Donald Brenner, P.E., LL.B.

Attorney-At-Law • Professional Engineer 4 Independence Avenue, Tappan, New York 10983

Phone 845-359-2210

Fax 845-359-8070

April 15, 2024

Supervisor Teresa Kenny, Esq. Members of the Town Board Town of Orangetown 26 West Orangeburg Road Orangeburg, New York 10962

Petition for Amendment to Zoning Ordinance Western Hwy and Ellsworth Dr. In the Hamlet of Blauvelt Section 70.05, Block 1 and Lot(s) 14.1, 14.2, 17.1 Professional Services 24-1431D-5B(1)

Dear Supervisor Kenny and Members of the Town Board:

Re:

My clients Hegarty Homes, Inc. and Hudson Valley Nursery, Inc. are attempting to develop a parcel of land located at Western Hwy and Ellsworth Drive, Blauvelt, New York 10913 for uniform residential housing.

Accordingly, I enclose (1) a Petition for Amendment to the Zoning Ordinance of the Town of Orangetown from an "R-80 District to an "R-15" District.

The client respectfully respects that this matter be place on the next Town Board Agenda for final consideration.

If you require additional information feel free to call me.

Very truly yours,

& Breaker

Donald Brenner

DB/hi Enclosures cc: Town Attorney Town Clerk Hagerty Homes, Inc. Hudson Valley Nursery, Inc.

Z. Docs 1 - Client 1431D-6A - Ellsworth Drive Estate - Zone Chauge Letter Supervisor Kenny, etal (1431D-6A) 04.12.24.wpd

# TOWN BOARD: TOWN OF ORANGETOWN COUNTY OF ROCKLAND STATE OF NEW YORK

IN THE MATTER OF THE

PETITION OF

# HEGARTY HOMES, INC.

AND

# HUDSON VALLEY NURSERY, INC.

AMENDMENT TO THE ZONING ORDINANCE OF THE TOWN OF ORANGETOWN FROM AN "R-80" DISTRICT TO AN "R-15" DISTRICT

# TO THE TOWN BOARD OF THE TOWN OF ORANGETOWN

The undersigned petitioner respectfully petitions your Honorable Board as follows:

<u>FIRST</u>:

HEGARTY HOMES, INC. and HUDSON VALLEY NURSERY, INC., whose

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TOWN CLERK'S OFFICE

PETITION

100 H A 8:

(J7)

principal place of business is located at 75 Michael Roberts Court, Pearl River, NY 10965, are

the owners of properties located at Western Highway and Ellsworth Drive in the hamlet of

Blauvelt, more particularly bounded and described in Addendum "A" annexed hereto.

SECOND:

The properties described in Addendum "A" are known and designated on the Tax Map of the Town of Orangetown as:

<u>Section</u>	<u>Block</u>	<u>Lot</u>
70.05	1	14.1
70.05	1	14.2
70.05	1	17.1

# THIRD:

Annexed hereto and marked Exhibit "A" is a copy of the Vicinity and Zoning Area Map; and Exhibit "B" is a copy of the Tax Lots which are the subject of the Petition and of the surrounding parcels.

# FOURTH:

Annexed hereto and marked Addendum "B" is a list of names and addresses of all owners owning property within 500 feet of the properties which are the subject of this application as the same appears on the tax roll of the Town of Orangetown.

# <u>FIFTH</u>:

That the properties which are the subject of this Petition comprise approximately 6.950 acres.

## SIXTH:

Said properties are presently zoned R-80.

## SEVENTH:

Pursuant to the Town Law of the State of New York, and the Zoning Ordinance of the Town of Orangetown, petitioners hereby request that the Zoning Ordinance be amended to place the aforesaid real property, as described and shown in Exhibit "B," in an R-15 Zoning

-2-

District which would allow the development of uniform residential housing under the requirements of that zone. (See Exhibit "C" and Exhibit "D")

# EIGHTH:

That said proposed change would be compatible with the present and proposed uses of the adjoining and neighboring properties. Further, this would be the most practical way, economically and beneficially, in which the property could be utilized.

<u>NINTH</u>:

That said proposed use would be in the public interest of the residents of the Town of Orangetown in that:

(a) the development of the property under an R-15 Zone would establish a substantial tax ratable for the Town of Orangetown;

(b) the development of the property under an R-15 Zone would fill a need for the residents of the Town of Orangetown;

(c) the development of the property under an R-15 Zone would be consistent with the general character of the immediate area surrounding the subject premises, which is principally residential.

