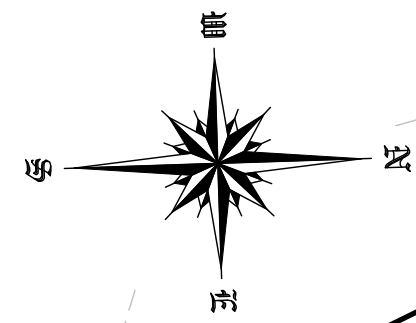
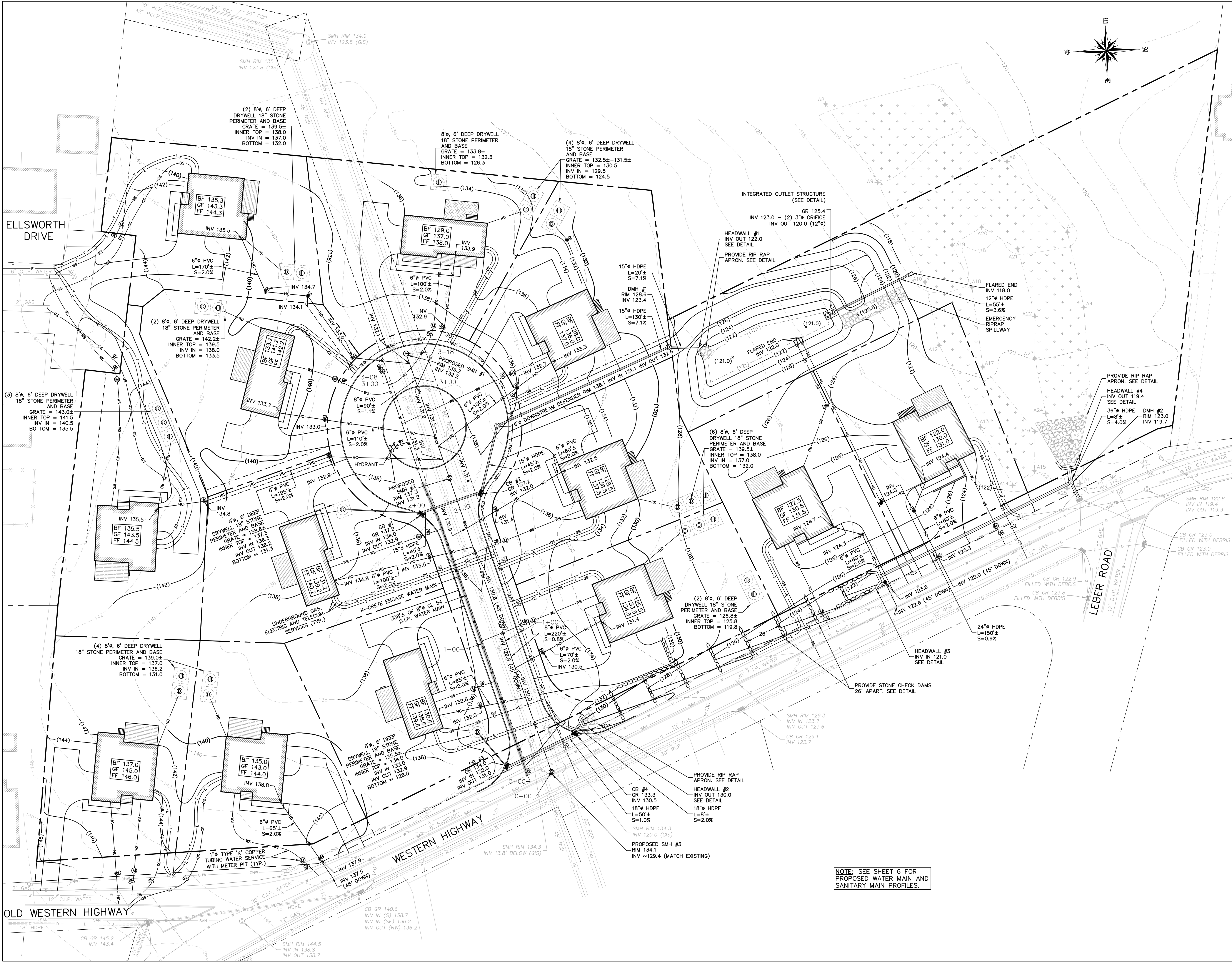
SF = SASSAFRAS


SC = SYCAMORE

T = TULIP

W = WALNUT

PROPOSED ROAD
CENTERLINE. SEE SHEET
6 FOR ROAD PROFILE





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NEW YORK OFFICE (MAIN):
254 SOUTH MAIN STREET - SUITE #308
NEW CITY - NEW YORK - 10956
TEL: 845-266-6441

NEW JERSEY OFFICE:
17 ARROWHEAD ROAD
OAKLAND - NEW JERSEY - 07436
TEL: 201-644-7530

PROJECT:

HEGARTY HOMES SUBDIVISON PLAN

TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK




PROJECT LOCATION

APPLICANT:
HEGARTY HOMES, INC.
75 MICHAEL ROBERTS COURT
PEARL RIVER, NEW YORK 10965

SURVEYOR:
JAY A. GREENWELL, PLS, LLC
34 WAYNE AVENUE
SUFFERN, NEW YORK 10901
TEL: 845.357.0830

REV	DESCRIPTION	BY	DATE

SEAL:



STUART H. STROW
PROFESSIONAL ENGINEER
N.Y.S. Lic. No. 66876




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PROJECT:

HEGARTY HOMES SUBDIVISON PLAN

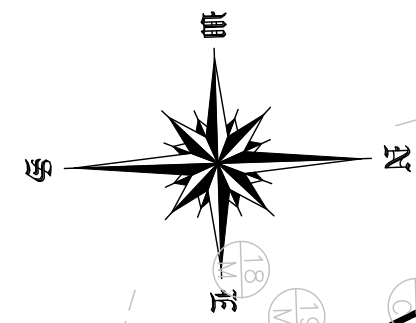
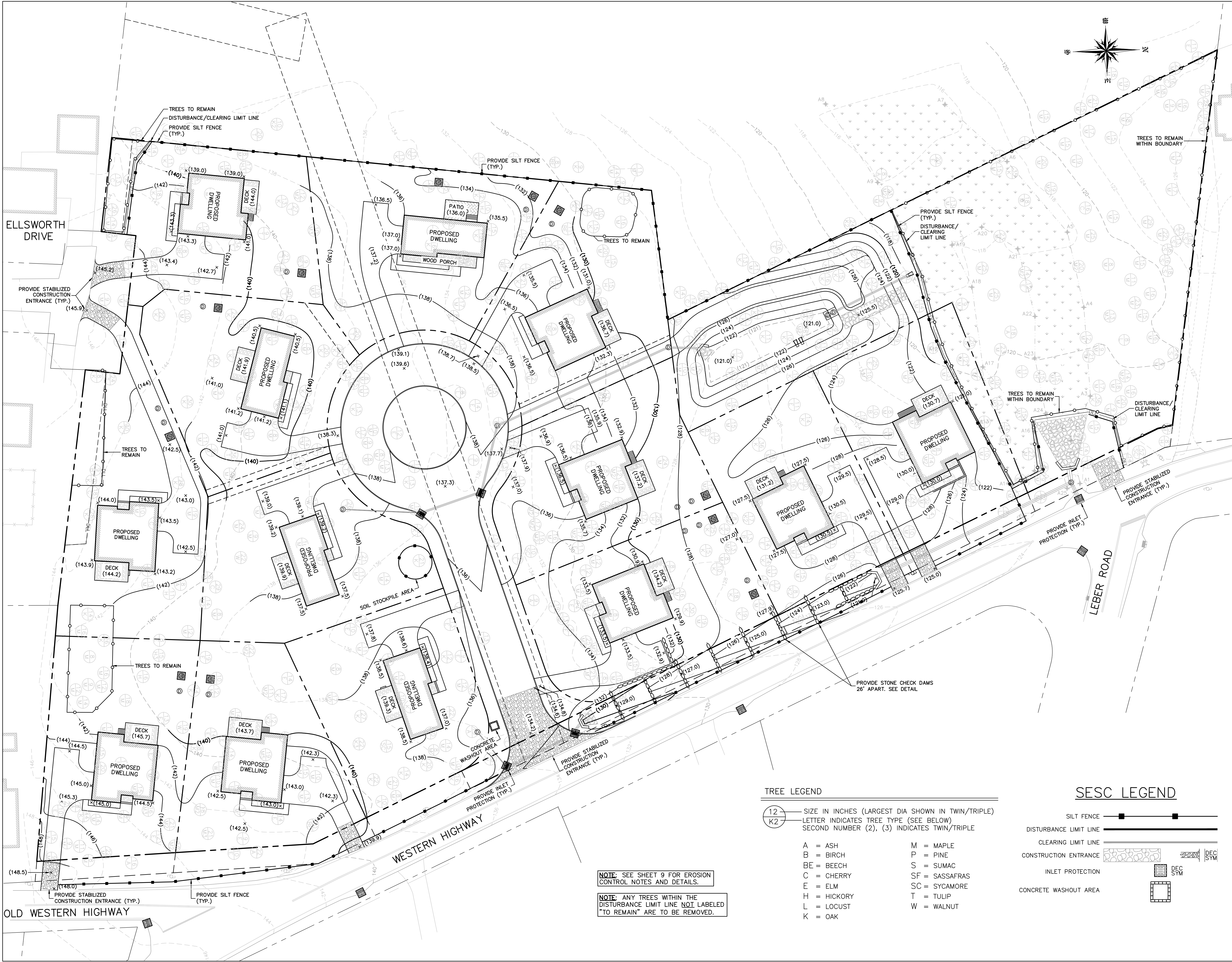
SCALE: 1" = 30'



