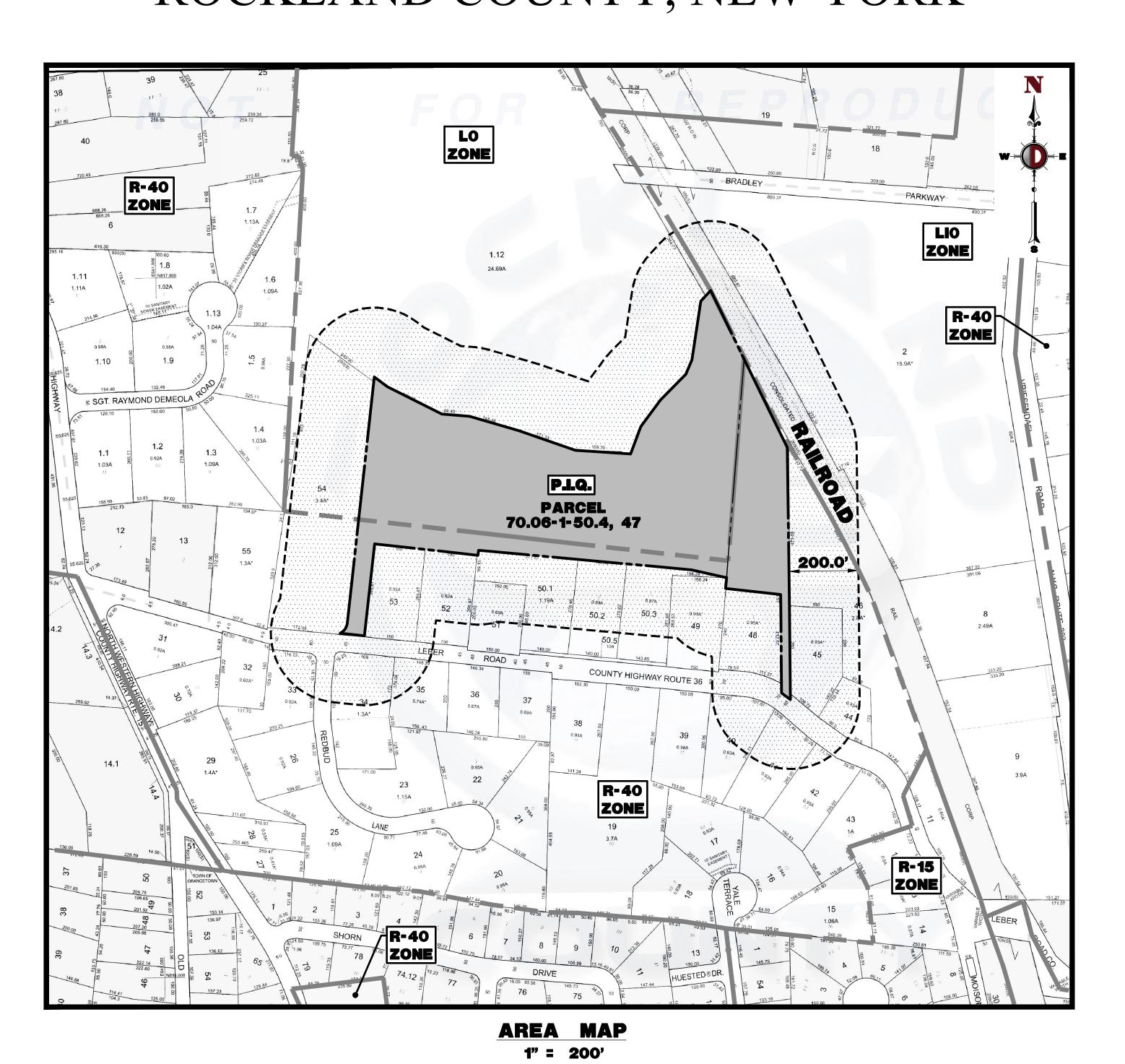
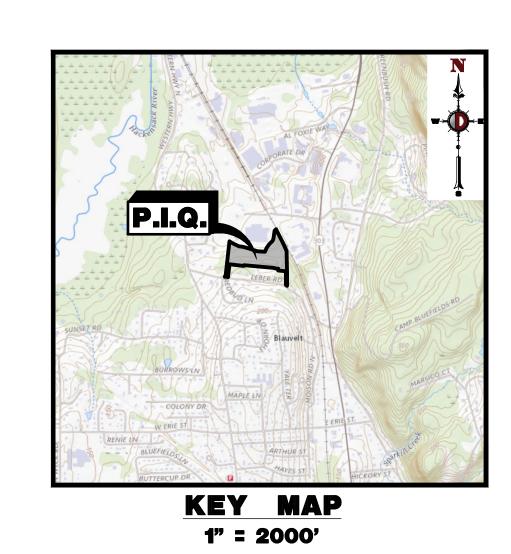
# FINAL SITE PLAN

FOR

## ONYX EQUITIES, LLC PROPOSED ACCESSORY PARKING LOT

PARCEL 70.06-1-50.4 & 47; TAX MAP SHEET #70.06 - LATEST REV. DATED 06-16-1992 64 & 140 LEBER ROAD,
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

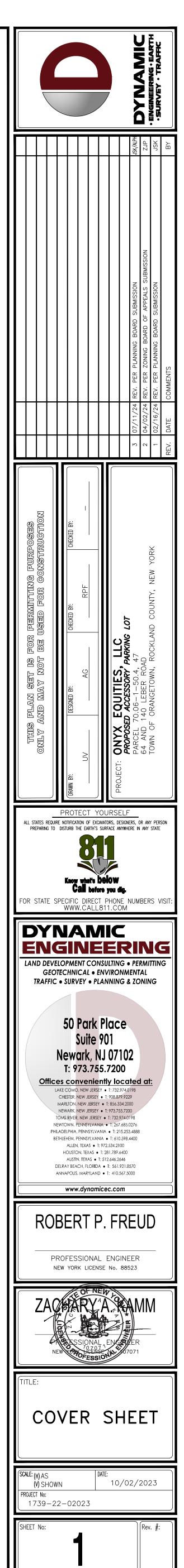




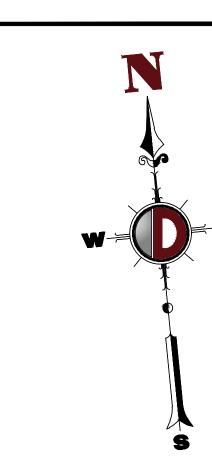
**DRAWING INDEX** XISTING CONDITIONS PLA DEMOLITION PLAN 'A' -7 - 8 of 30 ITE PLAN 'A' — 'B GRADING PLAN 'A' – 'E 10 - 11 of 30 VERALL DRAINAGE AND UTILITY PLAN 13 - 14 of 30 15 - 16 of 30 DRAINAGE AND UTILITY PLAN 'A' -TORM PROFILES 17 - 18 of 30 LANDSCAPE PLAN 'A' -LIGHTING PLAN 'A' - 'B' SOIL EROSION AND SEDIMENT CONTROL PLAN 'A' - 'B'
SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS 21 - 22 of 30 CONSTRUCTION DETAILS 24- 28 of 30 VEHICLE CIRCULATION PLAN (CAR CARRIER TRAILER) 29 of 30 VEHICLE CIRCULATION PLAN (FIRE) 30 of 30

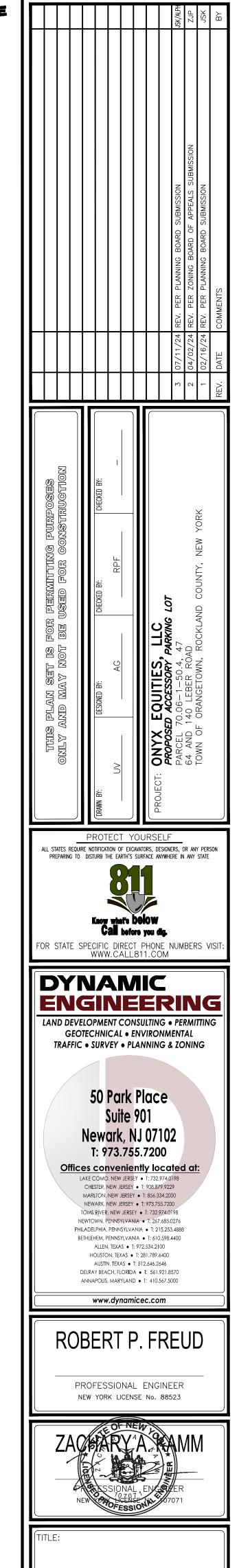
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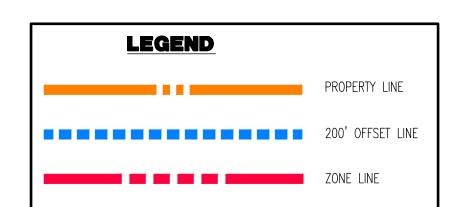
DYNAMIC ENGINEERING CONSULTANTS, P.C.
50 PARK PLACE - SUITE 901
NEWARK, NJ 07102
WWW.DYNAMICEC.COM

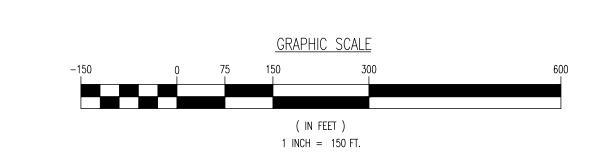










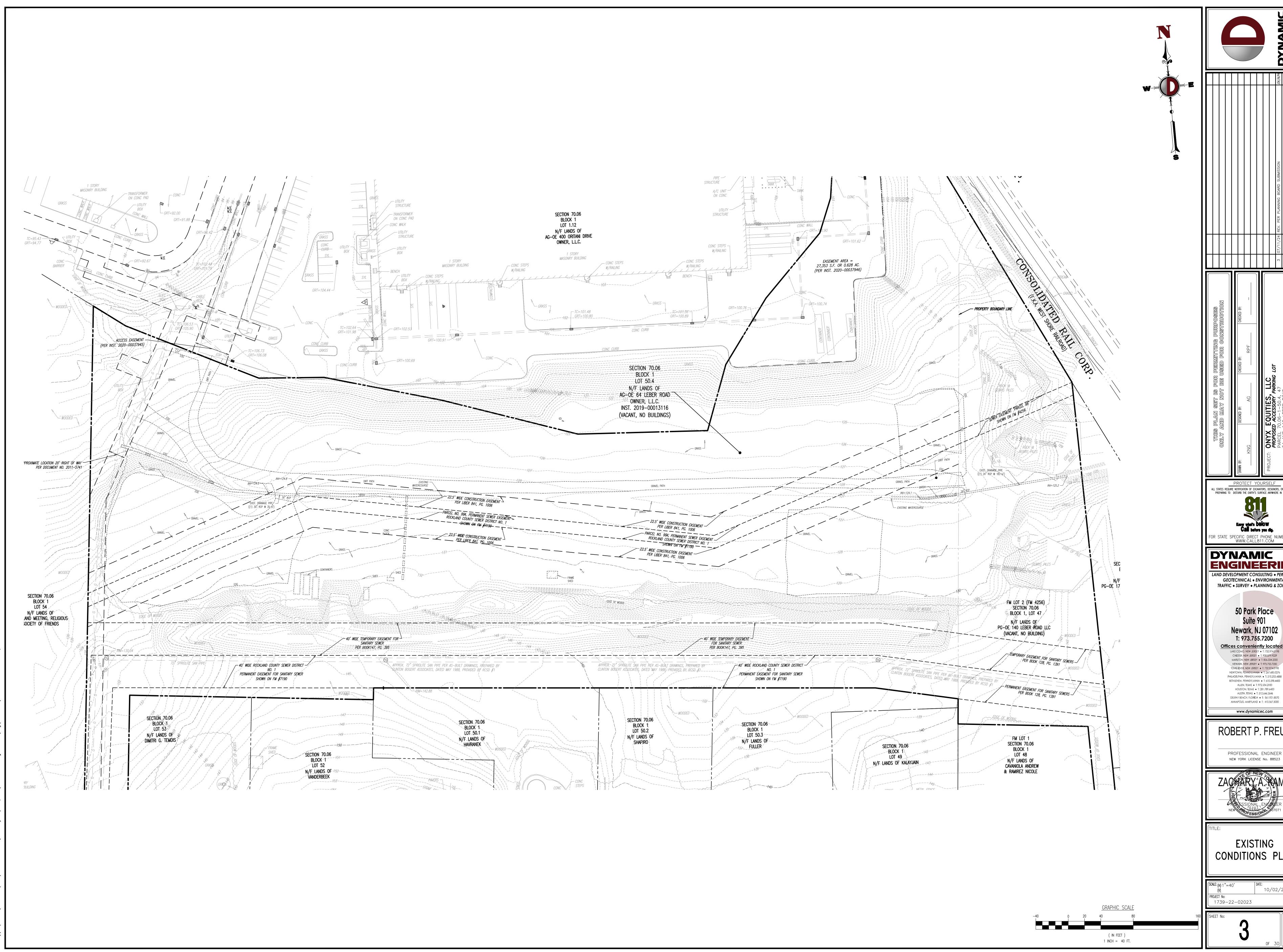


THE AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED ON IMAGERY PREPARED BY DIGITAL GLOBE, GEO EYE AND USDA FARM SERVICE AGENCY. THIS IMAGERY WAS PROVIDED BY GOOGLE MAPS ON 07/18/22. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.

1739-22-02023

AERIAL MAP





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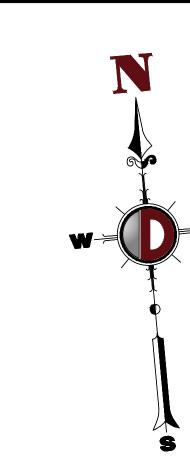
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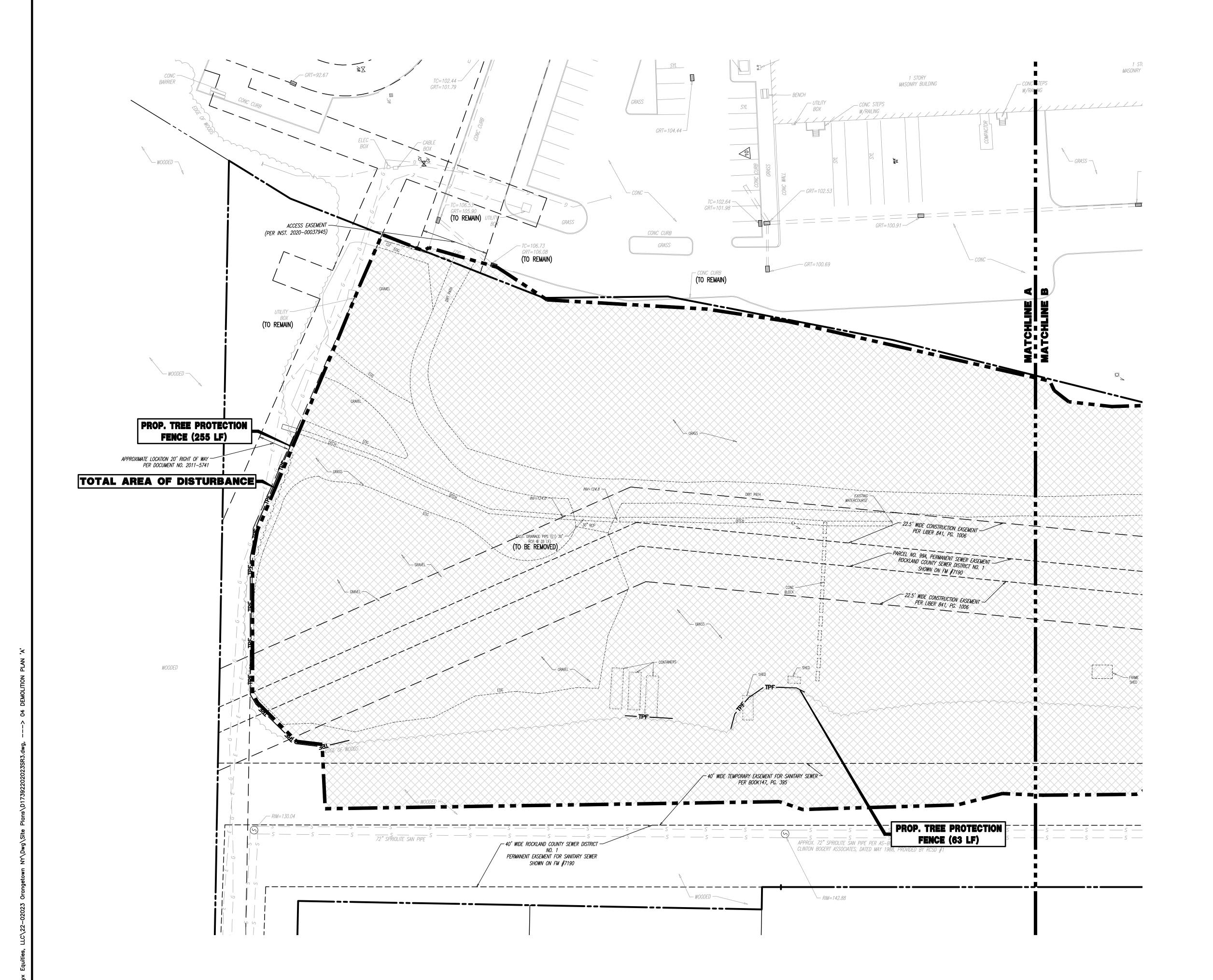
ROBERT P. FREUD

PROFESSIONAL ENGINEER NEW YORK LICENSE No. 88523



**EXISTING** CONDITIONS PLAN





#### **DEMOLITION NOTES**

- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- 2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
- 3. COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
- 4. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
- 5. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND.
- 6. BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
- 7. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
- 8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
   9. DEMOLISH AND REMOVE ALL FOUNDATION WALLS. FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION
- 9. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAVEMENT OR, BREAK BASEMENT FLOOR SLABS. SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REVIEW STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, CRAWL SPACE OR ANY SUB—STRUCTURE EXISTS. ANY SUB—STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
- 10. ERECT AND MAINTAIN COVERED PASSAGEWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS. PLACE THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY.
- 11. REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
- 12. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
- USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
   ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- 15. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREA TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE THE SUPERACE AD METERIAL LAYERS AND TO ROOT SHEET OF STANDING WATER AT PLACEMENT TO 95% OPTIMUM DENSITY.
- GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.

  16. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
- 17. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
- 18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.
- 19. VERIFY THAT ALL ENVIRONMENTAL CONCERNS INCLUDING BUT NOT LIMITED TO ASBESTOS, LEAD BASED PAINT, HAZMAT MATERIALS, UNDERGROUND STORAGE TANKS, AND TRANSFORMERS HAVE BEEN REMOVED PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES. THESE ARE NOT SHOWN ON THE PLANS. REFER TO ENVIRONMENTAL REPORTS AND DOCUMENTS FOR LOCATIONS AND DISPOSAL PROCEDURES.

## NOTES 1. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.

- 2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
- ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE MAIN FOR WATER, AT THE CLEAN—OUT FOR SEWER AND THE SHUT—OFF VALVE OR MAIN FOR GAS IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.

  4. ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.
- 4. ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.

  5. CONTOURS ARE IN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

### 6. THE MAXIMUM SOIL EXPOSURE LIMIT IS 14 DAYS.

PROPOSED LIMIT OF DISTURBANCE LINE

- PROPOSED TREE PROTECTION FENCE LINE

- EXISTING IMPROVEMENTS TO BE REMOVED UNLESS OTHERWISE NOTED

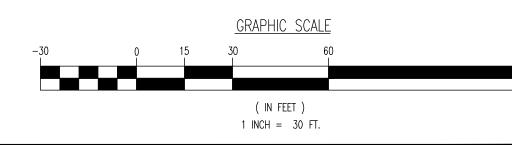
- TREES TO REMAIN

- TREES TO BE REMOVED

- TREES TO BE TRANSPLANTED/RELOCATED

TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)

NOTE: ALL EXISTING UTILITIES TO REMAIN, UNLESS SPECIFICALLY NOTED.



THIS PLAIN SET IS FOR PERMITTING PURIPOSE

ONILY AND INDIVIDE MAY NOT BE USED FOR CONSTRUCT

ONY EQUITIES, LLC

PROJECT: ONY EQUITIES, LLC

PROPOSED ACCESSORY PARKING LOT

PARCEL 70.06—1—50.4, 47

64 AND 140 LEBER ROAD

TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK

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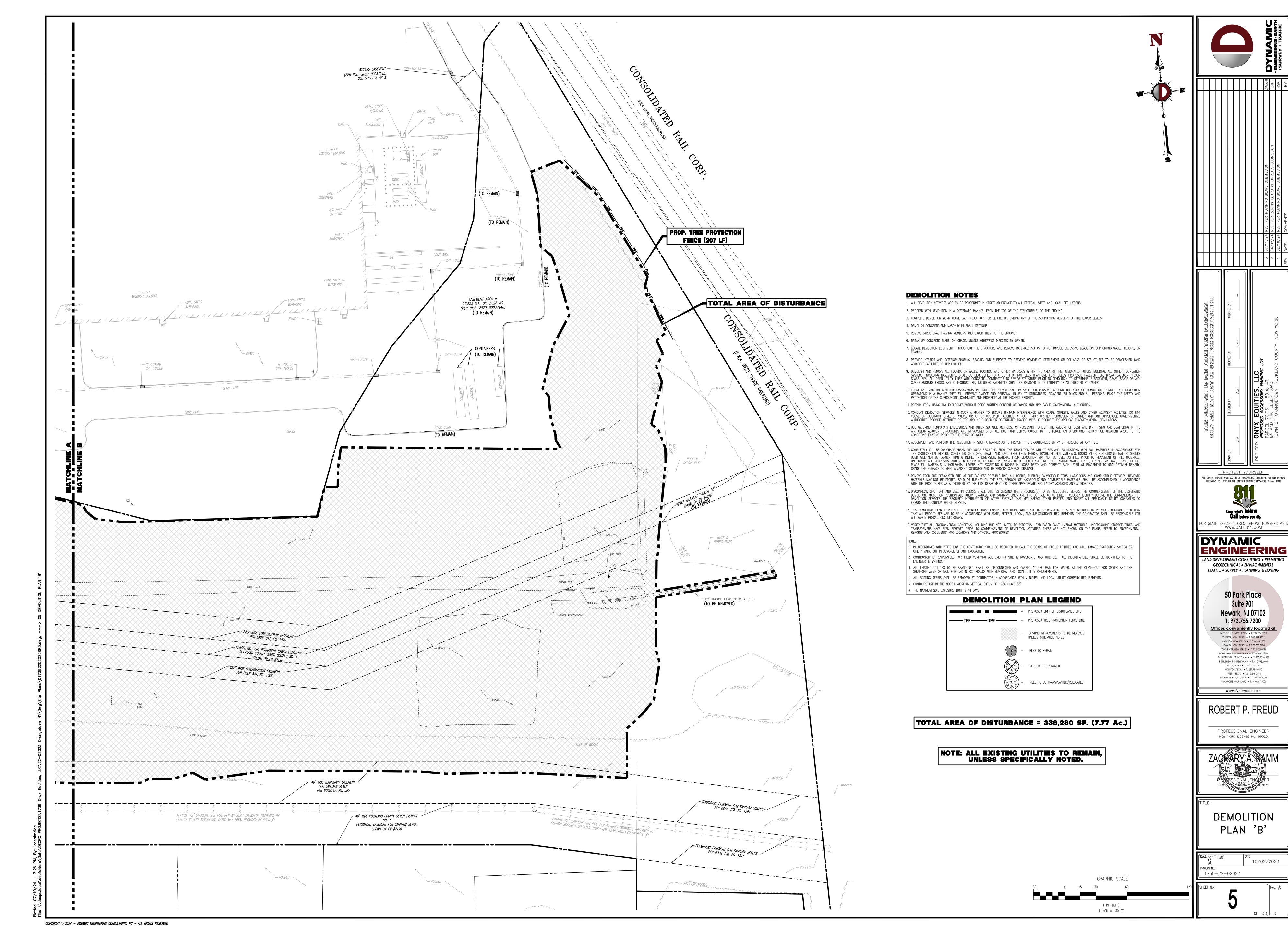