(d) the development of the parcel under an R-15 Zone would permit the developers to install needed water and sewer facilities to this area;

(e) the granting of such relief as is sought in this Petition will be the most appropriate use of the subject parcel, and will promote the general health and welfare of the community, will preserve property values and will be beneficial to the owners.

-3-

### TENTH:

That the parcel which is the subject of this Petition can best be developed under the proposed R-15 Zone.

# ELEVENTH:

That the subject premises are not within 500 feet of any of the following:

(a) any county or state park or recreation area;

(b) any right-of-way of any county or state park or recreation area, expressway, or other limited access highway;

(c) any county or state owned land on which a public building or institution is situated.

WHEREFORE, petitioner respectfully prays that your Honorable Board take such steps and such action as may be necessary to grant the relief sought in this Petition.

Dated: April 12th, 2024

Respectfully submitted,

HEGARTY HOMES, INC. Edmined Lone Bv:

HUDSON VALLEY NURSERY INC. Ed murel Bv:

# STATE OF NEW YORK ) ) ss.: COUNTY OF ROCKLAND )

On this 12<sup>th</sup> day of April in the year 2024, before me the undersigned, a notary public in and for said state, personally appeared **EDMUND LANE**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

OF NEW YORK

HELEN M. INGALLS NOTARY PUBLIC, STATE OF NEW YORK Registration No. 01!N6129380 Qualified in Rockland County Commission Expires June 20, 20<u>25</u>

# ADDENDUM "A"

## **ADDENDUM "A"**

# Schedule "A"

# Tax Lots 70.05-1-14.1, 70.05-1-14.2, 70.05-1-17.1

## **Overall Description**

All that certain plot, piece or parcel of land, situate and being in Blauvelt, Town of Orangetown, Rockland County, New York, and being more particularly bounded and described as follows:

BEGINNING at a point the northeasterly corner of Lot #2 as shown on a subdivision plat entitled "Hudson Valley Estates," said plat having been filed in the Rockland County Clerk's Office as Map #7173, said point lying on the westerly line of North Western Highway, as widened as shown on said map, and running thence:

- 1. Along said westerly line of North Western Highway, as widened, S 10°43'22" E distant 10.97 feet; thence
- 2. Along the same, S 24°18'22" E distant 676.45 feet; thence
- 3. Along the westerly line of Old Western Highway, S 01°45'56" E distant 199.01 feet (200.37 feet per Filed Map #7173) to the southeast corner of the parcel herein described; thence
- 4. Along the northerly line of Lands n/f O'Rourke (Tax Lot 70.09-1-50), generally along a stone wall, N 83°24'47" W distant 184.69 feet to an iron pipe; thence
- 5. Along the northerly line of lands n/f Buckley (Tax Lot 70.09-1-37) generally along a stone wall, N 81°29'30" W distant 170.49 feet to an iron pin; thence
- 6. Along the terminus of a "tee" turnaround, the following three (3) courses and distances:
  - a. N 08°30'30" E distant 25.00 feet; thence
  - b. N 81°29'30" W distant 100.00 feet; thence
  - c. S 08°30'30" W distant 25.12 feet to a stone wall and the northerly line of lands n/f Fitzpatrick (Tax Lot 70.09-1-36); thence
- 7. Along the northerly line of said lands n/f Fitzpatrick, N 81°46'45" W distant 68.02 feet to the southwest corner of the parcel herein described; thence
- Along the easterly line of lands n/f Corwick Realty Corp., (Tax Lot 70.05-1-17.2), N 07°27'33" E distant 389.82 feet (394.08 feet per Filed Map #7172); thence
- 9. Still along same, N 84°41'38" E distant 93.78 feet; thence
- 10. Still along same, N 24°18'22" W distant 440.21 feet to the southerly line of lands n/f Macy (Tax Lot 70.05-1-11); thence
- 11. Along the southerly line of said lands n/f Macy, and generally along a stone wall, S 81°19'54" E distant 272.02, to the point or place of BEGINNING.