SHEET TITLE:

UTILITY PLAN

DRAWN BY:	MR/AG	CHECKED BY:	SS/JAG
DATE:	4.30.25	PROJECT NO:	2510
SHEET NUMBER:			



PROJECT:

**HEGARTY HOMES
SUBDIVISION PLAN**

TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK



APPLICANT:
HEGARTY HOMES, INC.
75 MICHAEL ROBERTS COURT
PEARL RIVER, NEW YORK 10965

SURVEYOR:
JAY A. GREENWELL, PLS, LLC
34 WAYNE AVENUE
SUFFERN, NEW YORK 10901
TEL: 845.357.0830

REV	DESCRIPTION	BY	DATE

SEAL:

STUART H. STROW
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PROJECT:

**HEGARTY HOMES
SUBDIVISION PLAN**

SCALE: 1" = 30'

SHEET TITLE:

**EROSION & SEDIMENT
CONTROL PLAN**

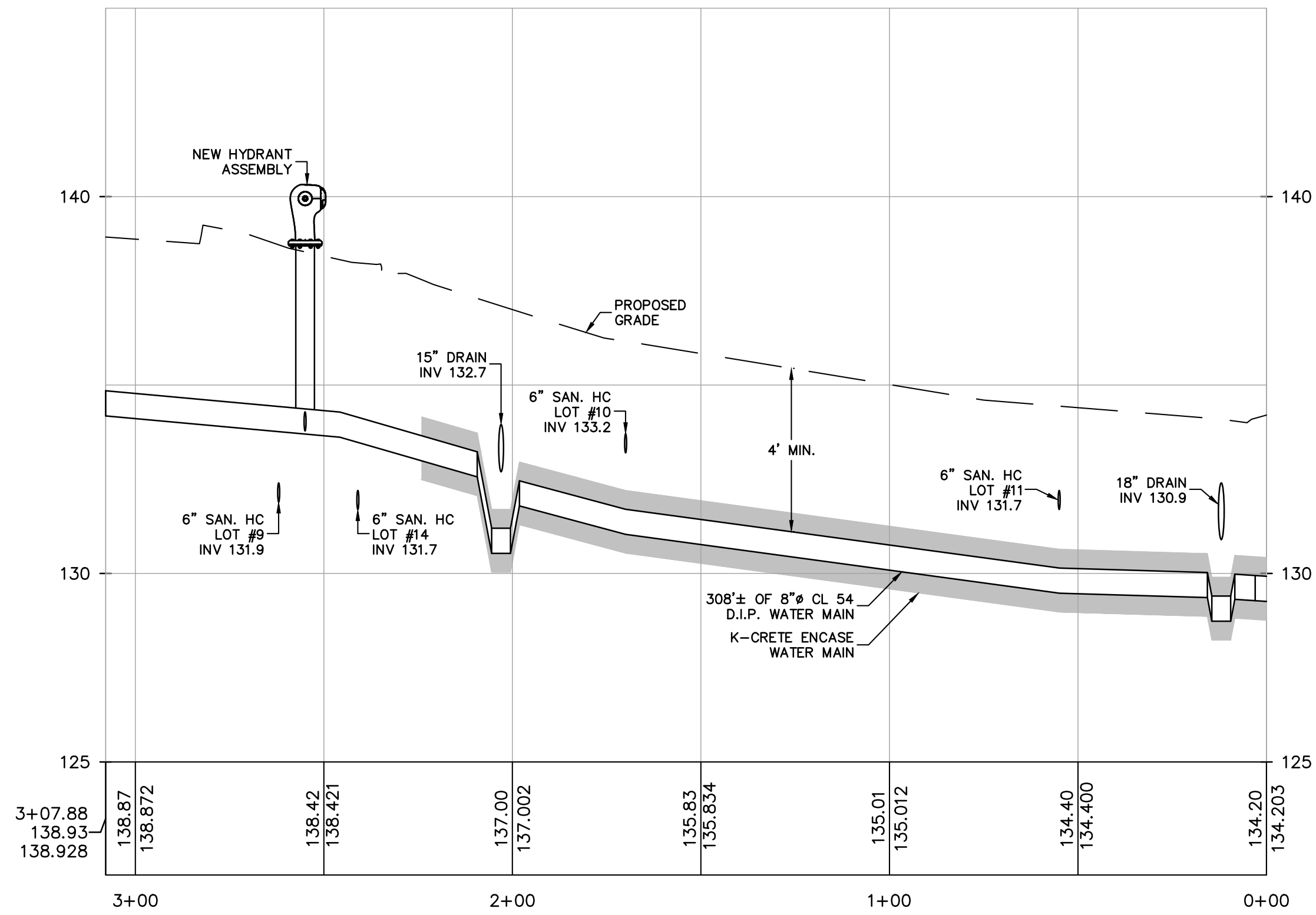
DRAWN BY: MR/AG CHECKED BY: SS/JAG
DATE: 4.30.25 PROJECT NO: 2510
SHEET NUMBER:

- TREE LEGEND**
- 12 K2 — SIZE IN INCHES (LARGEST DIA SHOWN IN TWIN/TRIPLE)
LETTER INDICATES TREE TYPE (SEE BELOW)
SECOND NUMBER (2), (3) INDICATES TWIN/TRIPLE
- | | |
|-------------|----------------|
| A = ASH | M = MAPLE |
| B = BIRCH | P = PINE |
| BE = BEECH | S = SUMAC |
| C = CHERRY | SF = SASSAFRAS |
| E = ELM | SC = SYCAMORE |
| H = HICKORY | T = TULIP |
| L = LOCUST | W = WALNUT |
| K = OAK | |

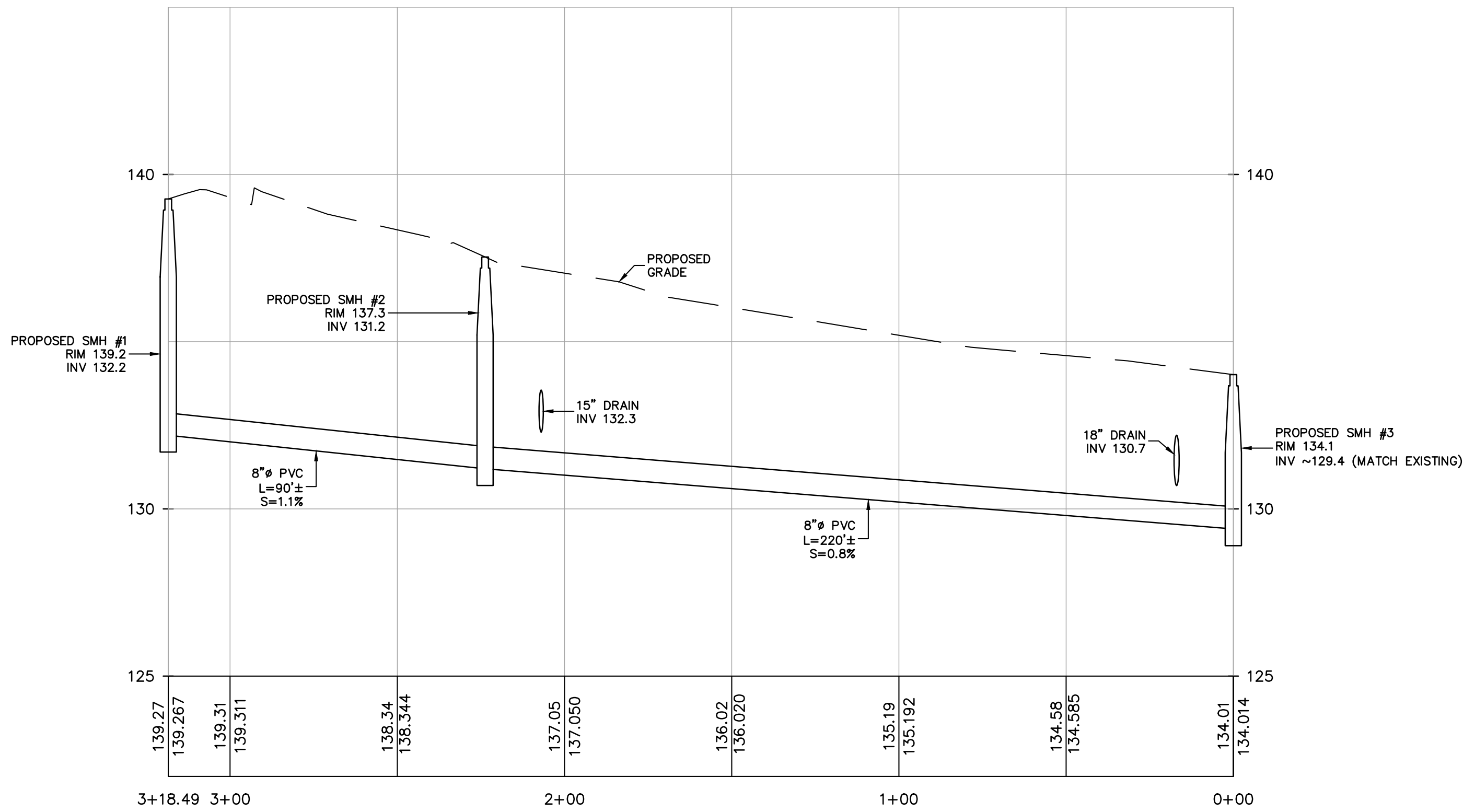
- SESC LEGEND**
- SILT FENCE ————
- DISTURBANCE LIMIT LINE ————
- CLEARING LIMIT LINE ————
- CONSTRUCTION ENTRANCE [Pattern]
- INLET PROTECTION [Pattern]
- CONCRETE WASHOUT AREA [Pattern]

NOTE: SEE SHEET 9 FOR EROSION
CONTROL NOTES AND DETAILS.