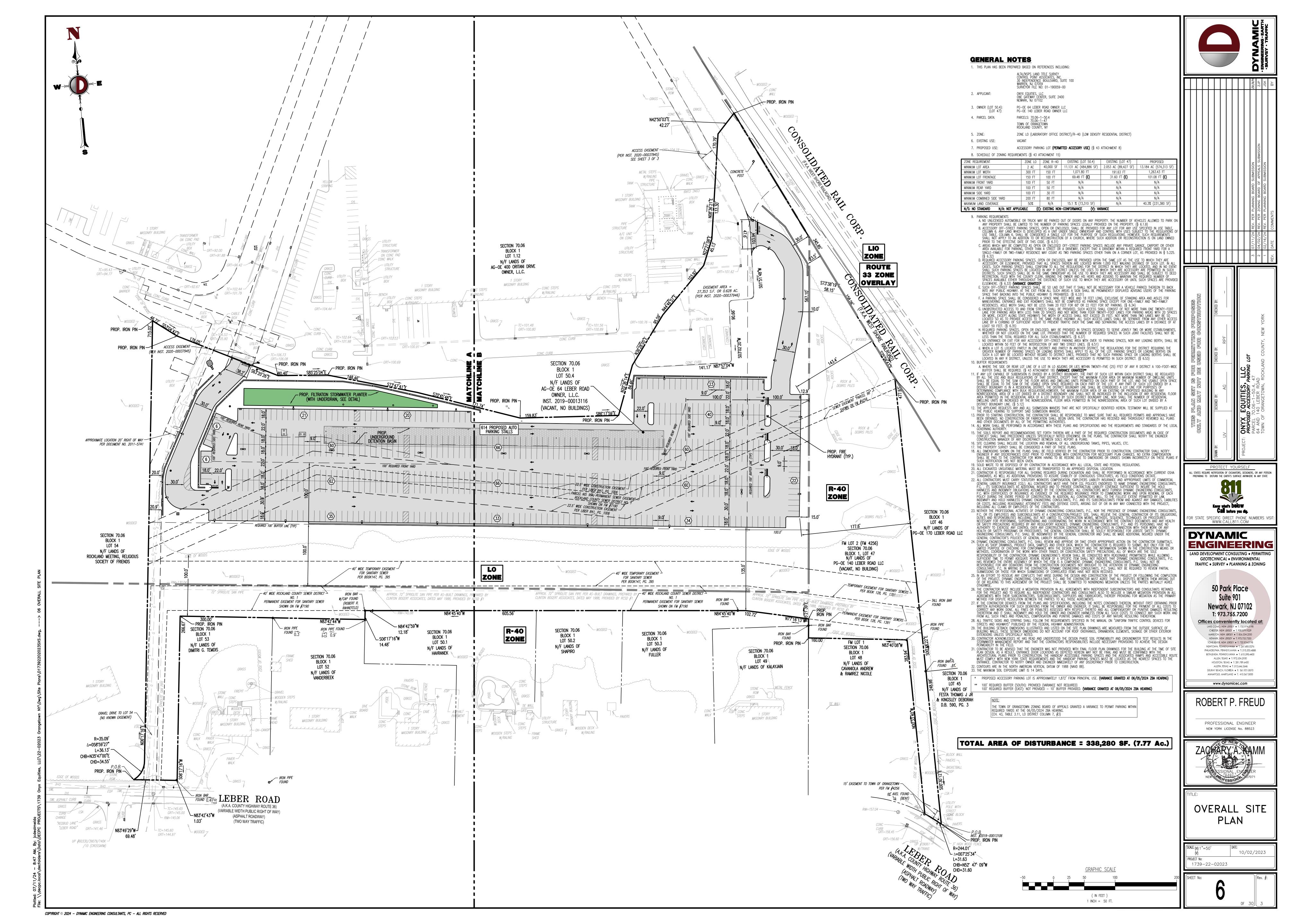
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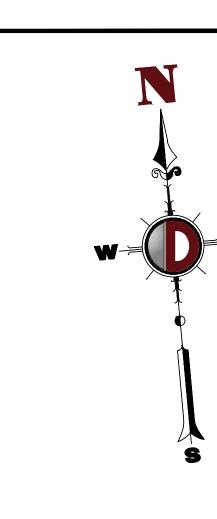
PLAN 'A'

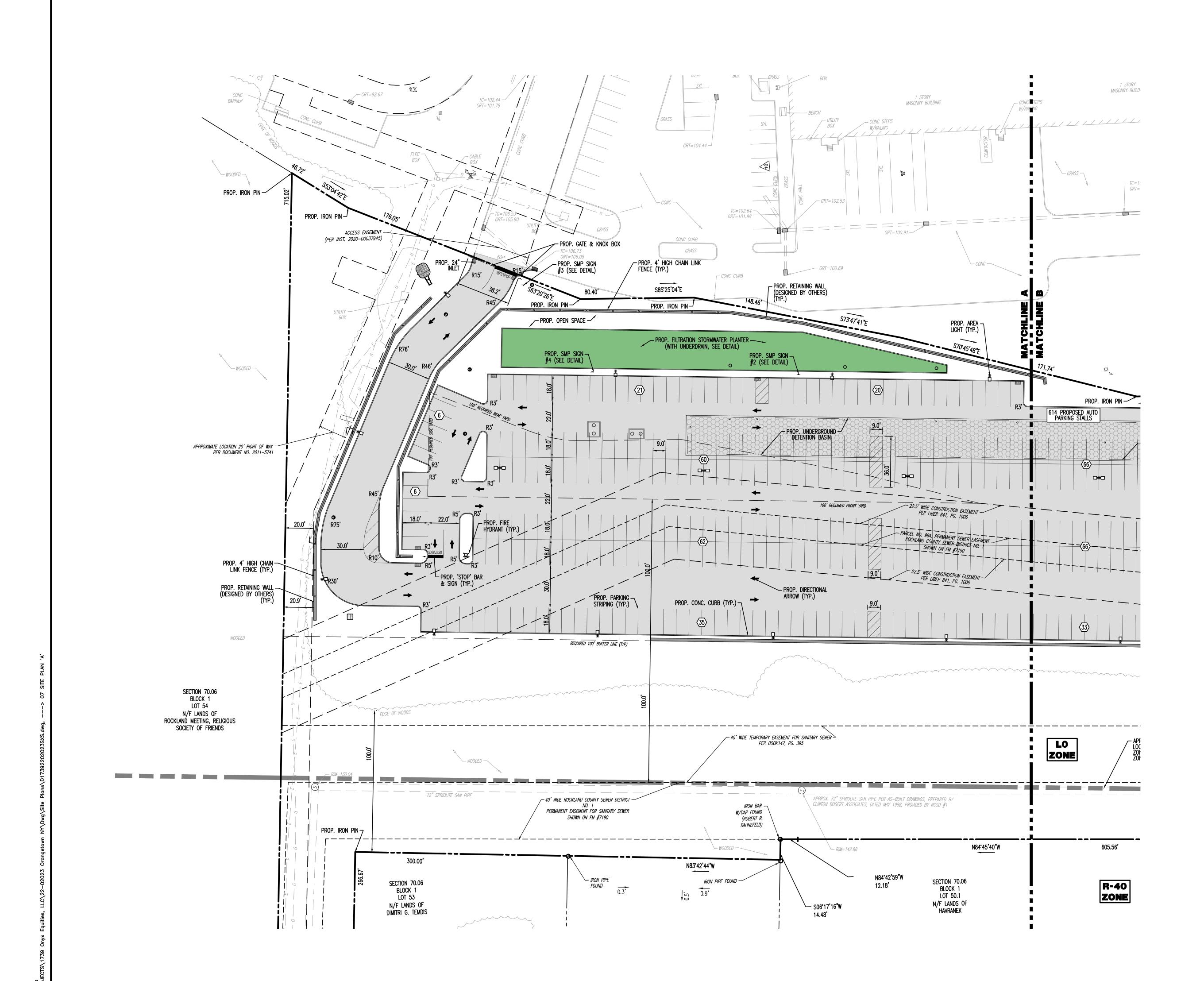
SCALE: (H) 1"=30' DATE: (V) 10/02/2023 PROJECT No: 1739-22-02023

**4**OF 30
Rev. #:









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SITE PLAN 'A'

1739-22-02023

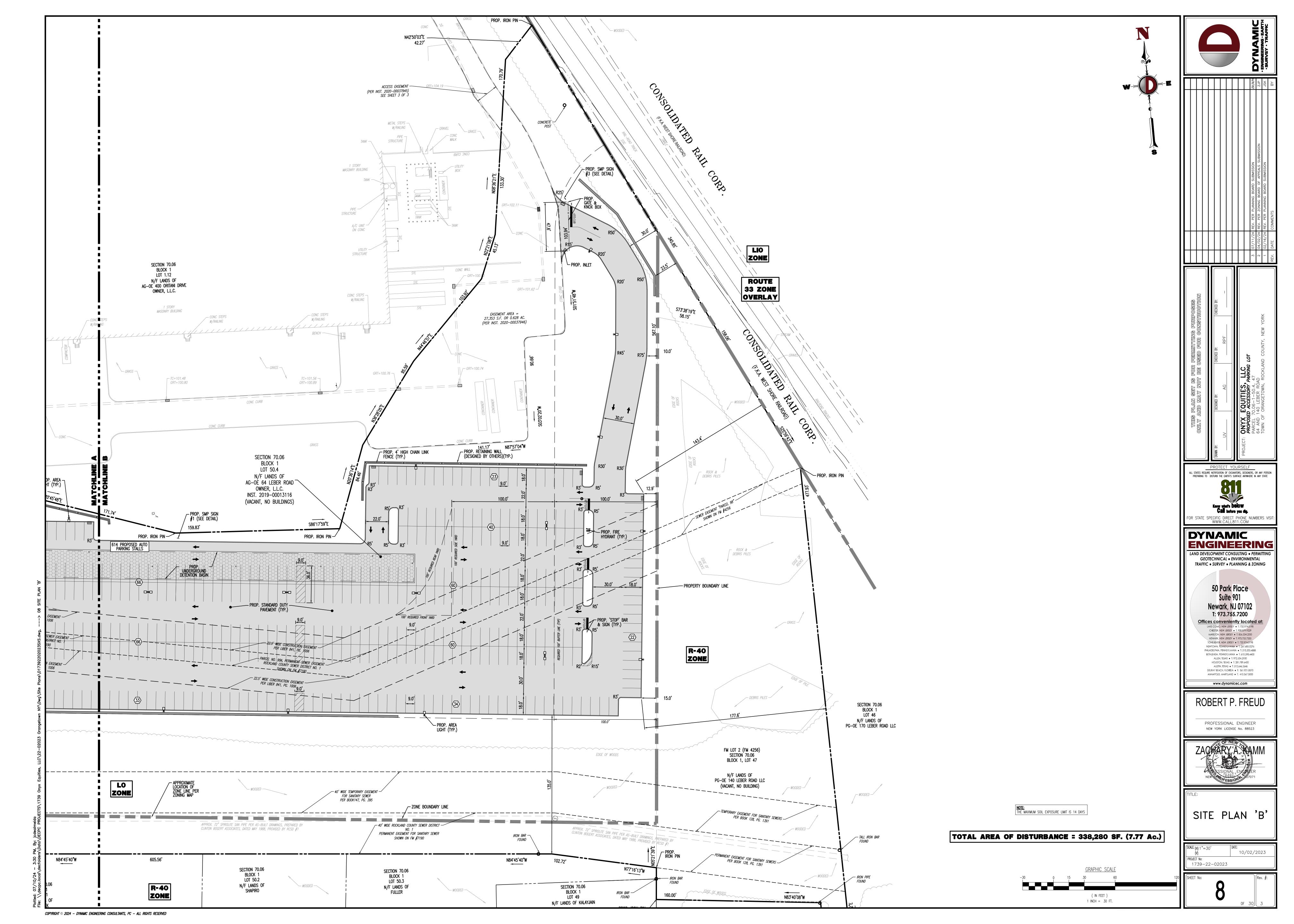
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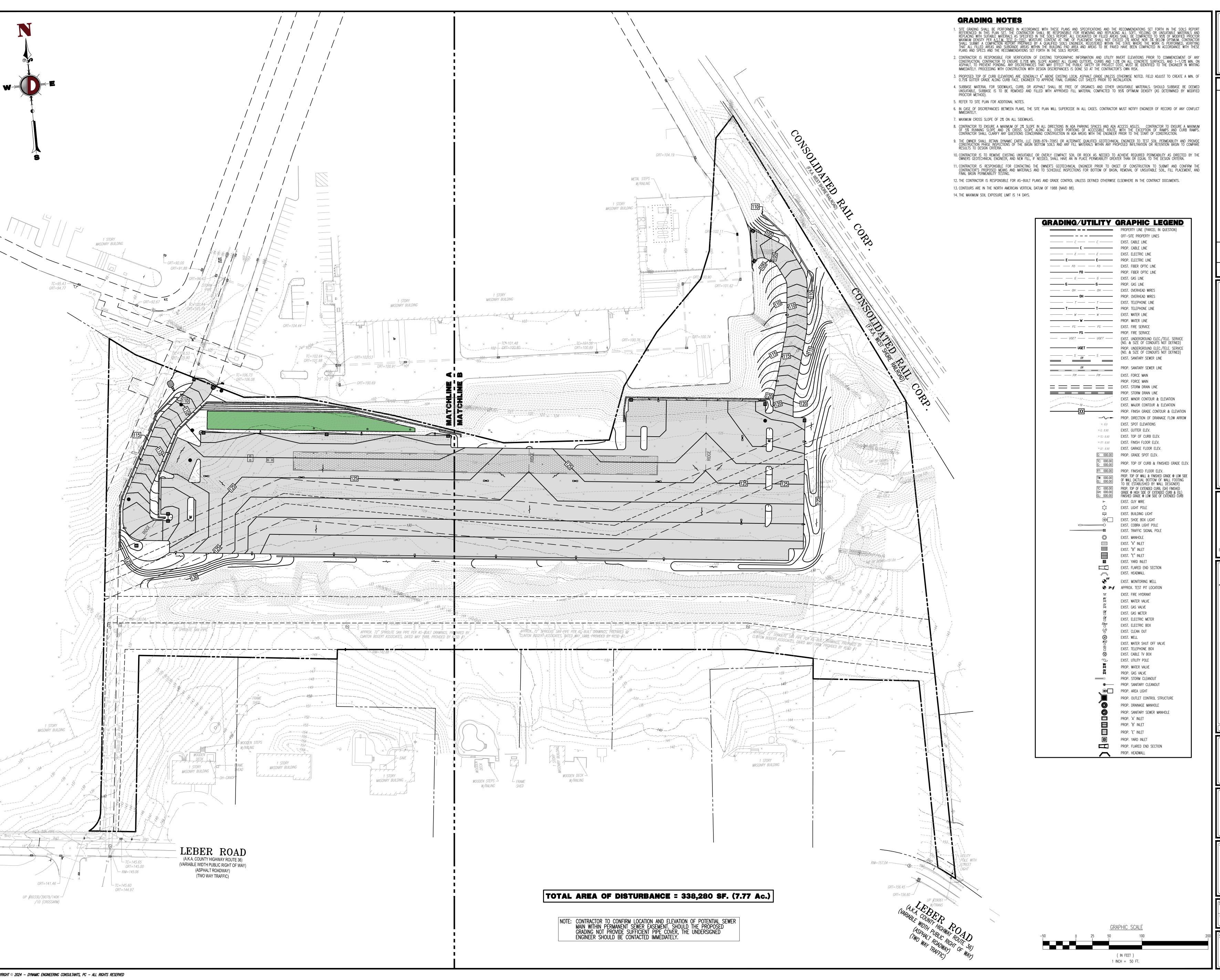
NOTE:
THE MAXIMUM SOIL EXPOSURE LIMIT IS 14 DAYS

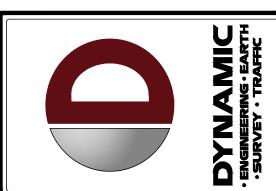
TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)

( IN FEET ) 1 INCH = 30 FT.

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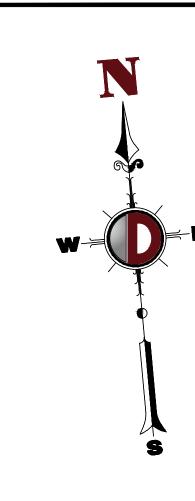
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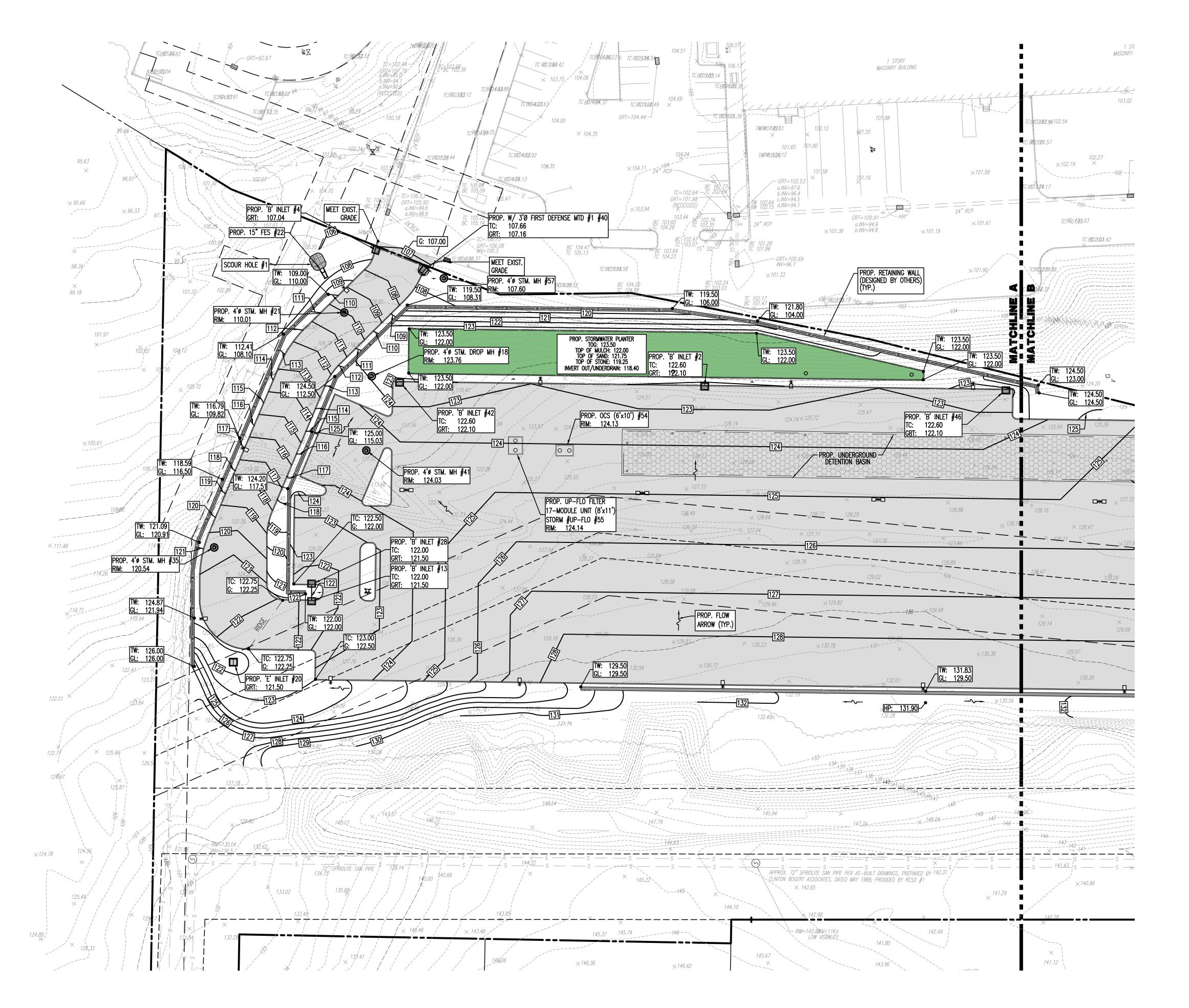
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**OVERALL** GRADING PLAN





#### **GRADING NOTES**

## . SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.

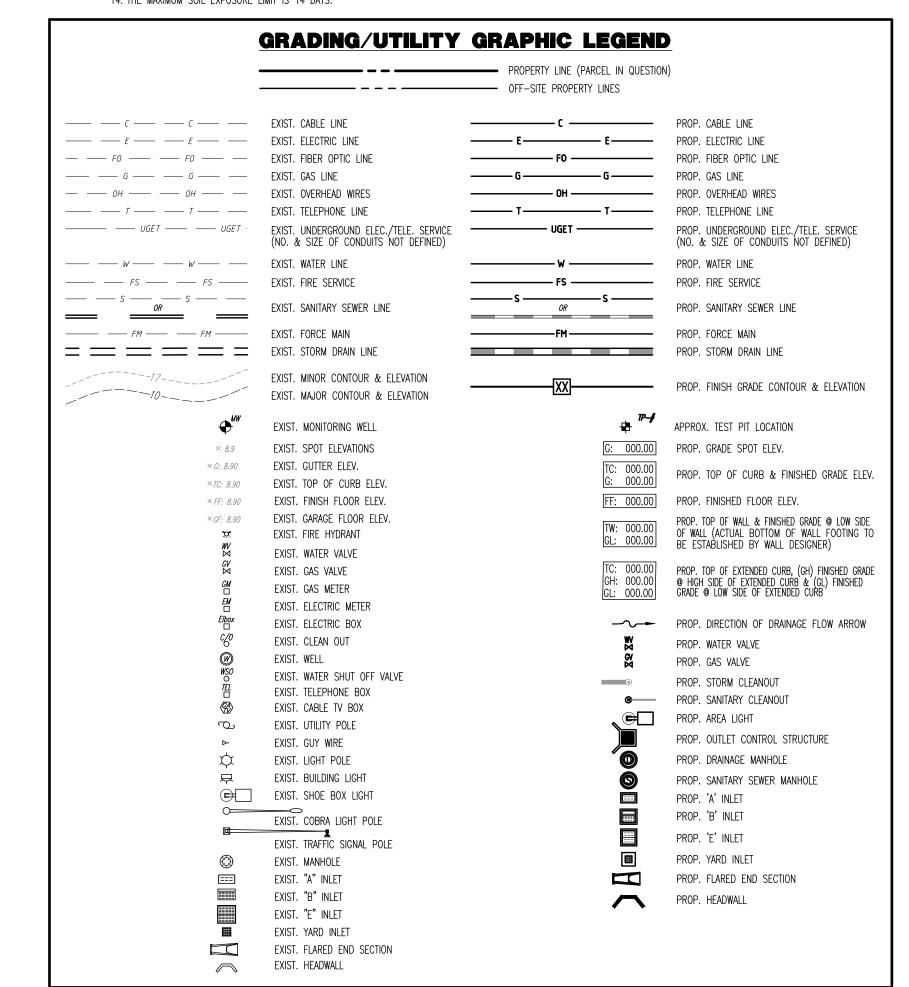
- 2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL ISLAND GUTTERS, CURBS AND 1.0% ON ALL CONCRETE SURFACES, AND 1-1/2% MIN. ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY EFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- O.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.

