

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 3/19/2025

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLDR-6629-25

ASSIGNED

INSPECTOR: Ken

Referred from Planning Board: YES / NO
If yes provide date of Planning Board meeting: _____

Project Name: Andreopoulos

NEW PORTICO AT FRONT DOOR

Street Address: 52 MINUTEMAN CIRCLE

ORANGETOWN NY 10962

Tax Map Designation:

Section: 74.17 Block: 1 Lot(s): 4

Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the WEST side of MINUTEMAN CIRCLE, approximately 50 feet WEST of the intersection of MONMOUTH COURT, in the Town of ORANGETOWN in the hamlet/village of ORANGETOWN

Acreage of Parcel 0.36

Zoning District R-22

School District SOUTH ORANGETOWN

Postal District 10962

Ambulance District SOUTH ORANGETOWN

Fire District ORANGETOWN

Water District VEOLIX

Sewer District ORANGETOWN

Project Description: (If additional space required, please attach a narrative summary.)

ADDITION OF PORTICO AT FRONT DOOR W/ 2 COLUMNS OVER EXISTING LANDING PLATFORM. HIP ROOF TO ALIGN W/ EAVES OF EXISTING ROOF.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 3/19/2025 Applicant's Signature: Andreopoulos

RECEIVED

MAR 19 2025

TOWN OF ORANGETOWN
LAND USE BOARDS

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? _____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage 2,988 (2 FLOORS) 1,254 FOOTPRINT
- 2) Total square footage 3,051 1,317
- 3) Number of dwelling units 1

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area NO

Are there **streams** on the site? If yes, please provide the names. NO

Are there **wetlands** on the site? If yes, please provide the names and type: NO

Project History:

Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

RECEIVED

MAR 19 2025

TOWN OF ORANGETOWN
LAND USE BOARDS



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

26 Orangeburg Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: 3.14.25 Section: 74.17 Block: 1 Lot: 4

Applicant: Andreopoulos

Address: 52 Minuteman Rd, Orangeburg, NY

RE: Application Made at: same

Referred For:

Chapter 43, Section 3.12 R-22, Col 8, Minimum Front Yrd Setback 40' w/ 28.7' propsoed

1 variances required


Comments:


Front Portico

Dear Andreopoulos:

Please be advised that the Building Permit Application # 6628-25, which you submitted on 2.4.25, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Katlyn Bettmann can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4316 or kbettmann@orangetown.com

