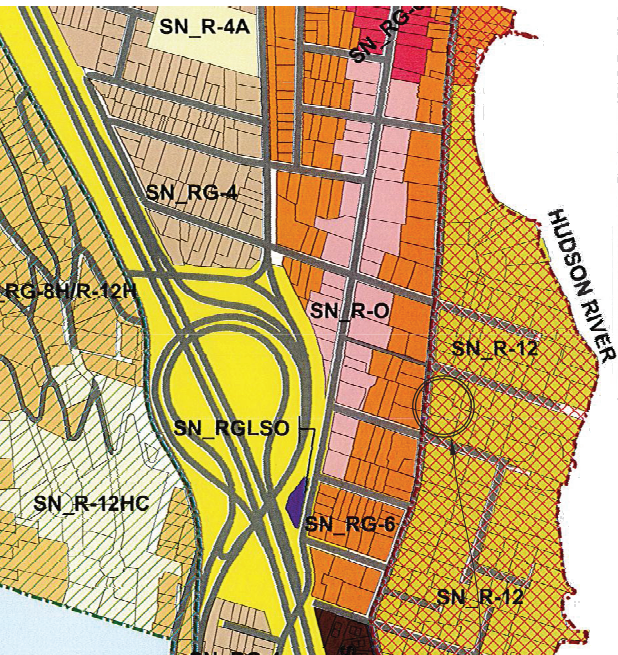


Jeffrey Steeholm Small,  
Architect LLC

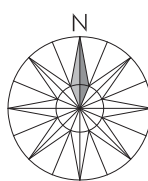
97 Duncan Avenue  
Cornwall-on-Hudson, NY 12520  
845-220-8912 www.jssmallarchitect.com

REVISIONS

NO.	DATE	DESCRIPTION
△	5/10/24	Revision
△	11/20/24	Revision
△	4/30/25	Revision

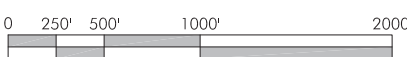


Project Location



VICINITY  
MAP

SCALE: 1"=1000'-0"



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PROJECT TITLE

Alterations To The  
**FELIX-OBRIEN RESIDENCE**

257 Piermont Avenue  
South Nyack, New York 10960

DRAWING TITLE

SITE PLAN

PROJECT NO.

SCALE  
1"=20'-0"

DRWN. BY  
JSS

ISSUED  
4/30/25

C  
1.1

BULK TABLE  
SN-R-12 Zoning District  
South Nyack Residential - Critical Environmental Area, Hudson River

Component	Required	Existing	Proposed
Lot Area	12,000 sq. ft. min.	15,972 sq. ft.	No Change
Frontage	100 ft. min.	112.25 ft.	No Change
Lot Coverage	45% max. (7,187 sq. ft.)	32% (5,036 sq. ft.)	33% (5,201 sq. ft.)
Front Yard	35 ft. min.	32.3 ft.	No Change
Rear Yard	25 ft. min.	80.8 ft.	No Change
Side Yard	15 ft. min.	15.3 ft.	No Change
Total Side Yard	35 ft. min.	69.5 ft.	47.7 ft.
Height (Gable)	3 stories / 36 ft. max.	2½ stories / 27 ft.	No Change

Lot Coverage Tabulation

Component	Existing	Proposed
Main House	1,399 sq.ft.	No Change
Garage	622 sq.ft.	No Change
Driveway	1,995 sq.ft.	No Change
Front Walk	150 sq.ft.	No Change
Side Patio	282 sq. ft.	0 sq. ft.
Rear Patio	434 sq. ft.	No Change
Deck	154 sq. ft.	No Change
New Addition		447 sq. ft.
Total Lot Coverage	5,036 sq.ft.	5,201 sq.ft.

STORMWATER CALCULATION:

100 Year Storm = 9" (.75") per 24 Hours  
(According to New York State Stormwater Design Manual 2022)

Impervious Paving Removed = -282 s.f.  
New Roof Area = 447 s.f.  
NET Increase in Impervious Area = 165 s.f.

165 s.f. x .75 ft. = 123.75 c.f. Stormwater Storage Capacity required for New Roof Area

Percolation = 12 c.f. / s.f. / 24 hrs. (V.I.F.)

Gallery Capacity w/ 18" Crushed Stone = 40.4 c.f. ea.  
Total Gallery Capacity w/ 20 s.f. Percolation = 240 c.f. + 40.4 c.f. = 280.4 c.f. ea.

