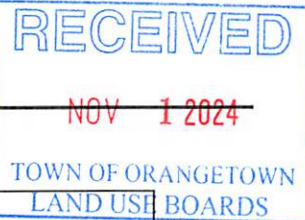


Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: NOV 1 2024



Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

Sinanan

PERMIT#: POOLR-5073-24
ASSIGNED _____
INSPECTOR: Dom

Referred from Planning Board: YES / NO
If yes provide date of Planning Board meeting: _____

Project Name: Spa for the Sinanan Residence

Street Address: 143 Independence Ave
Tappan NY

Tax Map Designation: 74.18 Section: 2 Block: 1 Lot(s):
Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the South side of Independence Ave, approximately 0 feet East of the intersection of Lester Drive, in the Town of Orangetown in the hamlet/village of Tappan.

Acreage of Parcel <u>.352 AC</u>	Zoning District <u>R-15</u>
School District <u>SOACSD</u>	Postal District <u>Tappan</u>
Ambulance District <u>SOAC</u>	Fire District <u>Tappan</u>
Water District <u>VEOLIA</u>	Sewer District <u>Orangetown</u>

Project Description: (If additional space required, please attach a narrative summary.)

Construction of Spa attached to existing in-ground Swimming Pool located in the front yard of a corner lot (Lester Drive)
Legalize existing Spa which is attached to the Pool.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 11/1/24 Applicant's Signature: [Signature]

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TOWN OF ORANGETOWN
LAND USE BOARDS

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type: _____

Project History:

Has this project ever been reviewed before? ^{NO} ~~YES (for pool)~~

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

~~ZBA-77-12 Non conforming bulk~~

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

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LAND USE BOARDS



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410



REFERRAL TO THE ZONING BOARD OF APPEALS

Date: April 28, 2024 Section: 74.18 Block: 2 Lot: 1

Applicant: Sinanan

Address: 143 Independence Ave, Tappan, NY

RE: Application Made at: same

Referred For:

Chapter 43, Section 9.2 Expansion of non-conforming bulk with addition of hot tub to existing pool that was approved via ZBA 77-12

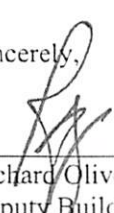
1 Variances required


Comments: hot tub expansion of non-conforming bulk

Dear Sinanan:

Please be advised that the Building Permit Application # 5073-24, which you submitted on 4.18.24, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or darbolino@orangetown.com.

Sincerely,

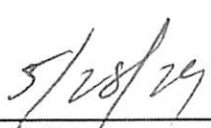

Richard Oliver
Deputy Building Inspector


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023

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TOWN OF ORANGETOWN
LAND USE BOARDS


Date
Liz DeCort
Debbie Arbolino

SWIS	PRINT KEY	NAME	ADDRESS
392489	74.14-1-16	Diane LaDuca	6 Drewry Ln,Tappan, NY 10983
392489	74.14-1-28	Town Of Orangetown	26 Orangeburg Rd,Orangeburg, NY 10962
392489	74.18-2-1	Anbiar Sinanan	143 Independence Ave,Tappan, NY 10983
392489	74.18-2-2	Jeremiah J Hunt	131 Independence Ave,Tappan, NY 10983
392489	74.18-2-3	Edward G Brown	119 Independence Ave,Tappan, NY 10983
392489	74.18-2-70	Shuzhong Bao	71 Lester Dr,Tappan, NY 10983