Sincerely,

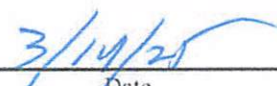

Richard Oliver
Deputy Building Inspector

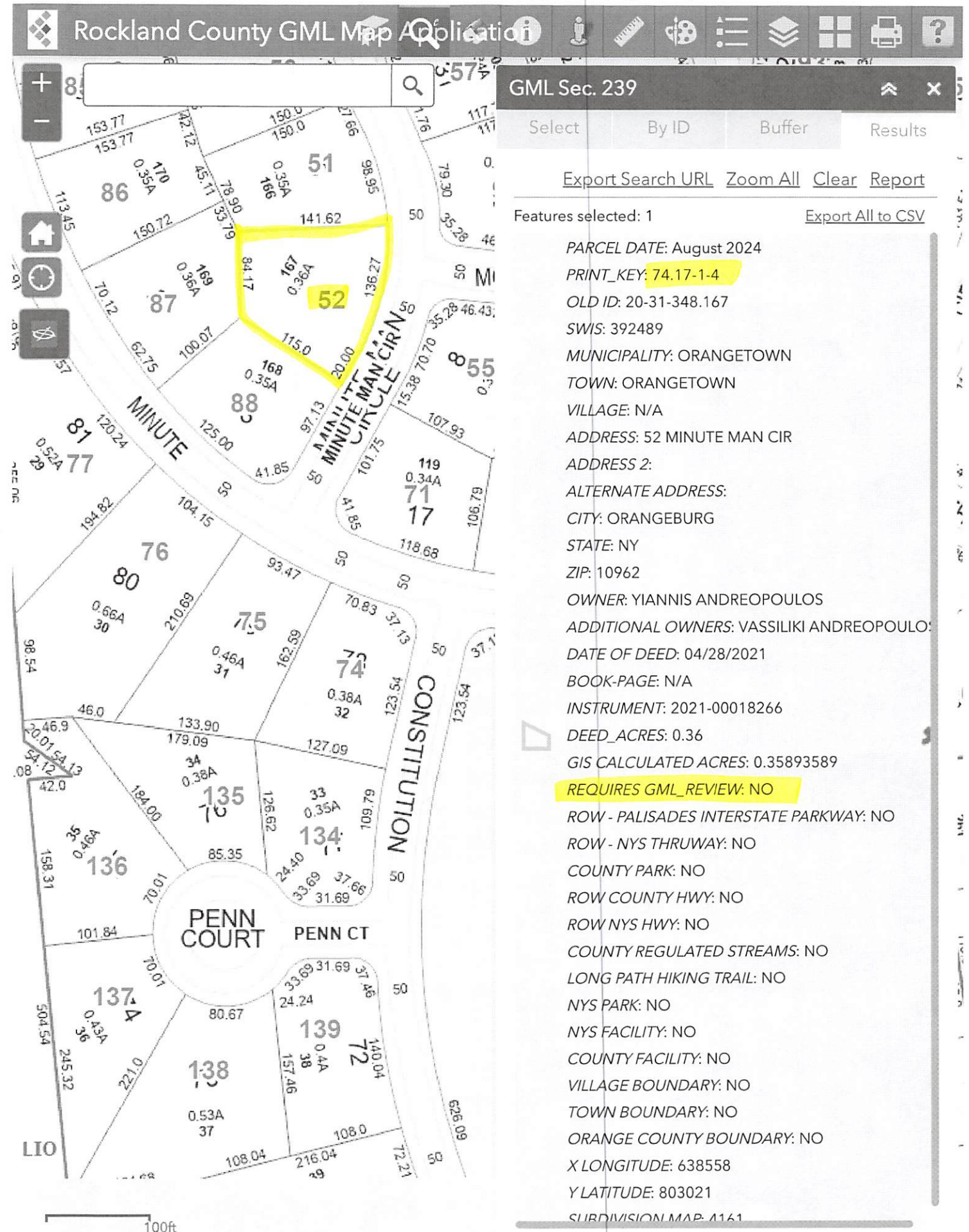

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
10-01-2024: emd

RECEIVED

MAR 19 2025

**TOWN OF ORANGETOWN
LAND USE BOARDS**


Date
CC: Katlyn Bettmann
Elizabeth Decort



SURVEY
PROPERTY

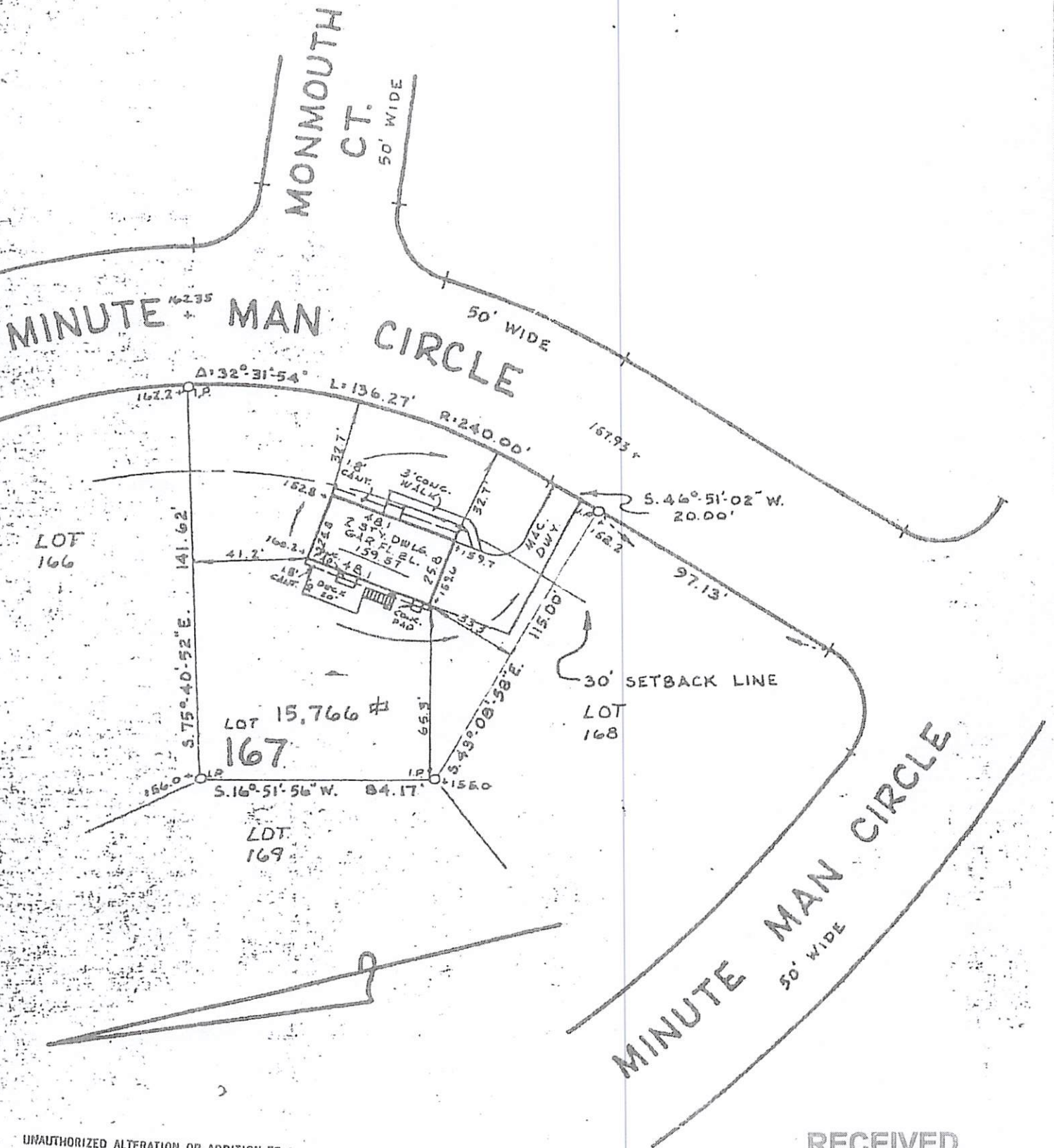
AT
NAURAUSHAUN

TOWN OF ORANGETOWN

ROCKLAND COUNTY

NEW YORK

74.17-1-4
52 MINUTEMAN CIR
ORANGETOWN



UNAUTHORIZED ALTERATION OR ADDITION TO A
SURVEY MAP BEARING A LICENSED LAND
SURVEYOR'S SEAL IS A VIOLATION OF SECTION
7209, SUB-DIVISION 2, OF THE NEW YORK
STATE EDUCATION LAW.