Note that the bearings and distances along the southerly boundary of the property described herein for courses #4, #5, #6, and #7 have been adjusted from those shown on Filed Maps #7173 and #7172 in order to match the adjoining deeds for properties to the south and the description of Ellsworth Drive without overlap or gore.

# ADDENDUM "B"

SWIS	PRINT KEY	NAME	ADDRESS
392489	70.05-1-12	Addolorata Rinaldi	10 Leber Rd,Blauvelt,
392489	70.05-1-13	Jose L Bermudez	22 Leber Rd Blauvelt.
392489	70.05-1-14.1	Hegarty Homes LLC	75 Michael Roberts Di
392489	70.05-1-14.2	Hudson Valley Nursery Inc	64 Central School Rd,
392489	70.05-1-17.1	Hegarty Homes LLC	75 Michael Roberts Dr
392489	70.06-1-25	Salina N Nordstrom	3 Redbud Ln.Blauvelt.
392489	70,06-1-26	Dennis Kieman	2 Redbud Ln.Blauvelt,
392489	70.06-1-27	Thomas F Rooney	675 Western Hwy Blau
392489	70.06-1-28	Ronald Pastore	679 Western Hwy,Blau
392489	70.06-1-29	Donald H Gabel Jr	683 Western Hwy, Blau
392489	70.06-1-30	Michael Talone	693 Western Hwy, Blau
392489	70.06-1-31	Alfredo Zaldivar	29 Leber Rd, Blauvelt,
392489	70.06-1-32	Jarrod Esposito	37 Leber Rd, Blauvelt,
392489	70,06-1-33	Patrick Mulvihill	1 Redbud Ln,Blauvelt,
392489	70.06-1-34	C Scott Vanderhoef	51 Leber Rd, Blauvelt,
392489	70.06-1-55	Qiong Li	36 Leber Rd,Blauvelt,
392489	70.09-1-20	Lalu Varughese	27 Milton Grant Dr, Bla
392489	70.09-1-21	James J Hayes Jr	30 Milton Grant Dr, Bla
392489	70.09-1-33	Laurence DeCaro	19 Elisworth Dr.Blauve
392489	70.09-1-34	Ronald J Harmon	25 Elisworth Dr.Blauve
392489	70.09-1-35	Anton Usic	33 Elisworth Dr, Blauve
392489	70.09-1-36	John C Fitzpatrick	35 Ellsworth Dr.Blauve
392489	70.09-1-37	Dennis Buckley	36 Ellsworth Dr, Blauve
392489	70.09-1-38	Thomas Shalvey	34 Elisworth Dr,Blauve
392489	70.09-1-39	James J Mc Caffrey Jr	28 Ellsworth Dr, Blauve
392489	70.09-1-40	Joseph Kennedy	18 Elisworth Dr, Blauve
392489	70.09-1-45	Frederick J Vero	79 Old Western Hwy,B
392489	70.09-1-46	David Kosberg	81 Old Western Hwy, B
392489	70.09-1-47	Steven Weiss	83 Old Western Hwy,B
392489	70.09-1-48	Paul K Silva	89 Old Western Hwy,B
392489	70.09-1-49	Michael Klomberg	91 Old Western Hwy,B
392489	70.09-1-50	Christopher M O'Rourke	646 Gilbert Ave, Pearl F
392489	70.09-1-51	Town Of Orangetown	, 26 Orangburg Rd,Orar
392489	70.09-1-52	Brian Segarra	102 Old Western Hwy,
392489	70.09-1-53	Josef Schmutzer	100 Old Western Hwy,
392489	70.09-1-54	Paul Kaczmarczyk	80 Old Western Hwy,B
392489	70.09-1-65	Patrick O'Connor	668 Western Hwy, Blau
392489	70.10-1-1	Jenna Isker	2 Shorn Dr,Blauvelt, N
392489	70.10-1-2	Howard Suckle	4 Shorn Dr,Blauvelt, N

#### .....

II, NY 10913 II, NY 10913 II, NY 10913 Alt, NY 10913 Dr,Pearl River, NY 10965 Rd,Wantage, NJ 07641 Dr,Pearl River, NY 10965 elt, NY 10913 elt, NY 10983 lauvelt, NY 10913 elt, NY 10913 elt, NY 10913 elt, NY 10913 dt, NY 10913 