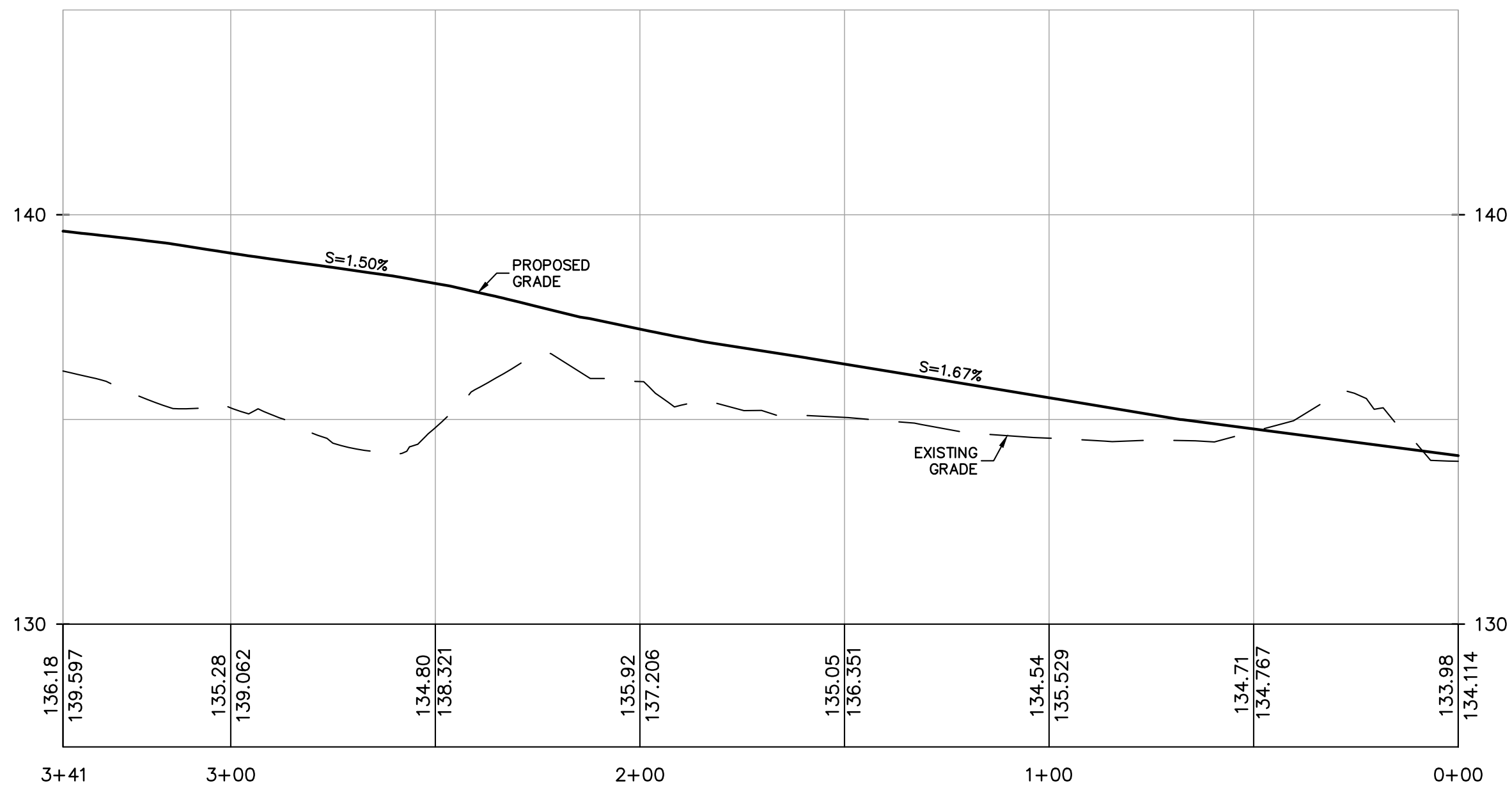
NOTE: ANY TREES WITHIN THE
DISTURBANCE LIMIT LINE NOT LABELED
"TO REMAIN" ARE TO BE REMOVED.



PROFILE
PROPOSED WATER MAIN
SCALE: HORIZ. 1"=30'
SCALE: VERT. 1"=3'



PROFILE
PROPOSED SANITARY MAIN
SCALE: HORIZ. 1"=30'
SCALE: VERT. 1"=3'



PROFILE
ROAD PROFILE
SCALE: HORIZ. 1"=30'
SCALE: VERT. 1"=3'

PROJECT:
**HEGARTY HOMES
SUBDIVISON PLAN**
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK



PROJECT LOCATION
APPLICANT:
HEGARTY HOMES, INC.
75 MICHAEL ROBERTS COURT
PEARL RIVER, NEW YORK 10965
SURVEYOR:
JAY A. GREENWELL, PLS, LLC
34 WAYNE AVENUE
SUFFERN, NEW YORK 10901
TEL: 845.357.0830

REV	DESCRIPTION	BY	DATE

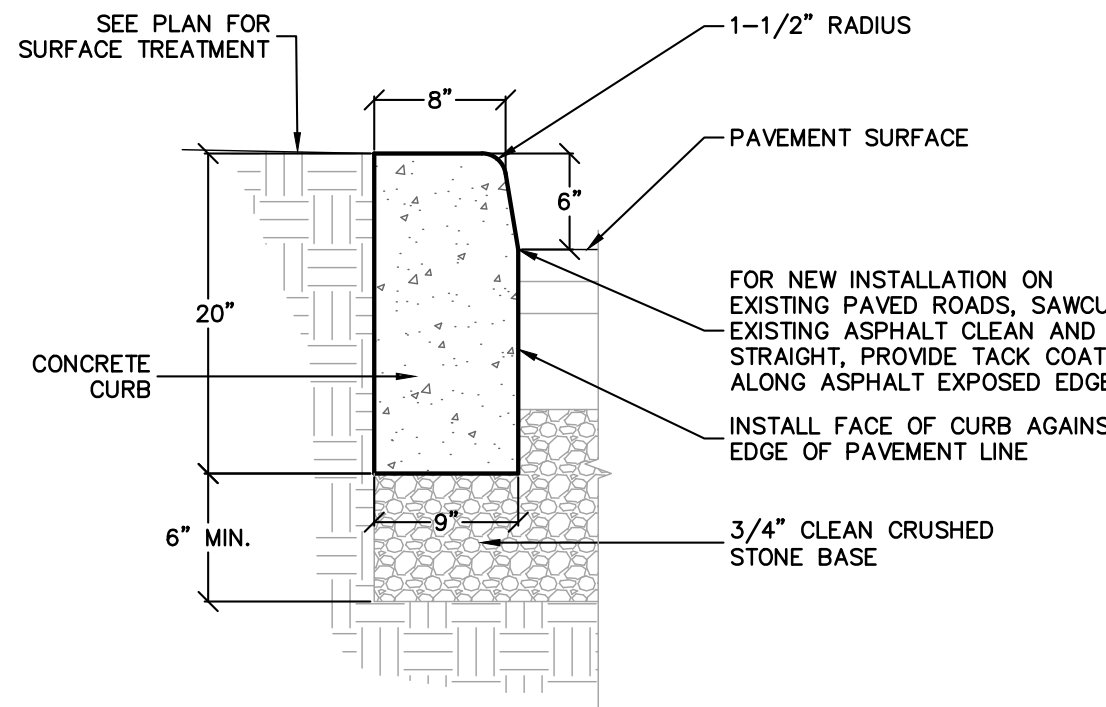
SEAL:
STUART STROW
PROFESSIONAL ENGINEER
N.Y.S. Lic. No. 66876

