Additions and Alterations to the

FELIX-OBRIG RESIDENCE

257 Piermont Road
South Nyack, New York 10960

ISSUED FOR PERMITS AND PRICING

April 30, 2025

LIST OF DRAWINGS

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* Not Included In Permit Set

CIVIL ENGINEERING
Paul Gdanski PE, PLLC

Sheet 1 of 1 Drainage Plan 1/8/24

Jeffrey Steeholm Small, Architect LLC

97 Duncan Avenue
Cornwall-on-Hudson, NY 12520
845-220-8912 www.jssmallarchitect.com

REGISTERED ARCHITECT
JEFFREY STEEHOLM SMALL
024020
STATE OF NEW YORK

1 Issued for Planning Board Review - 4/30/25
2 Revisions - 11/20/24
1 Issued for Pricing - 5/10/24
1 Issued for Planning Board Review - 5/10/24
Issued for Permits - 3/15/24

T
1.1

HALF SIZE

1. GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AS INCORPORATED IN AIA DOCUMENTS A105-2007 AND A201-2007 SHALL APPLY TO ALL WORK.

2. ALL WORK AND PROCEDURES SHALL CONFORM TO THE BUILDING CODE AND OTHER CODES IN FORCE WITH THE TOWN OF ORANGETOWN, NEW YORK. THE CONTRACTOR AND/OR SUB CONTRACTORS SHALL OBTAIN ALL PERMITS, APPROVALS, CERTIFICATES OF OCCUPANCY AND OTHER AUTHORIZATIONS FROM AGENCIES HAVING JURISDICTION.

3. THE CONTRACTOR SHALL CARRY LIABILITY AND WORKMAN'S COMPENSATION INSURANCE.

4. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY LAYING OUT THE WORK, VERIFY THE FIGURES SHOWN ON THE DRAWINGS AND REPORT ERRORS AND INACCURACIES TO THE ARCHITECT PRIOR TO COMMENCING WORK. THE ARCHITECT SHALL IN NO CASE ASSUME RESPONSIBILITY FOR LAYING OUT THE WORK.

5. ALL TRADES SHALL CAREFULLY EXAMINE ALL DRAWINGS WHICH MAY AFFECT THEIR WORK OR REQUIRE COORDINATION WITH THE WORK OF OTHER TRADES AND AS SOON AS THE PROGRESS OF THE WORK PERMITS, SHALL EXAMINE ALL LOCATIONS WITHIN THE PROJECT WHERE THEIR WORK IS TO BE INSTALLED. EACH TRADE SHALL REPORT TO THE ARCHITECT, THROUGH THE GENERAL CONTRACTOR, ANY AND ALL CONDITIONS WHICH MIGHT INTERFERE WITH, OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION, INSTALLATION AND/OR COMPLETION OF THEIR WORK AND SHALL NOT COMMENCE ANY WORK UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED. ANY CONFLICTS ON THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO STARTING WORK.

6. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PROTECT THE WORK FROM DAMAGE BY THE WEATHER, VANDALS OR ANY OTHER SOURCE, AND PROTECT THE PUBLIC AND EMPLOYEES FROM INJURY.

7. PRIOR TO THE DEMOLITION OF ANY WALLS, THE CONTRACTOR SHALL DETERMINE IF THEY ARE BEARING, AND IF REQUIRED WILL PROVIDE SHORING.

8. SUBMIT SHOP DRAWINGS FOR THE ARCHITECT'S APPROVAL PRIOR TO ANY FABRICATION OR INSTALLATION. THE WORK DESCRIBED IN ANY SHOP DRAWING SUBMISSION SHALL BE CAREFULLY CHECKED BY THE CONTRACTOR FOR CLEARANCES, FIELD CONDITIONS AND PROPER COORDINATION WITH ALL TRADES ON THE JOB. EACH SUBMITTED SHOP DRAWING SHALL SIGNIFY THAT ALL RELATED CONDITIONS ON THE SITE HAVE BEEN CHECKED AND THAT NO CONFLICTS EXIST. IF THE SUBMITTALS DIFFER FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL MAKE SPECIFIC MENTION OF SUCH DIFFERENCES IN A LETTER OF TRANSMITTAL WITH A REQUEST FOR SUBSTITUTION TOGETHER WITH HIS REASONS FOR SAME IN ORDER THAT, IF ACCEPTABLE, SUITABLE ACTION MAY BE TAKEN FOR PROPER ADJUSTMENT , OTHERWISE, THE CONTRACTOR WILL NOT BE RELIEVED OF THE RESPONSIBILITY FOR EXECUTING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE APPROVAL OF ANY SUBMITTED DATA OR SHOP DRAWING FOR MATERIALS, EQUIPMENT, APPARATUS, DEVICES, ARRANGEMENTS AND/OR LAYOUT SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF FURNISHING SAME OF PROPER WEIGHT, CAPACITIES, SIZES, QUANTITY, QUALITY AND INSTALLATION DETAILS TO EFFECTIVELY PERFORM THE REQUIREMENTS AND INTENT OF THE CONTRACT DOCUMENTS. SUCH APPROVAL SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR ERRORS OF ANY SORT ON THE SUBMITTED DATA OR SHOP DRAWINGS.

19. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL TEMPORARY SHORING, BRACING, RESHORING AND REBRACING REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND FOR THE PROTECTION OF LIFE AND PROPERTY.

10. LEGALLY DISPOSE OF ALL SURPLUS MATERIALS AND REMOVED ITEMS NOT REQUIRED AND/OR SUITABLE TO BECOME PART OF THE WORK.

11. UNLESS OTHERWISE NOTED, ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND BEAR THE MANUFACTURER'S NAME.

12. ANY MATERIAL OR METHOD SUBSTITUTION SHALL BE APPROVED BY THE ARCHITECT.

13. REFER TO THE PROJECT MANUAL, ISSUED UNDER SEPARATE COVER, FOR SPECIFICATIONS, PRODUCT DATA AND SCHEDULES.

1 G1.1 GENERAL NOTES
N.T.S.

ABV.	Above
AFF.	Above Finished Floor
A/C	Air Conditioning
ALT.	Alternate
ALUM.	Aluminum
BLKG.	Blocking
C.	Brick Courses
CATV	Cable TV
CAB.	Cabinet
C.I.	Cast Iron
CPT.	Carpet
CLG.	Ceiling
CTR.	Center
CL.	Closet
COL.	Column
CONC.	Concrete
CONSTR.	Construction
CONV.	Convector
CORR.	Corridor
C.M.U.	Concrete Masonry Unit
CNTR.	Counter
DIAG.	Diagram
DIM.	Dimension
DN.	Down
D	Dryer
D.W.	Dishwasher
EL.	Elevation
EPS	Extruded Polystyrene
EXT'G	Existing
E.T.R.	Existing to Remain
EXT.	Exterior
F.	Finished
FDN.	Foundation
FIN.	Finished
FLR.	Floor
GWB	Gypsum Wallboard
HDWR.	Hardware
HVAC	Heating, Ventilation & Air Conditioning
HT.	Height
HM	Hollow Metal
INSUL.	Insulation
INT.	Interior
LT.	Light
LVL	Laminated Veneer Lumber
MAX.	Maximum
MIN.	Minimum
MTL.	Metal
N.I.C.	Not in Contract
N.T.S.	Not to Scale
O.A.	Overall
PERF.	Perferated
PNT.	Paint (Painted)
PLSTR.	Plaster
PLS. LAM.	Plastic Laminate
P.S.F.	Pounds Per Square Foot
P.S.I.	Pounds Per Square Inch
PSL	Parallel Strand Lumber
P.T.	Pressure Treated
RAD.	Radiator
REF.	Refrigerator
REG.	Register
REINF.	Reinforcing
REQ.	Required
R.A.G.	Return Air Grille
R	Riser
R.O.	Rough Opening
R'GH	Rough
SIM.	Similar
S.O.	Sash Opening
SPEC.	Specification
STD.	Standard
STR.	Structural
S.A.	Supply Air
SYS.	System
T.B.D.	To Be Determined
TEL.	Telephone
THK.	Thick (Thickness)
T	Tread
T&G	Toungue and Groove
T.O.	Top of
TYP.	Typical
UC	Undercut
U.O.N.	Unless Otherwise Noted
VENT.	Ventilation
V.I.F.	Verify In Field
W	Washing Mashine
WH	Water Heater
W.W.F.	Welded Wire Fabric
WT.	Weight
W/	With
W/O	Without
WD.	Wood
W.P.	Work Point
XPS	Extruded Polystyrene
ZNG.	Zoning
ZBA	Zoning Board of Appeals

3 G1.1 ABBREVIATIONS
N.T.S.

1. Footings shall rest on undisturbed soil of a minimum bearing capacity of 4000 p.s.f. Adequacy of bearing stratum shall be verified in the field prior to placing concrete. Do not place back-fill against basement walls untill all floors bracing these walls are in place. Fill shall be compacted in 8" lifts.