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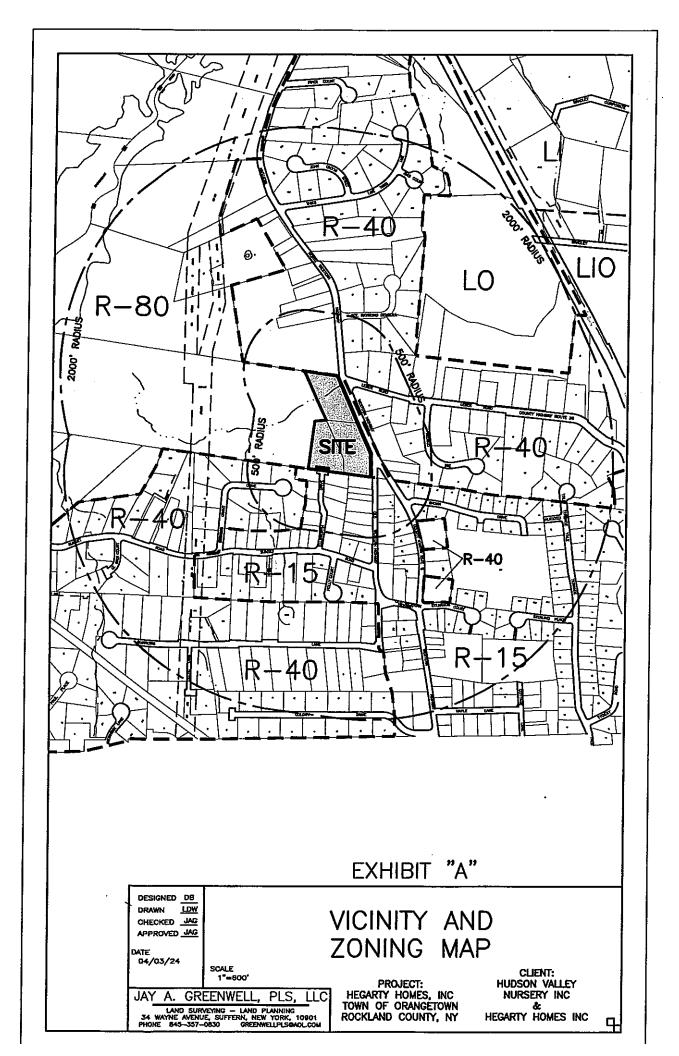
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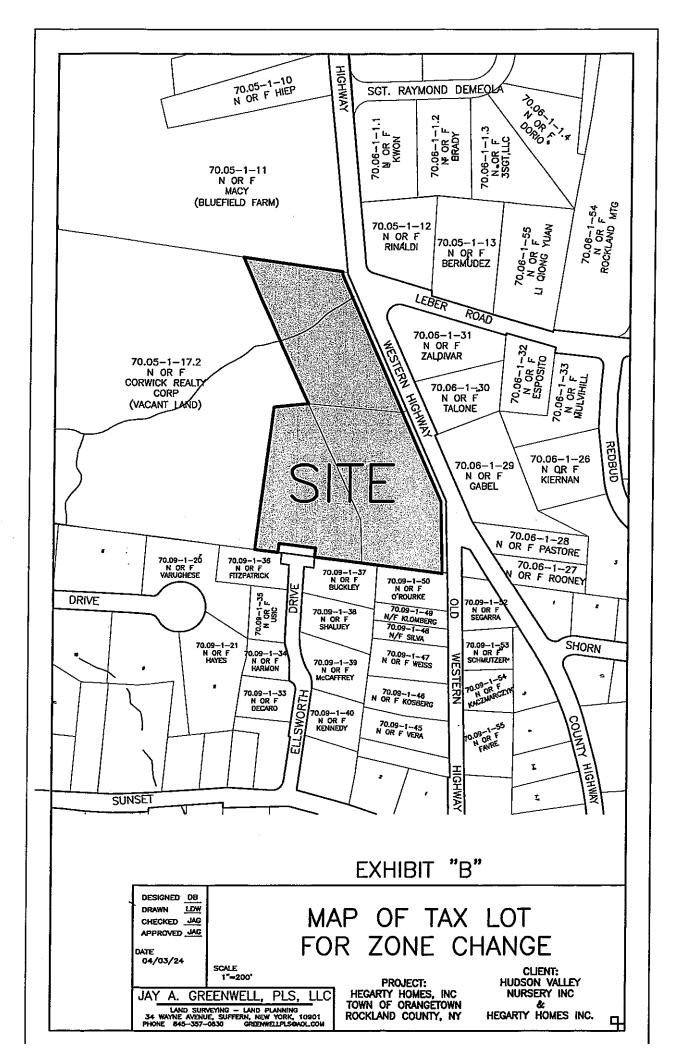
angeburg, NY 10962 xy,Blauveit, NY 10913 xy,Blauveit, NY 10913 y,Blauvelt, NY 10913 ;Blauvelt, NY 10913 auvelt, NY 10913 NY 10983 NY 10913