PROJECT:
**HEGARTY HOMES
SUBDIVISON PLAN**

SCALE: AS SHOWN

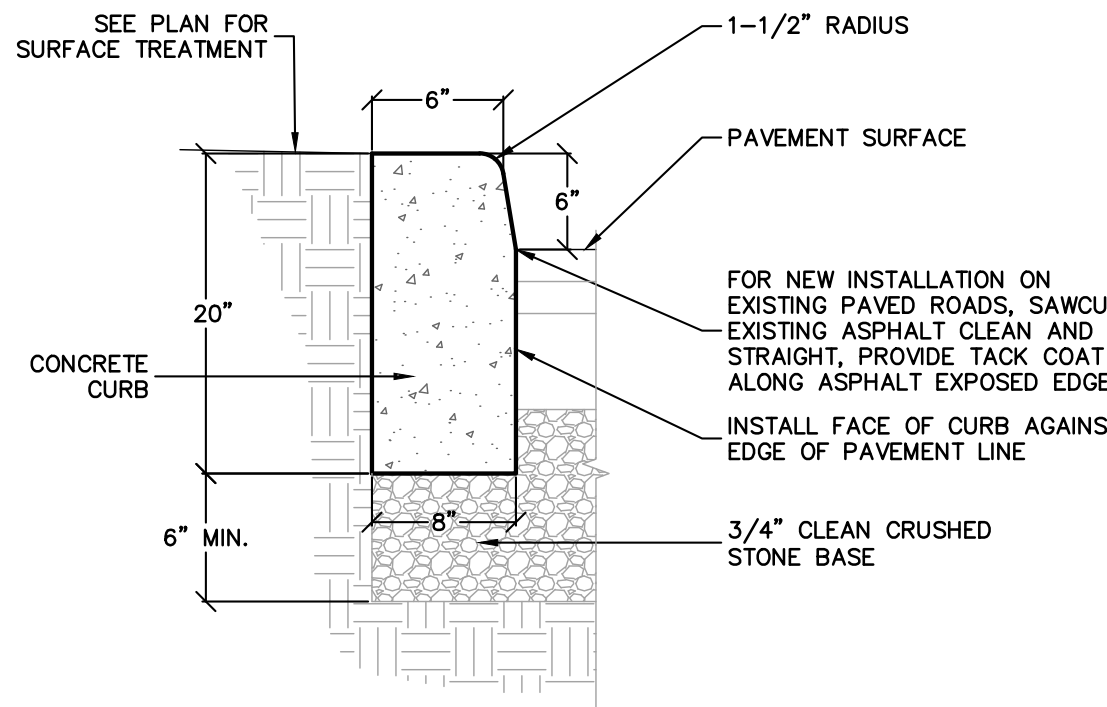
SHEET TITLE:
**ROAD & UTILITY
PROFILES**

DRAWN BY: MR/AG CHECKED BY: SS/JAG
DATE: 4.30.25 PROJECT NO: 2510
SHEET NUMBER:



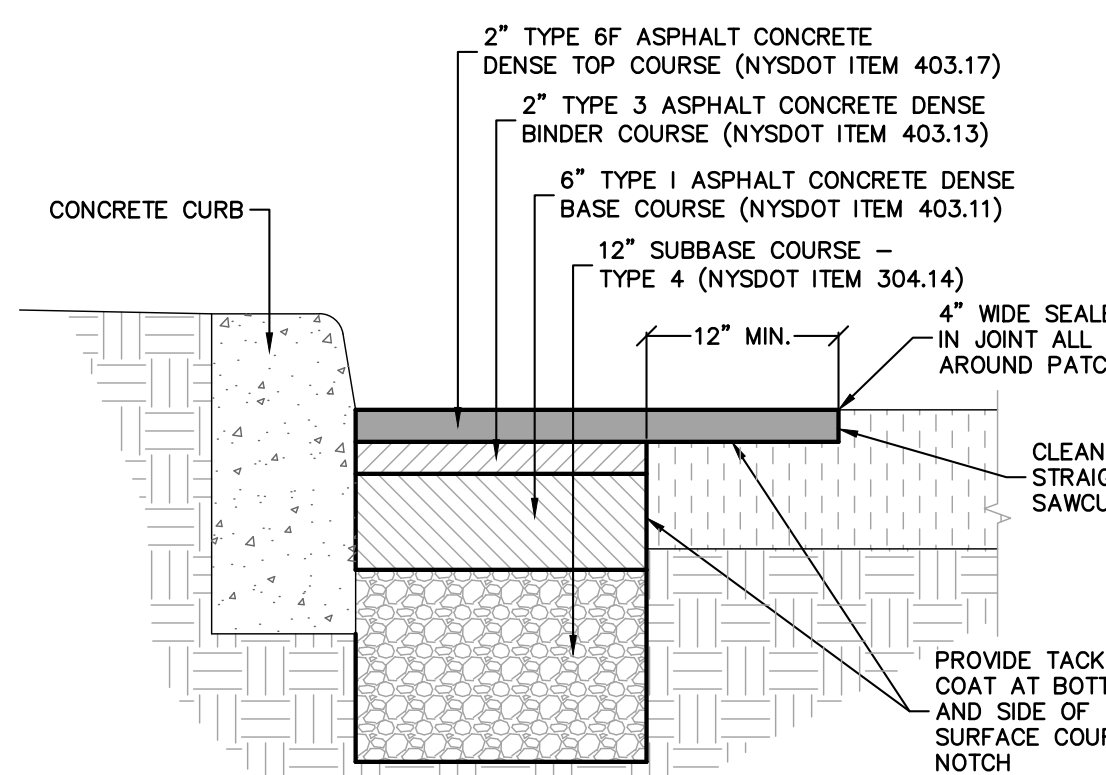
- NOTE:**
- NO WORK IS PERMITTED ON COUNTY ROADS WITHOUT AN APPROVED ROCKLAND COUNTY HIGHWAY DEPARTMENT PERMIT. ALL WORK SHALL CONFORM TO NYS STANDARD SPECIFICATIONS CONSTRUCTION AND MATERIALS, AS AMENDED.
 - CONCRETE CURB SHALL BE 4,500 PSI AT 28 DAYS, AIR-ENTRAINED FULL DEPTH TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS WITH PRE-MOLDED BITUMINOUS EXPANSION JOINT FILLER, RECESSED 1/4" FROM SURFACE.
 - 20" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.
 - DROP CURBS AT DRIVEWAYS SHALL BE 1" REVEAL.

R.C.H.D. CURB DETAIL
N.T.S.



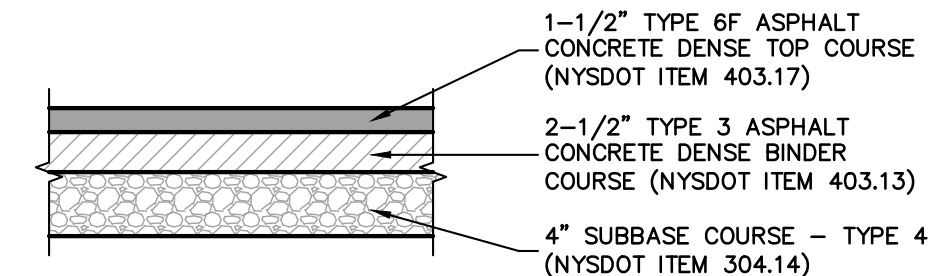
- NOTE:**
- CONCRETE CURB SHALL BE 4,500 PSI AT 28 DAYS, AIR-ENTRAINED FULL DEPTH TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS WITH PRE-MOLDED BITUMINOUS EXPANSION JOINT FILLER, RECESSED 1/4" FROM SURFACE.
 - 20" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.
 - DROP CURBS AT DRIVEWAYS SHALL BE 1" REVEAL.

MUNICIPAL CURB DETAIL
N.T.S.



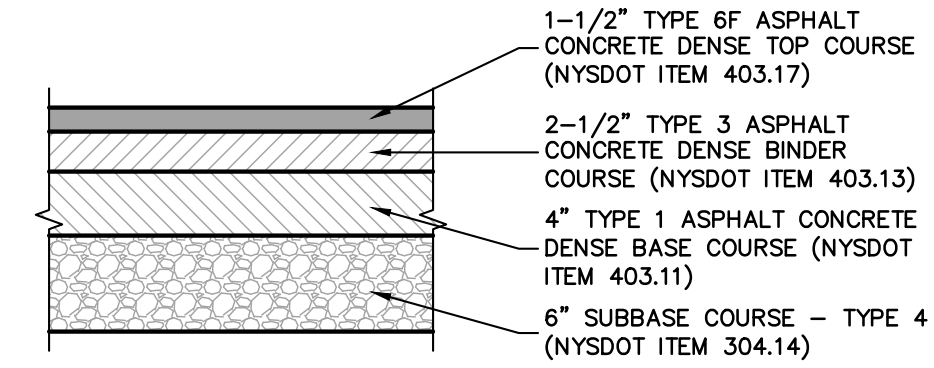
- NOTES:**
- NO WORK IS PERMITTED ON COUNTY ROADS WITHOUT AN APPROVED ROCKLAND COUNTY HIGHWAY DEPARTMENT PERMIT. ALL WORK SHALL CONFORM TO NYS STANDARD SPECIFICATIONS CONSTRUCTION AND MATERIALS, AS AMENDED.
 - ALL LIFT DIMENSIONS ARE COMPACTED THICKNESS.
 - NO DEVIATION FROM THIS SPECIFICATION SHALL BE PERMITTED WITHOUT THE APPROVAL OF THE ENGINEER.