2. Concrete shall be stone agregate of a minimum compressive strength of 3000 p.s.i. Installation shall be in accordance with ACI 301 specifications for structural concrete for buildings.

3. Reinforcing shall be deformed bars conforming to ASTM615 grade 60.

4. Concrete block shall be hollow load bearing units conforming to ASTM C90 grade N-1. Mortar shall conform to ASTM C270, type S. Workmanship shall be in conformance with NCMA specifications for the design and construction of load bearing concrete masonry.

5. Brickwork shall conform to ACI 530.1 (Specifications for Masonry Structures), ASTM C216 and ASTM C207. Provide mock-up of brickwork and mortar for the Architect's approval.

6. Design, fabrication and erection of structural steel shall conform to the "Specification for Structural Steel for Buildings" as adopted in June 1989, by the American Institute of Steel Construction, 9th edition; and the "Code of Standard Practice for Steel Buildings and Bridges," adopted effective September 1, 1986. Submit structural steel erection plans and detailed shop drawings for connections. All exposed steel shall be hot-dipped galvanized. Structural steel shall conform to ASTM A36; Structural Steel Square Tubing - ASTM A500 Grade B; Anchor Bolts and Machine Bolts - ASTM A307; Welding Electrode - ASTM E70XX

7. All welding shall conform to the Code for Arc and Gas Welding in Building Construction of the American Welding Society and be performed by a certified welder in accordance with A.W.S. standards. All welds are to be cleaned of slag to permit visual inspection.

8. Metal Fabrications: Rolled steel structural sections shall conform to A.S.T.M A36, steel pipe to A.S.T.M. A53 and A563, with all other steel sections and plate consisting of commercial quality low carbon steel. Welding shall conform to the requirements of A.W.S. Grind exposed welds smooth. Hot dip galvanize exterior fabrications and other fabrications so specified; conform to the requirements of A.S.T.M A123. Apply primer to all ferrous items, galvanized or not, for which other finish is not specified. Use type of primer recommended by paint manufacturer for metal or galvanized metal as appropriate. Follow primer manufacturer's specifications and instructions for surface preparation prior to priming.

9. Framing lumber shall be of the following minimum grade and specie for the specified use. All lumber shall be grade stamped by a recognized grading agency and shall be surfaced dry. Rafters, joists: Hem-fir no.1. Beams, girders: Doug-fir larch no.1. Studs, plates: Hem-fir stud grade.

10. Plywood sheathing shall be APA grade stamped for the specified span and shall be made with exterior glue. All plywood sheathing shall be glue-nailed to joists and/or rafters with APA approved elastomeric construction adhesive.

11. Details of wood framing such as nailing, blocking, bridging, firestopping, etc.. shall conform to the 2010 Residential Code of New York State and the American Wood Council 2001 Wood Frame Construction Manual for One- and Two-Family Dwellings.

12. Laminated Veneer Lumber (LVL) shall be 1.9E "Microllam" as manufactured by TrusJoist, or equal as approved by the Architect. Parallel Strand Lumber (PSL) shall be 2.0E "Parallam" as manufactured by TrusJoist, or equal as approved by the architect. Follow all manufacturer's installation instructions.

13. TJI joists shall be composite wood "I" joists as manufactured by TrusJoist or equal as approved by the Architect. Follow all manufacturer's installation instructions. Rim boards shall be as specified by the TJI manufacturer or, if noted on the drawings, they shall be LVL's of the same depth as the joists.

2 G1.1 CONSTRUCTION NOTES
N.T.S.

14. All exterior lumber shall be clear cedar, mahogany or as approved by the architect. Back-prime all exterior paint-grade wood. Prime the end grain after all cross cuts.

15. Architectural Woodwork: The *Architectural Woodwork Quality Standards* of the Architectural Woodwork Institute, 6th Edition, shall apply and are hereby incorporated by reference. All architectural woodwork, including standing and running trim, casework, paneling and stair construction, shall be A.W.I. grade premium.

16. Roofing shall comply with the Steep Roofing section of the The *National Roofing Contractors Association Roofing and Waterproofing Manual*. Comply with roofing system manufacturer requirements, specifications and details.

17. Flashing and Sheet Metal: Unless shown otherwise, standard details shall conform to the recommendations of *N.R.C.A. Roofing and Waterproofing Manual*, published by National Roofing Contractors Association, *Architectural Sheet Metal Manual*, published by Sheet Metal and Air Conditioning Contractors National Association, Inc., and roof system manufacturer's requirements.

18. Spray foam insulation shall conform to ASTM C 518, ASTM D 2863, ASTM E 84, ASTM E 96, ASTM E 2178 and ASTM E 283. Comply with manufacturer instructions, specifications and details.

19. Windows and exterior doors shall conform to the requirements of ANSI/NWWDA Industry Standard I.S. 2-87.

20. Cement plaster (stucco) shall comply with the "Portland Cement Plaster (Stucco) Manual" by the Portland Cement Association and the Standard Specification for Application of Portland Cement Based Plaster—ASTM C 926.

21. Gypsum Board Assemblies shall comply with with ASTM C 840 and GA-216, ASTM C 1396/C 1396M and ASTM C 475/C 475M.

22. Tile and Stone Surfacing: Comply with the details and specifications in the latest edition of the Tile Council of America's "*Handbook for Ceramic Tile Installation*."

23. Wood Flooring: Comply with the National Wood Flooring Association *"Wood Flooring Installation Guidelines and Methods"*. Apply stain and polyurethane or tung oil according to the finish schedule and the manufacturer's instructions. Protect floor until Substantial Completion.

24. Painting: Use first quality products of the types specified in the Finish Schedule. "First quality" means best, most expensive line of paints produced for normal use by selected manufacturer. Product handling, environmental conditions, surface preparation and paint / stain / coating application shall be according to the manufacture's specifications and instructions.

25. Joint Sealers: Prepare surfaces and apply sealants according to manufacturer's instructions. Apply joint backing to joints open in back or over 1/2" deep. Compress backing so as to form a firm stop which will resist sealant pressure. If joint is not open in back, apply bond breaker tape. Seal openings in exterior walls, including doors, windows, and mechanical openings; expansion joints, control joints, coping joints, head joints at the ends and between stone and cast stone members; joints between different materials and components; and in front of metal lintels. Seal the ends of metal flashings, if any, over openings. Seal joints around plumbing fixtures using fungicidal silicone sealant.

26. All plumbing work shall be in conformance with the New York State Plumbing Code. Plumbing contractor shall be responsible for obtaining all required permits, inspections and certificates. Plumbing contractor shall not under any circumstances cut or drill any structural steel or wood members without the supervision of the general contractor. Plumbing contractor shall coordinate all work with other trades.