# EXHIBIT "A"

2



# EXHIBIT "B"



# EXHIBIT "C"

4.1

#### ZONING

#### 43 Attachment 13

# Towa of Orangetowa Table of General Bulk Regulations (§ 3.12) R-80 District R-40 District R-42 District R-12 District R-15 District [Amended 9-27-2016 by L.L. No. 9-2016] 5-23-2017 by L.L. No. 6-2017]

•	 	Tores lorge	( PY LoLo IXO, 6-2017)	
			•	

nrict ( 15 p	Group	For Uses Listed Below	Maximum Floor Area Ratio	Misimum Lat Area (See Note 16) [square feet]	Minimum Lot Width (feet)	Mialmum Street Frontage (See Note S) (feet)	Required Front Yard (See Notes 6 and 7) (fret)	Required Side Yard (See Note 2) (feet)	Total Side Yard	Required Rear Yard (See Note 2)	Maximum Building Reight
	••	Single-family detached residences and uses in Group B	0,20	15,000	100	75	30	and the second	(fert)	(feet)	(See Note 7)
N	41	SAME AS Group B					30	20	<b>S</b> 0	35	l foot
r	1	Attached vetteran housing and single- family attached residences for adults in buildings not more than 2 stories high*****	0,20 0,20 (Sre Note 15)	3 acres See Note 18	200 100	150 75	60 30	40 30	80 75	50 35	l foot 8 inches
C	)	All other uses allowed in R-15 (See Notes 3 and 13)	0,20	30,000	250	100	100	75	200		
P	۱ 	Police, fire, government buildings	None	None	Nees	**			200	100	3 inches
	um hain				140110	30	100	100	200	100	Nune
- AOLEO	um heig tre then	• •		None five acres, teat same impose limit	None 14 or requirements r	50	100	100	200	100	

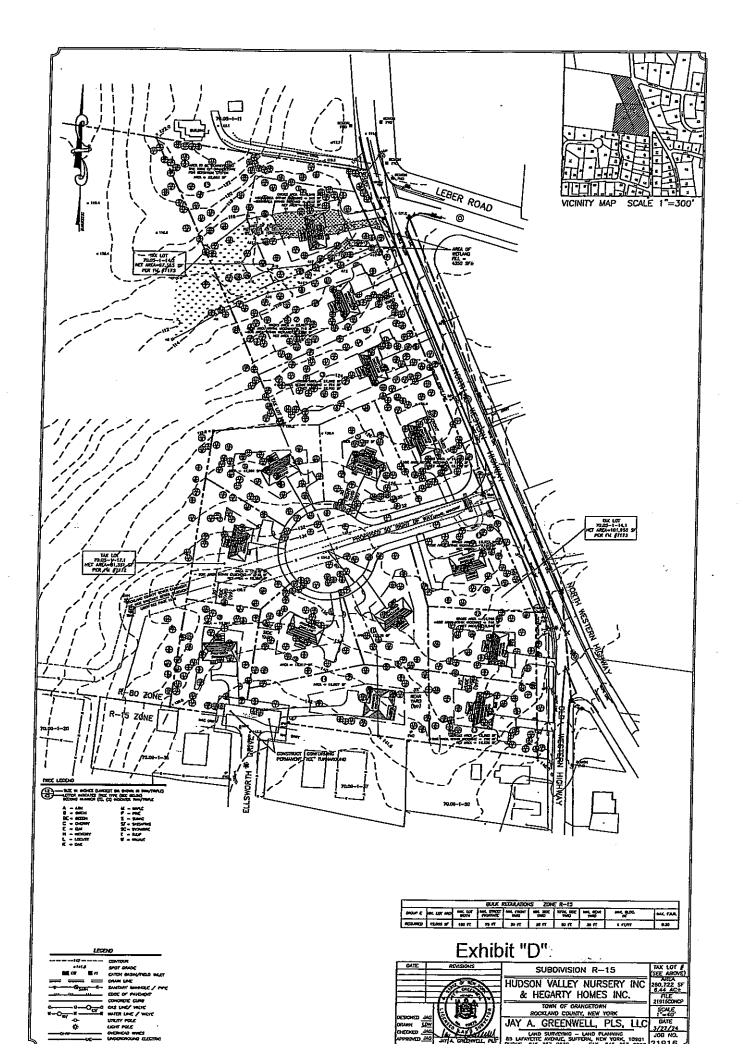
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43 Attachment 13:1