R.C.H.D. CURB/PAVEMENT WIDENING SECTION
N.T.S.



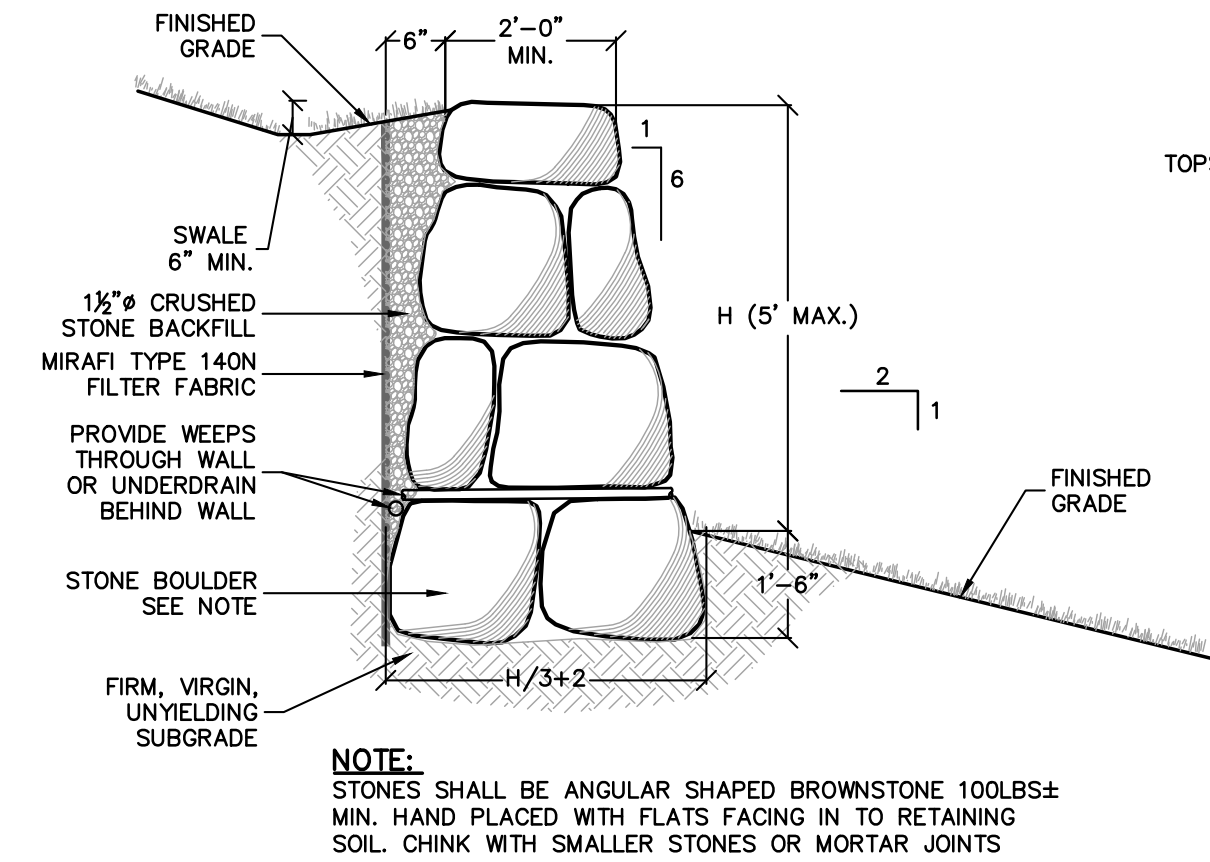
- NOTES:**
- ALL LIFT DIMENSIONS ARE COMPACTED THICKNESS.
 - NO DEVIATION FROM THIS SPECIFICATION SHALL BE PERMITTED WITHOUT THE APPROVAL OF THE MUNICIPAL ENGINEER.

DRIVEWAY PAVEMENT SECTION
N.T.S.

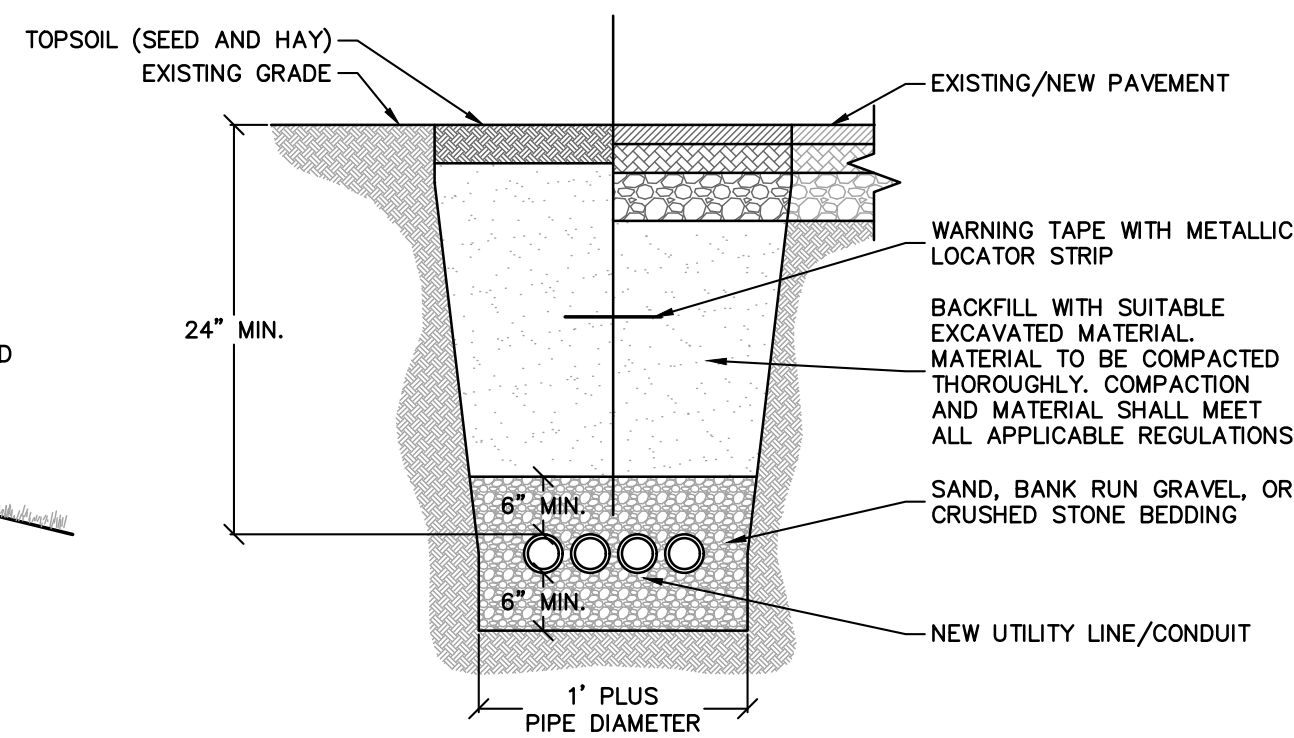


- NOTES:**
- ALL LIFT DIMENSIONS ARE COMPACTED THICKNESS.
 - NO DEVIATION FROM THIS SPECIFICATION SHALL BE PERMITTED WITHOUT THE APPROVAL OF THE MUNICIPAL ENGINEER.