  4. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
   MAXIMUM CROSS SLOPE OF 2% ON ALL SIDEWALKS.
- 8. CONTRACTOR TO ENSURE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESS AISLES. CONTRACTOR TO ENSURE A MAXIMUM OF 5% RUNNING SLOPE AND 2% CROSS SLOPE ALONG ALL OTHER PORTIONS OF ACCESSIBLE ROUTE, WITH THE EXCEPTION OF RAMPS AND CURB RAMPS. CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- THE OWNER SHALL RETAIN DYNAMIC EARTH, LLC (908-879-7095) OR ALTERNATE QUALIFIED GEOTECHNICAL ENGINEER TO TEST SOIL PERMEABILITY AND PROVI CONSTRUCTION PHASE INSPECTIONS OF THE BASIN BOTTOM SOILS AND ANY FILL MATERIALS WITHIN ANY PROPOSED INFILTRATION OR RETENTION BASIN TO COMPA RESULTS TO DESIGN CRITERIA.
- OWNERS GEOTECHNICAL ENGINEER, AND NEW FILL, IF NEEDED, SHALL HAVE AN IN PLACE PERMEABILITY GREATER THAN OR EQUAL TO THE DESIGN CRITERIA.

  11. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
- FINAL BASIN PERMEABILITY TESTING.

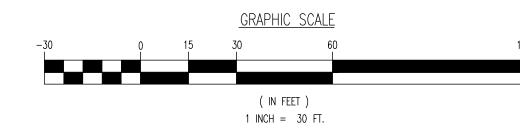
  12. THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.
- 13. CONTOURS ARE IN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

13. CONTOURS ARE IN THE NORTH AMERICAN VERTICAL DATUM OF 14. THE MAXIMUM SOIL EXPOSURE LIMIT IS 14 DAYS.



TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)

NOTE: CONTRACTOR TO CONFIRM LOCATION AND ELEVATION OF POTENTIAL SEWER MAIN WITHIN PERMANENT SEWER EASEMENT. SHOULD THE PROPOSED GRADING NOT PROVIDE SUFFICIENT PIPE COVER, THE UNDERSIGNED ENGINEER SHOULD BE CONTACTED IMMEDIATELY.



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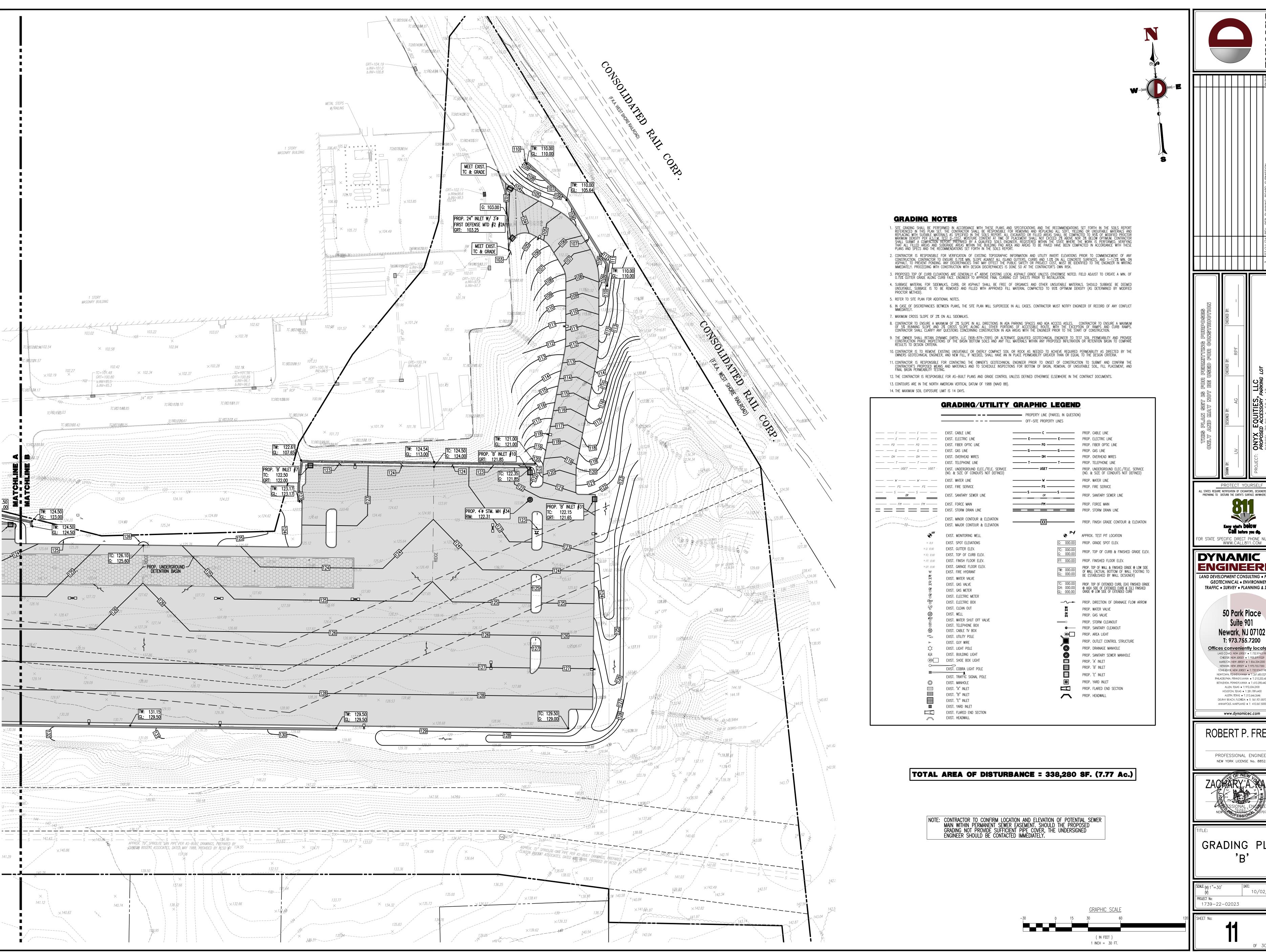


GRADING PLAN

SCALE: (H) 1"=30" DATE: 10/02/2023

PROJECT No: 1739-22-02023

10 OF 30 3



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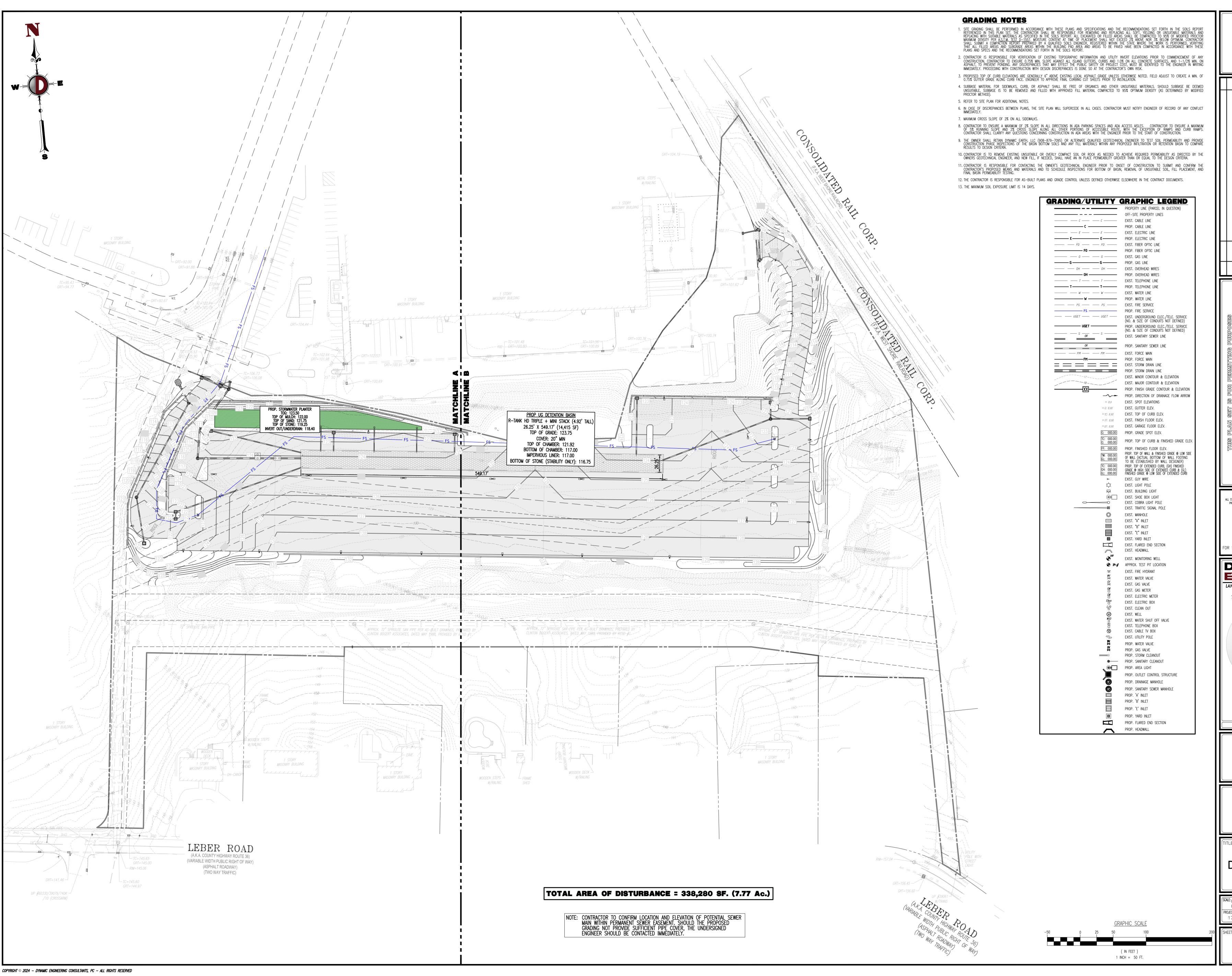
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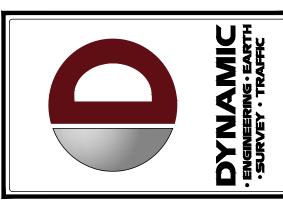
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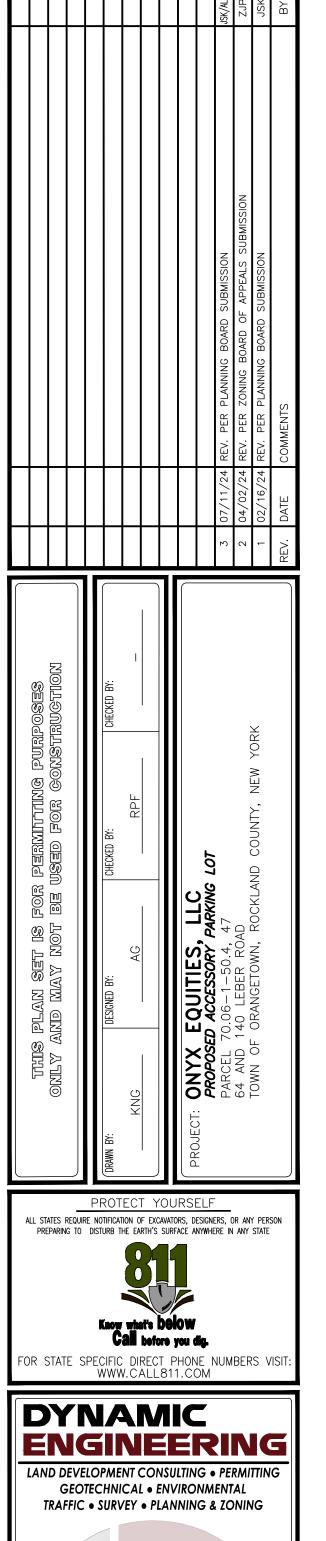
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GRADING PLAN







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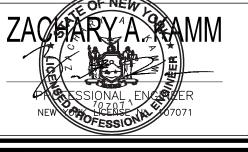
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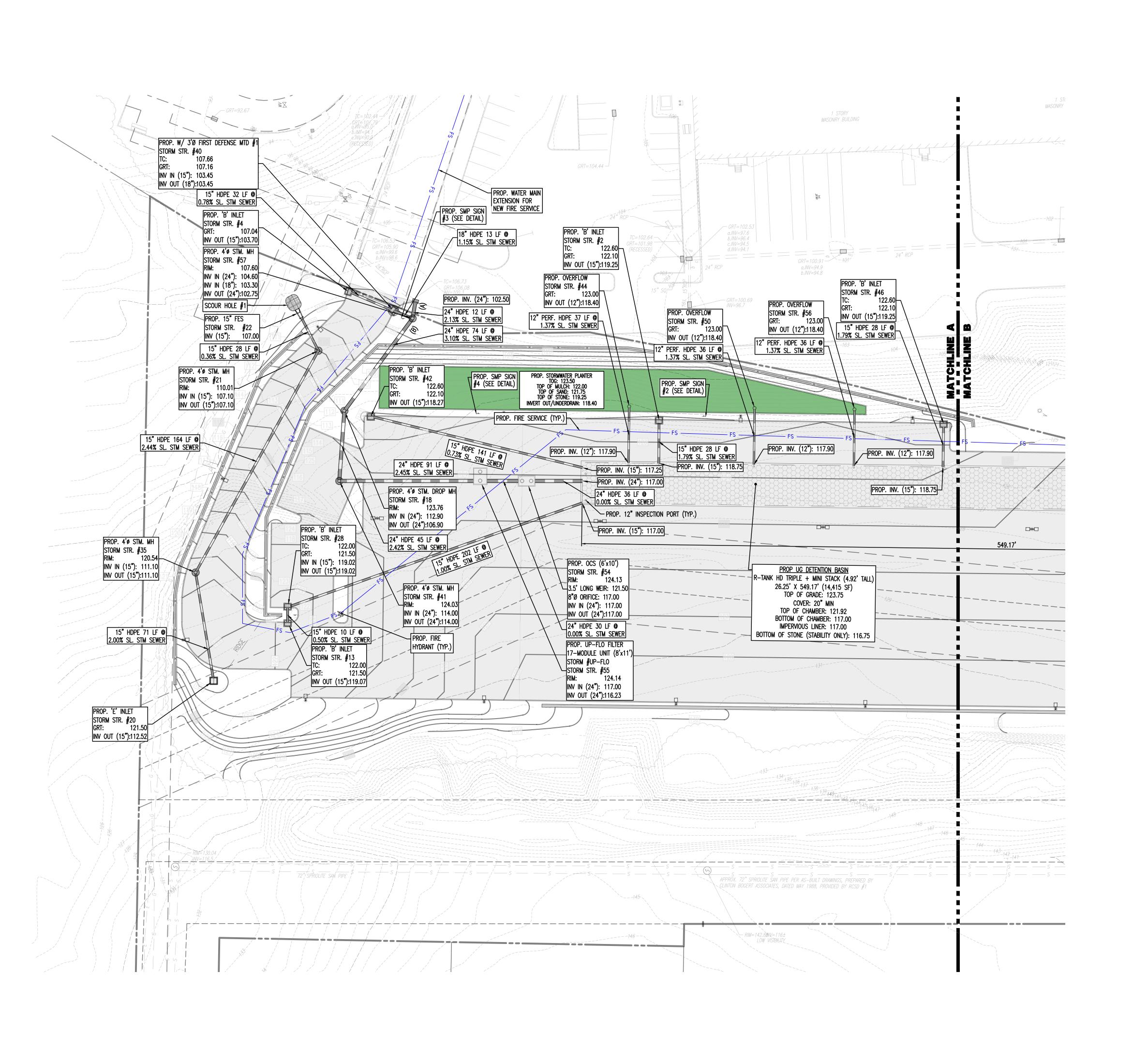
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**OVERALL** DRAINAGE AND UTILITY PLAN





EXISTING WATER SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING WATER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL WATER COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL WATER COMPANY PRIOR TO COMPLETION. IF THE EXISTING WATER SERVICE CAN NOT BE UTILIZED, THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL WATER COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW

EXISTING GAS SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING GAS SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING GAS SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL GAS COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL GAS COMPANY PRIOR TO COMPLETION. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

SANITARY SEWER SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING SEWER SERVICE CONNECTION IF OF ADEQUATE SIZE AND INTEGRITY AND ACCEPTABLE TO LOCAL SEWER AUTHORITY. OTHERWISE CONTRACTOR TO REMOVE EXISTING SEWER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL SEWER AUTHORITY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL SEWER AUTHORITY PRIOR TO COMPLETION. IF EXISTING SEWER SERVICE CAN NOT BE UTILIZED THEN THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL SEWER AUTHORITY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

#### **UTILITY NOTES**

- 1. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE—CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK—OUT THEIR UTILITIES.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
   WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- 5. ALL WATER MAIN SHALL BE CEMENT-LINED, CLASS 52 DUCTILE IRON PIPE, UNLESS OTHERWISE DESIGNATED.
- 6. THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICES SHALL BE 1 INCH.
- 7. ALL SANITARY SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER MAIN AT LEAST 18 INCHES BELOW THE WATER MAIN OR SUCH OTHER SEPARATION AS APPROVED BY THE APPROVING AUTHORITY. WHERE APPROPRIATE CROSSING SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP—ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER MAIN AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL STRUCTURAL SUPPORT FOR STORM SEWER CROSSING OVER SEWER LINES.
- 8. ALL SANITARY SEWER MAINS SHALL BE SDR-35 PVC PIPE MATERIAL UNLESS OTHERWISE DESIGNATED. SEWER PIPES INSTALLED WITH LESS THAN 3 FEET OF COVER, GREATER THAN 20 FEET OF COVER OR WITHIN 18 INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. ALL DUCTILE IRON SEWER PIPE SHALL BE CEMENT-LINED, CLASS 52 PIPE, FURNISHED WITH SEWER COAT, OR APPROVED EQUAL.
- 9. WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10' DEEP AT CONNECTION TO THE SEWER MAIN, CONCRETE DEEP LATERAL CONNECTIONS ARE TO BE UTILIZED.

  10. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILIZATION OF THE EXISTING SEWER MAIN, STRUCTURES AND APPURTENANCES DURING CONNECTION.
- 11. LOCATION & LAYOUT OF GAS, ELECTRIC & TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE. ACTUAL LOCATION & LAYOUT OF THESE UTILITIES & SERVICES ARE TO BE PER THE APPROPRIATE UTILITY PROVIDER.

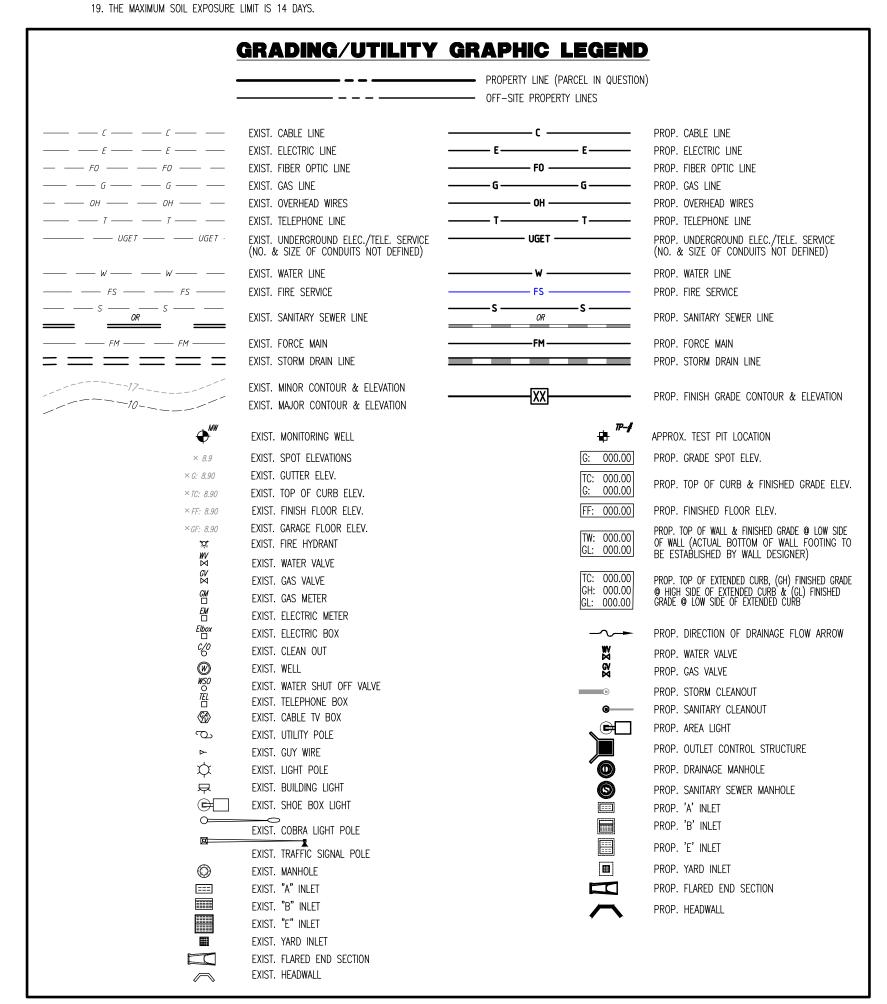
  12. ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED WAY APPOINTED THAN SECRETARIES OF EACH INDIVIDUAL BUILDING ALL POOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 BY CHAIR PROVED THE PROPERTY OF THE PROPERTY
- W/ ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.

  13. ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS.

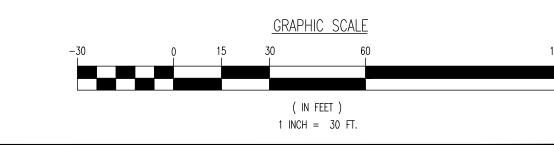
  14. ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- 15. MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS III, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELLIPTICAL STORM PIPE TO CONFORM TO ASTM C-507, CLASS HE-III, UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MORTAR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C 990 TO BE UTILIZED TO PROVIDE A SILT-TIGHT JOINT. WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATERTIGHT AND CONFORM TO ASTM C-443.
- 16. HDPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNULAR EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306. SOLID PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F2306 AND ASTM D3212. PERFORATED PIPE SHALL HAVE GASKETED SILT—TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HDPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HDPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURE RECOMMENDATIONS.
- (36"-60" PIPE). PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 AND ASTM F477. FIELD WATERTIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2487. HP PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HP STORM PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.