1 Gallery Provided = 280 c.f. Capacity (123.75 c.f. Required)

OMIT - REFER  
TO CIVIL  
ENGINEERING  
DRAWINGS



KEY NOTES:

1 New Drainage Gallery - Refer to Civil Engineering drawings by Paul Gdanski PE, PLLC, dated 1/8/24

2 Overflow with level spreader OMIT

3 12x12 field inlet with sump OMIT

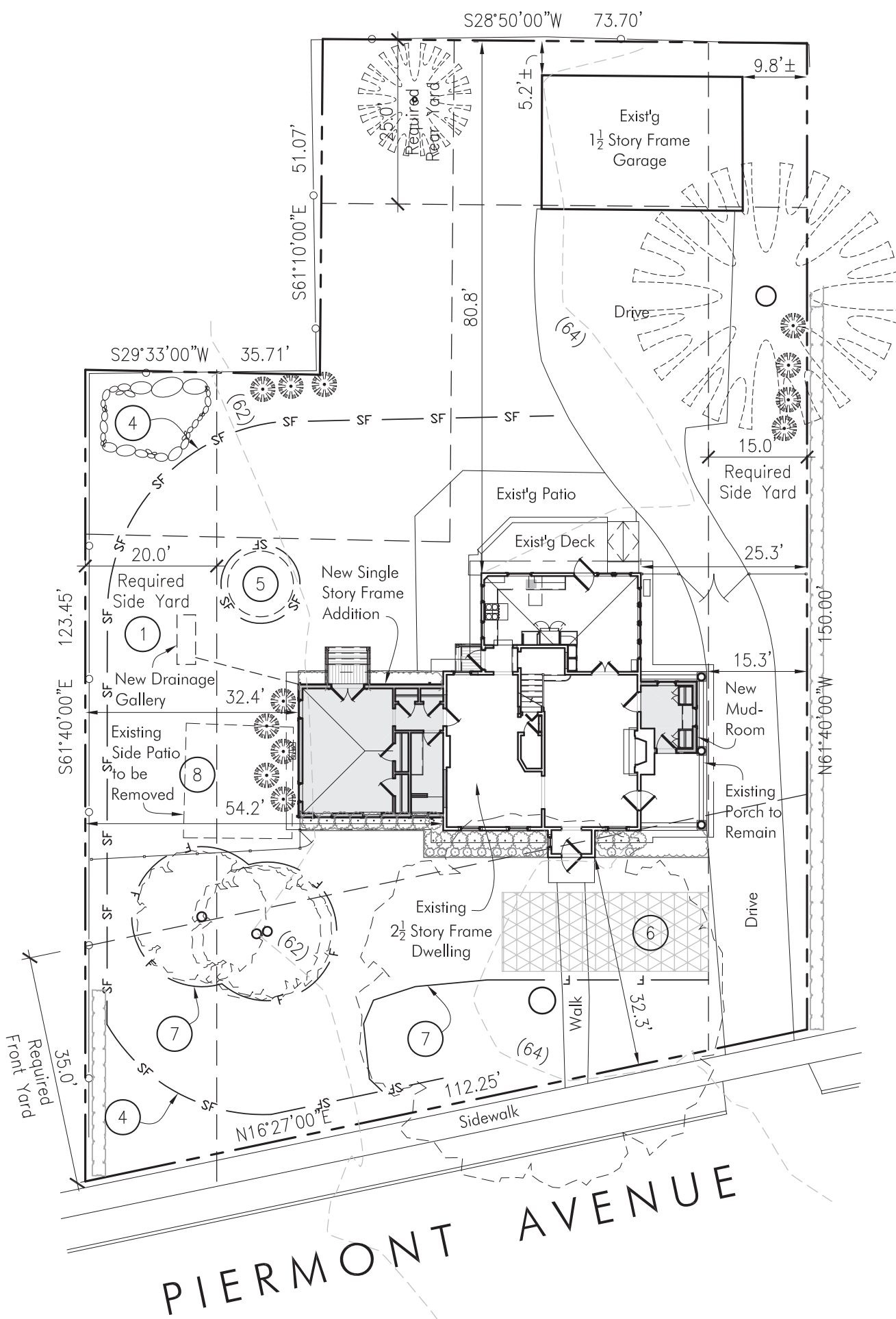
4 Install silt fence for duration of construction. Refer to Civil Engineering drawings by Paul Gdanski PE, PLLC, dated 1/8/24

5 Temporary soil storage. Cover non-active soil stockpile to prevent erosion of the stockpile. All excess soil shall be disposed of off site in a way that conforms with all relevant codes and laws. Refer to Civil Engineering drawings by Paul Gdanski PE, PLLC, dated 1/8/24

6 Install temporary 12x30' stabilized construction entrance. Remove at the completion of construction and restore grass to existing condition. Refer to Civil Engineering drawings by Paul Gdanski PE, PLLC, dated 1/8/24

7 Snow fence to protect existing trees during construction

8 Save and protect existing bluestone for re-use.



PIERMONT AVENUE

1 SITE PLAN

SCALE: 1"=20'-0"



257 Piermont Avenue  
South Nyack, NY 10960  
Map 66.62, Block 2, Lot 36

Site plan data is based on survey by Anthony R. Celentano P.L.S., dated June 17, 2021

SCOPE OF WORK:

New Bedroom Addition. New Mudroom  
Within the Footprint of Existing Open Porch