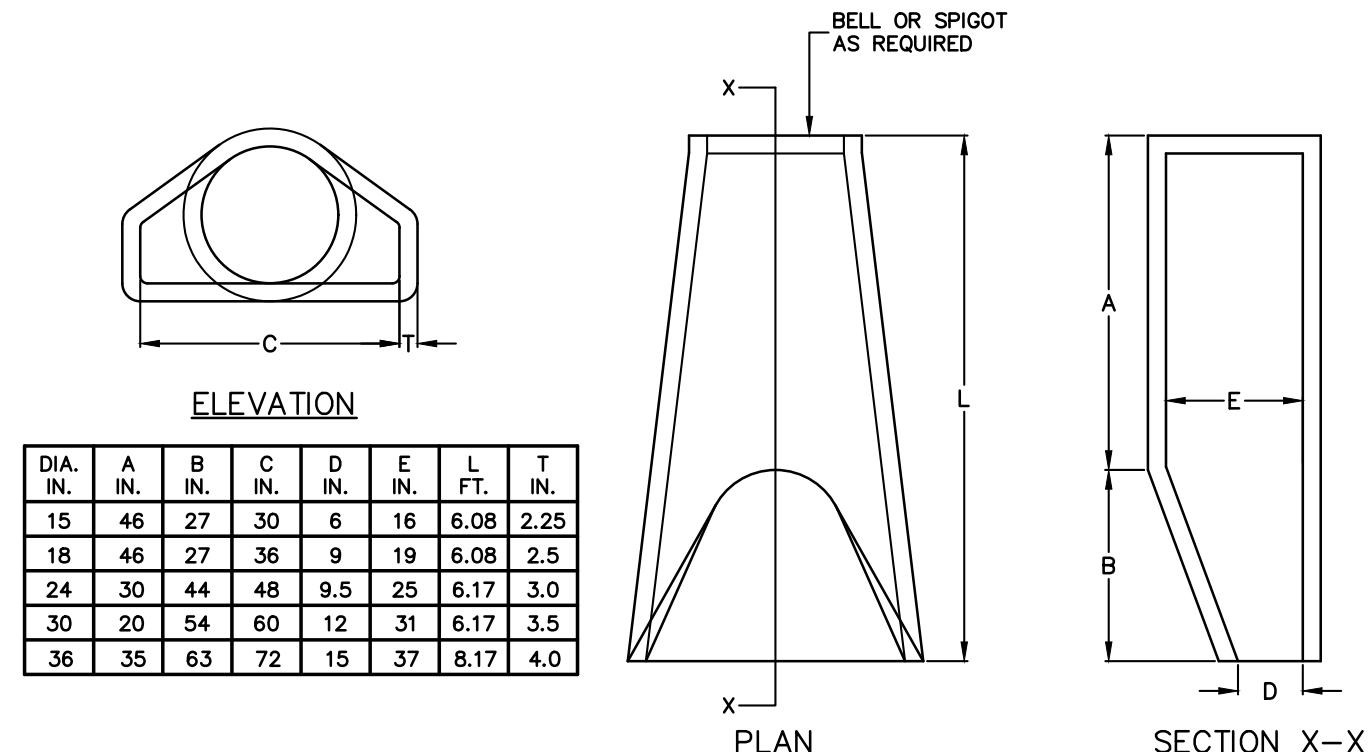
LIGHT DUTY STREET PAVEMENT SECTION
N.T.S.



TYPICAL STONE WALL CROSS SECTION
N.T.S.

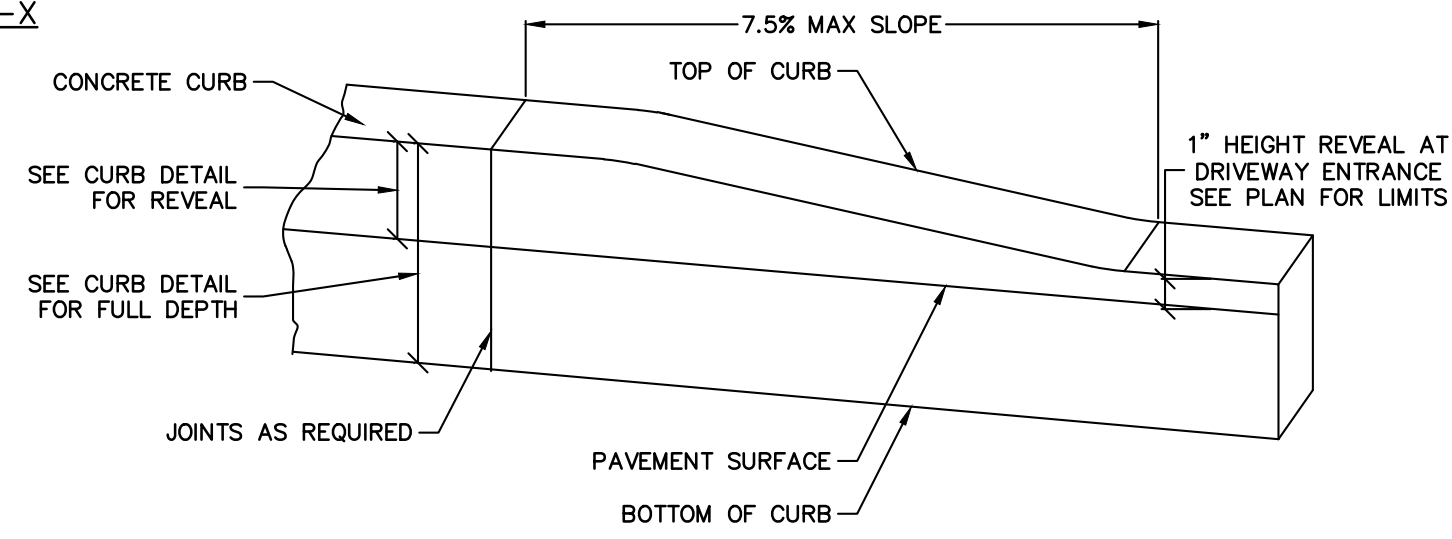


CONDUIT TRENCH DETAIL
N.T.S.

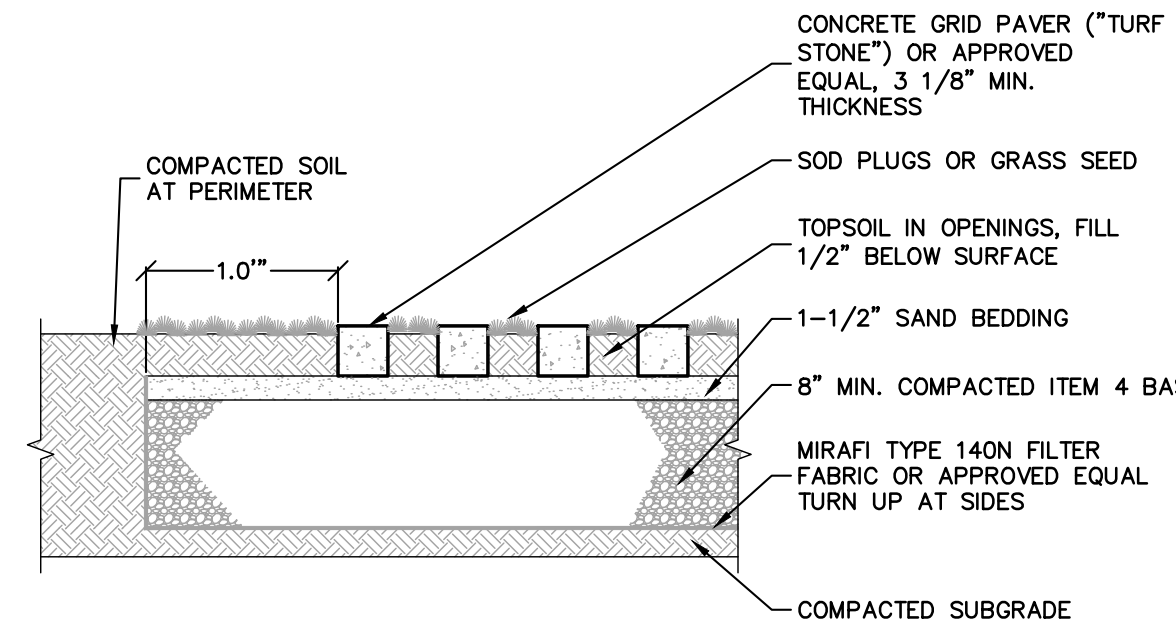


- NOTE:**
- END SECTIONS MUST BE REINFORCED TO CONFORM WITH CLASS IV PIPE WALL B.

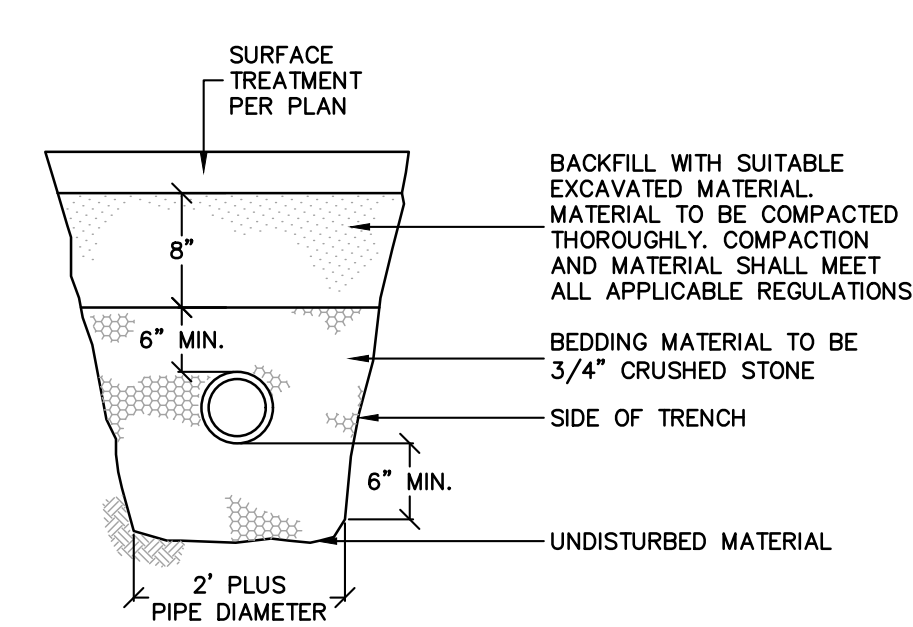
FLARED END SECTION DETAIL
N.T.S.