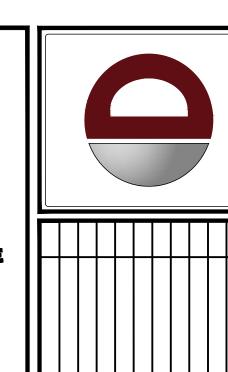
17. HP DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNULAR EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2736 (12"-30" PIPE) AND ASTM F2881

18. PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.



TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)





					07/11/24 REV. PER PLANNING BOARD SUBMISSION	04/02/24 REV. PER ZONING BOARD OF APPEALS SUBMISSION	02/16/24 REV. PER PLANNING BOARD SUBMISSION	COMMENTS
					07/11/24	04/02/24	02/16/24	DATE
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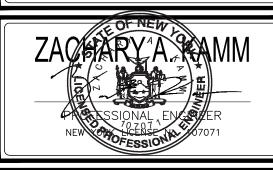
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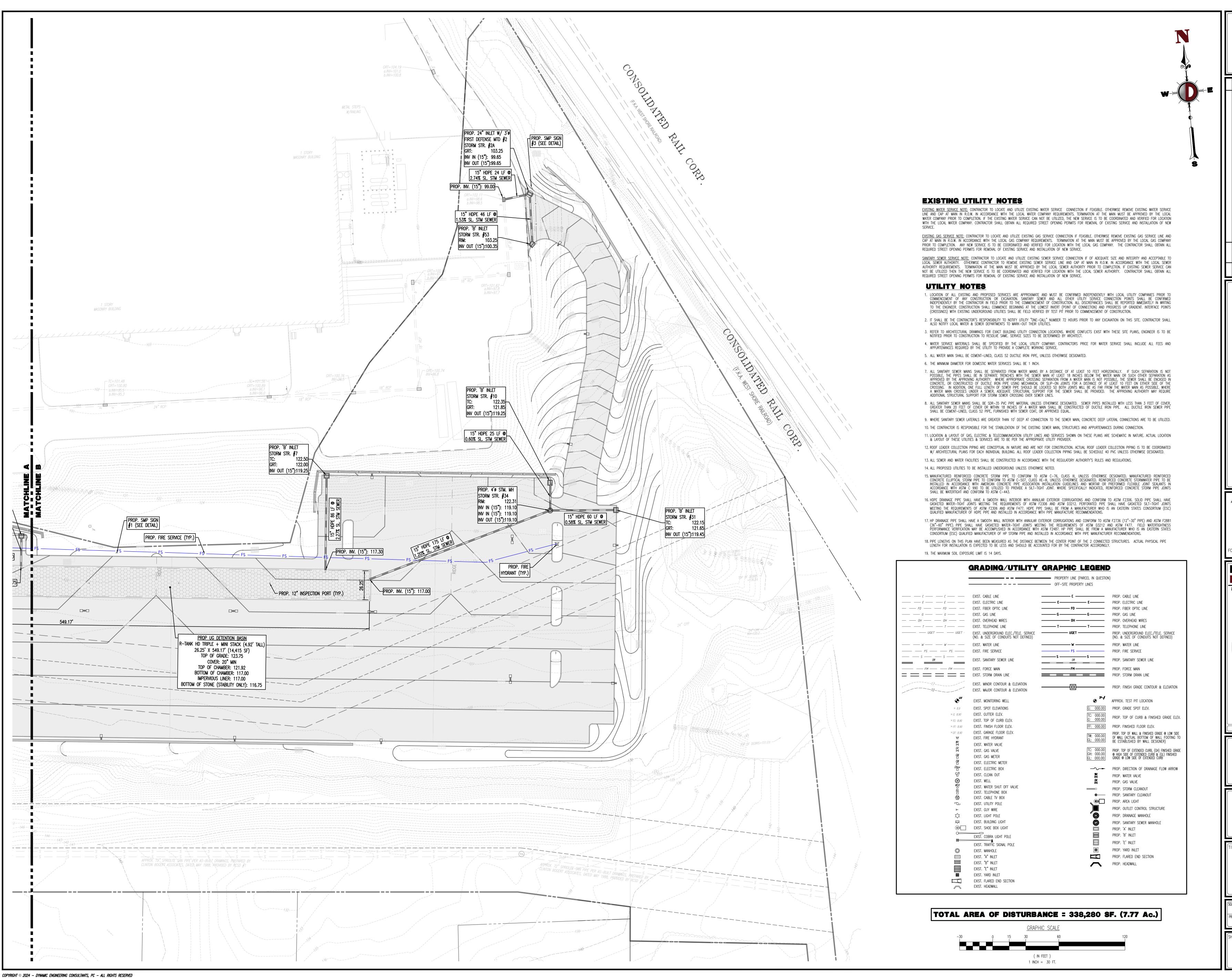


DRAINAGE AND UTILITY PLAN

SCALE: (H) 1"=30' DATE:
(V). 10/02/2023

PROJECT No:
1739-22-02023

OF 30 3



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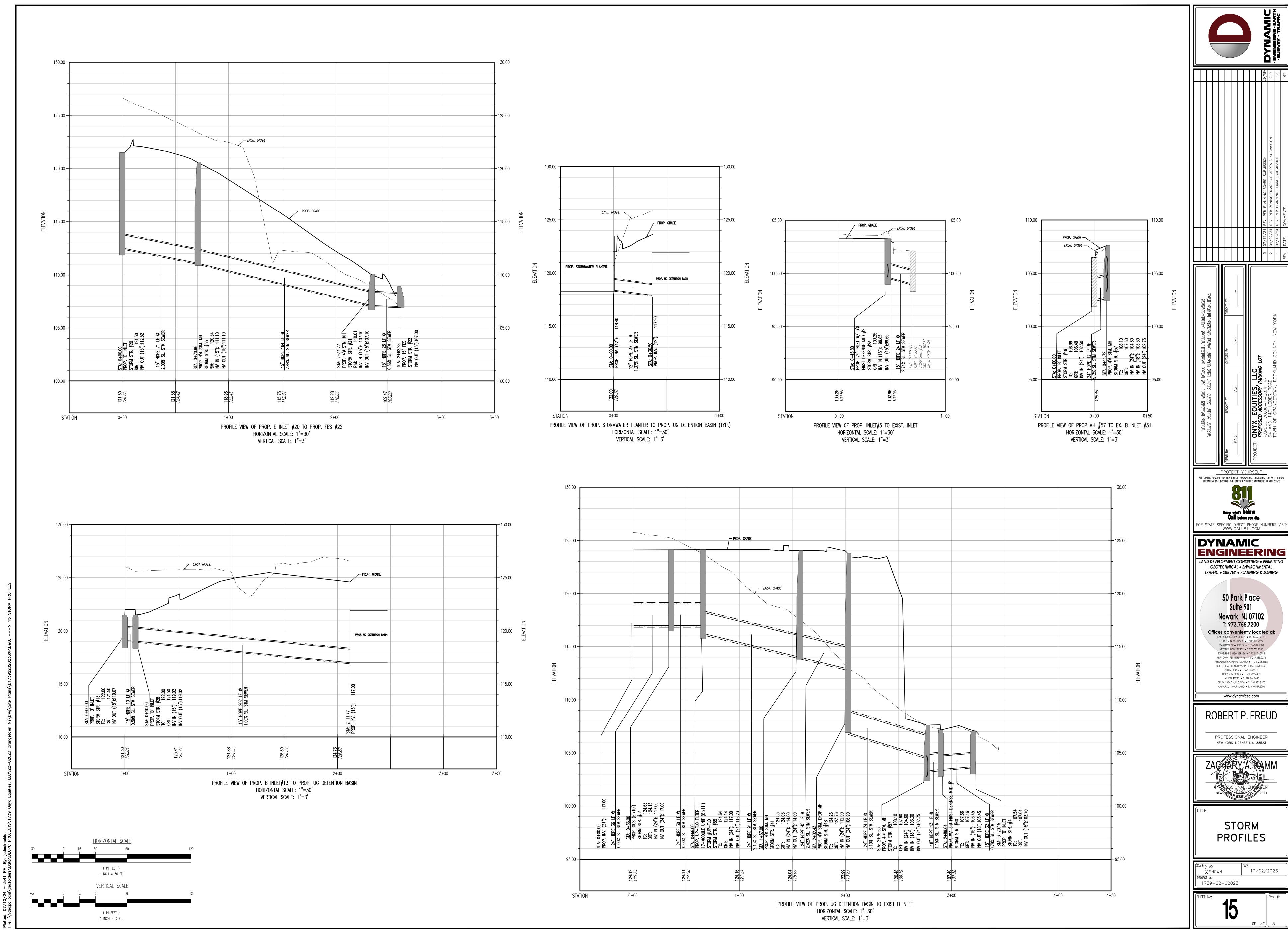
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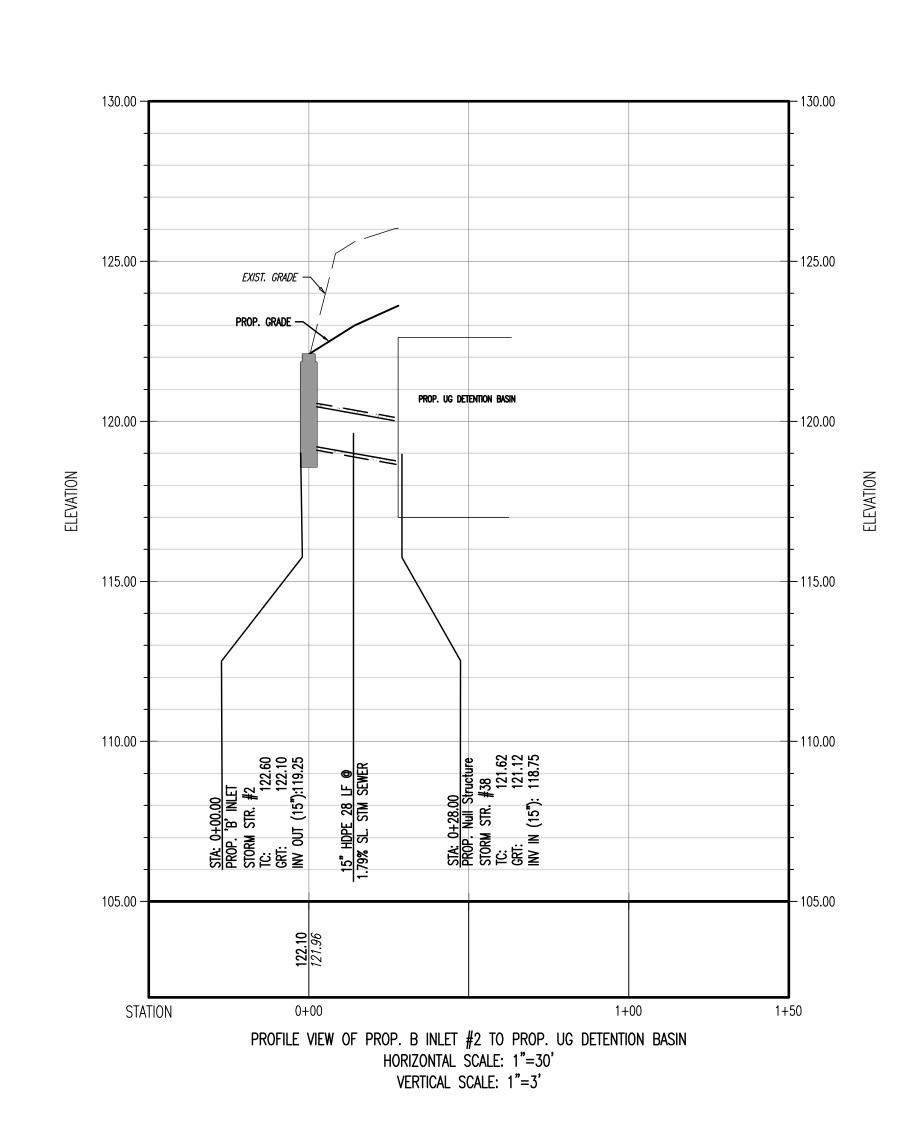


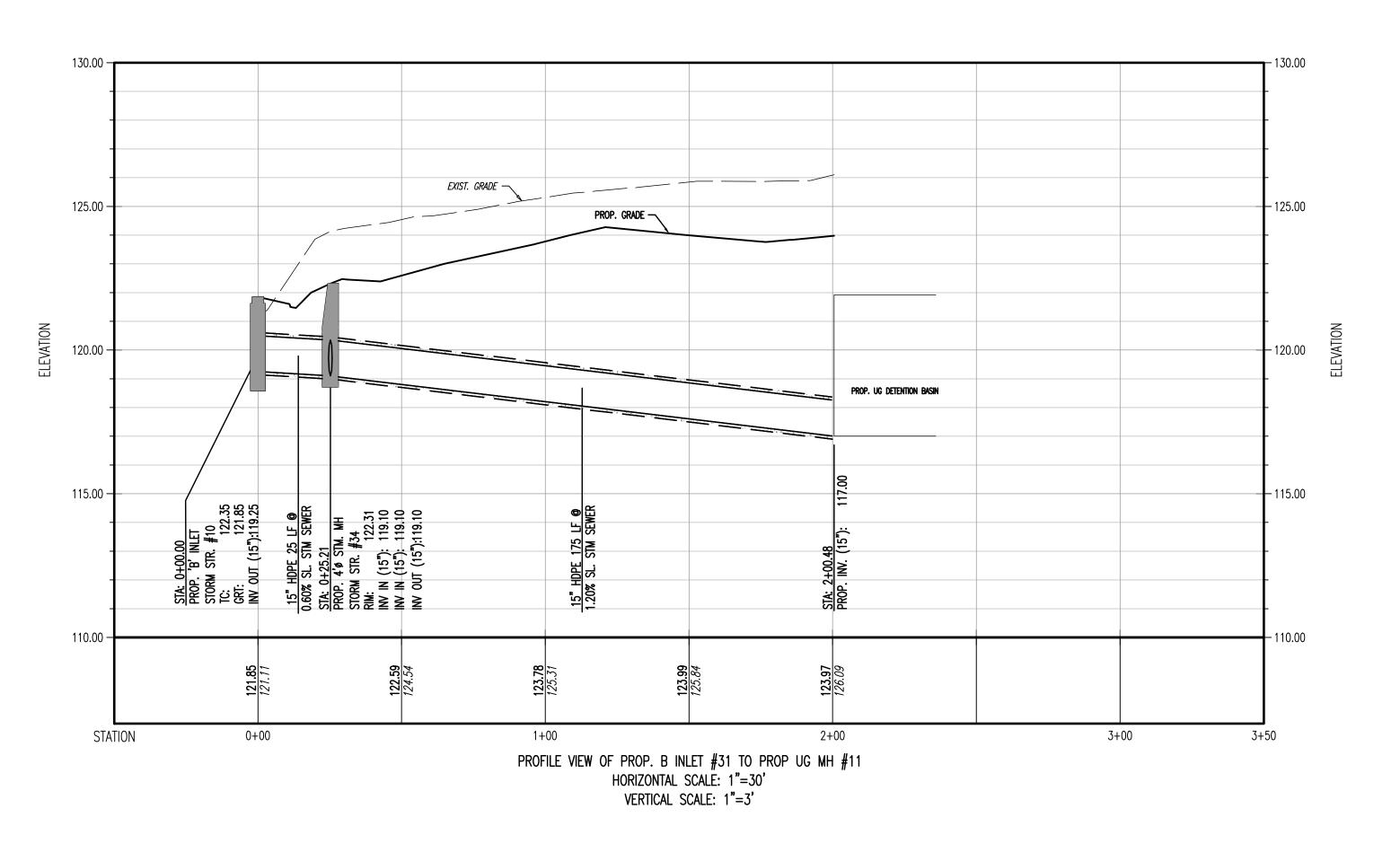
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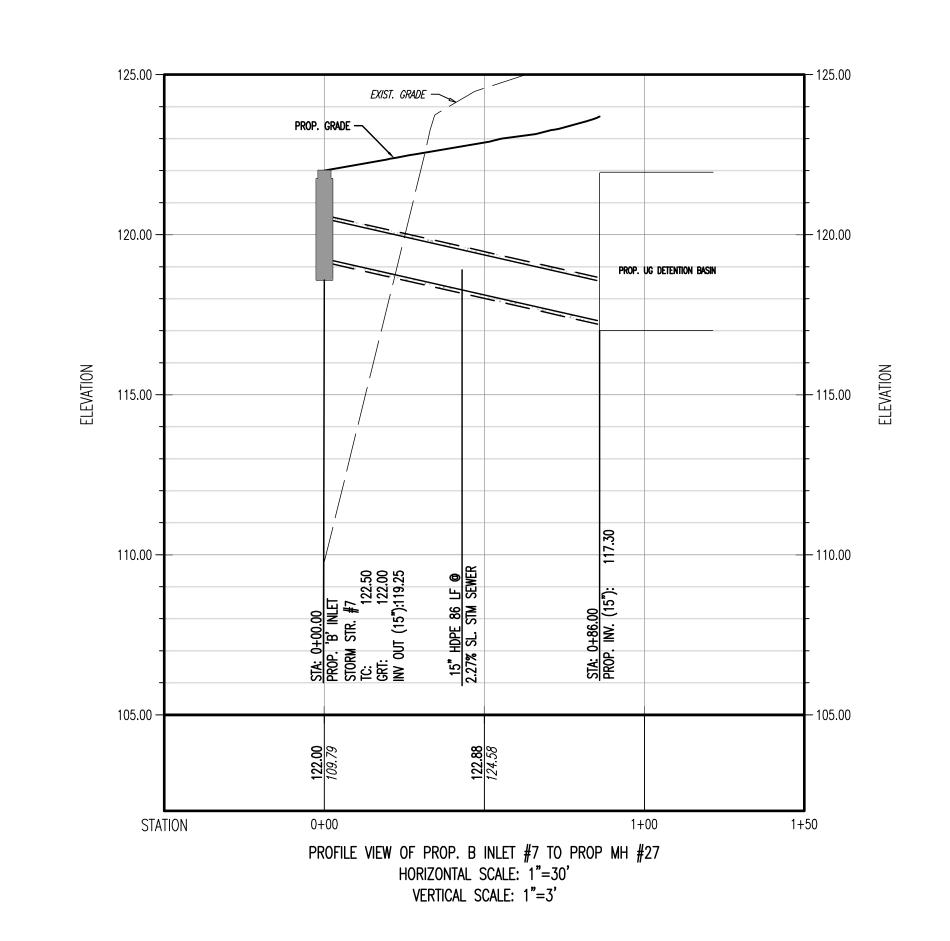


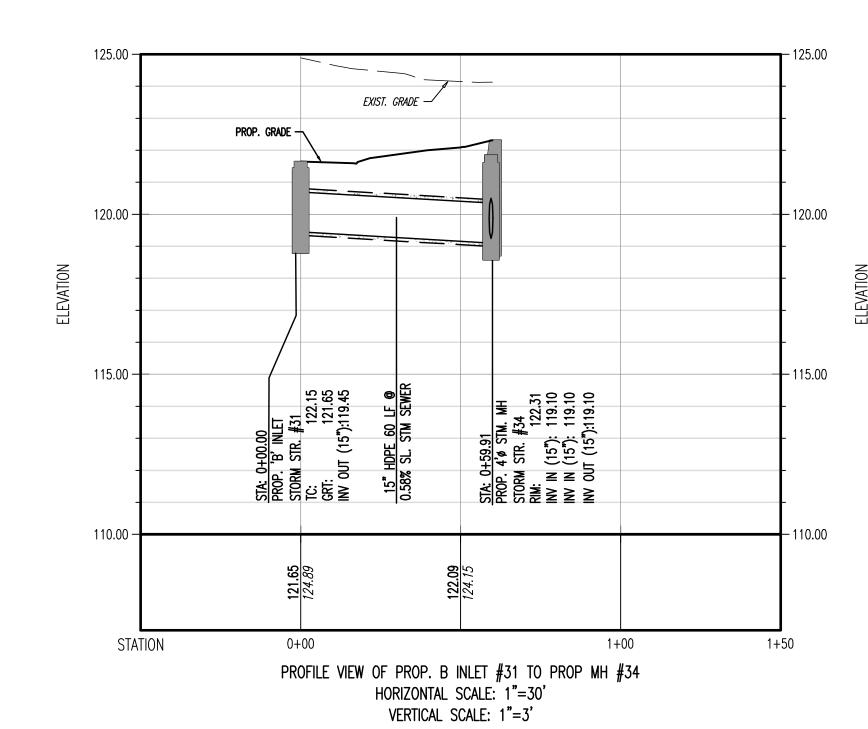
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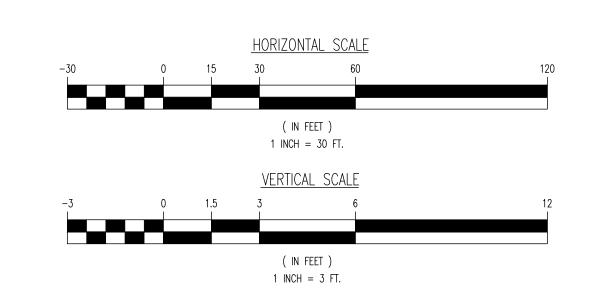


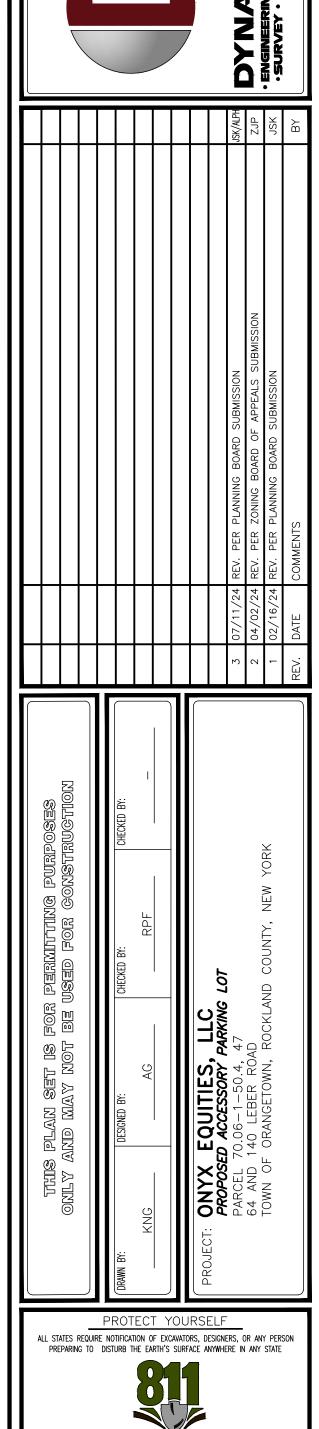












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STORM PROFILES

SCALE: (H) AS DATE: 10/02/2023 PROJECT No: 1739-22-02023

16 OF 30 S



### LANDSCAPE SCHEDULE

<u>KEY</u>	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARK
SHADE TE	REE(S)				
ARAF	4	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	2 1/2-3" CAL.	B+B
ARF	10	ACER RUBRUM 'FRANKSRED'	RED SUNSET MAPLE	2 1/2-3" CAL.	B+B
GBPS	2	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY BRAND GINKGO	2 1/2-3" CAL.	B+B
LSR	2	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'	SEEDLESS SWEETGUM	2 1/2-3" CAL.	B+B
NS	3	NYSSA SYLVATICA	SOURGUM OR TUPELO	2 1/2-3" CAL.	B+B
QA	6	QUERCUS ALBA	WHITE OAK	2 1/2-3" CAL.	B+B
QB	6 4	QUERCUS BOREALIS	WHITE OAK NORTHERN RED OAK SWAMP WHITE OAK	2 1/2-3" CAL.	B+B
QBC	2 2	QUERCUS BICOLOR	SWAMP WHITE OAK	2 1/2-3" CAL.	B+B
QP	2	OUFRCUS PALUSTRIS	PIN OAK	2 1/2-3" CAL.	B+B
QPG	3	QUERCUS PALUSTRIS 'GREEN PILLAR'	GREEN PILLAR PIN OAK	2 1/2-3" CAL.	B+B
TCG	$\frac{3}{41}$	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2 1/2-3" CAL.	B+B
ORNAMEN	TAL TREE(S)				
ALS	2	AMELANCHIER LAEVIS 'SNOWCLOUD'	SNOWCLOUD SERVICEBERRY	8-10'	B+B
BNC	1	BETULA NIGRA 'CULLY'	HERITAGE RIVER BIRCH, MULTI-STEM	8-10'	B+B
CRHV	<u>2</u> 5	CORNUS X 'KN30-8'	VENUS DOGWOOD	8-10'	B+B
EVERGREE	EN TREE(S)				
ABC	22	ABIES CONCOLOR	WHITE FIR	6-7'	B+B
CLY	7	X CUPRESSOCYPARIS LEYLANDII	LEYLAND CYPRESS	6-7'	B+B
IOJK	28	ILEX OPACA 'JERSEY KNIGHT'	JERSEY KNIGHT AMERICAN HOLLY	6-8'	B+B
IOS	18	ILEX OPACA 'SATYR HILL'	SATYR HILL HOLLY	6-8'	B+B
JVB	36	JUNIPERUS VIRGINIANA 'BURKII'	BURKII RED CEDAR	6-8'	B+B
JVC	18	JUNIPERUS VIRGINIANA 'CORCORCOR'		6-8'	B+B
JVI	13	JUNIPERUS VIRGINIANA 'IDYLLWILD'	IDYLLWILD RED CEDAR	6-8'	B+B
LL	8	LARIX LARCINA	EASTERN LARCH	6-7'	B+B
PIAB	6	PICEA ABIES	NORWAY SPRUCE	6-7'	B+B
PM	5	LARIX LARCINA PICEA ABIES PSEUDOTSUGA MENZIESII PICEA PUNGENS PINUS STROBUS	DOUGLAS FIR	6-7'	B+B
PP	4	PICEA PUNGENS	COLORADO SPRUCE	6-7'	B+B
PS	13	PINUS STROBUS	EASTERN WHITE PINE	6-7'	B+B
TC	30	TSUGA CANADENSIS	CANADIAN HEMLOCK	6-7'	B+B
				1	

GREEN GIANT ARBORVITAE

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

THUJA PLICATA 'GREEN GIANT'

#### THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

#### **PLANTING NOTES**

. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED; INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO S SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT
SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE
OF AT LEAST ONE (1) YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST
SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
INSOFAR AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL
PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED
DURING THIS PERIOD WILL BE REJECTED.