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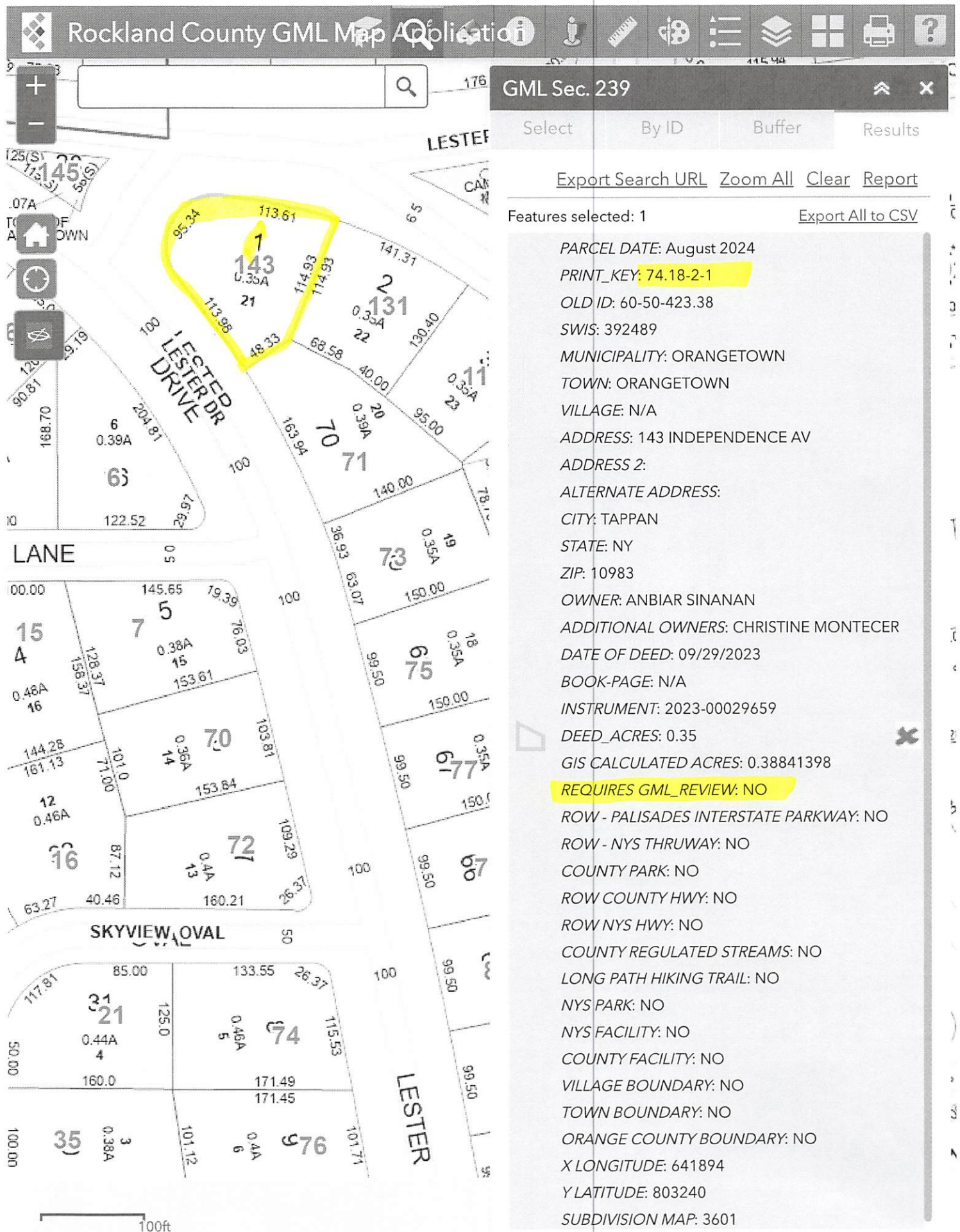
NOV 1 2024

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LAND USE BOARDS

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LAND USE BOARDS



DECISION ON APPLICATION FOR VARIANCE

Z.B.A.-77-12
S.50-B.423-L.38

FROM: ZONING BOARD of APPEALS, Town of Orangetown

TO: CHARLES MARCUS, Owner

RE: Application for variance from the provisions of Section 5.153 of the Orangetown Zoning Code which requires permission for an accessory structure, such as a swimming pool, and a variance from Section 3.12 Column 7 which requires a front yard depth of 30', whereas, 7' is proposed. Applicant proposes to install a 19'x40' kidney shaped pool to the rear of his one family dwelling. The back of the lot faces on a street and is therefore considered a front yard. The premises involved are situated on the east side of Lester Drive, known as #143 Independence Avenue, in Tappan, and in an R-15 zoning district.
(ZB#2 - Meeting 3/16/77)

Heard by the ZONING BOARD of APPEALS, Town of Orangetown, Rockland County, New York, at meeting held on Wednesday evening, MARCH 16, 1977, and as of that date, determination made as follows:

FINDINGS OF FACT: Mr. Charles Marcus, Owner, accompanied by Mr. Field, Agent of Sylvan Pools, appeared and testified that the reason for the large pool was economic; that the smaller pools cost a certain amount and that the 19'x40' pool would be much less costly comparatively, that he favored the larger pool. He further testified that he had six persons residing in the dwelling. Mr. Field testified that the location was selected in order to preserve the existing trees on the premises and it would require less excavation of the slope at the selected area. If the pool were to be moved, it would be closer to the foundation of the dwelling, which could create a hazardous condition. The pool representative testified that the pool will be installed in accordance with the Orangetown Zoning requirements and that the fencing would be placed at the higher elevation of the terrain, between the evergreen hedge screening and the pool. The Board members made a personal inspection of the premises on Sunday, March 13, 1977, and found them to be properly posted and as generally described on the application. A satisfactory statement, in accordance with the provisions of Section 809 of the General Municipal Law of the State of New York, was received. The Board, after hearing the foregoing testimony, agreed that the location of the dwelling on a lot which has 3 front yards causes the applicant practical difficulty, and that the granting of the application would not be injurious to the neighborhood; that the intent and purpose of the Zoning Code would be fulfilled.

DECISION: In view of the foregoing and the testimony before this Board, the application for the variances BE and HEREBY is GRANTED.

NOTE: The foregoing application is granted in accordance with the plot plan submitted dated Revised 4/21/76, and subject to the applicant obtaining the necessary permits from the Building Department.

Approval of the Board is limited to specific approval of the application requested and granted.
The Board gives no approval to any building plans of the applicant.

The foregoing application will lapse if the contemplated construction, for which the application is granted, is not substantially implemented within one year from the filing of this decision.

(DECISION - CHARLES MARCUS - Sheet #2)

Motion on the foregoing made by Mr. Mowerson, seconded by Mr. Crosbie and unanimously carried by the Board members present as follows: James L. Crosbie, Aye; John H. Olsen, Aye; Bronius B. Markeliunas, Aye; William H. Mowerson, Aye. (Louis E. Kayser, Absent).

The Clerk of the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the Office of the Town Clerk.

ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN

By: R. W. Banford
R. W. Banford, Clerk

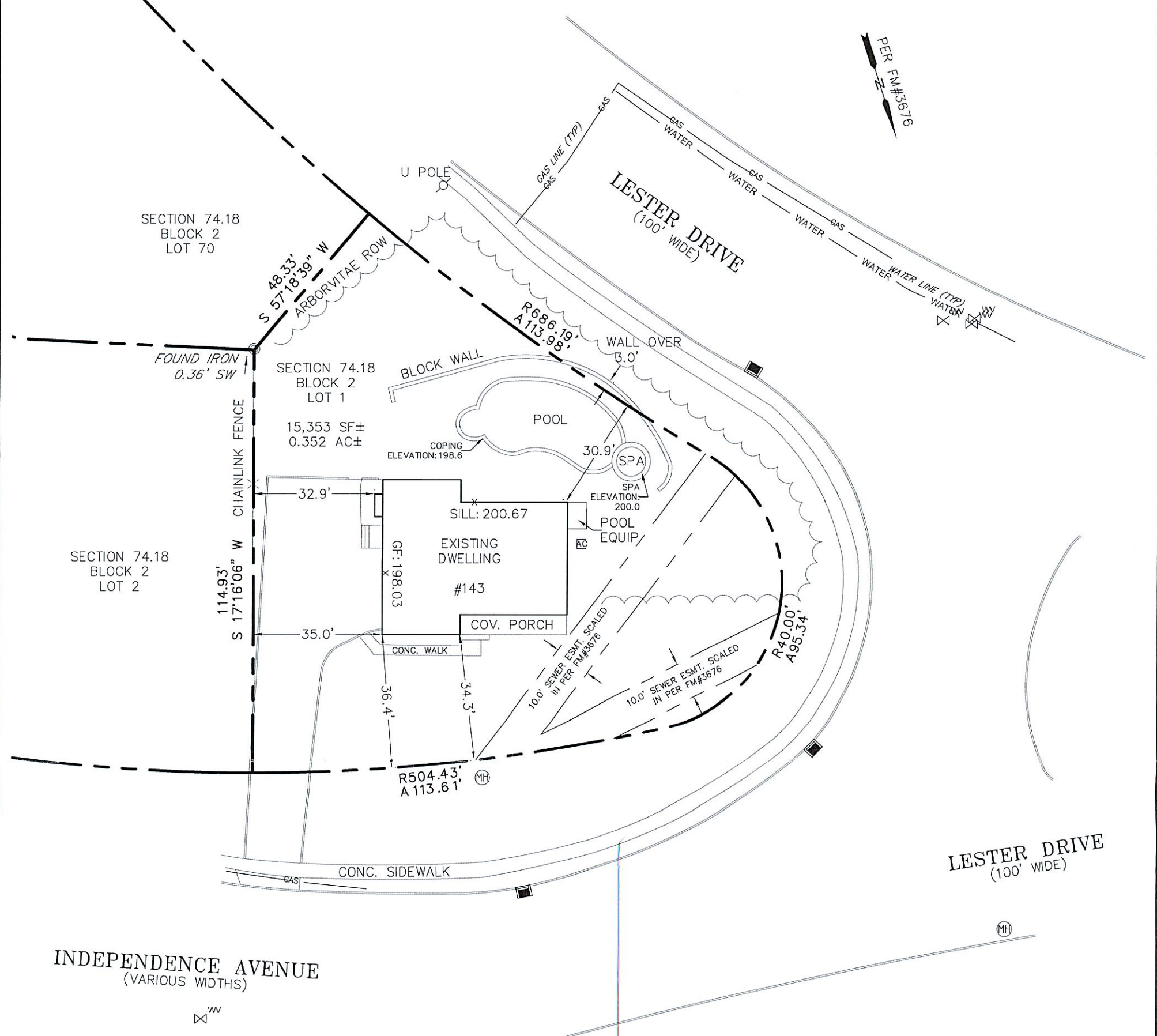
DISTRIBUTION:

Town Clerk
Mr. J. V. Colello, Spvr.
John J. Fox, Esq.
Irwin Bernstein, Esq.
Mr. R. J. DiFiore, Dir.
Property File - OBZPAE
Assessor's Office
Members Zoning Board
Members Town Board

Dated: March 18, 1977



PER FM#3676



INDEPENDENCE AVENUE
(VARIOUS WIDTHS)

LESTER DRIVE
(100' WIDE)

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TOWN OF ORANGETOWN
LAND USE BOARDS

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NOV 1 2024

TOWN OF ORANGETOWN
LAND USE BOARDS

SURVEY REFERENCES

1. INSTRUMENT#2007-00047194
2. BEING LOT NO. 2 IN BLOCK 57 ON A CERTAIN MAP ENTITLED "SECTION I, PREL PARK, SECTION XI B, TAPPAN, TOWN OF ORANGETOWN, NEW YORK" AS MAP NO. 3601, WHICH MAP WAS AMENDED BY A CERTAIN MAP ENTITLED "SECTION II, PREL PARK SECTION XI B, TAPPAN, TOWN OF ORANGETOWN, NEW YORK" WHICH MAP WAS FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON JANUARY 30, 1968 IN MAP BOOK 74 AT PAGE 59 AS MAP NO 3676.
3. TAX ASSESSMENT MAP OF THE TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK
4. VERTICAL DATUM PER NAVD'88 AT BENCHMARK

GENERAL NOTES

1. PROPERTY SUBJECT TO DOCUMENTS OF RECORD AND TO AN ACCURATE TITLE SEARCH. SURVEYOR HAS NOT BEEN PROVIDED A TITLE REPORT.
2. THE SUBJECT PROPERTY IS SUBJECT TO EASEMENTS, RESTRICTIONS, OR EXCEPTIONS, OR CONVEYANCES THAT MAY EXIST.
3. ONLY SURFACE CONDITIONS ARE SHOWN, NO RESPONSIBILITY IS TAKEN FOR BURIED PIPES, WIRES, SEPTIC, WELLS, UST'S, ETC.
4. THE SUBJECT PROPERTY IS SUBJECT TO THE RIGHTS OF THE PUBLIC IN ANY PORTION OF SAID PROPERTY LYING WITHIN THE RIGHTS OF WAY OF THE ROADS SHOWN.