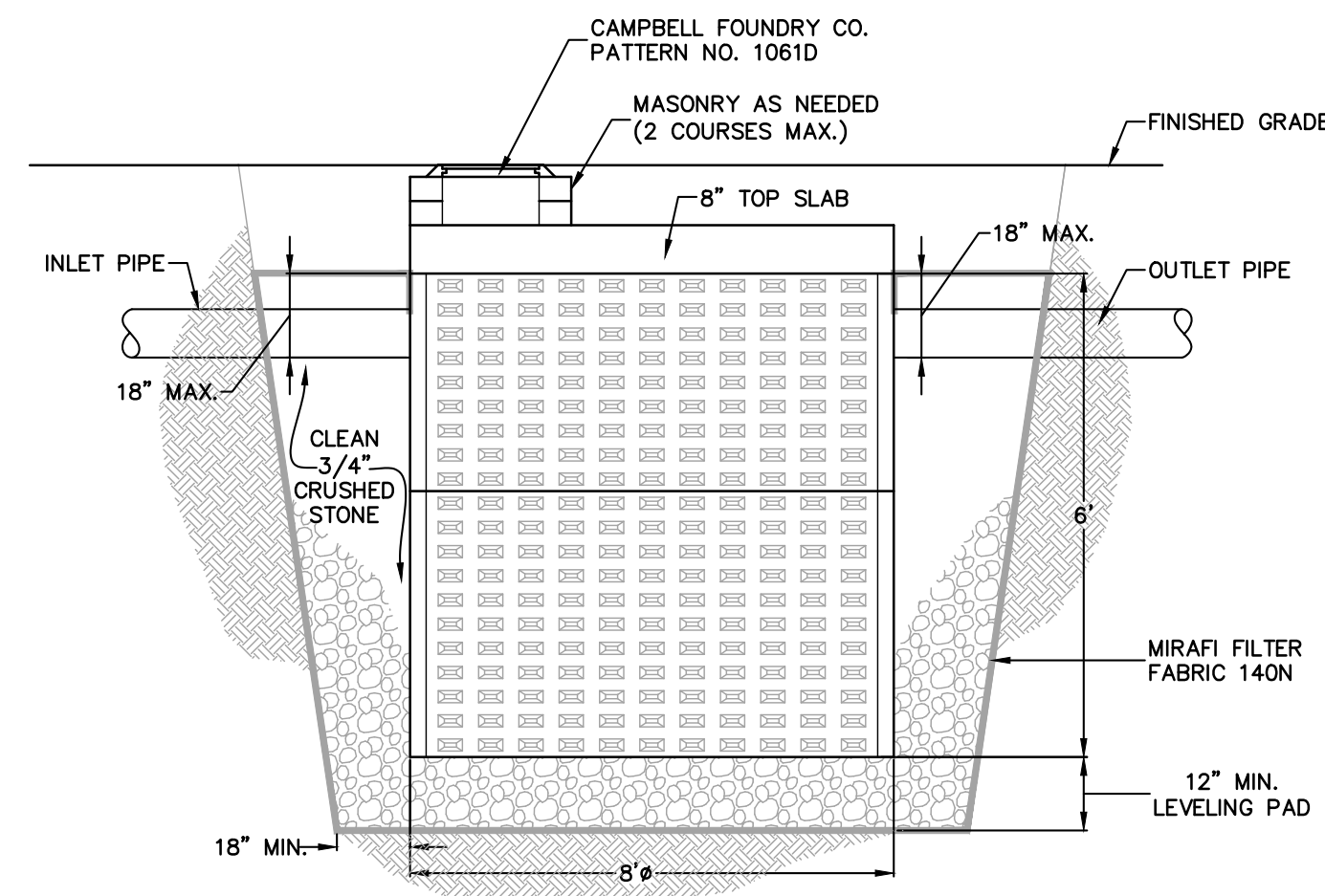
TRANSITION CURB DETAIL
N.T.S.



TURF STONE SURFACE TREATMENT
N.T.S.

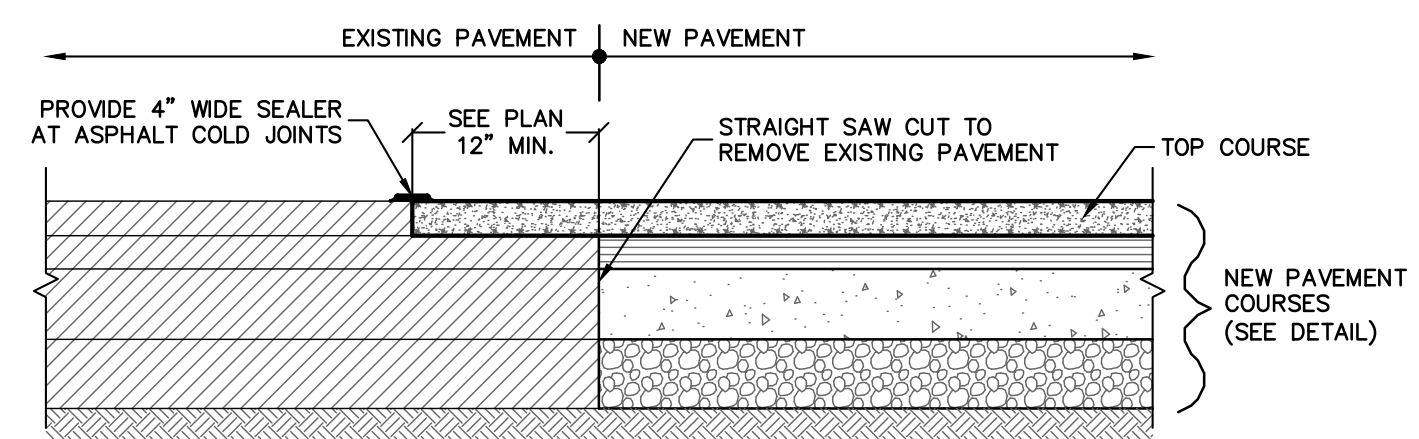


SEWER LATERAL TRENCH DETAIL
N.T.S.



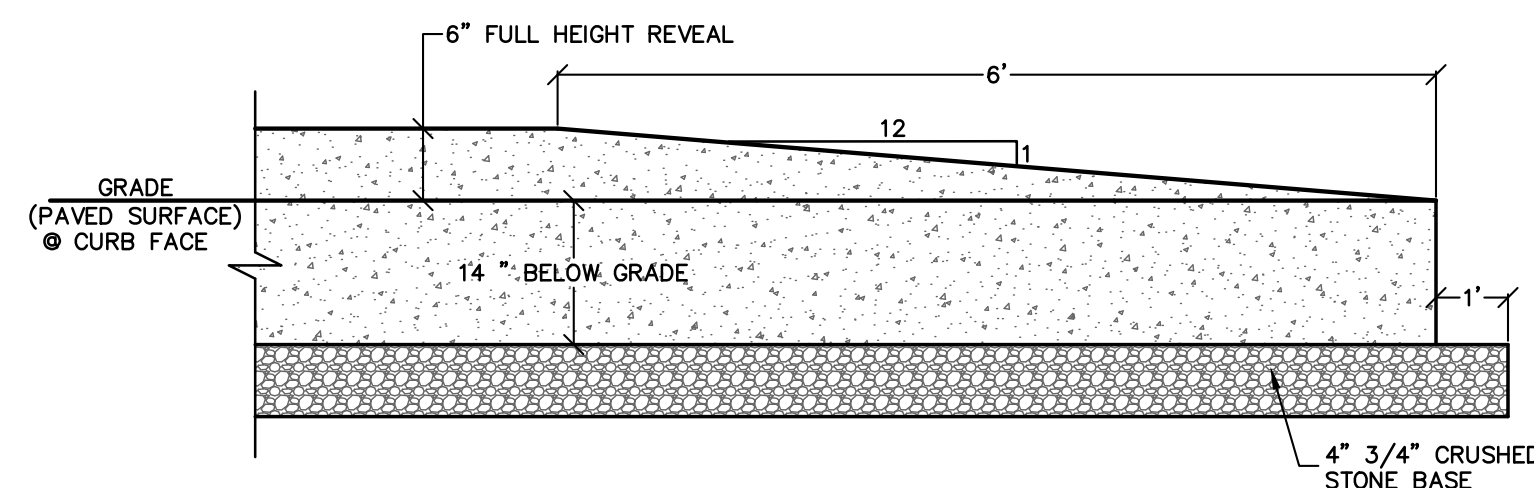
- NOTES:**
- BASIN AS MANUFACTURED BY PRECAST CONCRETE SALES OR APPROVED EQUAL
 - INLET CASTING AS MANUFACTURED BY CAMPBELL FOUNDRY OR APPROVED EQUAL FIELD INLET (F.I.) - PATTERN # 2128
 - ALL ROOF LEADERS MUST BE CONNECTED TO DRYWELLS.
 - CONTRACTOR TO PERFORM TEST PITS PRIOR TO CONSTRUCTION TO VERIFY PRESENCE OF GRANULAR MATERIAL AND SOIL PERCOLATION RATE. PERCOLATION RATE SHALL BE A MINIMUM 1" DROP IN 30 MINUTES.

TYPICAL STORMWATER DRYWELL DETAIL
N.T.S.