27. Heating, Ventilation and Air Conditioning: Installation of HVAC system shall comply with requirements of the New York State Building Code and applicable local regulations. Mechanical contractor shall provide the Owner with two copies of a complete start-up operation and maintenance manual covering all mechanical equipment. Mechanical contractor shall be responsible for performing heat loss calculations as required to determine proper size of all heating elements and boiler / furnace.

28. Electrical: All work shall conform to the National Electrical Code and all other codes in force.

Jeffrey Steeholm Small, Architect LLC

97 Duncan Avenue
Cornwall-on-Hudson, NY 12520
845-220-8912 www.jssmallarchitect.com

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT TITLE

Alterations To The
FELIX-OBRIG RESIDENCE
257 Piermont Avenue
South Nyack, New York 10960

DRAWING TITLE

NOTES & ABBREVIATIONS

PROJECT NO.	
SCALE	N.T.S.
DRWN. BY	JSS
ISSUED	4/30/25

DWG. NO. G 1.1

REGISTERED ARCHITECT JEFFREY STEEHOLM SMALL 024020 STATE OF NEW YORK

HALF SIZE

LEGEND for PLANS

- Existing C.M.U. wall to remain.
- Existing C.M.U. wall to be removed.
- New C.M.U. wall.
- Existing conc. wall to remain.
- Existing conc. wall to be removed.
- New conc. wall.
- Existing brick wall to remain.
- Existing brick wall to be removed.
- New brick wall.
- New stone wall.
- Existing stud wall to remain.
- Stud wall to be removed.
- New stud wall.
- New stud wall w/ blanket insulation.
- New stud wall w/ spray foam insulation.
- New C.M.U. wall with rigid insulation.
- New conc. wall with rigid insulation.
- New floor / roof construction.
- Existing floor / roof construction to be removed.

MATERIAL LEGEND for DETAILS

- Undisturbed Soil.
- Compacted Granular soil fill.
- Concrete.
- Concrete Masonry Units.
- Brick.
- Cut Stone.
- Crushed Stone.
- Blanket insulation.
- Rigid insulation.
- Spray foam insulation.
- Wood Framing.
- Wood shim or blocking.
- Finished wood.
- Plywood.
- Steel.
- Gypsum Wall Board.

Partition Indicator — Partition Type: 1

Elevation Key: Elevation I.D. 1 / Sheet Number A2.1

Section Key: Section I.D. 1 / Sheet Number A3.1

Detail Reference: Detail Number 2 / Sheet Number A3.2

Interior Elevation Key: Elevation I.D. 1 / Sheet Number A4.1 (3, 2)

Room Tag: Room Name BEDROOM / Room Number 201

Elevation Tag: EL. 1'-0"

Revision Tag: 1

Key Note: 3

Center Line: ℄

Window Tag: ~~101~~

Door Tag: 101

1 / G1.2 LEGEND
N.T.S.

2020 NYSERDA STRETCH CODE

I. Climate Zone (Table R301.1) - Residential Zone 5A

II. Project Type: Single Story Frame Addition

III. Insulation and Fenestration Requirements by Component (Table 402.1.2):

Component	Req'd	Provided	Dwg. Reference
Fenestration 'U' Factor	U=0.27 max.	U=0.27	A4.1
Fenestration SHGC	N.R.	N.R.	
Skylight 'U' Factor	U=0.50 max.	N/A	
Ceiling 'R' Value	R=49 min.	R=49	A4.1
Wood Frame Wall 'R' Value	R=21 min. (Cavity)	R=21 min. (Cavity)	A4.1
Mass Wall 'R' Value	R=15 min.	N/A	
Floor 'R' Value	R=30 min.	R=30	A4.1
Basement Wall 'R' Value	R=15 min. (Continuous)	R=15 (Continuous)	A4.1
Slab 'R' Value & Depth	R=10 min., 24" Deep	R=10, 24" Deep	A4.1
Crawl Space Wall 'R' Value	R=15 min. (Continuous)	R=15 (Continuous)	A4.1
Vapor Retarder (402.5): Class III vapor retarder provided according to R702.7			
Infiltration Rate (402.4.3):			
Component	Max. Rates	Rates Specified	Dwg. Reference
Windows	0.3 cfm/sq.ft.	0.3 cfm/sq.ft.	A4.1
Doors	0.5 cfm/sq.ft.	0.5 cfm/sq.ft.	A4.1

Air Sealing (402.4): Where applicable

COMPONENT	CRITERIA
Air Barrier and Thermal Barrier	Exterior thermal envelope insulation for framed walls is installed in substantial contact and continuous alignment with building envelope air barrier. Breaks or joints in the air barrier are filled or repaired. Air-permeable insulation is not used as a sealing material. Air-permeable insulation is inside of an air barrier.
Ceiling/attic	Air barrier in any dropped ceiling/soffit is substantially aligned with insulation and any gaps are sealed. Attic access (except unvented attic), knee wall door, or drop down stair is sealed.
Walls	Corners and headers are insulated. Junction of foundation and sill plate is sealed.
Windows and doors	Space between window/door jambs and framing is sealed.
Rim Joists	Rim joists are insulated and include an air barrier.
Floors	Insulation is installed to maintain permanent contact with underside of subfloor decking. Air barrier is installed at any exposed edge of insulation.
Crawl Space Walls	Insulation is permanently attached to walls. Exposed earth in unvented crawl spaces is covered with Class I vapor retarder with overlapping joints taped.
Shafts, Penetrations	Duct shafts, utility penetrations, knee walls and flue shafts opening to exterior or unconditioned space are sealed.
Narrow Cavities	Batts in narrow cavities are cut to fit, or narrow cavities are filled by sprayed/blown insulation.
Garage Separation	Air sealing is provided between the garage and conditioned spaces.
Recessed Lighting	Recessed light fixtures are air tight, IC rated, and sealed to drywall. Exception—fixtures in conditioned space.
Plumbing and Wiring	Insulation is placed between outside and pipes. Batt insulation is cut to fit around wiring and plumbing, or sprayed/blown insulation extends behind piping and wiring.
Shower / Tub on Exterior Wall	Showers and tubs on exterior walls have insulation and an air barrier separating them from the exterior wall.
Electrical / Phone Box on Exterior Walls	Air barrier extends behind boxes or air sealed-type boxes are installed.
Common Walls	Air barrier is installed in common wall between dwelling units.
HVAC Register Boots	HVAC register boots that penetrate building envelope are sealed to subfloor or drywall.
Blower Door Test (402.4.1.2):	The bedroom addition shall be tested and verified as having an air leakage rate not exceeding three air changes per hour. Testing shall be conducted in accordance with RESNET/ICC 380, ASTM E779 or ASTM E1827 and reported at a pressure of 0.2 inch w.g. (50 Pascals). Testing shall be performed at any time after creation of all penetrations of the building thermal envelope.

IV. Electrical Power and Lighting Systems (404):

Not less than 90% of the lamps in permanently installed lighting fixtures shall be high efficiency lamps (404.1)

1 / G1.2 ENERGY CODE ANALYSIS
N.T.S.