OUR AND SIZE OF PLANTS. SPEED OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSL 760.1 (PEV. 2001). "AMERICAN STANDARD FOR PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.

7. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (REV. 2001) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE, ASSOCIATION.

8. ALL PLANTS SHALL BE PLANTED IN AMENDED TO POSOL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.

9. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.

10. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS. ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH WILL—PRUF OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.

11. NO PLANTIS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE STABILSHED LOCATE PLANT IN THE CENTER OF THE PLT.

13. ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEANS, SHAPE OF CUIT BACK. LONG SIDE BRANCHES, HOWEVER MUST BE SHORTENED.

14. EACH TREE AND SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHAPP TOOLS, THOSE WHICH CROSS, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES WILL NOT BE CUIT BACK. LONG SIDE BRANCHES, HOWEVER MUST BE SHORTENED.

15. ALL EXAMING FIRES SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING SHAPP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES WIND WITH A CCOORDANCE WITH SHAPP TOOLS.

16. ALL PLANTS PLUMB AND STRAIGHT. SET

<u>DATES</u> 3/15 TO 12/15

3/15 TO 6/15 FURTHERMORE, THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH DIGGING THESE TREES IN THIS SEASON.

LIQUIDAMBAR STYRACIFLUA LIRIODENDRON TULIPIFERA PLATANUS ACERFOLIA

ANY PLANTINGS INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE THE WRITTEN APPROVAL BY THE MUNICIPAL ENGINEER OR LANDSCAPE ARCHITECT, PRIOR TO PLANTING. FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL REQUIRE THE REMOVAL OF THE PLANTING IN QUESTION. THIS REQUIREMENT DOES NOT APPLY TO SEEDING OR SODDING OR PLANTINGS SPECIFICALLY FOR SOIL STABILIZATION PURPOSES. THE PLANTING ASSOCIATED WITH ANY LOT GIVEN A CERTIFICATE OF OCCUPANCY OUTSIDE THESE PERIODS SHALL BE PROVIDED DURING THE PREVIOUS OR NEXT APPROPRIATE SEASON. 19. ALL DISTURBED AREAS TO BE TREATED WITH TOPSOIL SEED SOD STABILIZATION METHOD.

#### PLANTING SPECIFICATIONS

A. THIS WORK SHALL CONSIST OF PERFORMING, CLEARING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.

2. MATERIALS A. GENERAL - ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION (D.O.T.) MANUAL OF ROADWAY AND BRIDGE CONSTRUCTION (LATEST EDITION) OR APPROVED EQUAL.

B. PLANTS — ALL PLANTS SHALL BE HEALTHY OR NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS.

C. TOPSOIL — LOAMY SILT, HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, pH RANGE BETWEEN 4.5 — 7, BE FREE OF DEBRIS, ROCKS LARGER THAN TWO INCHES (2"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.

D. MULCH — FOUR (4") INCHES DOUBLE SHREDDED HARDWOOD BARK MULCH.

3. FERTILIZER AND SOIL CONDITIONER — PLANTED AREAS.

A. ORGANIC FERTILIZER – SHALL BE PROCESSED SEWER SLUDGE WITH MINIMAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID, EQUAL TO 'NITROHUMIS'.

B. ORGANIC FERTILIZER AND SOIL CONDITIONER – SHALL BE 'GRO – POWER' AND ORGANIC BASE MATERIALS COMPRISED OF DECOMPOSED ANIMAL AND VEGETABLE MATTER AND COMPOSTED TO SUPPORT BACTERIAL CULTURES, CONTAINING NO POULTRY OR HUMAN WASTE. GUARANTEED ANALYSIS (5–3–1): NITROGEN 5%. PHOSPHATE 3%, POTASH 1%. 50% HUMUS AND 15% HUMIC ACIDS.

4. GENERAL WORK PROCEDURES
A. LANDSCAPE WORK SHALL COMMENCE AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE. CONTRACTOR TO UTILIZE WORKMANLIKE STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH DAY'S WORK. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STOCKPILED OR DISPOSED OF. ALL PAVED SURFACES SHALL BE SWEPT CLEAN AT THE END OF EACH DAY'S WORK. 5. WEEDING
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE

A. CONTRACTOR TO PROVIDE A 4" THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER
TO PRODUCE A 4" UNSETTLED THICKNESS. TOPSOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO
FURNISH AN ANALYSIS OF ON-SITE TOPSOIL UTILIZED IN ALL PLANTING AREAS. ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE
GROWING MEDIUM. A. CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE. SPREAD EVENLY IN ALL PLANTING AREAS AND TILL (2 DIRECTIONS) INTO TOP 4" WITH THE FOLLOWING PER 1,000 SQ. FT.: 20 POUNDS 'GRO-POWER' 100 POUNDS AGRICULTURAL GYPSUM 20 POUNDS NITROFORM (COURSE) 38-0-0 BLUE CHIP SOIL MODIFICATIONS:

HOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. SE COMPOSTED BARK, RECYCLED YARD WASTE OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH ENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING POSTION TREES AND SHROBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.

A. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACK FILLED WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:

1 PART PEAT MOSS BY VOLUME
1 PART COW MANURE BY VOLUME
3 PARTS TOPSOIL BY VOLUME
3 PARTS TOPSOIL BY VOLUME
1 PART STOPSOIL BY VOLUME
3 PARTS TOPSOIL BY VOLUME
4 CONMITTER AS FOLLOWS

21 GRAM 'AGRIFORM' PLANTING TABLETS AS FOLLOWS:
2 TABLETS PER 1 GAL. PLANT
3 TABLETS PER 5 GAL. PLANT
4 TABLETS PER 15 GAL. PLANT

LARGER PLANTS (2) TWO TABLETS PER 1/2" DIAM. OF TRUNK CALIPER B. PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLANT 1/2 WAY, AND INSERT PLANT TABLETS. COMPLETE BACK FILL AND WATER THOROUGHLY. ALL PLANTS SHALL BE SET SO THAT, THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPLANTED. PREPARE RAISED EARTH BASIN AS WIDE AS PLANTING HOLE OF EACH TREE.

WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACK FILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. F. PRUNE ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS TO A MIN. OF 7' BRANCHING HEIGHT. GROUND COVER

A. ALL GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING GROUND COVER.
B. SPACING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS.
C. IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER.
D. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION.

A. ALL AREAS WILL BE RECEIVED BY THE CONTRACTOR AT SUBSTANTIALLY PLUS/MINUS .1 FOOT OF FINISH GRADE.

B. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY.

C. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. A. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM ACCEPTANCE OF JOB. OWNER TO SECURE A MAINTENANCE BOND FROM THE CONTRACTOR FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE COMMENCEMENT OF THE GUARANTEE PERIOD AND PASSES A FINAL INSPECTION BY THE OWNER OR OWNERS REPRESENTATIVE.

COMMON NAME

ANNUAL RYEGRASS

CANADA WILDRYE

DEERTONGUE, TIOGA

PURPLE CONEFLOWER

LANCELEAF COREOPSIS

BLACKEYED SUSAN

COMMON MILKWEED

CALICO ASTER

BIG BLUESTEM, 'NIAGARA'

2. CLEANUP

A. UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNERS AUTHORIZED REPRESENTATIVE.

B. MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY WITH HERBICIDE AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.

C. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

3. MAINTENANCE (ALTERNATE BID), COST, DEP MONTH AFTER INITIAL ACCEPTABLE PROPERTY MAINTENANCE PERIOD. 13. MAINTENANCE (ALTERNATE BID) COST PER MONTH AFTER INITIAL 90-DAY MAINTENANCE PERIOD. 14. THE MAXIMUM SOIL EXPOSURE LIMIT IS 14 DAYS.

#### **ERNST CONSERVATION SEEDS**

#### NATIVE STEEP SLOPE MIX W ANNUAL RYEGRASS (ERNMX-181):

BOTANICAL NAME 31.10 % SORGHASTRUM NUTANS, NEW ENGLAND 2 ECOTYPE 20.00 % LOLIUM MULTIFLORUM 14.00 % ANDROPOGON GERARDII, 'NIAGARA' 10.00 % ELYMUS VIRGINICUS, MADISON-NY ECOTYPE 7.00 % ELYMUS CANADENSIS 4.00 % AGROSTIS PERENNANS, ALBANY PINE BUSH-NY ECOTYPE 4.00 % PANICUM VIRGATUM, 'CARTHAGE', NC ECOTYPE 3.00 % PANICUM CLANDESTINUM, TIOGA 1.50 % ECHINACEA PURPUREA 1.30 % CHAMAECRISTA FASCICULATA, PA ECOTYPE 1.20 % HELIOPSIS HELIANTHOIDES, PA ECOTYPE 1.00 % COREOPSIS LANCEOLATA 1.00 % RUDBECKIA HIRTA 0.30 % MONARDA FISTULOSA, FORT INDIANTOWN GAP-PA ECOTYPE 0.20 % ASCLEPIAS SYRIACA 0.20 % SOLIDAGO RUGOSA, PA ECOTYPE 0.10 % ASTER LATERIFLORUS

SEEDING RATE:60 LB PER ACRE, OR 1.5 LB PER 1,000 SQ FT EROSION CONTROL AND RE-VEGETATION

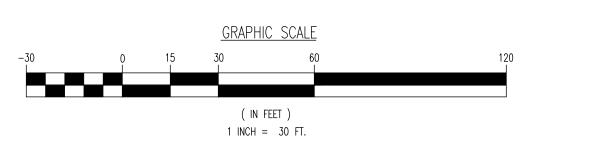
0.10 % ASTER PILOSUS, PA ECOTYPE

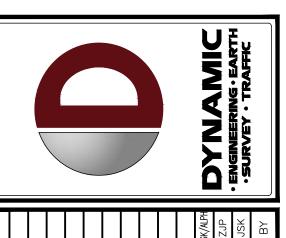
I. ERNST MIX 181 - NATIVE STEEP SLOPE MIX TO BE USED ON STEEP SLOPE AREA SOUTH OF THE PROPOSED PARKING. ALL OTHER DISTURBED AREAS NOT PAVED OR IN SOUTHERN SLOPE SHALL BE SEEDED PER NOTES ON SHEET 23.



TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)

SEE SHEET 25 OF 30 FOR LANDSCAPE PLAN DETAILS SEE SHEET 23 OF 30 FOR SEEDING NOTES





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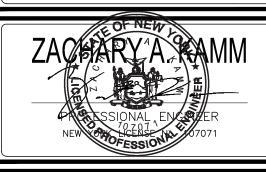
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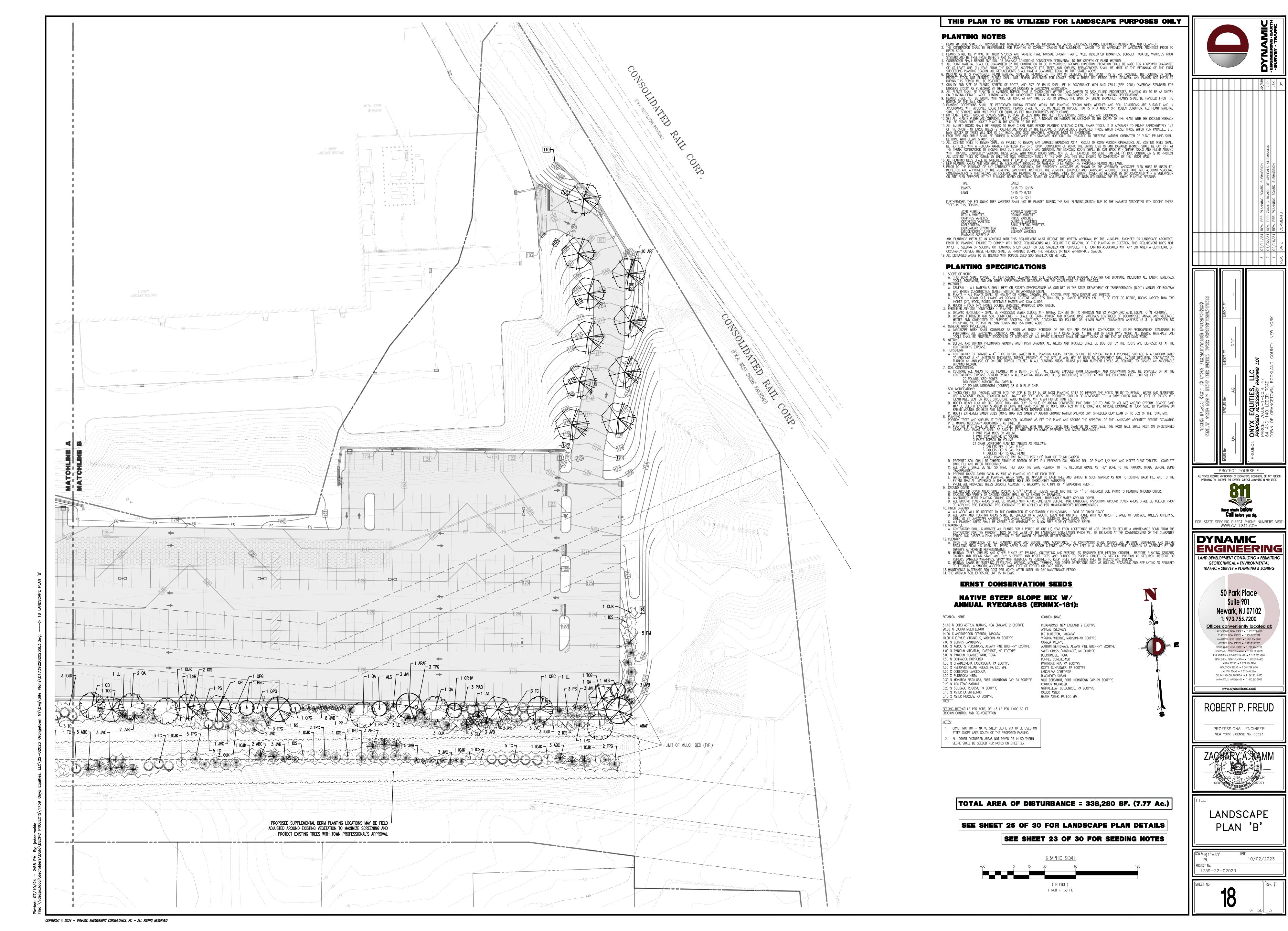
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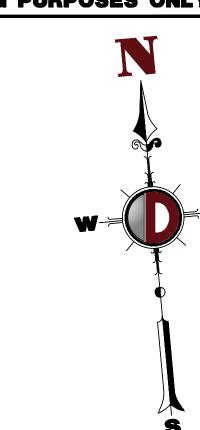
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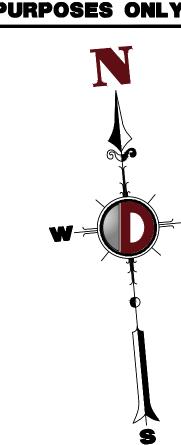
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LANDSCAPE PLAN 'A'







#### **GENERAL NOTES**

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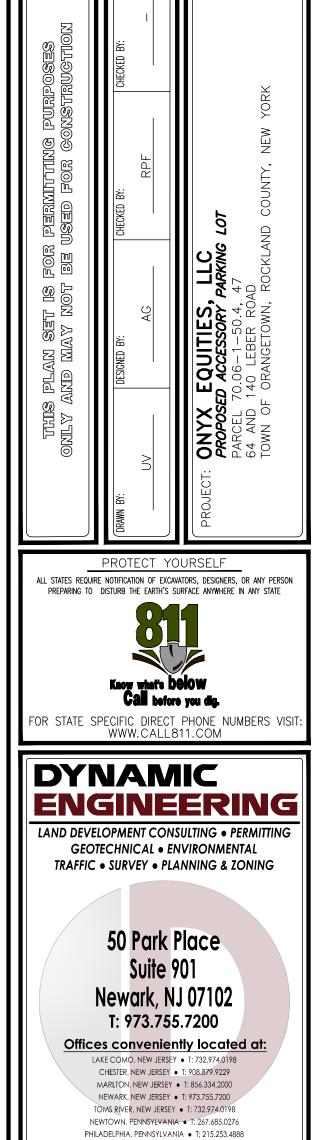
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- 1. THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINARIES MAY VARY
- DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS. 2. ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING
- LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
- 3. CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUIDERAIL POSTS.
- 4. ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
- 5. REFER TO ARCHITECTURAL PLANS FOR SITE WIRING DIAGRAM.
- 6. THIS PLAN IS PREPARED SPECIFICALLY TO ANALYZE THE LIGHTING LEVELS GENERATED BY THE PROPOSED ON-SITE LIGHTING ONLY. EXISTING LIGHT FIXTURES BEYOND THE EXTENTS OF THIS DEVELOPMENT/PROPERTY ARE NOT MODELED IN THIS DESIGN, AND MAY ALTER ACTUAL LIGHT LEVELS AT THE PROPERTY LINES. 7. THE MAXIMUM SOIL EXPOSURE LIMIT'IS 14 DAYS.

LIGHTING LUMINAIRE SCHEDULE									
SYMBOL	QUANTITY	LABEL	WATTAGE	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	MANUFACTURER	DESCRIPTION	IES FILE
	11	A-D2	74	20'	SINGLE	1.000	GE LIGHTING	AREA LIGHT	EALP03_D2AN730_WITHELS-EAL-ABL-BLCK.ies
	8	A-L4	263	20'	SINGLE	1.000	GE LIGHTING	AREA LIGHT	EALP03_L4AF730_WITHELS-EAL-FBL-BLCK.ies
	8	A-L4-BB PED	263	20'	BACK-TO-BACK	1.000	GE LIGHTING	BACK-TO-BACK AREA LIGHT	EALP03_L4AF730_WITHELS-EAL-FBL-BLCK.ies
SO CURVES ARE MA	CURVES ARE MAINTAINED AND SHOWN AT 0.5 AND 0.1 FC.								

(FM) - FLUSH MOUNT FOUNDATION (PED) - PEDESTAL FOUNDATION THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

STATISTICAL AREA SUMMARY								
LABEL	AVERAGE	MAXIMUM	MINIMUM	AVG./MIN.	MAX./MIN.	DESCRIPTION		
PAVEMENT	4.02	44.1	0.5	8.04	88.20	LIGHT LEVELS IN PAVEMENT		



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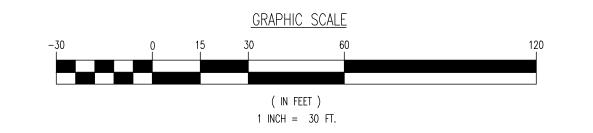
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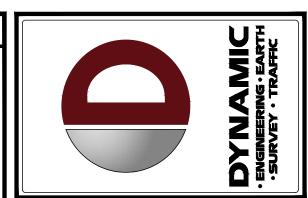
LIGHTING PLAN

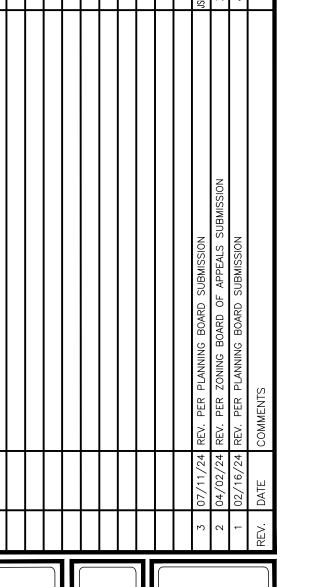
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SEE SHEET 25 OF 30 FOR LIGHTING PLAN DETAILS







NSTRUCTION	CHECKED BY:	YORK
	СНЕСКЕВ ВҮ:	<b>207</b> ND COUNTY, NEW
ONLY AND MAY NOT BE USED FOR CONSTRUCTION	DESIGNED BY: AG	PROJECT: <b>ONYX EQUITIES, LLC</b> PROPOSED ACCESSORY PARKING LOT  PARCEL 70.06-1-50.4, 47  64 AND 140 LEBER ROAD  TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK
	DRAWN BY:	PROJECT: <b>ONYX</b>   PROPOSEL PARCEL 7 64 AND 1 TOWN OF