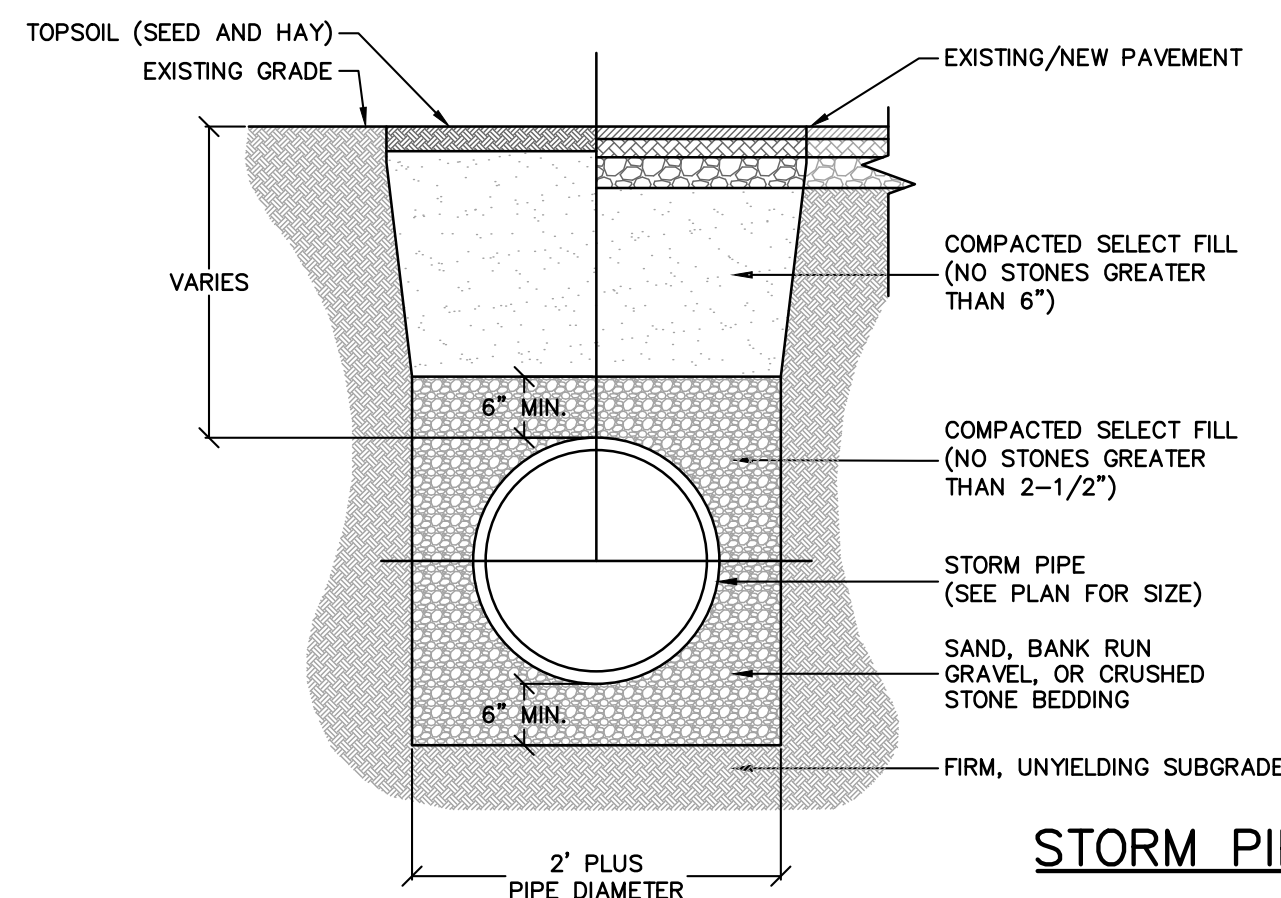


- NOTES:**
- PROVIDE TACK COAT ON BOTTOM AND SIDES OF ALL SURFACE COURSE NOTCHES

PAVEMENT BUTTING DETAIL
N.T.S.



CURB TERMINAL DETAIL
N.T.S.



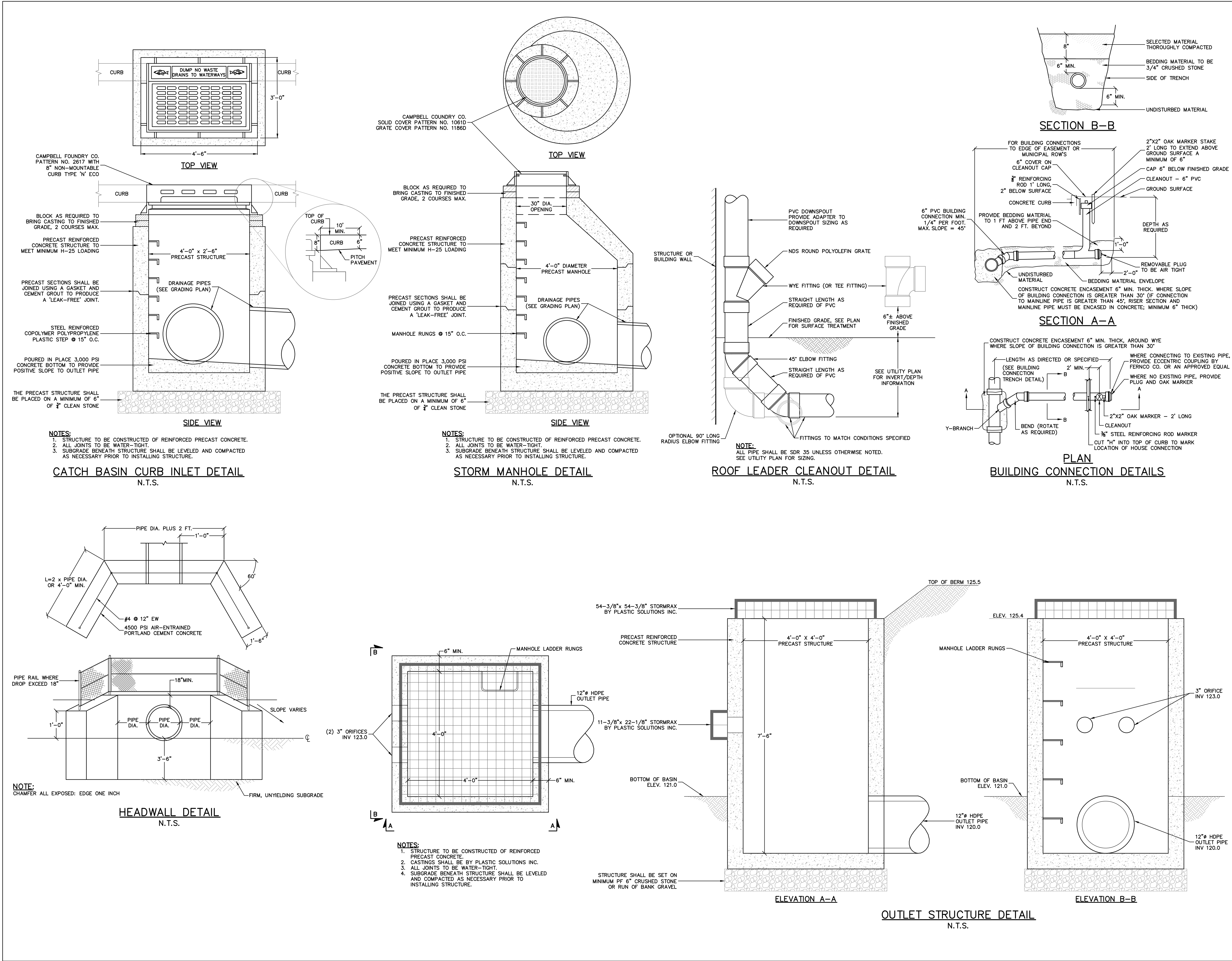
STORM PIPE TRENCH DETAIL
N.T.S.

- NOTES:**
- ALL PIPE SYSTEM INSTALLATIONS SHALL MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
 - ALL HDPE PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER RAVITY FLOW APPLICATIONS" (LATEST EDITION).
 - LL RCP PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C76-15, "STANDARD SPECIFICATION FOR REINFORCED CONCRETE CULVERT, STORM DRAIN, AND SEWER PIPE" (LATEST EDITION).
 - FOR NON HDPE OR RCP PIPE INSTALLATIONS, CONTRACTOR SHALL INSTALL PIPE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
 - WHERE THE TRENCH BOTTOM IS UNSTABLE, CONTRACTOR SHALL PROVIDE SUITABLE BACKFILL MATERIAL AS REQUIRED BY ENGINEER OR PER GEOTECH RECOMMENDATIONS.
 - MINIMUM COVER IN TRAFFIC AREAS IS 12" UP TO 48" DIAMETER PIPE AND 24" FOR 54" - 80" DIAMETER PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT.
 - CONTRACTOR SHALL INSTALL SUITABLE MATERIAL FOR INITIAL AND FINAL BACKFILL. BACKFILL COMPACTION SHOULD MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.



PROJECT LOCATION

REV	DESCRIPTION	BY	DATE



REV	DESCRIPTION	BY	DATE