AS-BUILT SURVEY

SECTION 74.18 BLOCK 2 LOT 1
143 INDEPENDENCE AVENUE
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

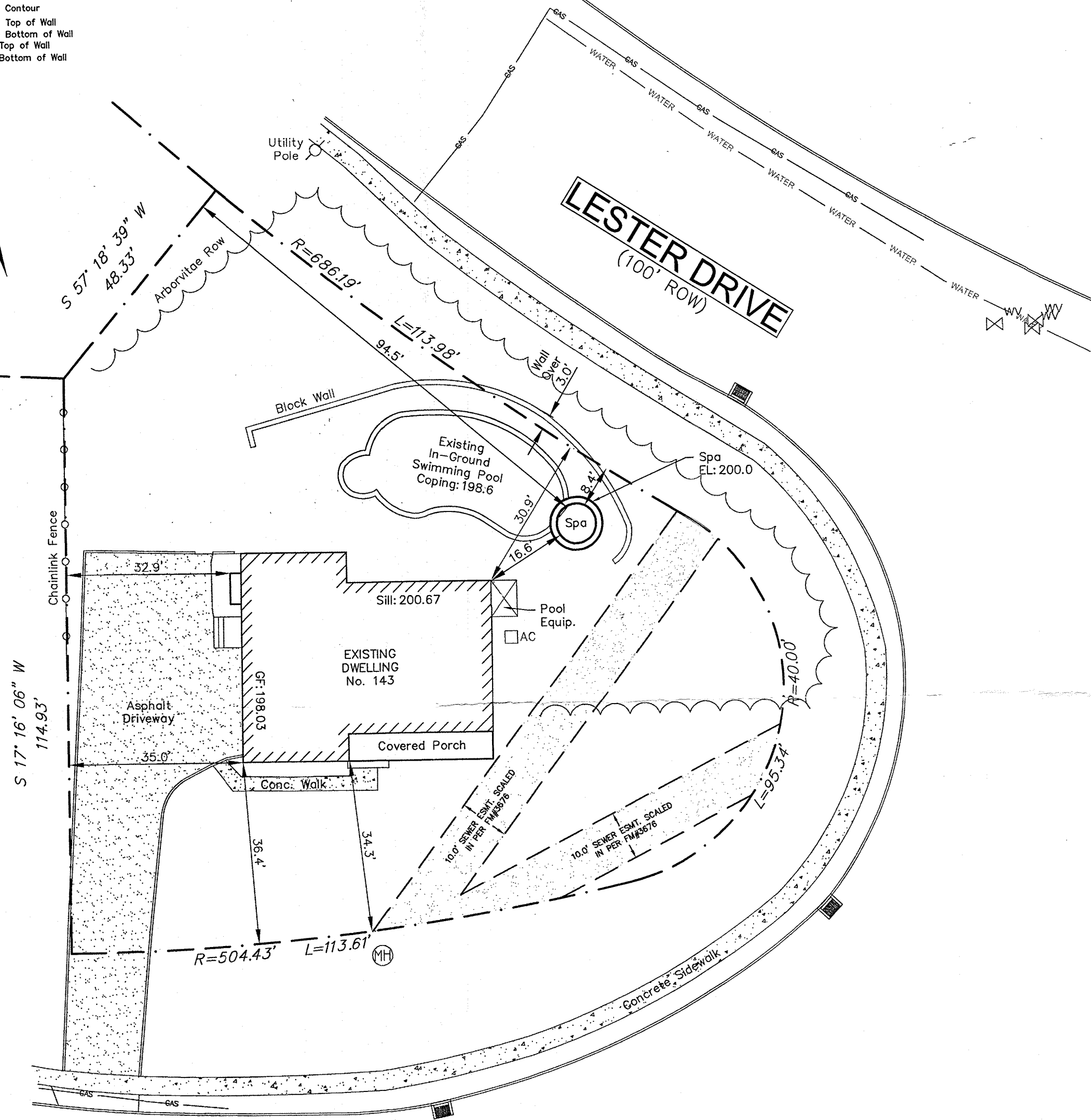
REVISION:	DRAWN BY: AP
	CHECK BY: WTM
	DATE: 03/13/2024
	SCALE: 1:30
	PROJECT: 143 INDEPENDENCE

PAX Surveying &
Environmental
Consultants, LLC
271 US 46 West, SUITE G 208
FAIRFIELD, NEW JERSEY 07004
551-999-4822 bill@paxsurvey.com

WILLIAM T. MANNING, PLS
NY LICENSE NO. 50388

LEGEND

x 87.65	Existing Spot Elevation
---	Existing Contour
99.05 x	Proposed Spot Elevation
---	Proposed Contour
TW	Proposed Top of Wall
BW	Proposed Bottom of Wall
lw	Existing Top of Wall
bw	Existing Bottom of Wall



INDEPENDENCE AVENUE
(WIDTH VARIES)

SPA PLAN

SCALE: 1"=20'



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THIS DRAWING MAY NOT BE COPIED, REUSED, DISCLOSED, DISTRIBUTED OR RELIED UPON FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF D.J. EGARIAN & ASSOCIATES, INC.