Jeffrey Steeholm Small, Architect LLC

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REVISIONS

NO.	DATE	DESCRIPTION

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Alterations To The
FELIX-OBRIG RESIDENCE
257 Piermont Avenue
South Nyack, New York 10960

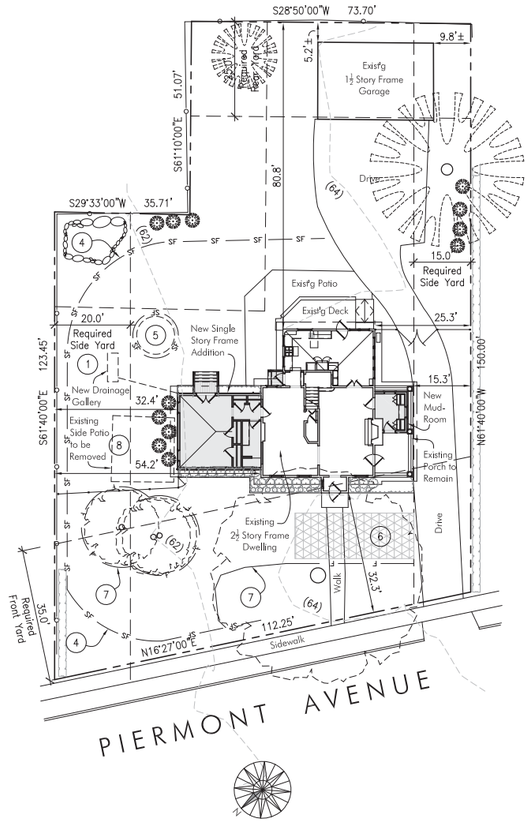
DRAWING TITLE

SYMBOLS LEGEND & ENERGY CODE ANALYSIS

REGISTERED ARCHITECT JEFFREY STEEHOLM SMALL 024020 STATE OF NEW YORK

PROJECT NO:	DWG. NO:
SCALE: N.T.S.	G 1.2
DRWN. BY: JSS	
ISSUED: 4/30/25	

HALF SIZE



1 C1.1

SITE PLAN

SCALE: 1"=20'-0"

0 5' 10' 20' 40'

257 Piermont Avenue
South Nyack, NY 10960
Map 66.62, Block 2, Lot 36

Site plan data is based on survey by Anthony R. Celentano P.L.S., dated June 17, 2021

SCOPE OF WORK:

New Bedroom Addition. New Mudroom Within the Footprint of Existing Open Porch

BULK TABLE
SN-R-12 Zoning District
South Nyack Residential - Critical Environmental Area, Hudson River

Component	Required	Existing	Proposed
Lot Area	12,000 sq. ft. min.	15,972 sq. ft.	No Change
Frontage	100 ft. min.	112.25 ft.	No Change
Lot Coverage	45% max. (7,187 sq. ft.)	32% (5,036 sq. ft.)	33% (5,201 sq. ft.) 1
Front Yard	35 ft. min.	32.3 ft.	No Change
Rear Yard	25 ft. min.	80.8 ft.	No Change
Side Yard	15 ft. min.	15.3 ft.	No Change
Total Side Yard	35 ft. min.	69.5 ft.	47.7 ft.
Height (Gable)	3 stories / 36 ft. max.	2½ stories / 27 ft.	No Change

Lot Coverage Tabulation

Component	Existing	Proposed
Main House	1,399 sq.ft.	No Change
Garage	622 sq.ft.	No Change
Driveway	1,995 sq.ft.	No Change
Front Walk	150 sq.ft.	No Change
Side Patio	282 sq. ft.	0 sq. ft.
Rear Patio	434 sq. ft.	No Change
Deck	154 sq. ft.	No Change
New Addition		447 sq. ft.
Total Lot Coverage	5,036 sq.ft.	5,201 sq.ft. 1

1 3

STORMWATER CALCULATION:

100 Year Storm = 9" (.75') per 24 Hours
(According to New York State Stormwater Design Manual 2022)

Impervious Paving Removed = -282 s.f.
New Roof Area = 447 s.f.
NET Increase in Impervious Area = 165 s.f.

165 s.f. x .75 ft. = 123.75 c.f. Stormwater Storage Capacity required for New Roof Area

Percolation = 12 c.f. / s.f. / 24 hrs. (V.I.F.)

Gallery Capacity w/ 18" Crushed Stone = 40.4 c.f. ea.
Total Gallery Capacity w/ 20 s.f. Percolation = 240 c.f. + 40.4 c.f. = 280.4 c.f. ea.

1 Gallery Provided = 280 c.f. Capacity (123.75 c.f. Required)

OMIT - REFER TO CIVIL ENGINEERING DRAWINGS

3

KEY NOTES:

1. New Drainage Gallery - Refer to Civil Engineering drawings by Paul Gdanski PE, PLLC, dated 1/8/24
2. ~~Overflow with level spreader~~ OMIT
3. ~~12x12 field inlet with sump~~ OMIT
4. Install silt fence for duration of construction. Refer to Civil Engineering drawings by Paul Gdanski PE, PLLC, dated 1/8/24
5. Temporary soil storage. Cover non-active soil stockpile to prevent erosion of the stockpile. All excess soil shall be disposed of off site in a way that conforms with all relavent codes and laws. Refer to Civil Engineering drawings by Paul Gdanski PE, PLLC, dated 1/8/24
6. Install temporary 12'x30' stabilized construction entrance. Remove at the completion of construction and restore grass to existing condition. Refer to Civil Engineering drawings by Paul Gdanski PE, PLLC, dated 1/8/24
7. Snow fence to protect existing trees during construction
8. Save and protect existing bluestone for re-use.

2

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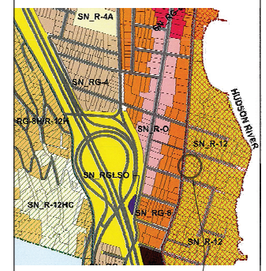
REVISIONS

NO.	DATE	DESCRIPTION
1	5/10/24	Revision
2	11/20/24	Revision
3	4/30/25	Revision



N

2 C1.1

VICINITY MAP

SCALE: 1"=1000'-0"

0 250' 500' 1000' 2000'

PROJECT TITLE

Alterations To The
FELIX-OBRIG RESIDENCE
257 Piermont Avenue
South Nyack, New York 10960

DRAWING TITLE

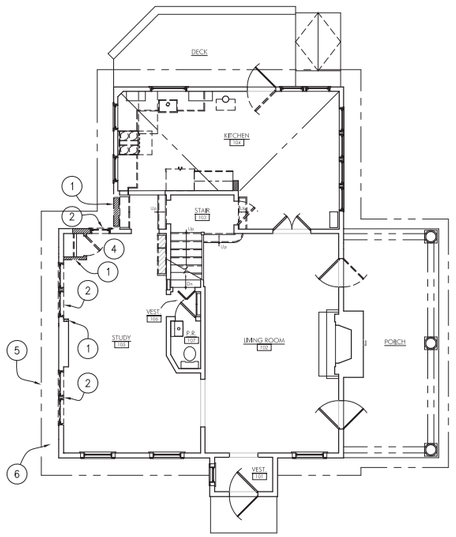
SITE PLAN

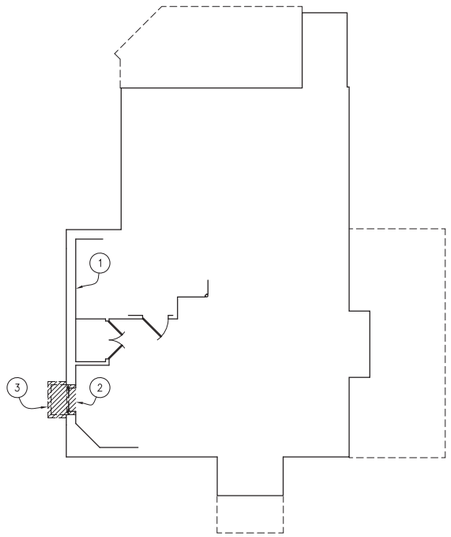
PROJECT NO.	
SCALE	1"=20'-0"
DRWN. BY	JSS
ISSUED	4/30/25

DWG. NO. C 1.1

REGISTERED ARCHITECT JEFFREY STEEHOLM SMALL 024020 STATE OF NEW YORK

HALF SIZE





1 D1.1 FIRST FLOOR DEMOLITION PLAN

SCALE: 1/8"=1'-0"

2 D1.1 BASEMENT DEMOLITION PLAN

SCALE: 1/8"=1'-0"

DEMOLITION NOTES

1. Contractor shall perform all operations of demolition and removal indicated on the drawings and as may be required by the work. All work shall be done carefully and neatly, in a systematic manner.
2. All existing surfaces and equipment to remain shall be fully protected from damage. The Contractor shall assume full responsibility for damage and shall make repairs required without additional cost to the Owner.
3. No debris shall be allowed to accumulate on the site. Debris shall be removed by the Contractor as the job proceeds. The site shall be left broom clean at the completion of demolition.
4. No structural elements shall be removed unless portions affected are adequately supported by either temporary shoring or new structural elements as required to protect the stability and integrity of the existing structure.
5. Remove or relocate all wiring, plumbing, and mechanical equipment affected by removal of partitions. Removed pipes and/or lines shall be cut to a point of concealment behind or below finish surfaces, and shall be properly capped or plugged.
6. The Contractor shall provide, erect and maintain all temporary barrier and guards, and all temporary shoring and bracing as required by Department of Building rules and regulations.
7. The Contractor shall provide adequate weather protection for the building and its contents during the course of the work. All openings in any wall or roof shall be protected from all forms of weather or water penetration.
9. The Contractor shall file all necessary Certificates of Insurance with the Department of Buildings, pay all fees, obtain all permits and provide any and all bonds required by any city agency in order to do the work herein described.