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EXHIBIT "C"

# EXHIBIT "D"





50 Park Place Suite 901, Newark, NJ 07102

PROJECT:	Orangetown NY - Onyx Equities, LLC 1739 22-02023	DATE:	5/9/2024
SUBJECT:	64 Leber Road - Watercourse Diversion Permit	TRANSMITTAL ID:	00010
PURPOSE:	For your use	VIA:	Info Exchange

#### FROM

NAME	COMPANY	EMAIL	PHONE
John Kosko 50 Park Place Suite 901 Newark, NJ 07102	Dynamic Engineering Consultants PC	jkosko@dynamicec.com	Ext. 2503

#### ТО

NAME	COMPANY	EMAIL	PHONE
Jane Slavin United States		jslavin@orangetown.com	
rmagrino@orangetown.c om United States		rmagrino@orangetown.com	
kbettmann@orangetown. com United States		kbettmann@orangetown.com	
bpeters@orangetown.co m		bpeters@orangetown.com	

REMARKS: Good Afternoon,

Hard copies of the Watercourse Diversion Permit Package went out the door today and will arrive to the Town tomorrow morning ahead of the May 21st Town Board Hearing. The link attached supplies PDF copies of the package as well.

Thank you, John Kosko Design Engineer DYNAMIC ENGINEERING

Licensed Professional Engineers throughout the United States

50 Park Place | Suite 901 | Newark, New Jersey 07102 PH: (973) 755-7200 Ext. 2503

DATE: 5/9/2024 TRANSMITTAL ID: 00010

Additional office locations:

Florida (Delray Beach) - 100 NE 5th Ave | Suite B2 | Delray Beach, FL 33483 | PH: (561) 921-8570

Maryland (Annapolis) - 125 West Street | Annapolis, MD 21401 | PH: (410) 567-5000 New Jersey (Belmar) - 825 8<sup>th</sup> Avenue | Belmar, NJ 07719 | PH: (732) 974-0198 New Jersey (Chester) - 245 Main Street | Suite 110 | Chester, NJ 07930 | PH: (908) 879-9229

New Jersey (Lake Como) - 1904 Main Street | Lake Como, NJ 07719 | PH: (732) 974-0198 New Jersey (Mariton) - Five Greentree Centre | 525 Route 73 North | Suite 406 | Mariton, NJ 08053 | PH: (856) 334-2000

**New Jersey (Toms River)** - 40 Main Street | 3<sup>rd</sup> Floor | Toms River, NJ 08753 | PH: (732) 678-0000

Pennsylvania (Lehigh Valley) - 95 Highland Ave | Suite 170 | Bethlehem, PA 18017 | PH: (610) 598-4400

Pennsylvania (Newtown) - 826 Newtown Yardley Road | Suite 201 | Newtown, PA 18940 | PH: (267)685-0276

Pennsylvania (Philadelphia) - 1515 Market Street | Suite 1920 | Philadelphia, PA 19102 | PH: (215) 253-4888

Texas (Austin) - 901 Mopac Expressway South | Barton Oaks Plaza One | Suite 300 | Austin, TX 78746 | PH: (512) 646-2646

Texas (Dallas) - 714 S. Greenville Avenue | Suite 100 | Allen, TX 75002 | PH: (972) 534-2100

Texas (Houston) - 6925 Portwest Drive | Suite 100 | Houston, TX 77024 | PH: (281) 789-6400