COPIES OF THIS SURVEY MAP NOT HAVING THE
EMBOSSED SEAL OF THE LAND SURVEYOR SHALL
NOT BE VALID.
GUARANTEES OR CERTIFICATIONS ARE NOT
TRANSFERABLE TO ADDITIONAL INSTITUTIONS
OR SUBSEQUENT OWNERS.

HOUSE MODEL-BI-LEVEL

CERTIFIED CORRECT AND ACCURATE TO
FIRST FEDERAL SAVINGS & LOAN
ASSOC. & CHICAGO TITLE INSURANCE
COMPANY, HOME TITLE DIVISION.

RECEIVED

MAR 31 2025

TOWN OF ORANGETOWN
LAND USE BOARDS

RECEIVED

JAN 21 2025

TOWN OF ORANGETOWN
BUILDING DEPARTMENT

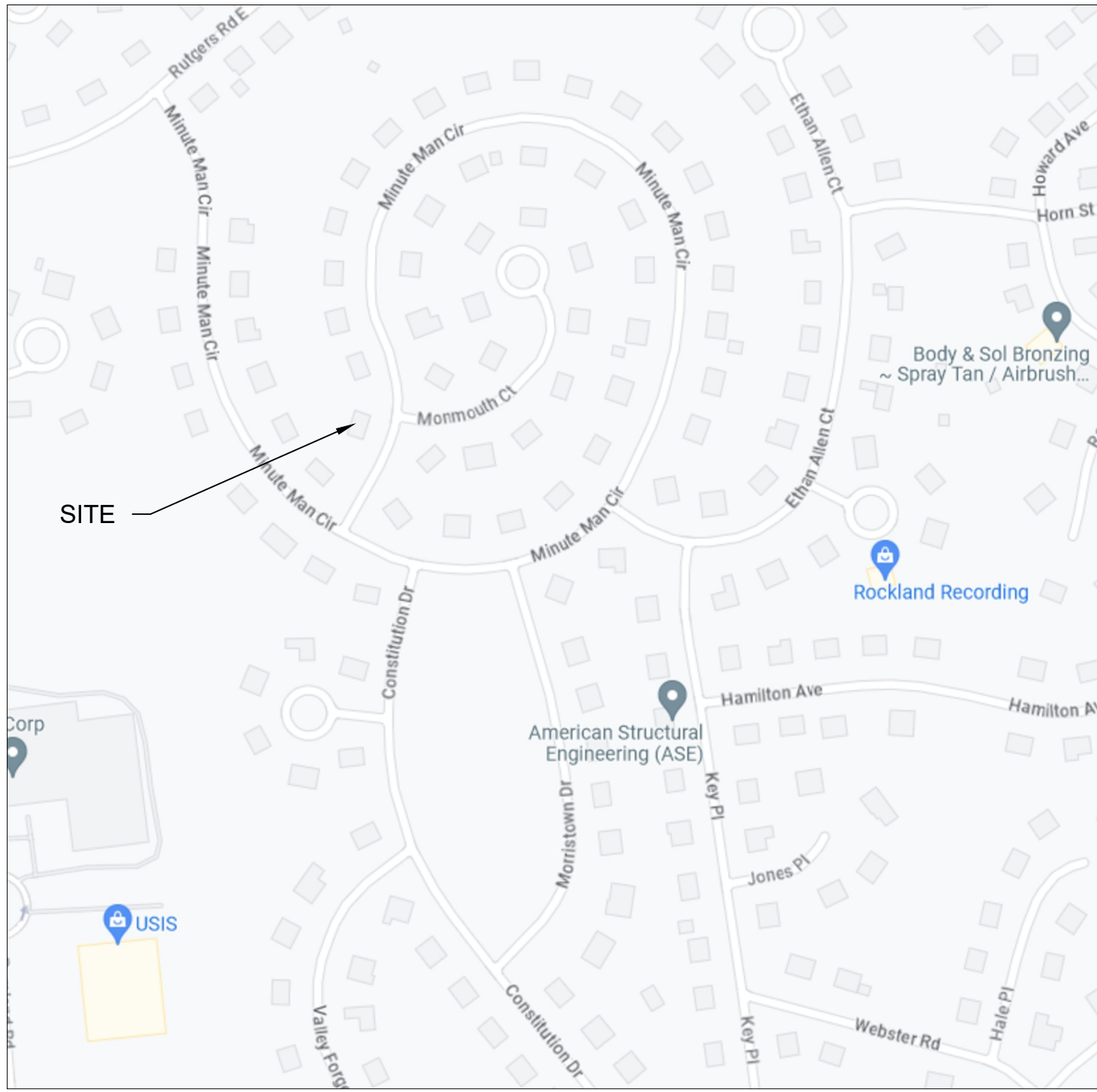
TAX MAP
BEING LOT 167
MAP OF BETSY ROSS ESTATES II
FILED IN THE OFFICE OF THE
ROCKLAND COUNTY CLERK
ON 7/16/71 AS MAP No. 4161
BK-82 PG-25
SCALE: 1" = 50' DATE

FDT'N. LOC'N. - 10-18-76.