KEY NOTES:

1. Remove portion of existing wall.
2. Remove existing window.
3. Remove existing window well.
4. Remove existing door.
5. Remove portion of existing soffit and portion of existing roof.
6. Existing Gas Meter to Remain. Protect gas meter and gas line from damage.

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REVISIONS

NO.	DATE	DESCRIPTION

PROJECT TITLE

Alterations To The
FELIX-OBRIG RESIDENCE
257 Piermont Avenue
South Nyack, New York 10960

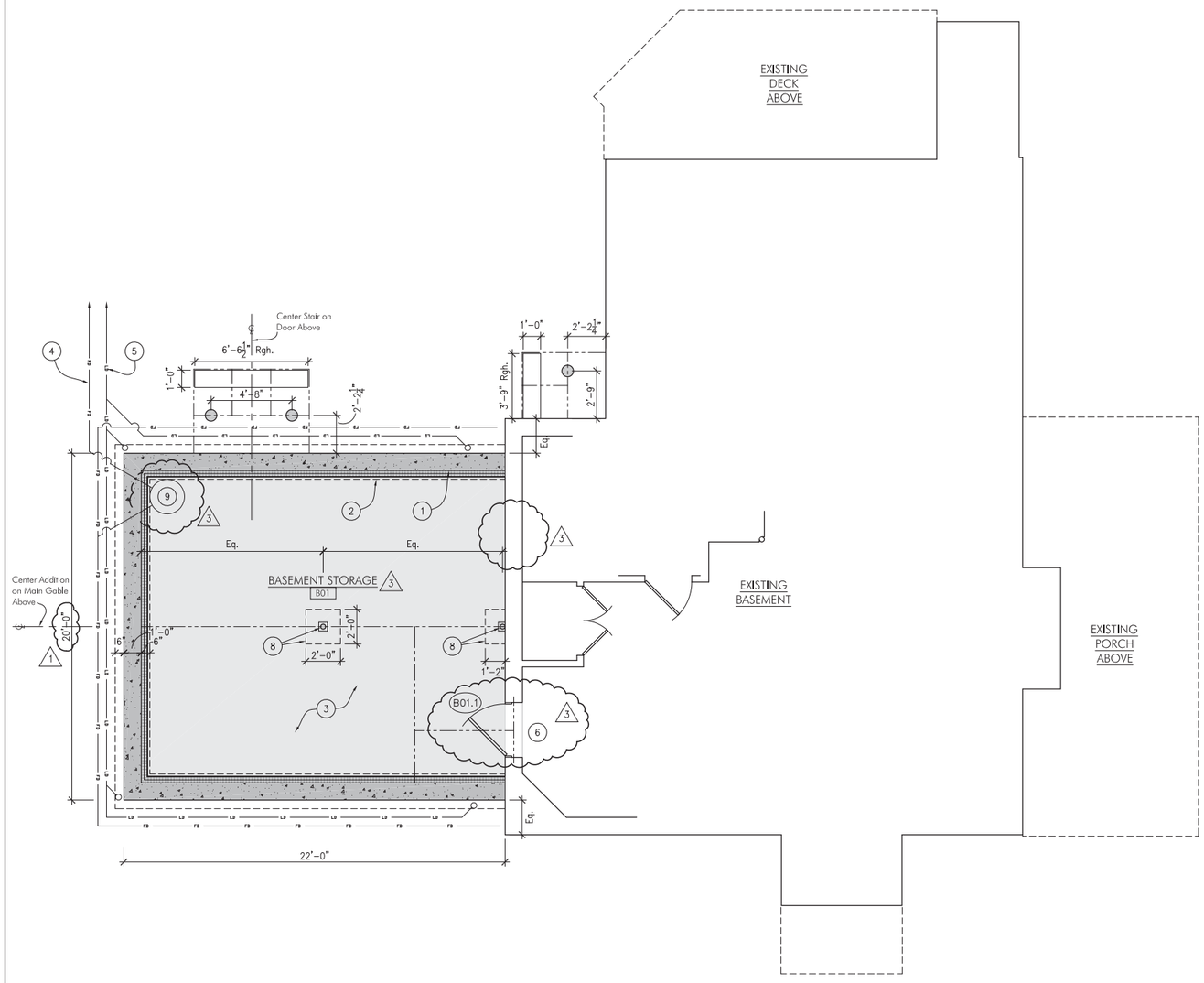
DRAWING TITLE

DEMOLITION PLANS

PROJECT NO.	DWG. NO.
SCALE: 1/4"=1'-0"	D 1.1
DRWN. BY: JSS	
ISSUED: 4/30/25	

REGISTERED ARCHITECT JEFFREY STEEHOLM SMALL 024020 STATE OF NEW YORK

HALF SIZE



1 A1.1 BASEMENT / FOUNDATION PLAN

SCALE: 1/4"=1'-0"

0 1' 2' 4' 8'

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REVISIONS

NO.	DATE	DESCRIPTION
1	5/10/24	Revision
2	4/30/25	Revision

KEY NOTES:

1. Reinforced Concrete Foundation Wall
2. Reinforced Concrete Footing
3. Reinforced Concrete Rat Slab
4. Footing Drain Pitched to Drainage Gallery
5. Foundation Drain Pitched to Drainage Gallery
6. New Door in New Masonry Opening
7. ~~New Vent in New Masonry Opening~~ OMIT
8. New Steel Column and Concrete Footing
9. New Sump Pump to Daylight

PROJECT TITLE

Alterations To The
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257 Piermont Avenue
South Nyack, New York 10960