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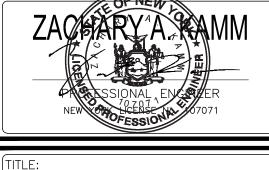
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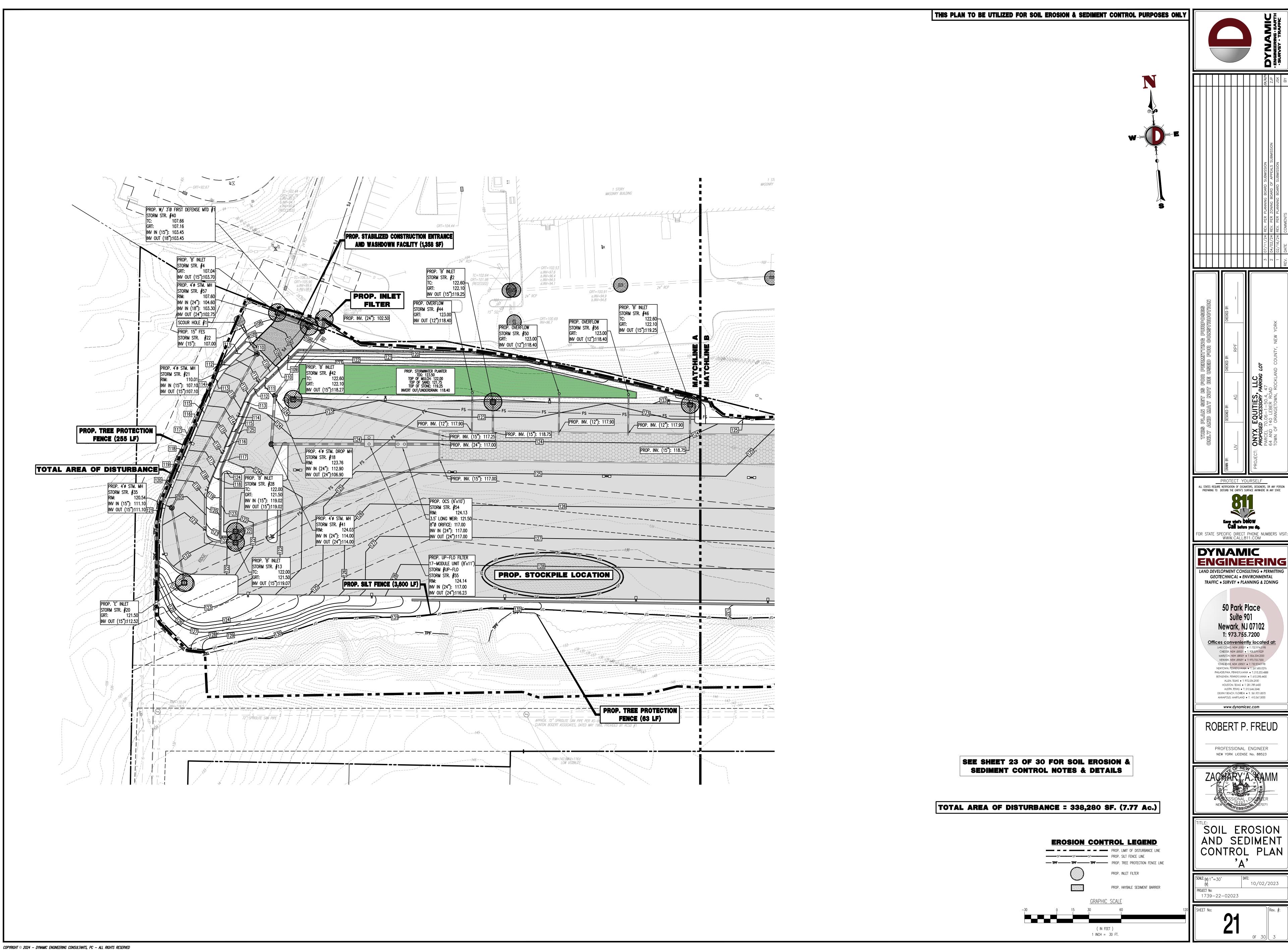
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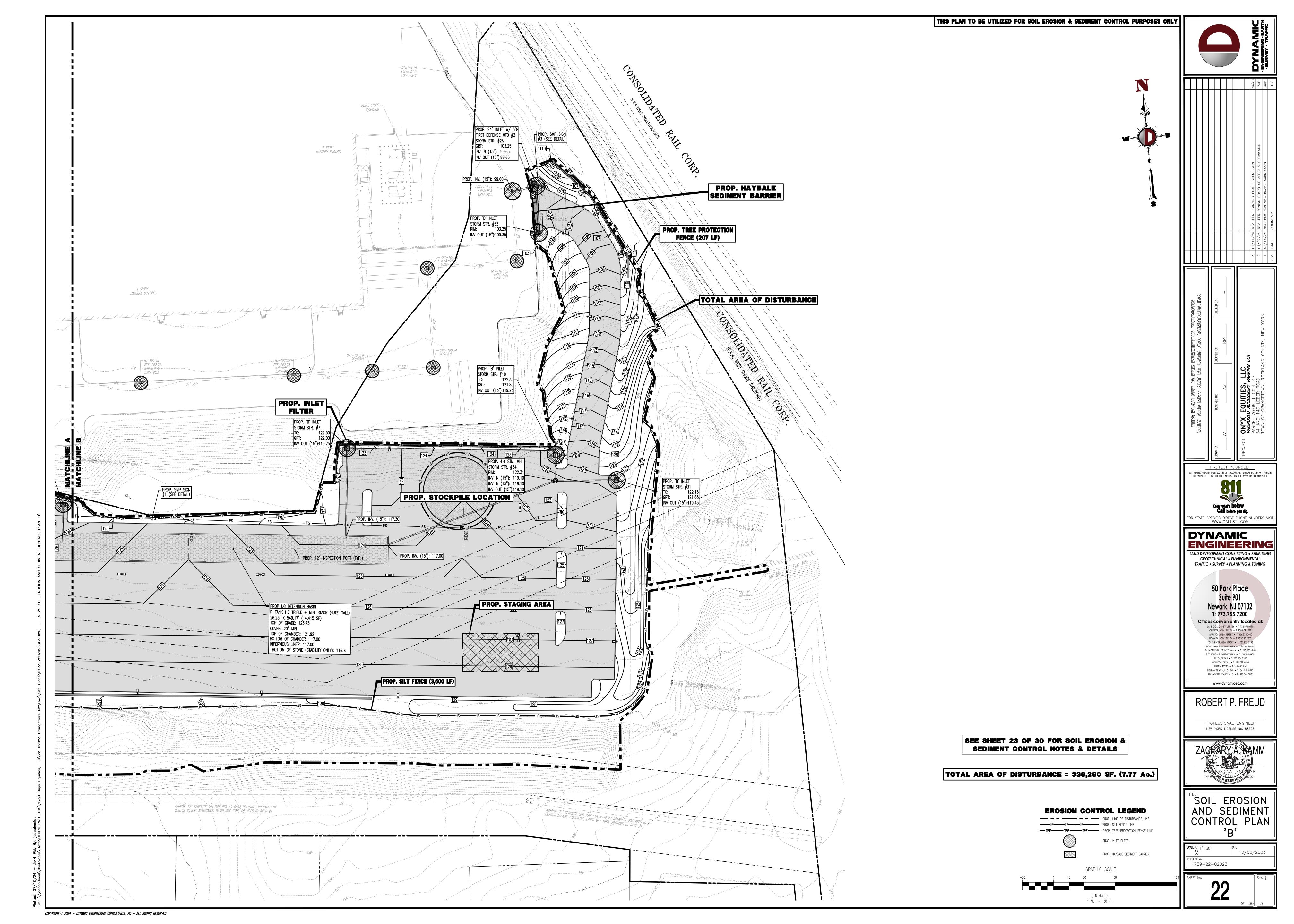
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LIGHTING PLAN





1: START OF UNDERGROUND WORK (PHASE 1) INSTALL E&S MEASURES

 REMOVE EXISTING STORMWATER PIPING/ INFRASTRUCTURE ALONG EASTERN AND WESTERN PORTIONS OF THE LOT INSTALL DETENTION BASIN INSTALL STORMWATER CONVEYANCE SYSTEM INCLUDING STORMWATER PLANTER UNDERDRAINS • INSTALL PROPOSED WATER MAIN EXTENSION & FIRE HYDRANTS

2: SITE GRADING (PHASE 1) PROPOSED SOIL EXCAVATION AND IMPORTING FILL SOIL COMPACTION AND SOIL GRADING

3: RETAINING WALL (PHASE 1) CONSTRUCT STRUCTURE OF RETAINING WALLS SURROUNDING THE PROJECT SITE

INSTALL PROPOSED ELECTRICAL LINE FOR SITE LIGHTING SERVICE

4: CURBS & PAVING (PHASE 1) POUR CONCRETE CURBS POUR ASPHALT SECTION

5: LANDSCAPING (PHASE 1) INSTALL STORMWATER PLANTER PLANT PROPOSED LANDSCAPING VEGETATION WITHIN PROJECT SITE

SEED OPEN AREAS WITH NATIVE GRASS VEGETATION

6: SITE GRADING (PHASE 2) INSTALL E&S MEASURÉS PROPOSED SOIL EXCAVATION AND IMPORTING FILL SOIL COMPACTION AND SOIL GRADING

7: RETAINING WALL (PHASE 2) CONSTRUCT STRUCTURE OF RETAINING WALLS SURROUNDING THE PROJECT SITE

8: CURBS & PAVING (PHASE 2) POUR CONCRETE CURBS POUR ASPHALT SECTION

 PLANT PROPOSED LANDSCAPING VEGETATION ALONG SOUTHERN AND EASTERN PORTIONS OF PROJECT SITE SEED OPEN AREAS WITH NATIVE GRASS VEGETATION

10: LIGHTING FIXTURES AND FINISHES (PHASES 1 AND 2) INSTALL LIGHTING FIXTURES SURROUNDING PROJECT SITE

11: STRIPING (PHASES 1 AND 2) STRIPE ALL PROPOSED PARKING SPACES AROUND THE PROJECT SITE

#### SOIL EROSION & SEDIMENT CONTROL NOTES:

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH NEW YORK STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL, AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED. 2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN FOURTEEN (14) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BE BOUND IN ACCORDANCE WITH THE STATE STANDARDS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER). S. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO STATE STANDARDS. 4. STABILIZATION SPECIFICATIONS — TEMPORARY SEEDING AND MULCHING:

- LIME - 90 LBS/1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS/1,000 SF; 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4". SEEDS: COOL SEASON:

WARM SEASON: PEARL MILLET AT 20 LBS/AC. OR OTHER APPROVED SEEDS; PLANT BETWEEN MAY 15 AND AUGUST 15. - MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF TO BE APPLIED ACCORDING TO THE STATE STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER. TEMPORARY BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS IN ACCORDANCE WITH THE STATE STANDARDS. 6. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE DRIVEWAYS AND

PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, SUB-BASE WILL BE INSTALLED WITHIN 15 DAYS OF PRELIMINARY GRADING.

PERENNIAL RYE GRASS 100LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.

7. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUN-OFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL 8. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACK FILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER 3:1). 9. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT. 10. STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOOD PLAIN, SLOPE, ROADWAY, OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES MUST BE PROTECTED BY A HAY BALE BARRIER OR SEDIMENT FENCE. 11. A CRUSHED STONE VEHICLE WHEEL CLEANING BLANKET WILL BE INSTALLED IMMEDIATELY AFTER INITIAL SITE DISTURBANCE AND WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. BLANKET SHALL BE 1-1/2" TO 2" CRUSHED STONE AND AT LEAST 30' X 100', AND MUST BE

12. MAXIMUM SLIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT. 13. ANY INDIVIDUAL ACCESS ROADS OR DRIVES MUST BE STABILIZED WITH 2-1/2" CRUSHED STONE PRIOR TO COMMENCEMENT OF CONSTRUCTION IN THAT AREA. 14. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.

15. ALL CATCH BASIN INLETS MUST BE PROTECTED WITH A CRUSHED STONE OR HAY BALE FILTER (SEE DETAIL). 16. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUT FALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL. 17. ALL DE-WATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHALL BE COMPOSED OF A SUITABLE SEDIMENT

UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.

18. PERMANENT VEGETATION TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED. 19. PERMANENT STABILIZATION SPECIFICATIONS: SEEDING 20. PERMANENT STABILIZATION SPECIFICATIONS: MULCHING

A. MULCH MATERIALS TO BE UNROTTED SALT HAY, HAY, OR SMALL GRAIN STRAW AT THE RATE OF 1.5 TO 2 TONS PER ACRE OR 70 TO 90 POUNDS PER 1,000 SQ. B. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 95% OF SOIL SURFACE WILL BE COVERED. C. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS:

(1) PEG AND TWINE (2) MULCH NETTING

(3) LIQUID MULCH-BINDERS 21. ALL`ÚNSTABILIZED AREAS TO BE SPRINKLED WITH WATER UNTIL WET AT THE BEGINNING OF EACH DAY TO CONTROL DUST. 22. ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF 12" OF SOIL HAVING A PH OF 5 OR MORE PRIOR TO SEEDBED PREPARATION.

23. AT THE TIME OF SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION, ANY SOIL NOT SUITABLE TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER WILL BE REMOVED OR TREATED IN SUCH A WAY TO PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. (IF REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE PROVIDED.) 24. ALL SITE WORK FOR SITE PLANS WILL HAVE TO BE COMPLETED PRIOR TO THE SOIL CONSERVATION DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSÚANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY 25. THE SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION. THE DISTRICT SHALL BE NOTIFIED IN WRITING 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE.

26. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL

PLANS TO THE DISTRICT FOR RECERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.

#### STABILIZATION SPECIFICATIONS -TEMPORARY SEEDING AND MULCHING

- LIME - 90 LBS/1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS/1,000 SF; 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4".

- SEEDS: COOL SEASON: PERENNIAL RYE GRASS 100LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.

WARM SEASON: PEARL MILLET AT 20 LBS/AC. OR OTHER APPROVED SEEDS; PLANT BETWEEN MAY 15 AND AUGUST 15. - MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF TO BE APPLIED ACCORDING TO THE STATE STANDARDS. MULCH SHALL BE SECURED BY APPROVED

METHODS (I.E. PEG AND TWINE, MULCH NETTING. OR LIQUID MULCH BINDER. STABILIZATION SPECIFICATIONS -

#### PERMANENT SEEDING

- PERMANENT STABILIZATION SPECIFICATIONS: SEEDING 1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2". DIAMETER.

2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

SEEDING RATES:

4. SEEDING DATES: APRIL 15TH TO MAY 15TH OR AUGUST 15TH TO OCTOBER 1ST. 5. GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

- PERMANENT STABILIZATION SPECIFICATIONS: MULCHING A. MULCH MATERIALS TO BE UNROTTED SALT HAY, HAY, OR SMALL GRAIN STRAW AT THE RATE OF 1.5 TO 2 TONS PER ACRE OR 70 TO 90 POUNDS PER 1,000 SQ. FT. B. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 95% OF SOIL SURFACE WILL BE COVERED. C. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING

- MAINTAIN STOCK PILE ACCORDANCE WITH TEMPORARY STABILIZATION NOTES CONSTRUCT SILT FENCE OR HAYBALES -(AS NEEDED) AROUND PERIMETER OF STOCKPILE (SEE DETAIL ON THIS SHEET) TEMPORARY STOCKPILE DETAIL NOT TO SCALE PAVEMENT 🖔 3/4" CLEAN STONE TO SEAL GEOTEXTILE TUBE AND/OR BAGS (TYP.) (AS REQUIRED)

PLAN VIEW

GEOTEXTILE TUBE AND/OR BAGS FILLED WITH 3/4" CLEAN STONE 1. GEOTEXTILE TO BE WOVEN POLYPROPYLENE PRODUCT 117F, BY SYNTHETIC INDUSTRIES INC., OR TERRATEX SC, BY WEBTEC INC., OR APPROVED EQUAL. WEBIEC INC., OR APPROVED EQUAL.

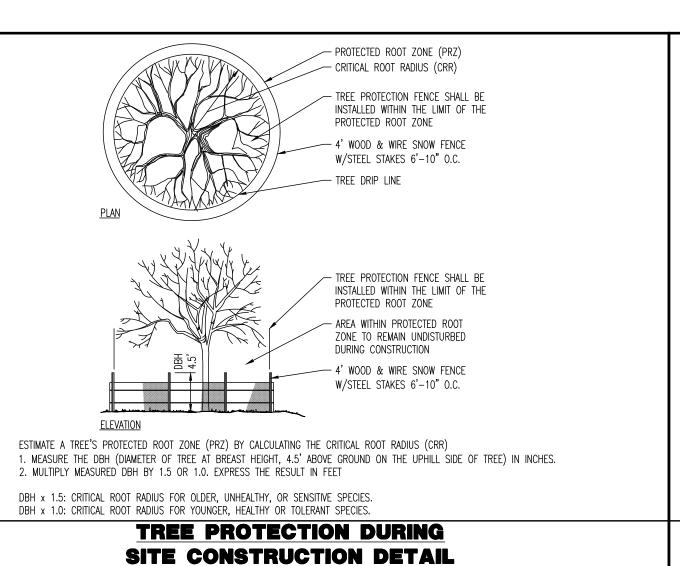
2. 3/4" CLEAN STONE CORE SHALL BE COMPLETELY CONTAINED WITHIN GEOTEXTILE. SEAMS SHALL BE SEWN OR CLOSED BY SUITABLE MECHANICAL MEANS TO PREVENT LEAKAGE OF STONE.

3. WHERE NO CURB IS PRESENT, BARRIER SHALL COMPLETELY ENCIRCLE THE DRAIN INLET.

4. INLET GRATE OPENING IS TO BE KEPT CLEAR OF OBSTRUCTIONS AT ALL TIMES.

5. THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM. 6. OTHER METHODS THAT ACCOMPLISH THE PURPOSE OF STORM SEWER INLET PROTECTION MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.

7. INSPECTIONS SHALL BE FREQUENT. MAINTENANCE, REPAIR, AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED. INLET FILTER DETAIL NOT TO SCALE COPYRIGHT © 2024 - DYNAMIC ENGINEERING CONSULTANTS, PC - ALL RIGHTS RESERVED



— DRAWSTRING RUNNING THROUGH FABRIC ALONG

TOP OF FENCE.

WOOD OR METAL FENCE POSTS SPACED 8'-0" O.C.

 ── DRAWSTRING RUNNING THROUGH

FABRIC ALONG TOP OF FENCE.

1. PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.

EXISTING UNDISTURBED GROUND

,—DIG 6" WIDE AND 6" DEEP

TRENCH, BURY BOTTOM 1'-0" OF

FILTER FABRIC, TAMP IN PLACE

2. THE SLOPE OF THE LAND FOR AT LEAST 30 FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED 5 PERCENT

FABRIC SECURED TO POST WITH METAL FASTENERS AND

3. SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SIDES.
4. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
5. SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE TOWNSHIP ENGINEER OR SOIL

6. THE BARRIER SHALL BE REMOVED WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM

7. FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND

EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD A MIN. DIAMETER THICKNESS OF 1 1/2 INCHES.

8. A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO

PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT

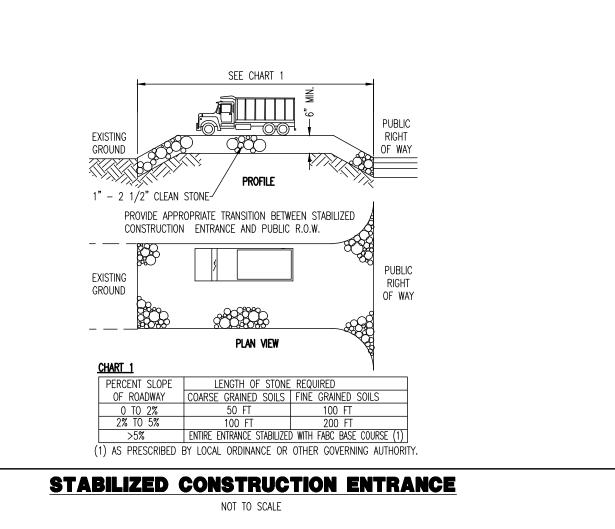
SILT FENCE DETAIL

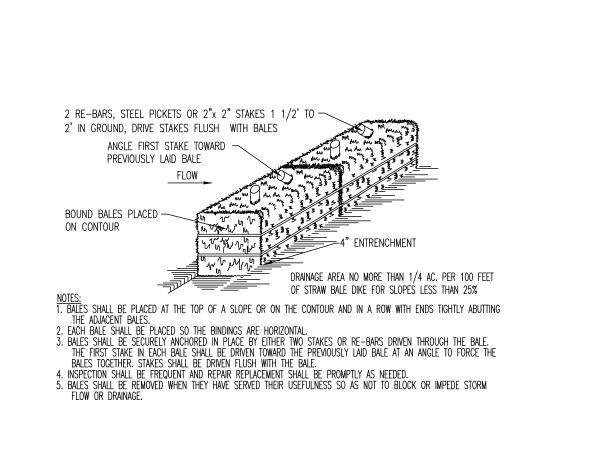
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9. A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND.
THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE GROUND. FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING

OF METAL FASTENERS (NAILS OR STAPLES) AND HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR ADDED STRENGTH.

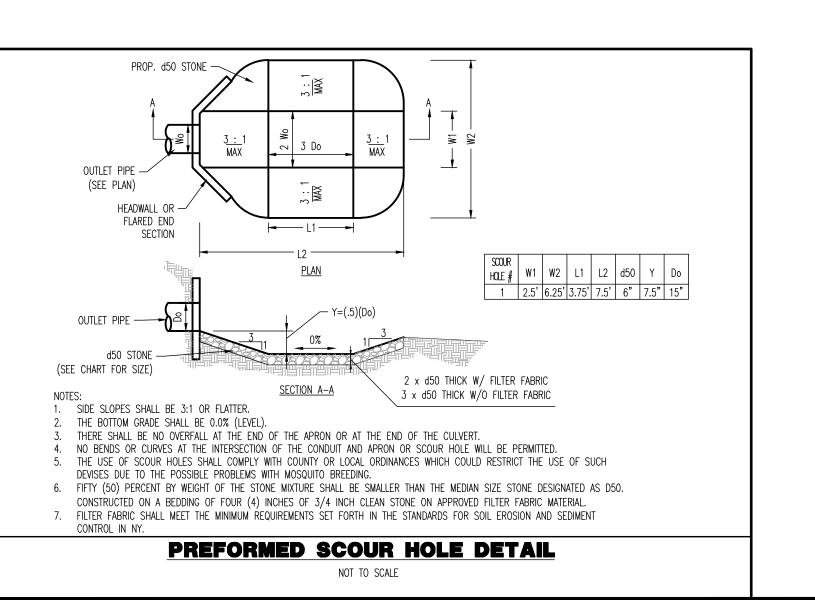
REINFORCEMENT BETWEEN FASTENER AND FABRIC

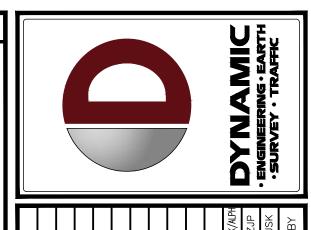




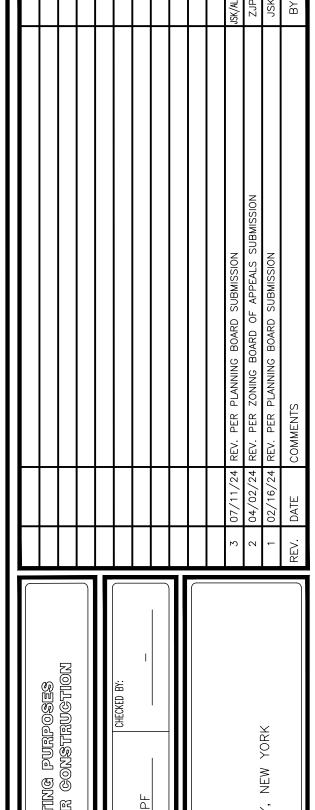
HAYBALE SEDIMENT BARRIER DETAIL

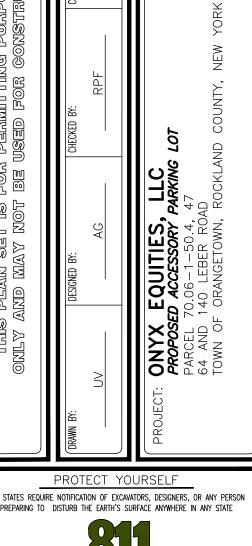
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MUNICIPAL, COUNTY, STATE AND MUA DETAILS TO SUPERSEDE DYNAMIC ENGINEERING DETAILS WHERE APPLICABLE