CERTIFICATE OF AUTHORIZATION: 0021727

TAX MAP ADDED	10.08.24	DJE	DESIGNER: JDE
			DRAWN BY: JDE
			CHECK BY: DJE
			DATE: 05.08.24
			SCALE: 1" = 20'
			PROJECT NO.: 24093
REVISION	DATE	APPROVED	

NOTES:

- EXISTING BOUNDARY INFORMATION TAKEN FROM AN AS-BUILT SURVEY PREPARED BY PAX SURVEYING, DATED 03.13.24.
- OWNER OR CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SHOULD ACTUAL CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN.
- DRIVEWAY TO BE UTILIZED FOR CONSTRUCTION ACCESS.

DAVID J. EGARIAN, P.E.
N.Y. LIC 075082

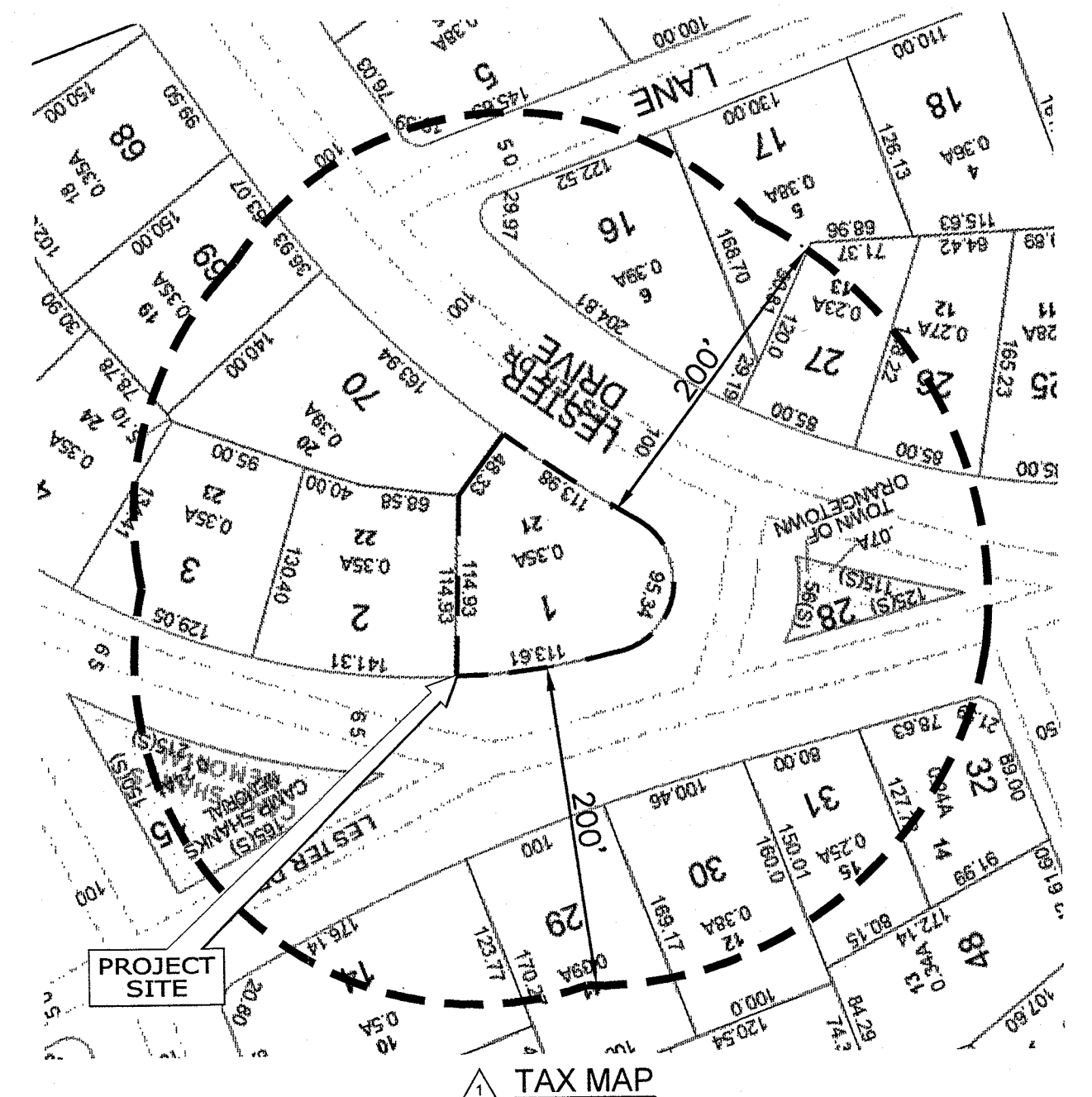
DJ EGARIAN & ASSOCIATES Inc.
Civil/Mechanical/Environmental Engineering Services
271 Route 46 Suite G208, Fairfield, NJ 07004
Ph: (973)898-1401 Fax: (862)702-3017 www.djegarian.com