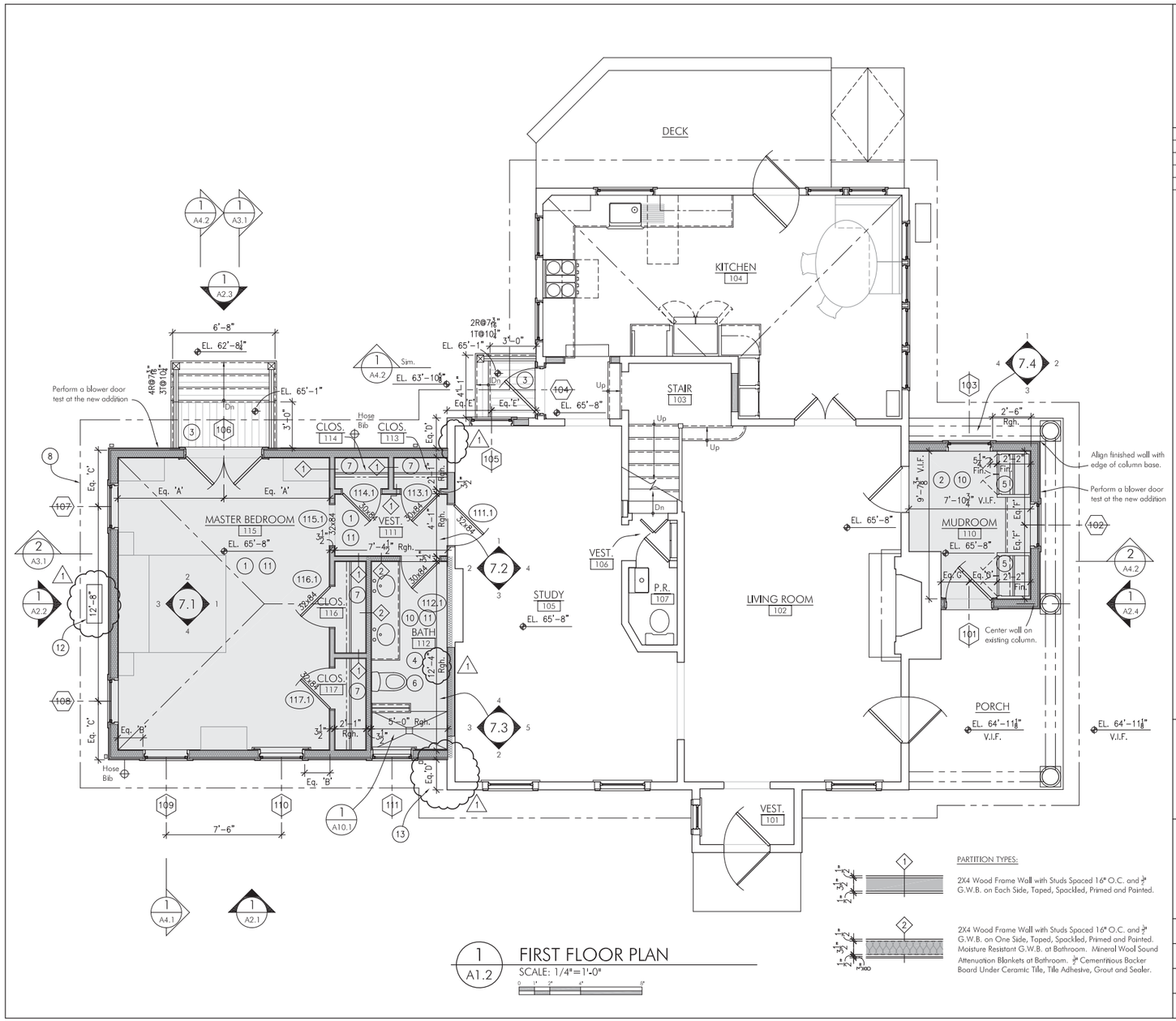
DRAWING TITLE

BASEMENT /
FOUNDATION PLAN

PROJECT NO.	DWG. NO.
SCALE: 1/4"=1'-0"	A 1.1
DRAWN BY: JSS	
ISSUED: 4/30/25	

REGISTERED ARCHITECT
JEFFREY STEEHOLM SMALL
024020
STATE OF NEW YORK

HALF SIZE



1 A1.2 FIRST FLOOR PLAN
SCALE: 1/4"= 1'-0"

PARTITION TYPES:

1 — 2X4 Wood Frame Wall with Studs Spaced 16" O.C. and ½" G.W.B. on Each Side, Taped, Spackled, Primed and Painted.

2 — 2X4 Wood Frame Wall with Studs Spaced 16" O.C. and ½" G.W.B. on One Side, Taped, Spackled, Primed and Painted. Moisture Resistant G.W.B. at Bathroom. Mineral Wool Sound Attenuation Blankets at Bathroom. ½" Cementitious Backer Board Under Ceramic Tile, Tile Adhesive, Grout and Sealer.

KEY NOTES:

1. Hardwood Flooring w/ Stain & Polyurethane
2. Porcelain Tile Flooring
3. P.T. Decking w/ Solid Stain
4. Ceramic Tile Flooring
5. Built-in Custom Cabinetry
6. New Plumbing Fixtures & Fittings
7. New Closet Rod & Shelf
8. Line of Eave Above
9. Line of New Overhang Above
10. Electric Radiant Floor Heating at Mudroom 110 and Bath 112
11. Heat Pump Ducted Heating and Cooling System
12. New Condenser Unit
13. Existing Gas Meter to Remain

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PROJECT TITLE

Alterations To The
FELIX-OBRIG RESIDENCE
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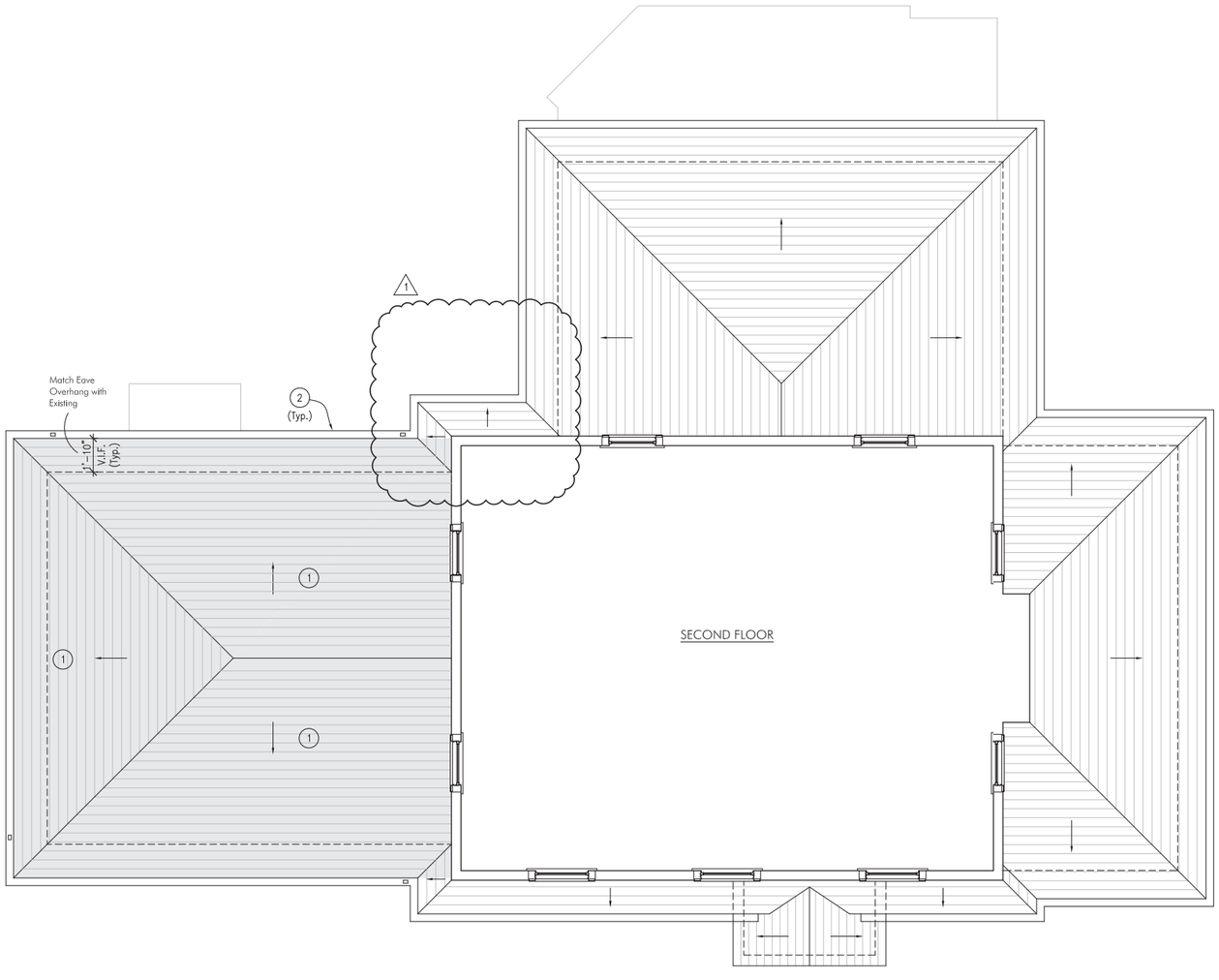
DRAWING TITLE