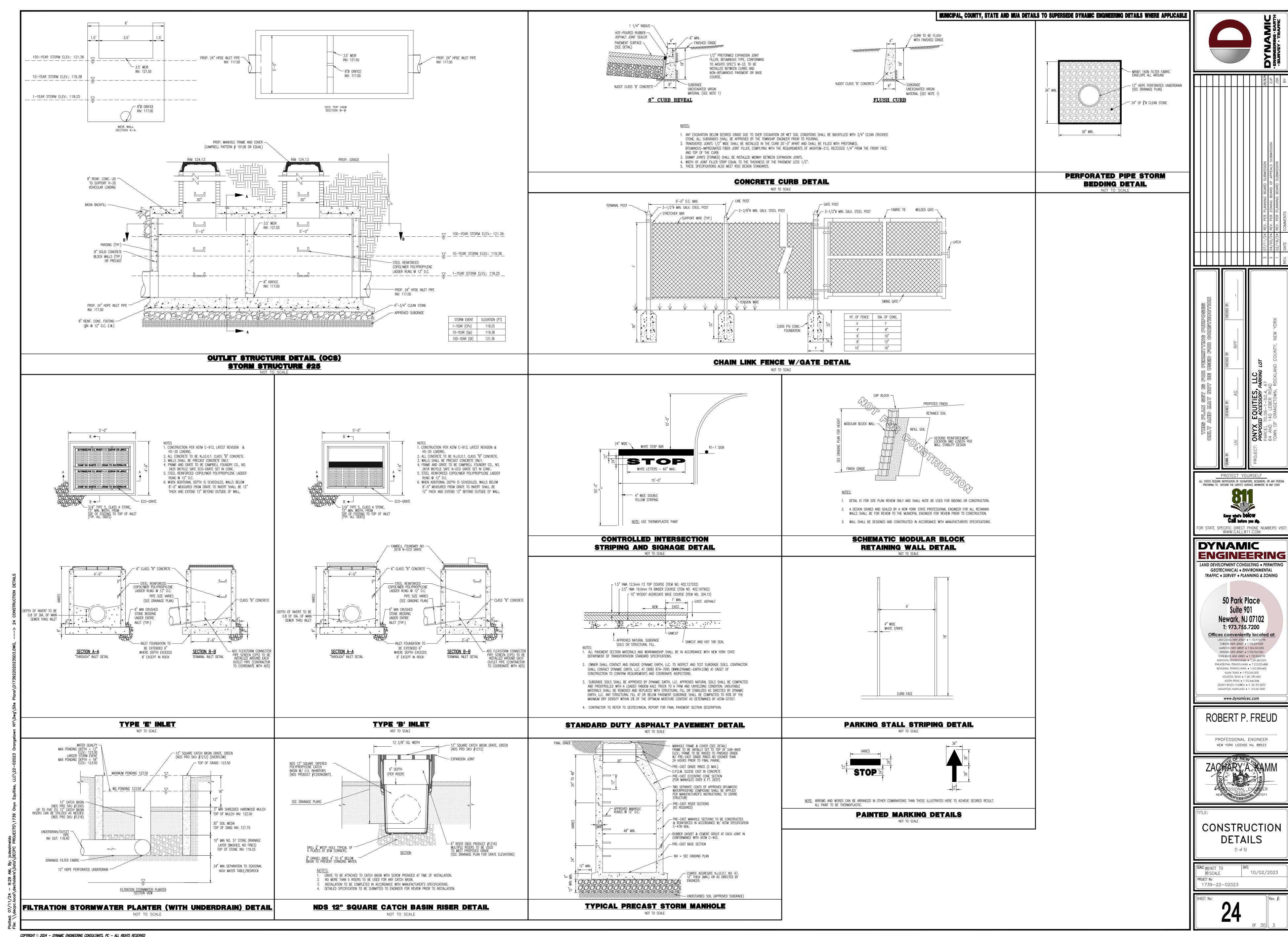


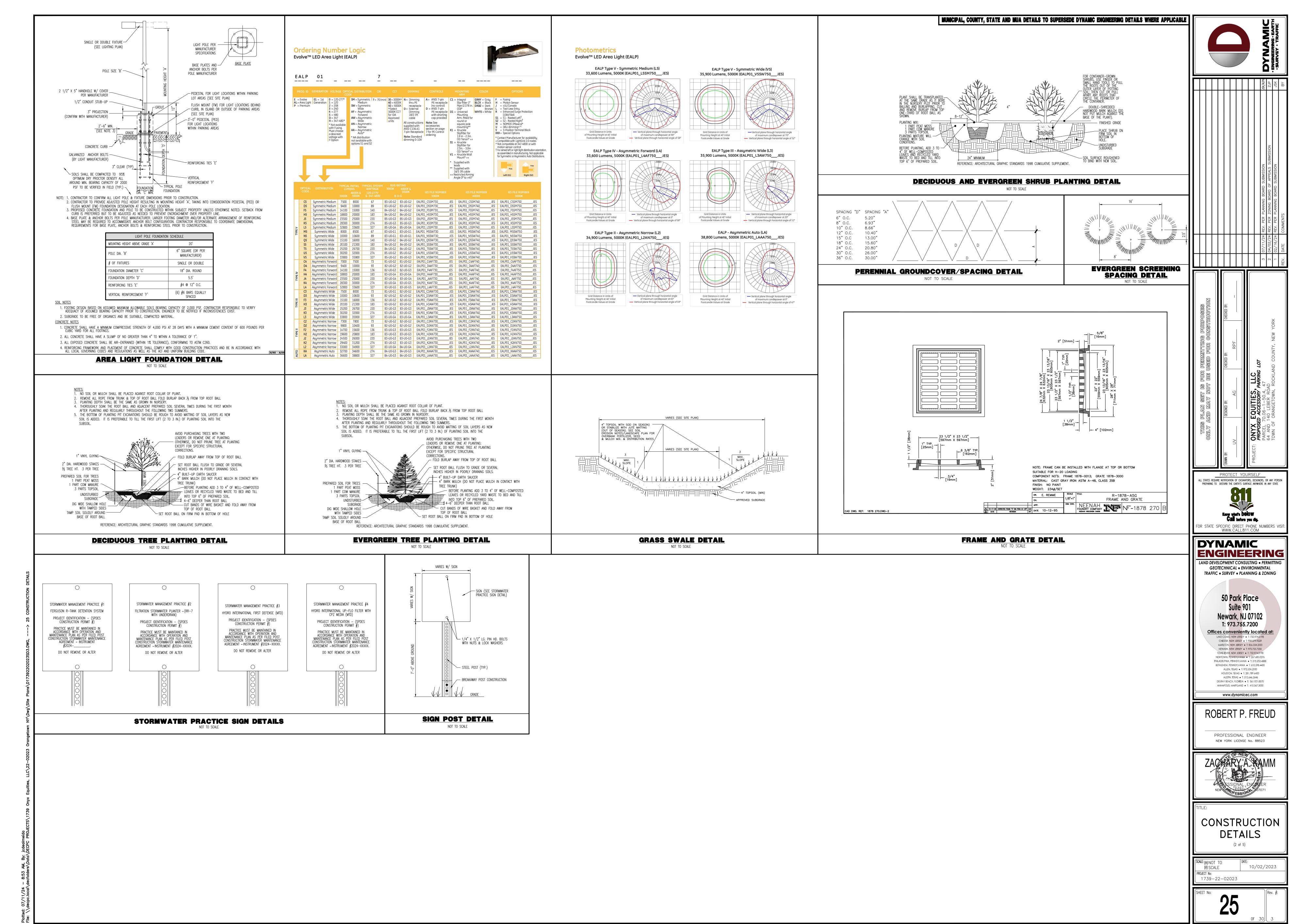


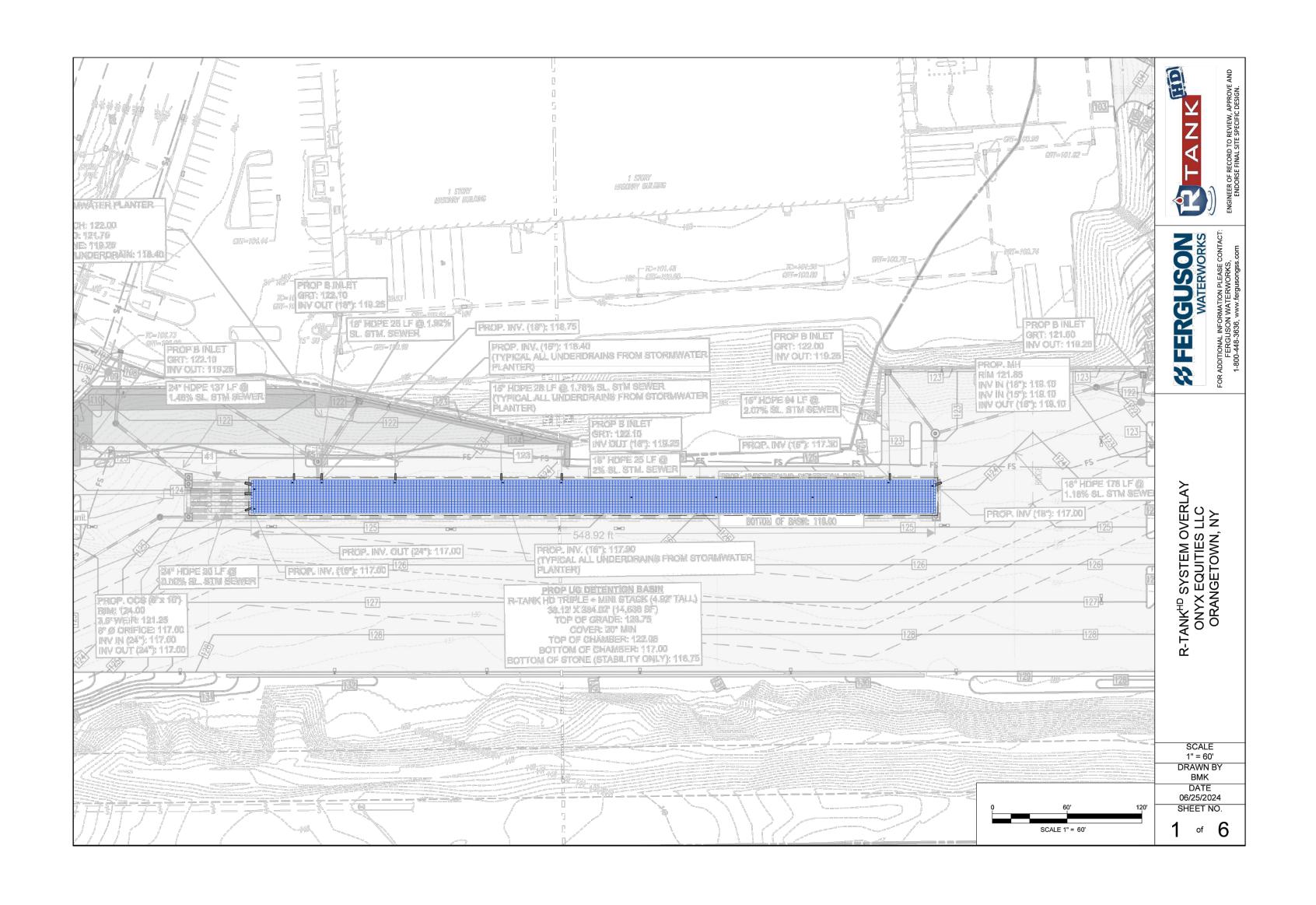
SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

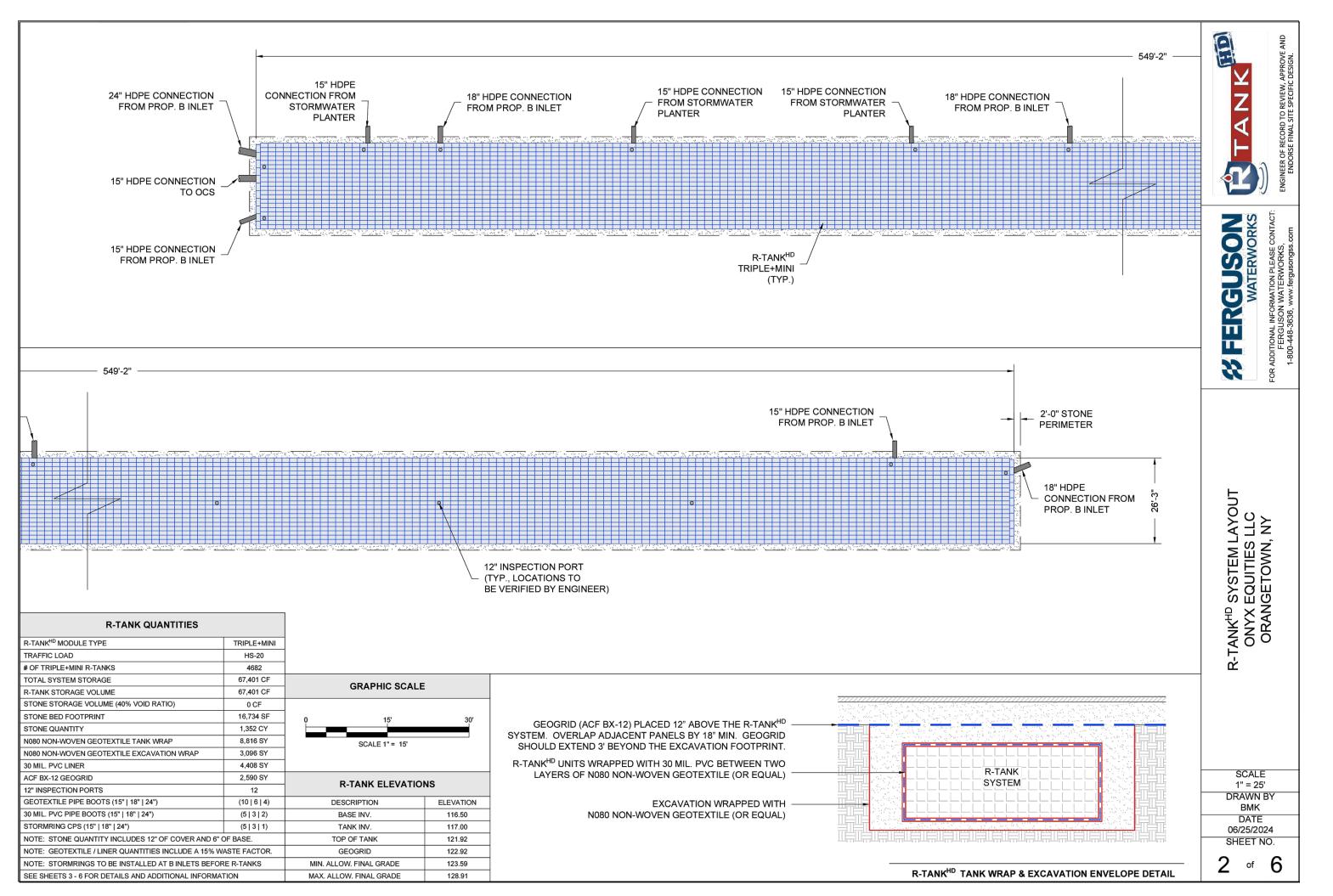
10/02/2023 (V) SCALE PROJECT No: 1739-22-02023

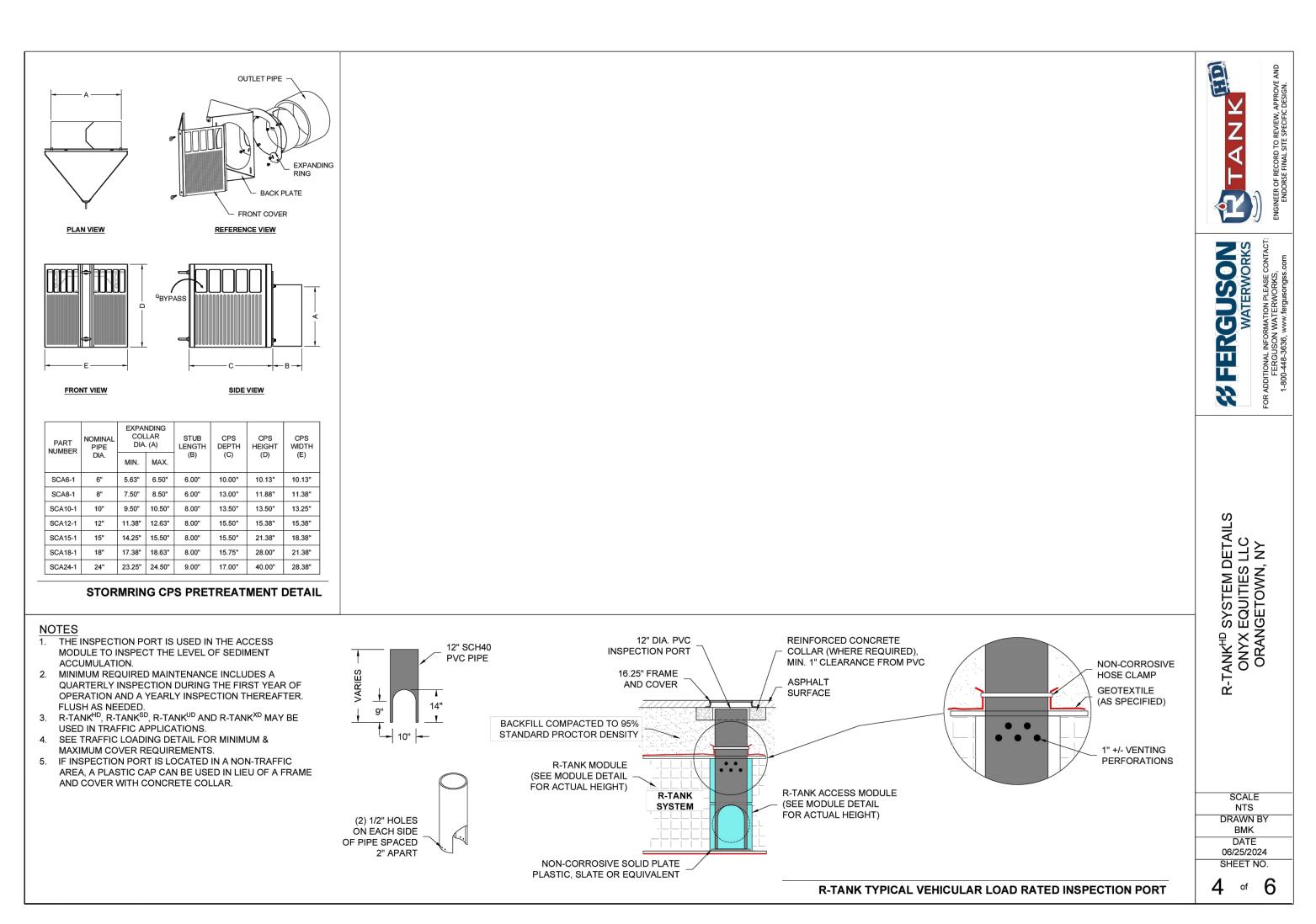
ALL STATES REQUIRE NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN ANY STATE OR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT DYNAMIC GEOTECHNICAL • ENVIRONMENTAL TRAFFIC • SURVEY • PLANNING & ZONING 50 Park Place Newark, NJ 07102 T: 973.755.7200 Offices conveniently located at: CHESTER, NEW JERSEY • T: 908.879.9229 MARLTON, NEW JERSEY • T: 856.334.2000 NEWARK, NEW JERSEY • T: 973.755.7200 TOMS RIVER, NEW JERSEY • T: 732.974.0198 NEWTOWN, PENNSYLVANIA • T: 267.685.0276 PHILADELPHIA, PENNSYLVANIA • T: 215.253.4888 BETHLEHEM, PENNSYLVANIA • T: 610.598.4400 ALLEN, TEXAS • T: 972.534.2100 HOUSTON, TEXAS • T: 281.789.6400 AUSTIN, TEXAS • T: 512.646.2646 DELRAY BEACH, FLORIDA • T: 561.921.8570 ANNAPOLIS, MARYLAND • T: 410.567.5000 www.dynamicec.com ROBERT P. FREUD PROFESSIONAL ENGINEER NEW YORK LICENSE No. 88523