FINAL SURVEY & IRON PIPES
SET 1-12-77.

REV.
SURVEY
PLOT PK

John C. Hoffmann, P.L.S. #048355
ADLER CARLISO & YOUNG, P.C.
PROFESSIONAL ENGINEERS



1 VICINITY MAP
A-0 N.T.S.

BUILDING CODE INFORMATION

- ALL CONSTRUCTION SHALL COMPLY WITH
- 2020 RESIDENTIAL CODE OF NEW YORK STATE
 - 2017 NATIONAL ELECTRICAL CODE
 - 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE AND THE NYSTRETCH 2020 CODE
 - 2020 FUEL GAS CODE OF NEW YORK STATE
 - 2020 MECHANICAL CODE OF NEW YORK STATE
 - 2020 PLUMBING CODE OF NEW YORK STATE

USE GROUP: R-3 SINGLE-FAMILY DETACHED DWELLING

CONSTRUCTION TYPE: V-B

SMOKE AND CARBON MONOXIDE PROTECTION

COMPLY WITH NYS RESIDENTIAL CODE R314, R315 AND NFPA 72

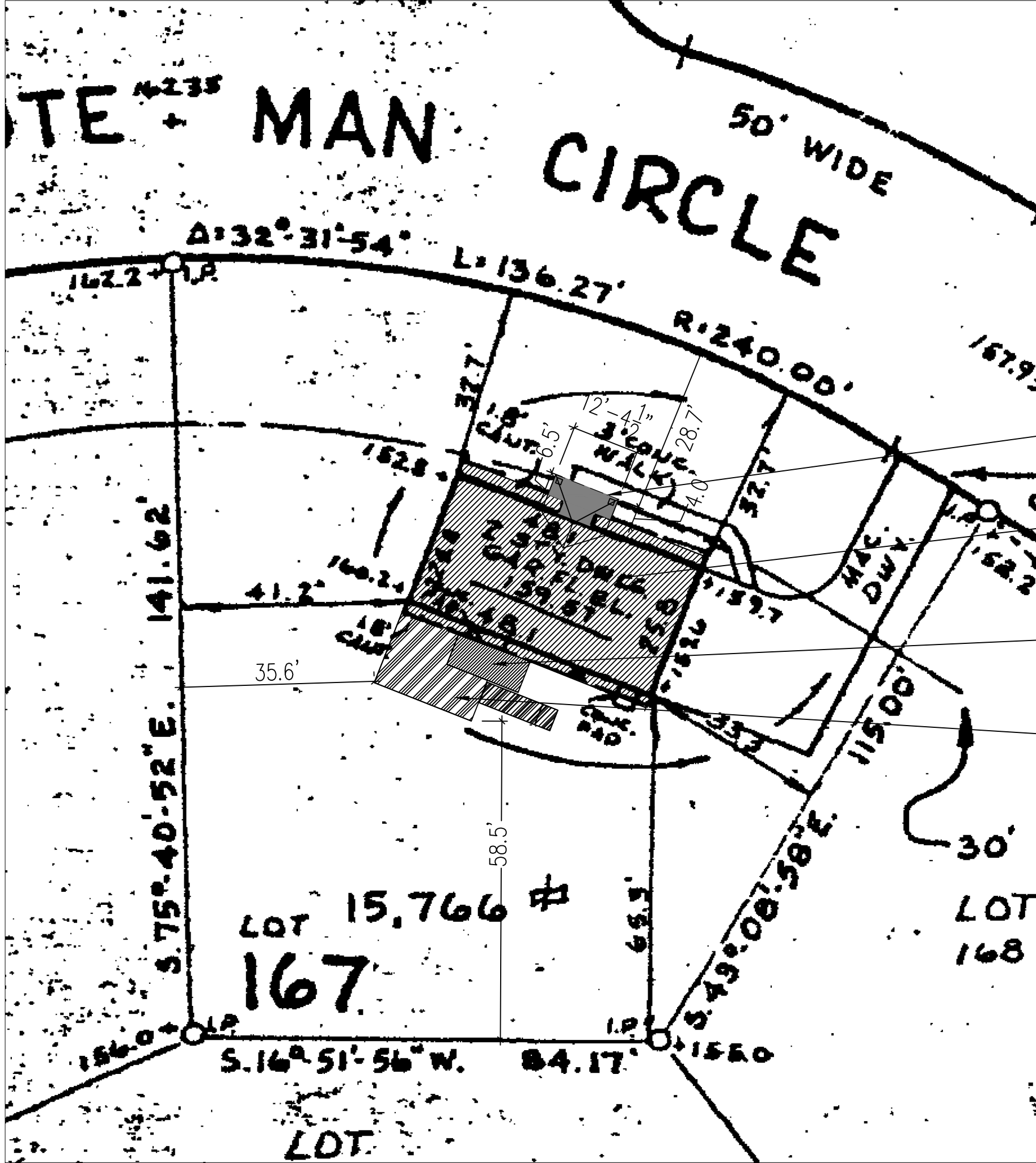
ENERGY CODE COMPLIANCE

TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED ARCHITECT THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, AS CURRENTLY IN EFFECT.