FIRST FLOOR PLAN

PROJECT NO:	DWG. NO:
SCALE: 1/4"= 1'-0"	A 1.2
DRAWN BY: JSS	
ISSUED: 4/30/25	

REGISTERED ARCHITECT JEFFREY STEEHOLM SMALL 024020 STATE OF NEW YORK

HALF SIZE



1 A1.3 SECOND FLOOR / ROOF PLAN

SCALE: 1/4"=1'-0"

0 1' 2' 4' 8'

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REVISIONS

NO.	DATE	DESCRIPTION
1	5/10/24	Revision

KEY NOTES:

1. New Asphalt Roofing to Match Existing
2. Gutters and Leaders to Match Existing

PROJECT TITLE

Alterations To The
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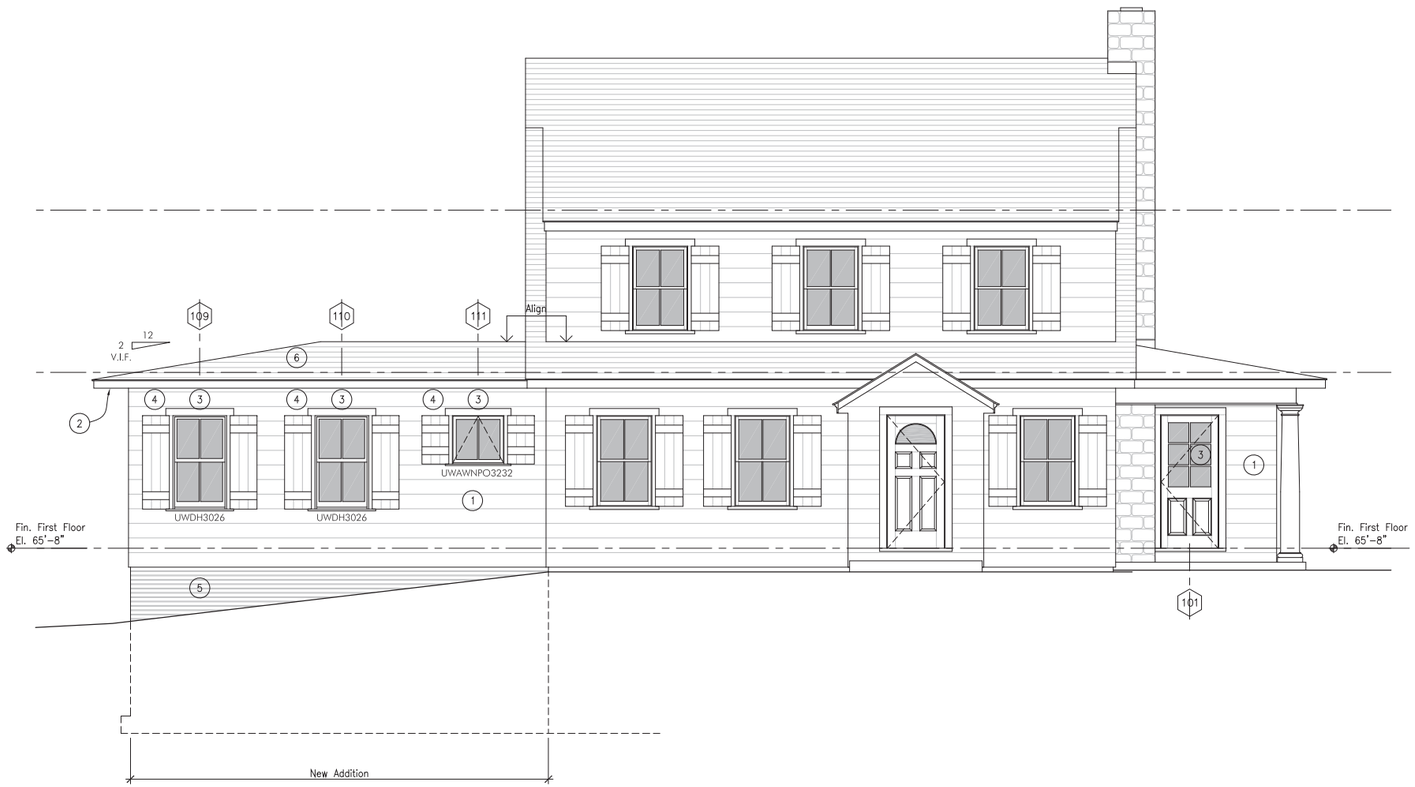
DRAWING TITLE

SECOND FLOOR / ROOF PLAN

REGISTERED ARCHITECT JEFFREY STEEHOLM SMALL 024020 STATE OF NEW YORK

PROJECT NO.	DWG. NO.
SCALE: 1/4"=1'-0"	A 1.3
DRWN. BY: JSS	
ISSUED: 4/30/25	

HALF SIZE



1 / A2.1 WEST ELEVATION

SCALE: 1/4"= 1'-0"

0 1' 2' 4' 8'

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REVISIONS

NO.	DATE	DESCRIPTION

KEY NOTES:

1. New Painted Wood Siding to Match Existing
2. Painted Wood Eaves to Match Existing
3. New Painted Wood Windows / Doors
4. New Painted Wood Shutters, Custom to Match Existing
5. Face Brick to Match Existing
6. Asphalt Roofing to Match Existing

PROJECT TITLE

Alterations To The
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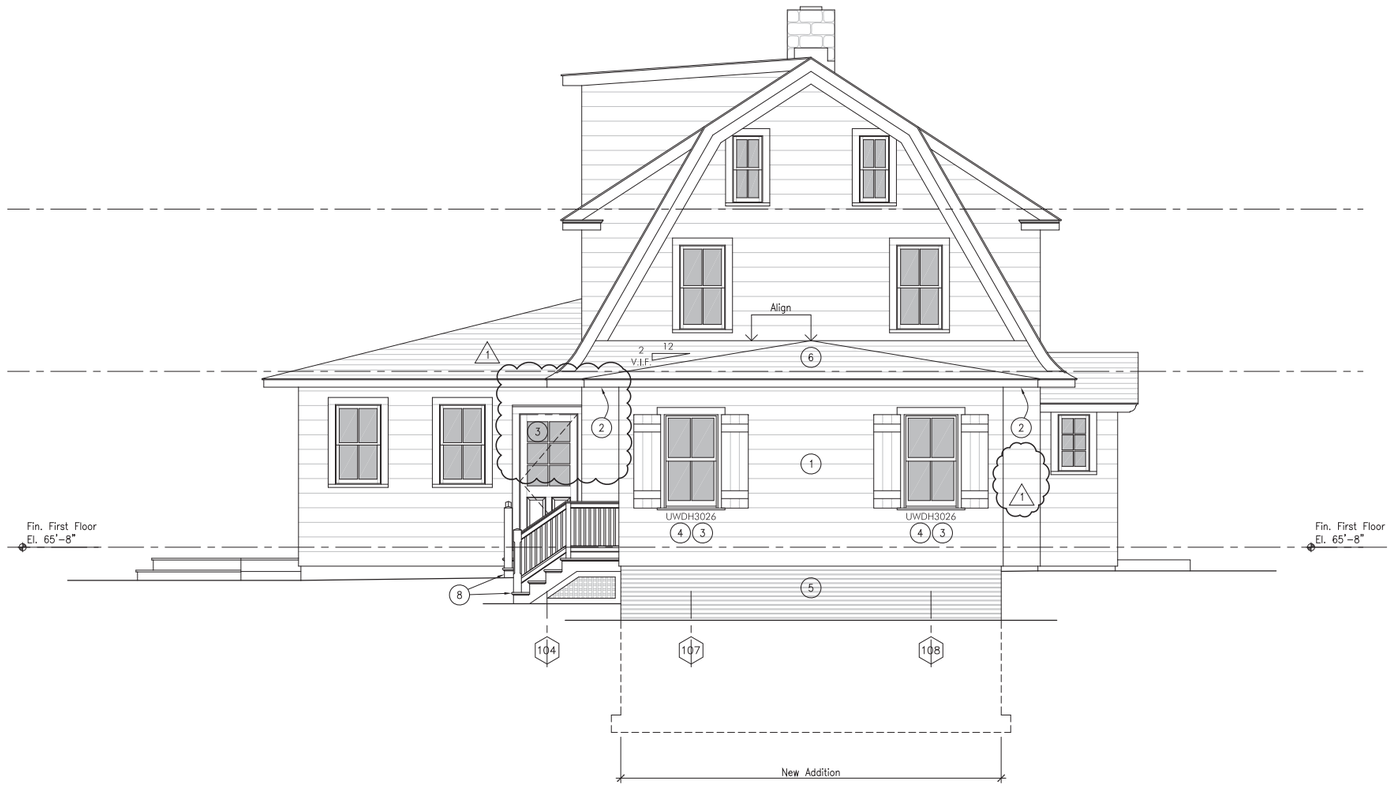
DRAWING TITLE