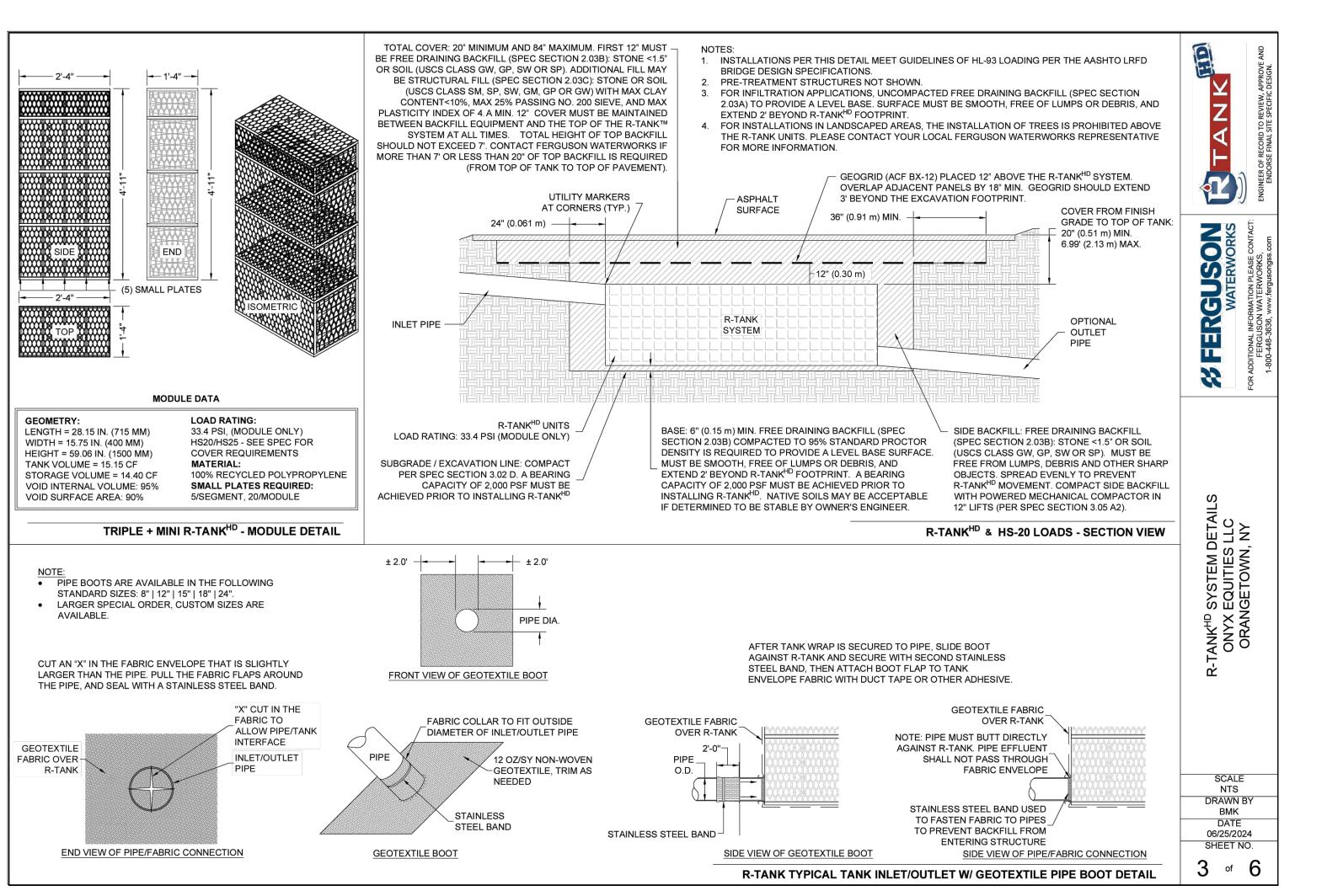


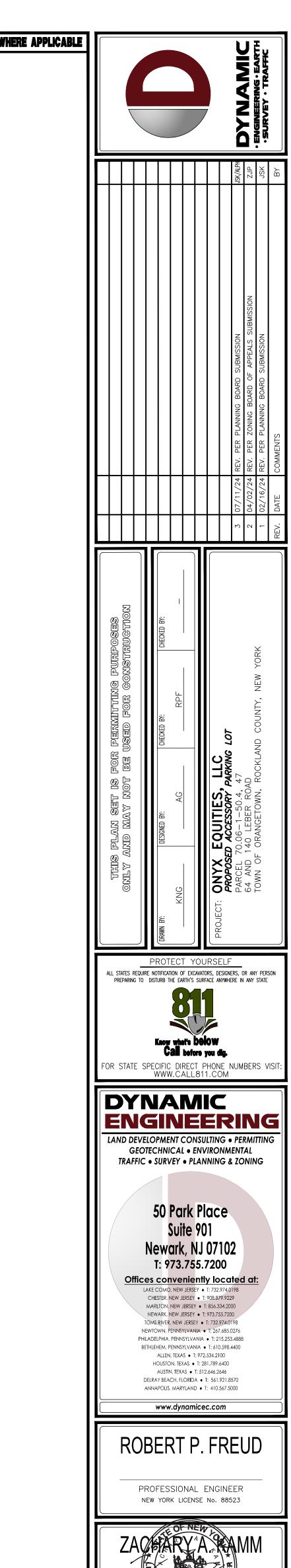












CONSTRUCTION

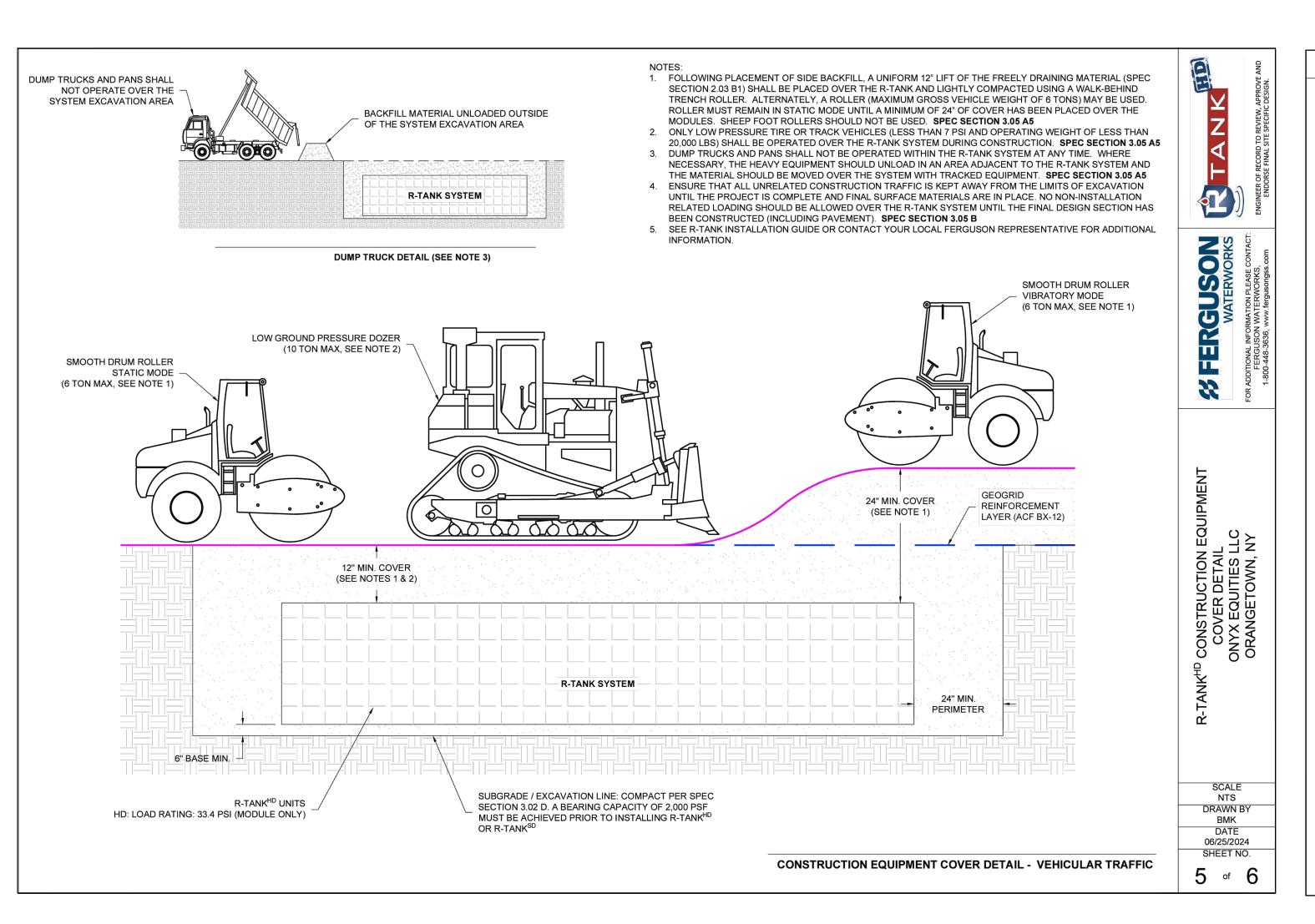
**DETAILS** 

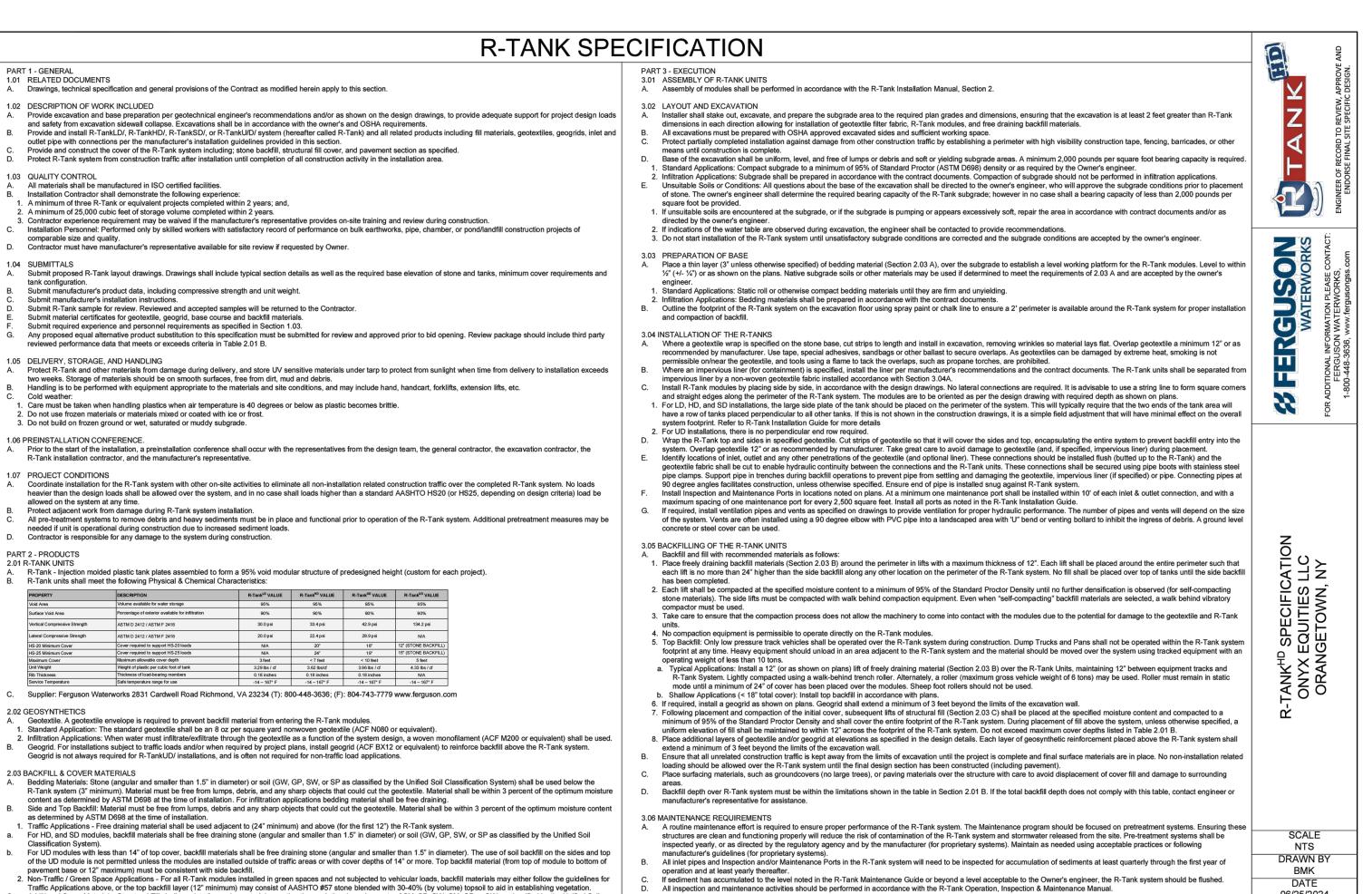
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10/02/2023

06/25/2024

SHEET NO.



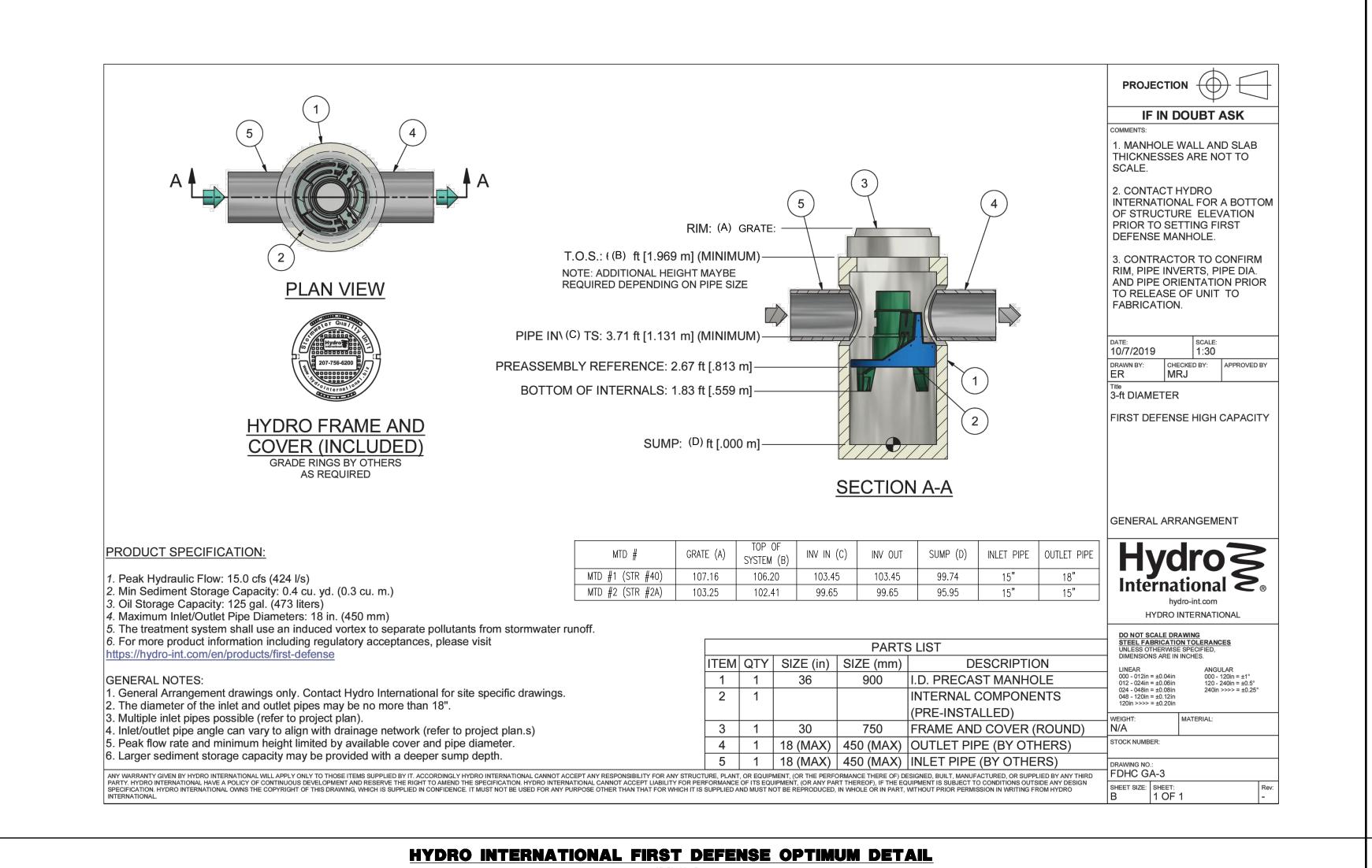


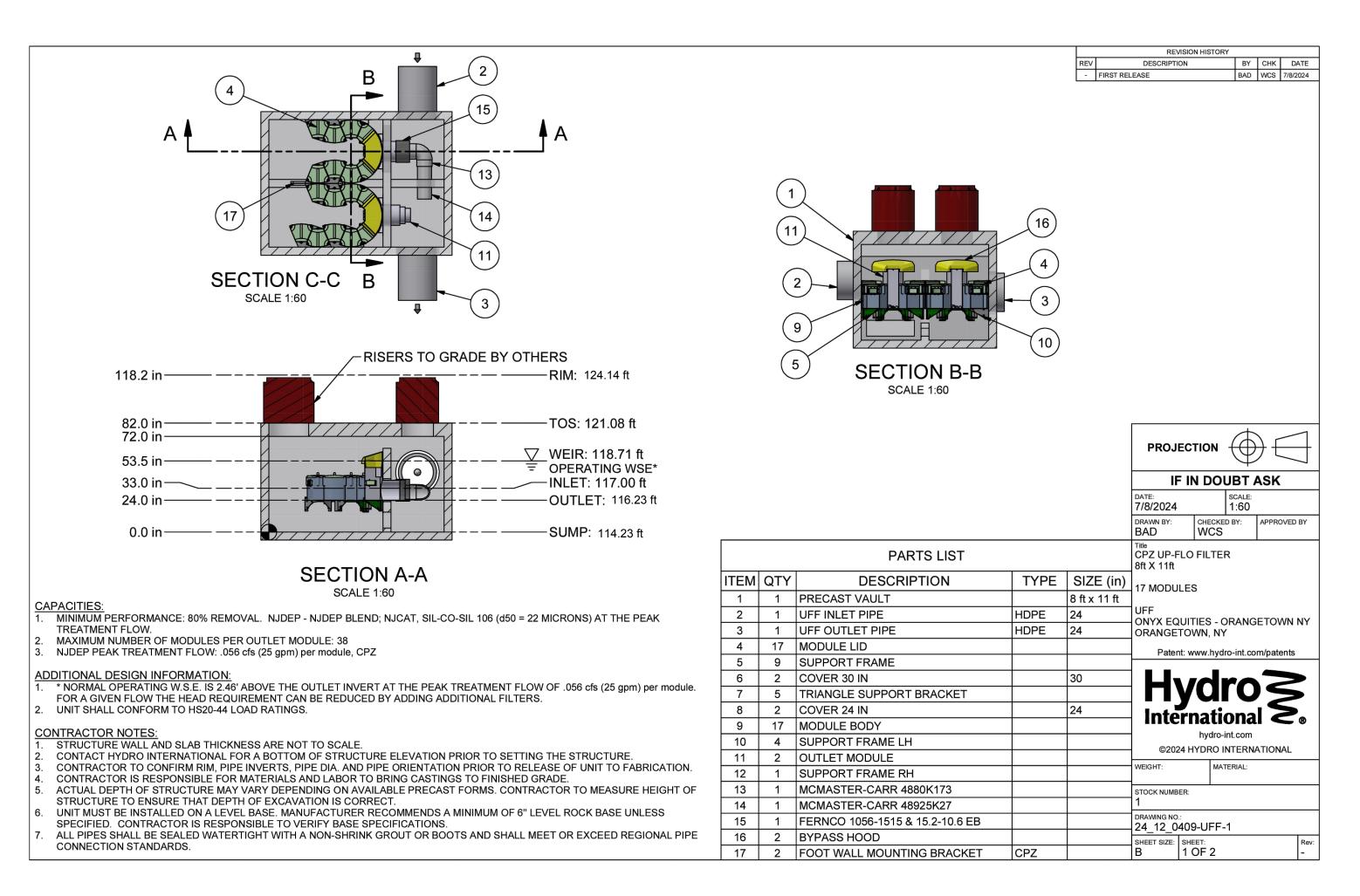
#### FERGUSON R-TANK DETAILS

Additional Cover Materials: Structural Fill shall consist of granular materials meeting the gradational requirements of SM, SP, SW, GM, GP or GW as classified by the Unified Soil

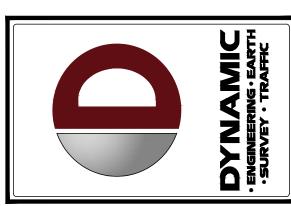
Utility Marker: Install metallic tape at corners of R-Tank system to mark the area for future utility detection.

Classification System, Structural fill shall have a maximum of 25 percent passing the No. 200 sieve, shall have a maximum clay content of 10 percent and a maximum Plasticity Index





HYDRO INTERNATIONAL UP-FLO FILTER WITH CPZ MEDIA DETAIL



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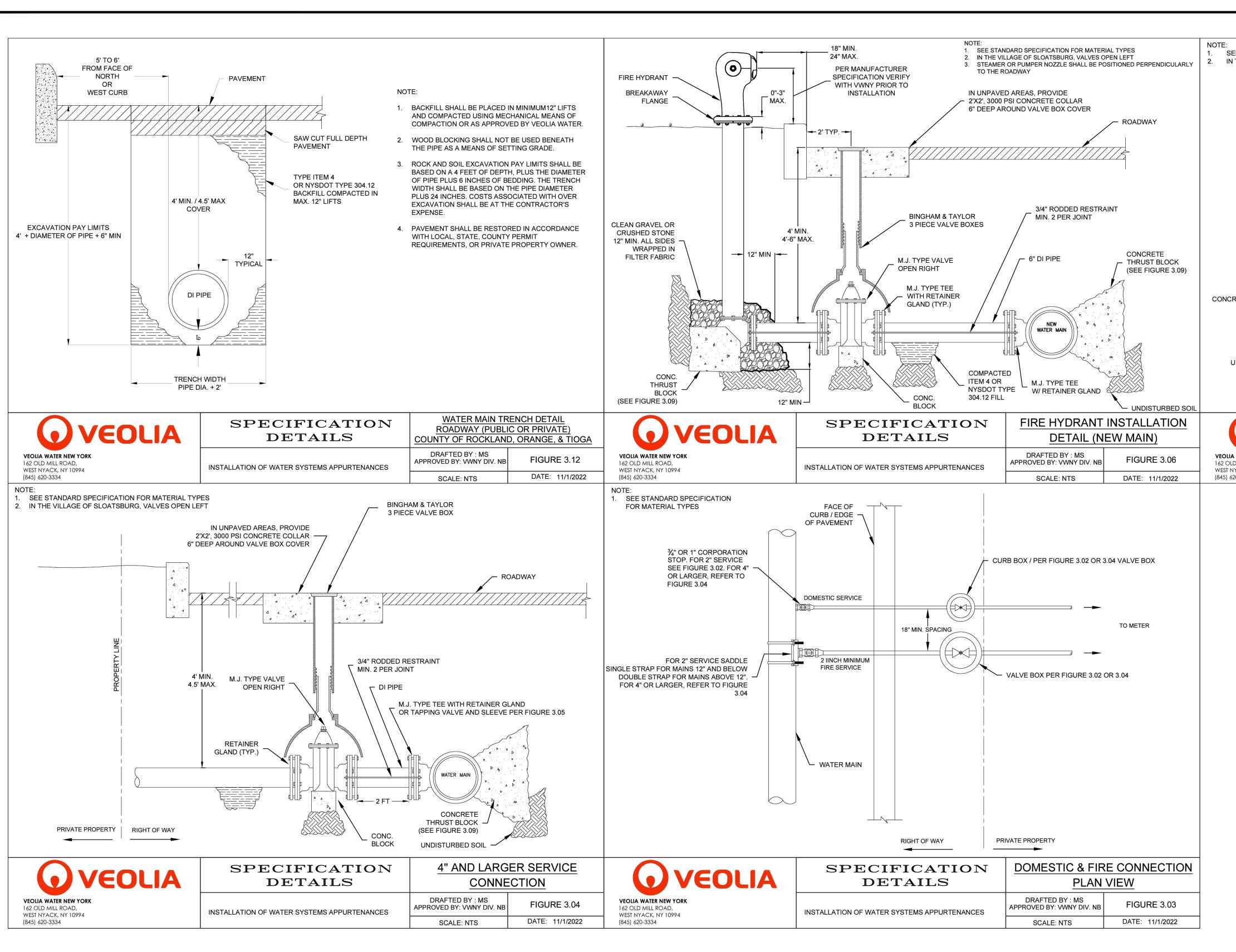
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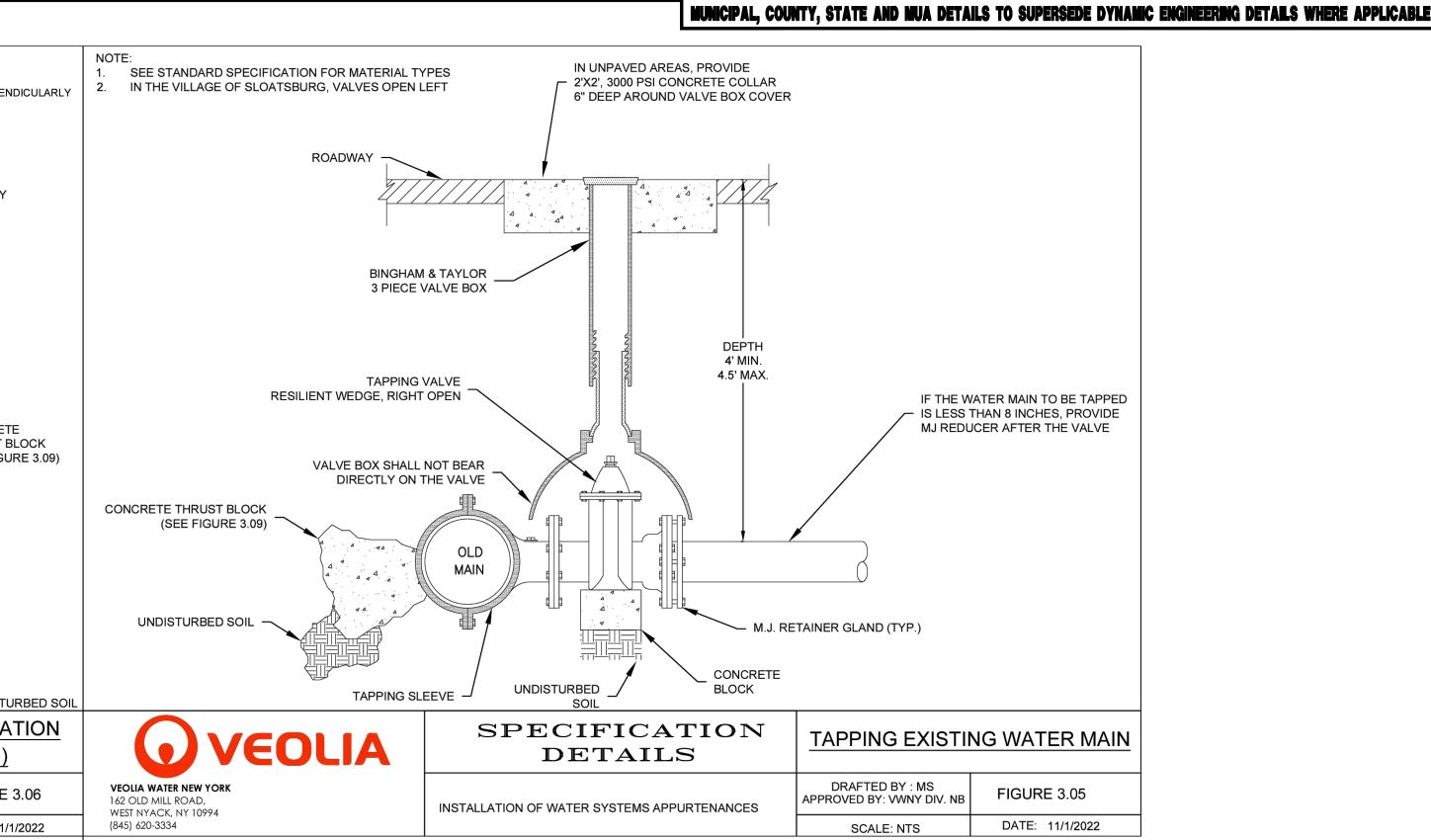
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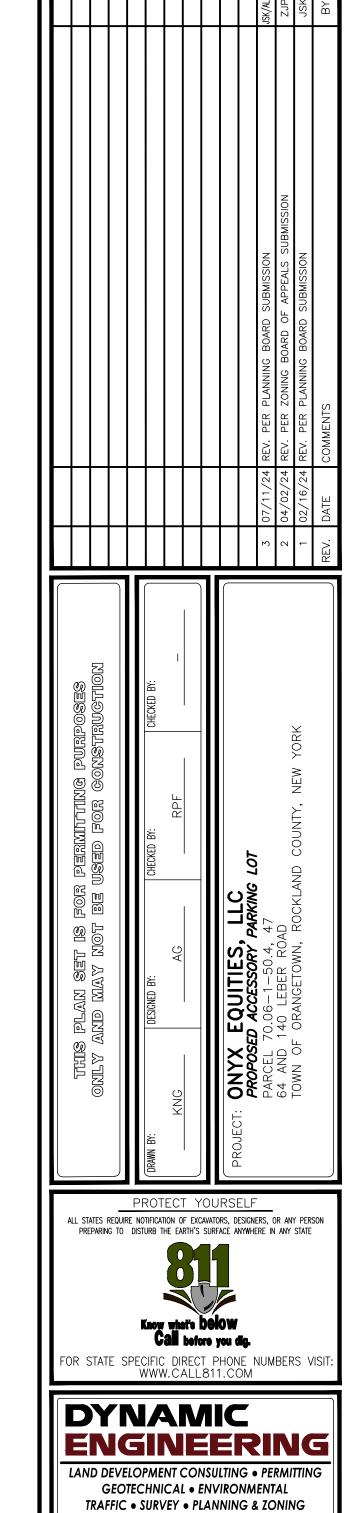
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