PROJECT SCOPE OF WORK

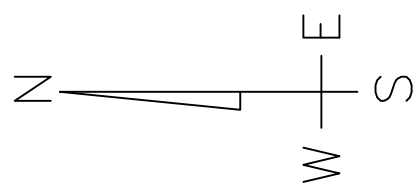
1. NEW PORTICO AT FRONT DOOR WITH TWO COLUMNS AND HIP ROOF.

16 NYCRR PART 753 - PROTECTION OF UNDERGROUND FACILITIES
REQUIRE 2 TO 10 WORKING DAYS NOTICE PRIOR TO START OF ANY UNDERGROUND WORK



TAX MAP SECTION 74.17-1-4
ORANGEBURG - TOWN OF ORANGETOWN

INFORMATION ABOUT DATE OF SURVEY AND
NAME OF SURVEYOR NOT AVAILABLE



2 SITE PLAN
SCALE: 1" = 20'

BULK REQUIREMENTS				
ZONE: DISTRICT: R-22 GROUP: I USE: SINGLE-FAMILY DETACHED RESIDENCE				
	REQUIRED	EXISTING	PROPOSED	CHANGE
FLOOR AREA RATIO	0.20	0.1895	0.1935	+ 0.004
LOT AREA	22,500	15,766*	15,766*	NO CHANGE
LOT WIDTH	125	153.7	153.7	NO CHANGE
STREET FRONTAGE	75	136.27	136.27	NO CHANGE
FRONT YARD SETBACK	40	32.7*	28.7**	- 4'-0"
SIDE YARD SETBACK	25	33.3	33.3	NO CHANGE
TOTAL SIDE YARD SETBACK	60	68.9	68.9	NO CHANGE
REAR YARD SETBACK	45	58.5	58.5	NO CHANGE
MAX. BUILDING HEIGHT	9' PER FOOT (24.5' ALLOWED)	7.8" PER FOOT (20.7' EXISTING)	8.6" PER FOOT (20.7' PROPOSED)	+0.8" PER FOOT

* EXISTING NON-CONFORMING
** VARIANCE REQUIRED

NEW PORTICO AT
FRONT DOOR

VASSILIKI
ANDREOPOULOS

52 MINUTEMAN CIRLE
ORANGEBURG NY 10962

MAREN ROBERTSON
ARCHITECTURE

MAREN ROBERTSON ARCHITECT

58 Washington Street
Nyack, NY 10960
Tel: 845-553-5525
marencr@yahoo.com

ISSUE DATES:

ZBA APPLICATION 3/19/25

2 REVISIONS PER B.I. REVIEW 3/17/25

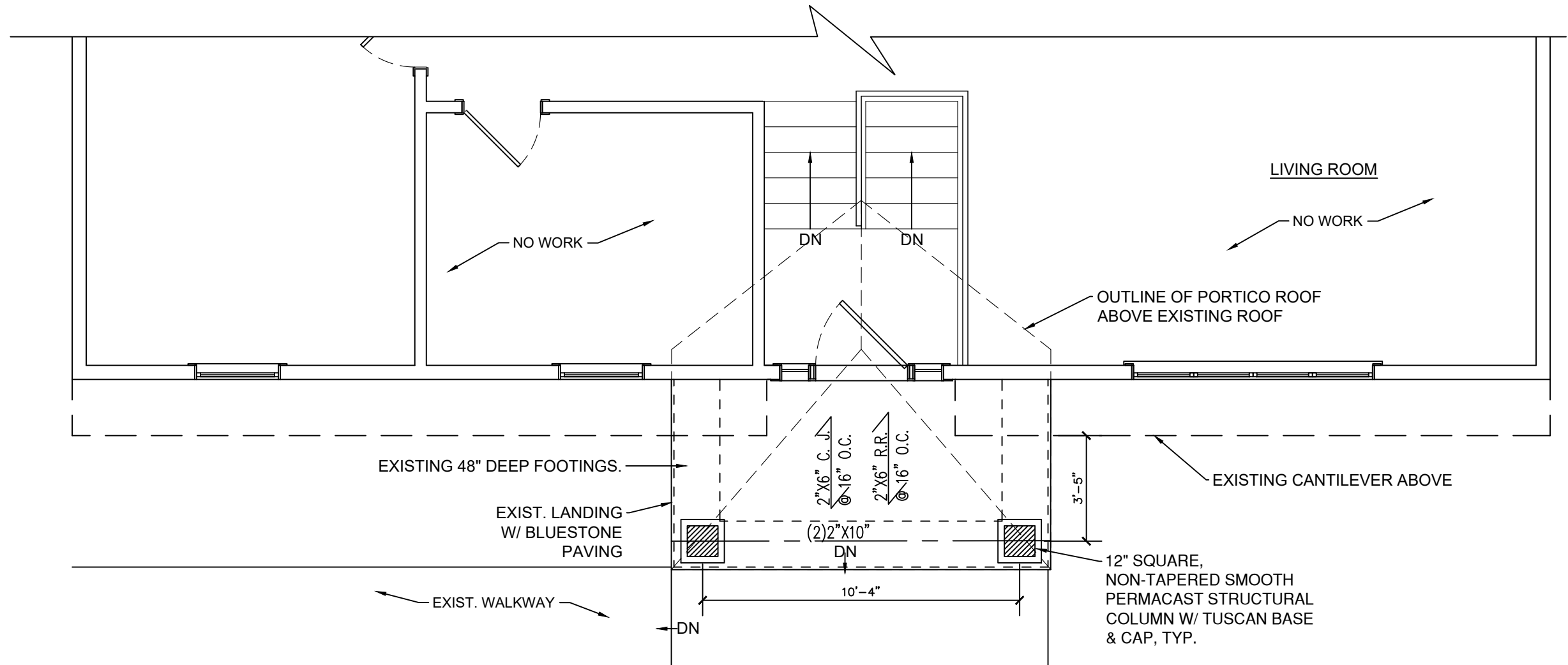
1 REVISIONS PER B.I. REVIEW 3/10/25

PERMIT APPLICATION SET 2/3/25

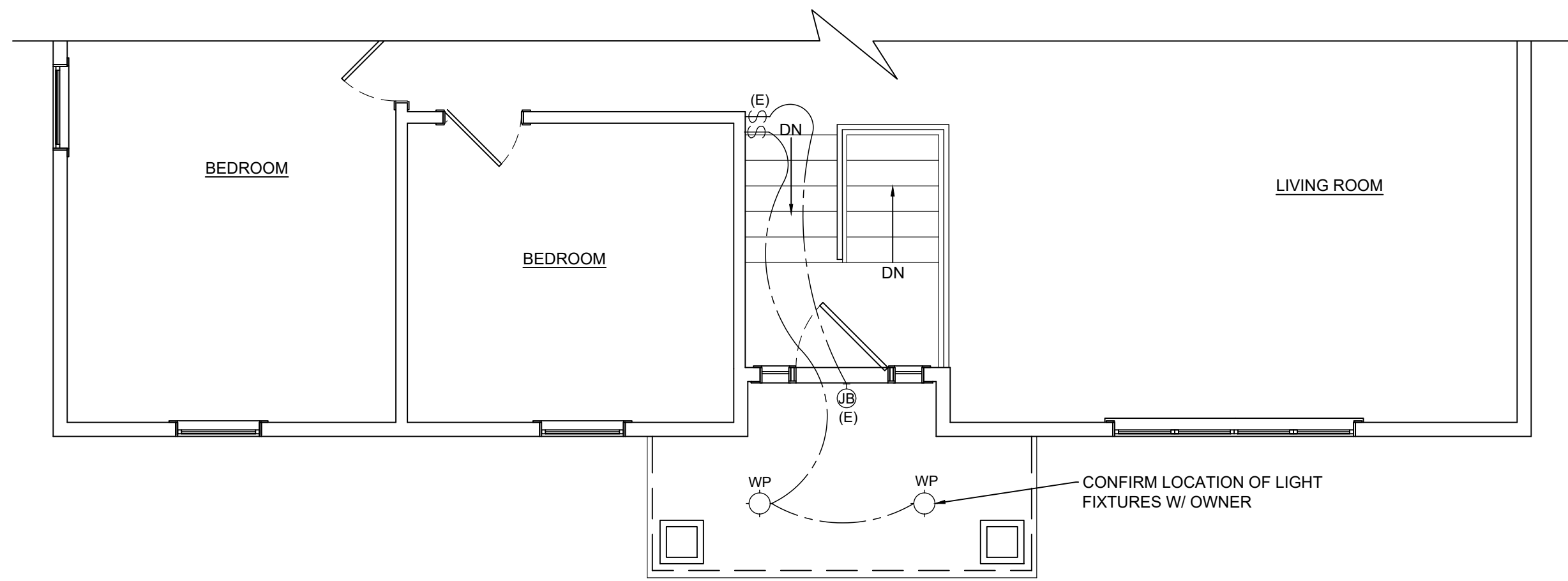
DRAWING TITLE
SITE PLAN
BULK TABLE

PROJECT NO.	2346
DRAWN BY	MCR
SCALE	AS NOTED
DATE	11/15/23

A-0



1
A-1
PORTICO PLAN
SCALE: 1/4" = 1'-0"



2
A-1
PORTICO ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

CONSTRUCTION & DEMOLITION LEGEND

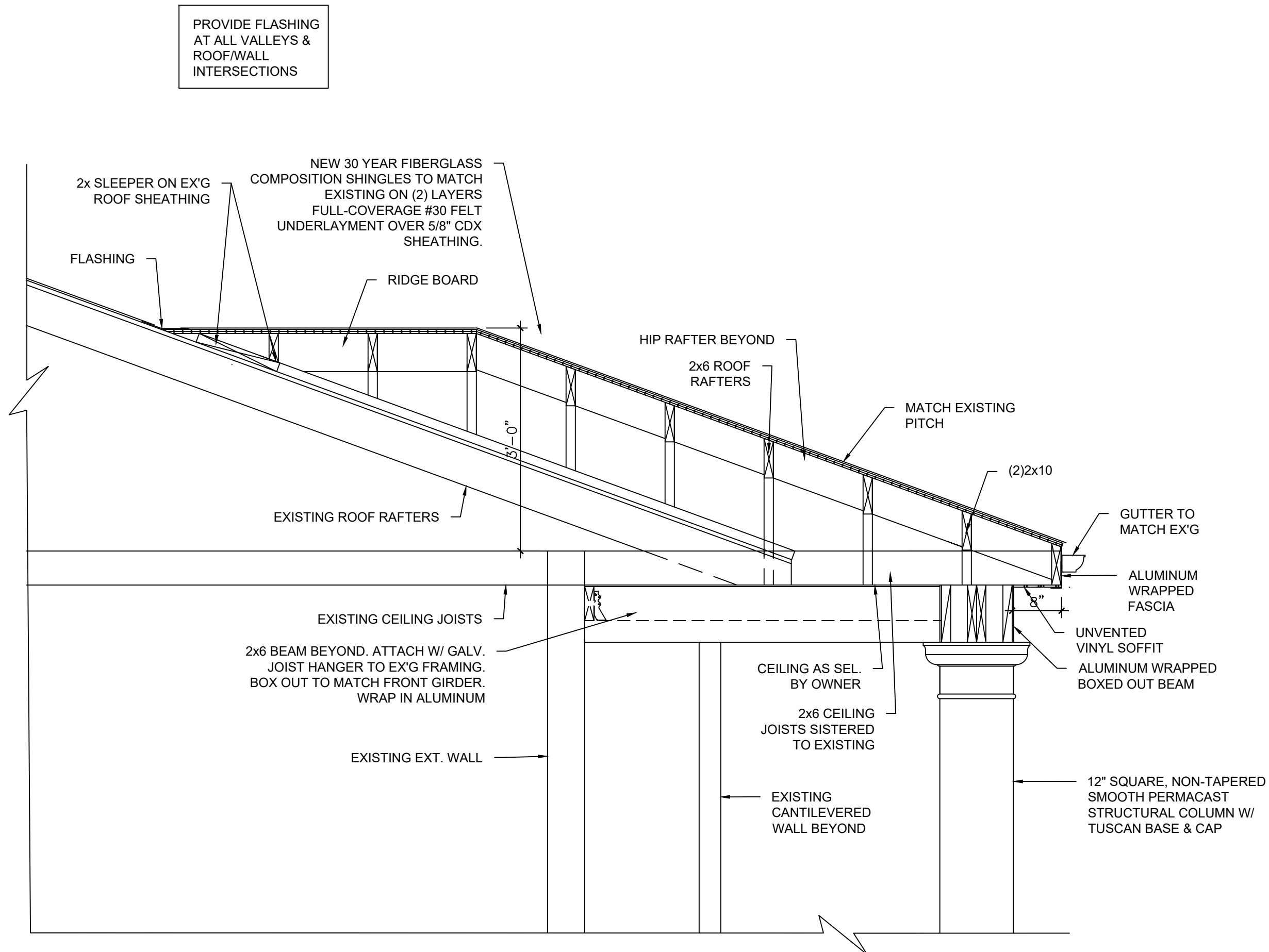
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	EXISTING ROOF TO BE DEMOLISHED
	NEW PARTITION
	SPRAY FOAM INSULATION
	RIGID INSULATION
	BATT INSULATION
	PLYWOOD
	ROUGH WOOD
	BLOCKING
	FINISHED WOOD
	GYPSUM BOARD

ABBREVIATIONS

CLG.	CEILING
CONC.	CONCRETE
DET.	DETECTOR
EQ.	EQUAL
EX'G	EXISTING
EXIST.	EXISTING
GWB	GYPSUM WALL BOARD
GYP. BD	GYPSUM WALL BOARD
HT.	HEIGHT
MANUF.	MANUFACTURER
MAX.	MAXIMUM
MIN.	MINIMUM
PREP.	PREPARE
REQ.	REQUIRED
SEL.	SELECTED
TYP.	TYPICAL
WD.	WOOD

ELECTRICAL LEGEND

	CEILING MOUNTED FIXTURE AS SEL. BY OWNER
	EXTERIOR RECESSED LIGHT FIXTURE AS SELECTED BY OWNER
	EXISTING
	SINGLE POLE SWITCH
	3-WAY SWITCH