ELEVATIONS

PROJECT NO.	DWG. NO.
SCALE: 1/4"= 1'-0"	A 2.1
DRWN. BY: JSS	
ISSUED: 4/30/25	

REGISTERED ARCHITECT
JEFFREY STEEHOLM SMALL
024020
STATE OF NEW YORK

HALF SIZE



1 A2.2 NORTH ELEVATION

SCALE: 1/4"= 1'-0"

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REVISIONS

NO.	DATE	DESCRIPTION
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KEY NOTES:

1. New Painted Wood Siding to Match Existing
2. Painted Wood Eaves to Match Existing
3. New Painted Wood Windows / Doors
4. New Painted Wood Shutters, Custom to Match Existing
5. Face Brick to Match Existing
6. Asphalt Roofing to Match Existing
7. ~~New Overhang to Match Existing~~ 1
8. New Painted Wood Stairs

PROJECT TITLE

Alterations To The
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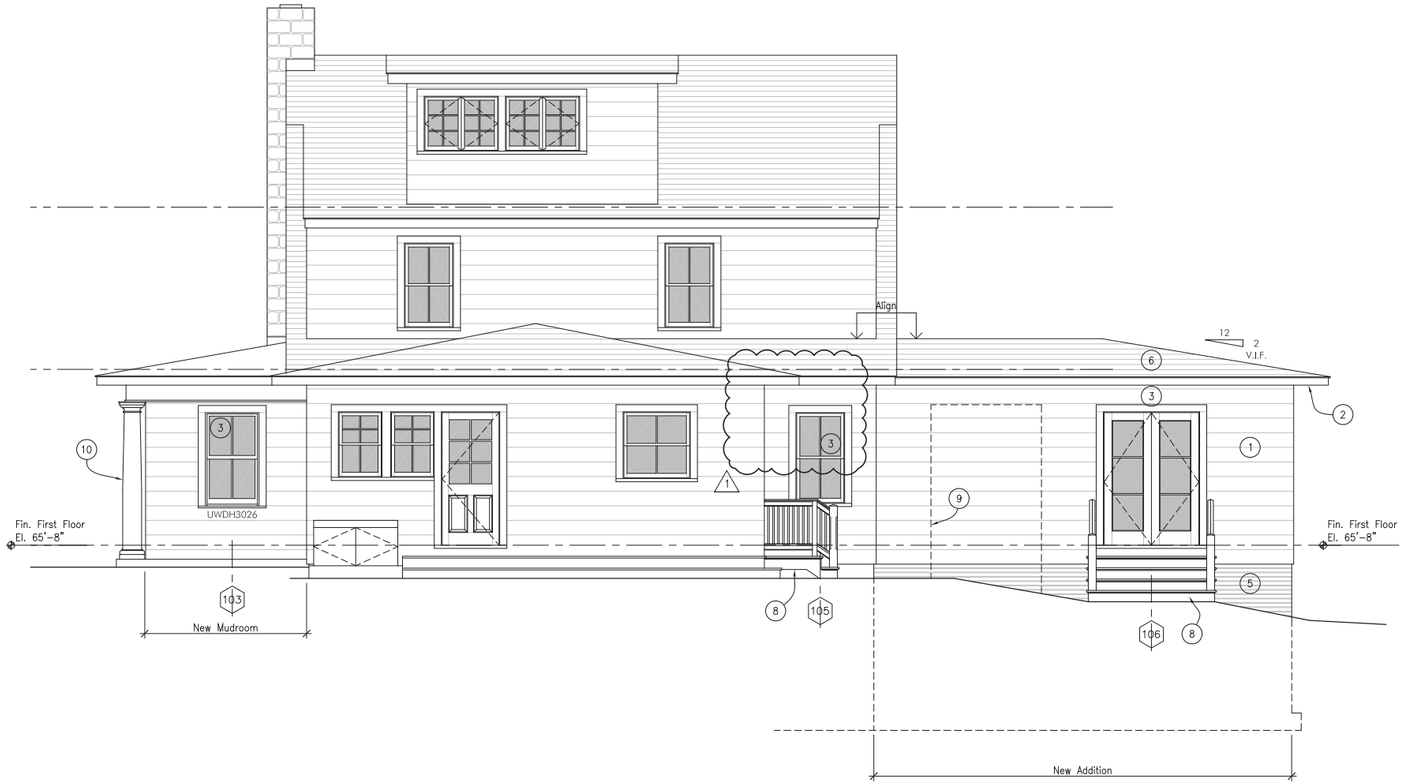
DRAWING TITLE

ELEVATIONS

PROJECT NO.	DWG. NO.
SCALE: 1/4"=1'-0"	A 2.2
DRAWN BY: JSS	
ISSUED: 4/30/25	

REGISTERED ARCHITECT
JEFFREY STEEHOLM SMALL
024020
STATE OF NEW YORK

HALF SIZE



1 / A2.3 EAST ELEVATION

SCALE: 1/4"= 1'-0"

0 1' 2' 4'

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REVISIONS

NO.	DATE	DESCRIPTION
1	5/10/24	Revision

KEY NOTES:

1. New Painted Wood Siding to Match Existing
2. Painted Wood Eaves to Match Existing
3. New Painted Wood Windows / Doors
4. New Painted Wood Shutters, Custom to Match Existing
5. Face Brick to Match Existing
6. Asphalt Roofing to Match Existing
7. ~~New Overhang to Match Existing~~ 1
8. New Painted Wood Stairs
9. New Framed Trellis
10. Existing Porch to Remain

PROJECT TITLE

Alterations To The
FELIX-OBRIG RESIDENCE
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DRAWING TITLE

ELEVATIONS

PROJECT NO.	DWG. NO.
SCALE: 1/4"= 1'-0"	A 2.3
DRAWN BY: JSS	
ISSUED: 4/30/25	

REGISTERED ARCHITECT JEFFREY STEEHOLM SMALL 024020 STATE OF NEW YORK

HALF SIZE

1 / A2.4 SOUTH ELEVATION

SCALE: 1/4"= 1'-0"

0 1' 2' 4'

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REVISIONS

NO.	DATE	DESCRIPTION

KEY NOTES:

1. New Painted Wood Siding to Match Existing
2. New Painted Wood Windows / Doors
3. Existing Porch to Remain
4. Existing Roofing to Remain

PROJECT TITLE

Alterations To The
FELIX-OBRIG RESIDENCE
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DRAWING TITLE

ELEVATIONS

PROJECT NO.	
SCALE	1/4"= 1'-0"
DRWN. BY	JSS
ISSUED	4/30/25

DWG. NO.

A
2.4

REGISTERED ARCHITECT
JEFFREY STEEHOLM SMALL
024020
STATE OF NEW YORK

HALF SIZE