SPA PLAN
FOR THE
SINANAN RESIDENCE
143 INDEPENDENCE AVENUE
SECTION 74.18 BLOCK 2 LOT 1
TOWN OF ORANGETOWN, ROCKLAND COUNTY, NY

DRAWING NO:

1

SHEET 1 OF 1



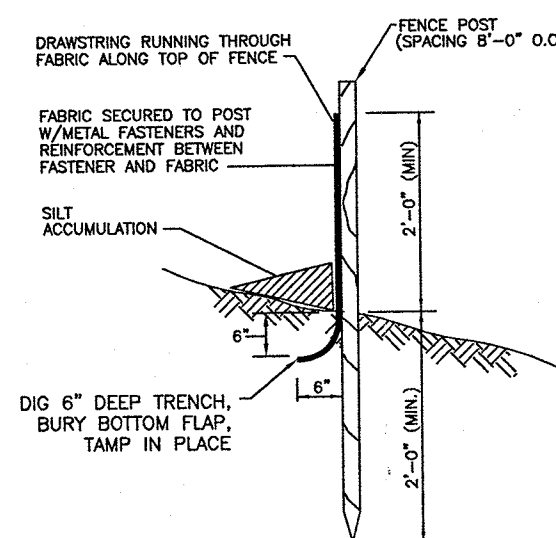
ZONING DATA-POOL CONSTRUCTION

Zone: R-15			
Section 74.18 Block 2 Lot 1			
Owner: Sinanan			
	REQUIRED	PROPOSED	Variance Req'd
Front Yard Setback to Spa	NA	8.41'	
Side Yard Setback to Spa	20'	94.5'	No
Setback from House	8'	16.6'	No

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MAR 19 2025

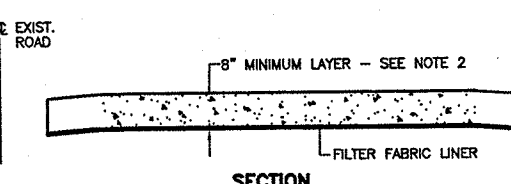
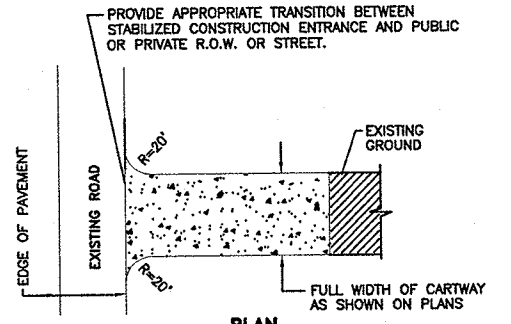
TOWN OF ORANGETOWN
LAND USE BOARDS



SILT FENCE DETAIL

N.T.S.

- REQUIREMENTS FOR SILT FENCE:
- FENCE POSTS SHALL BE SPACED 8 FT. CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1 1/2 INCHES.
 - A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED. FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
 - A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAINSTRING IN THE PORTION OF THE FENCE FOR ADDED STRENGTH.



- NOTES:
- PLACE STABILIZED CONSTRUCTION ENTRANCE AT LOCATION
 - STONE SIZE SHALL BE ASTM C-33, SIZE NO. 2 OR 3, CLEANED CRUSHED ANGULAR STONE
 - THE THICKNESS OF THE STABILIZED CONSTRUCTION ENTRANCE SHALL NOT BE LESS THAN 8"
 - WIDTH - NOT LESS THAN FULL WIDTH OF POINTS OF INGRESS OR EGRESS.
 - THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE R.O.W./PAVEMENT. THIS REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT.
 - ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO THE PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.

TRACKING PAD DETAIL

N.T.S.