3
A-1
PORTICO SECTION
SCALE: 3/4" = 1'-0"

GENERAL NOTES

- DO NOT SCALE THE DRAWINGS. USE DIMENSIONS INDICATED ONLY.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN FIELD. CONTRACTOR TO NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OR IMMEDIATELY UPON DISCOVERY.
- ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. WORK SHALL NOT COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED BY THE LOCAL BUILDING DEPARTMENT.
- ALL WOOD IN CONTACT WITH CONCRETE, MASONRY AND/OR SOIL SHALL BE PRESSURE-PRESERVATIVE-TREATED.
- INSTALL HANGERS AND CONNECTORS BY SIMPSON STRONG-TIE (SST) AS NOTED ON THE DRAWINGS. INSTALL ALL CONNECTORS WITH NAILS OR SCREWS AS SPECIFIED BY SST. DO NOT SUBSTITUTE CONNECTORS OR FASTENERS. ALL FASTENERS COATINGS SHALL MATCH THE EXTERIOR COATING OF THE SPECIFIED HANGER. HDG TO HDG AND STAINLESS TO STAINLESS.
- ANY EXISTING EXTERIOR WALL CAVITY THAT IS OPENEND SHALL BE FILLED TO THE FULL DEPTH OF THE CAVITY WITH HIGH DENSITY FIBERGLASS INSULATION. MINIMUM R-15. TYPICAL.

**NEW PORTICO AT
FRONT DOOR**

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DRAWING TITLE
**PROPOSED PLANS &
SECTION**

PROJECT NO.	2346
DRAWN BY	MCR
SCALE	AS NOTED
DATE	11/15/23

A-1



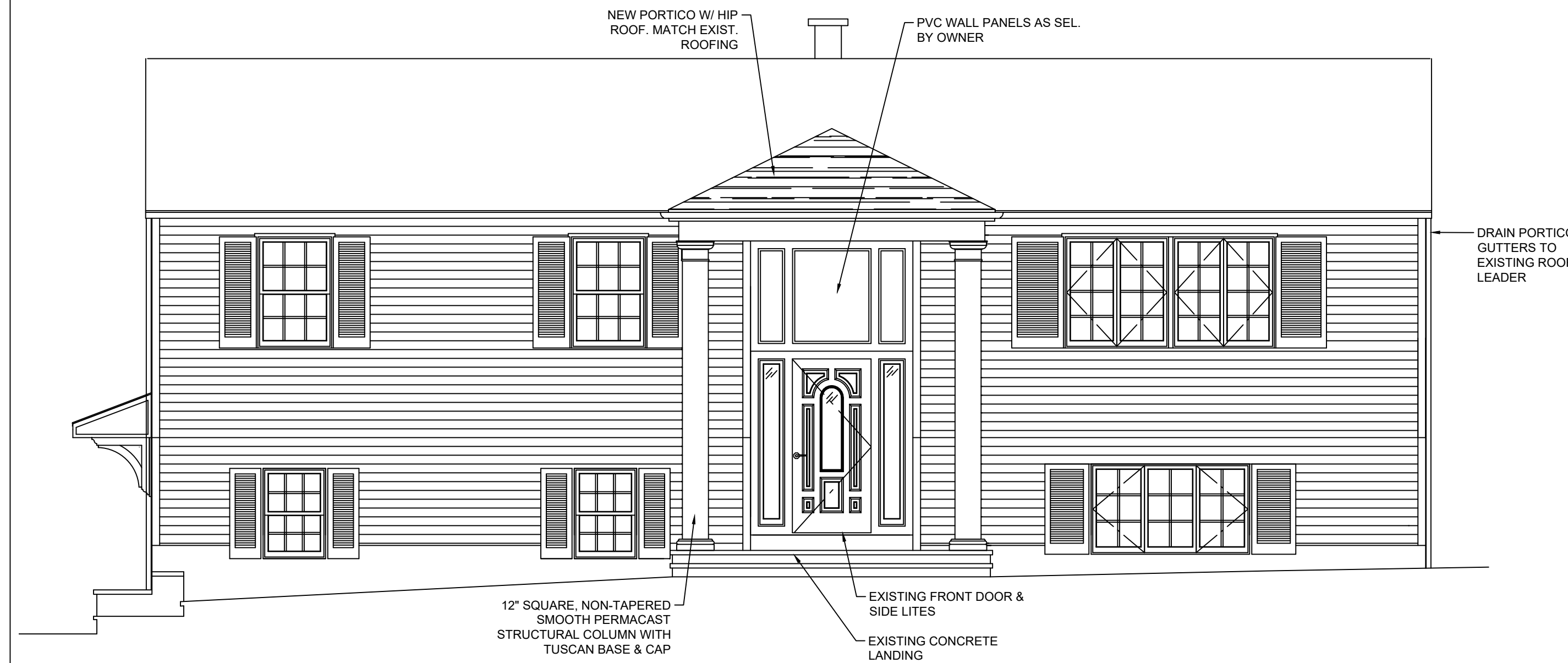
1
A-2
EXISTING FRONT ELEVATION (EAST)
SCALE: 1/4" = 1'-0"



2
A-2
EXISTING SIDE ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"



3
A-2
EXISTING SIDE ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"



4
A-2
PROPOSED FRONT ELEVATION (EAST)
SCALE: 1/4" = 1'-0"



5
A-2
PROPOSED SIDE ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"



6
A-2
PROPOSED SIDE ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"

NEW PORTICO AT FRONT DOOR

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DRAWING TITLE
EXISTING & PROPOSED ELEVATIONS

PROJECT NO.	2346
DRAWN BY	MCR
SCALE	AS NOTED
DATE	11/15/23

A-2