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DYNAMIC SURVEY DYNAMIC

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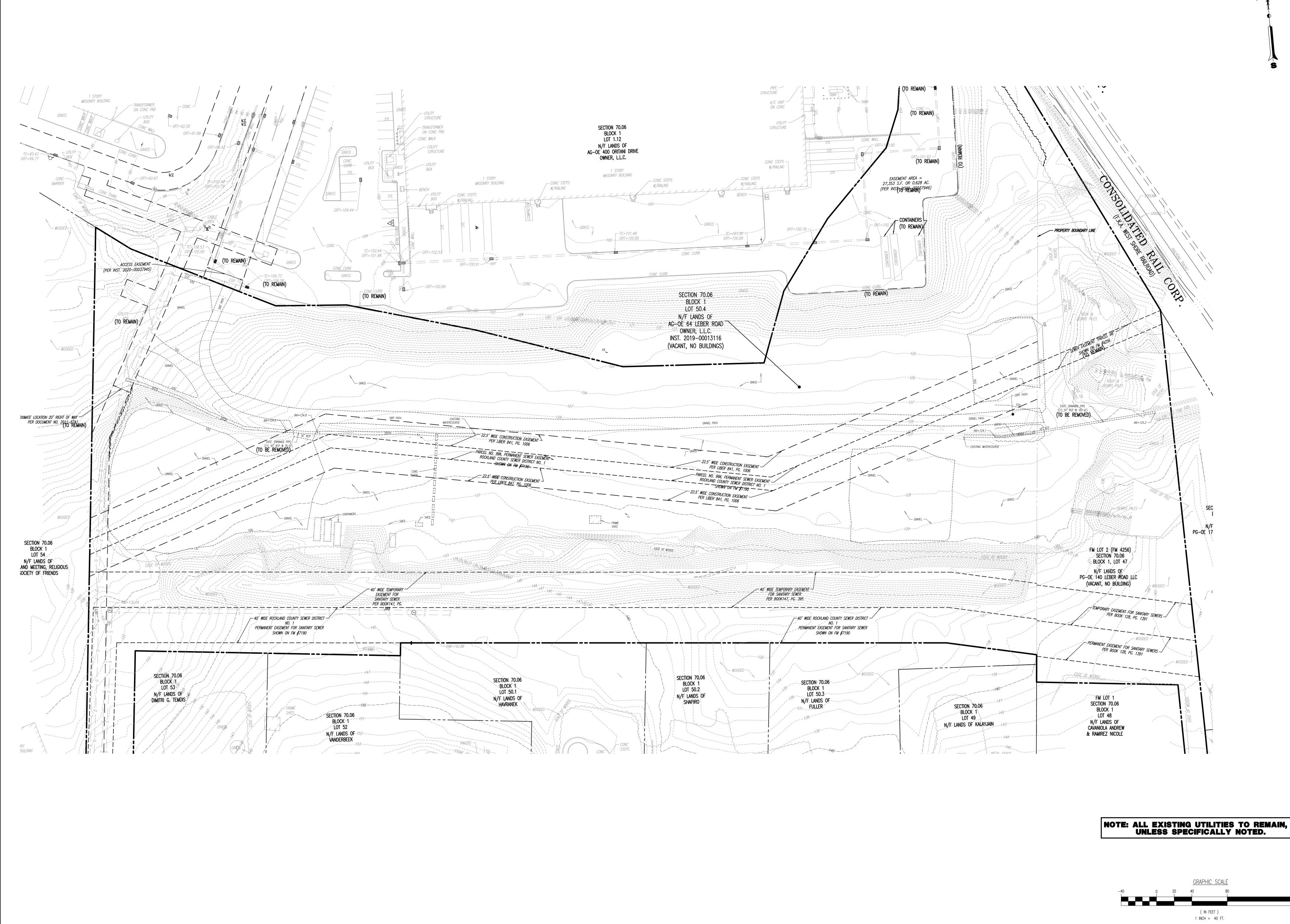
DESCRIPTION OF CONTENTS

QTY	DATED	TITLE	NOTES
1	5/9/2024	2024-05-09 - Attorney Watercourse Diversion Permit CL.pdf	
1	5/9/2024	2024-05-09 - Response Letter.pdf	
1	5/9/2024	2024-05-09 Watercourse Diversion Permit Package.pdf	

DYNAMIC EARTH

COPIES:

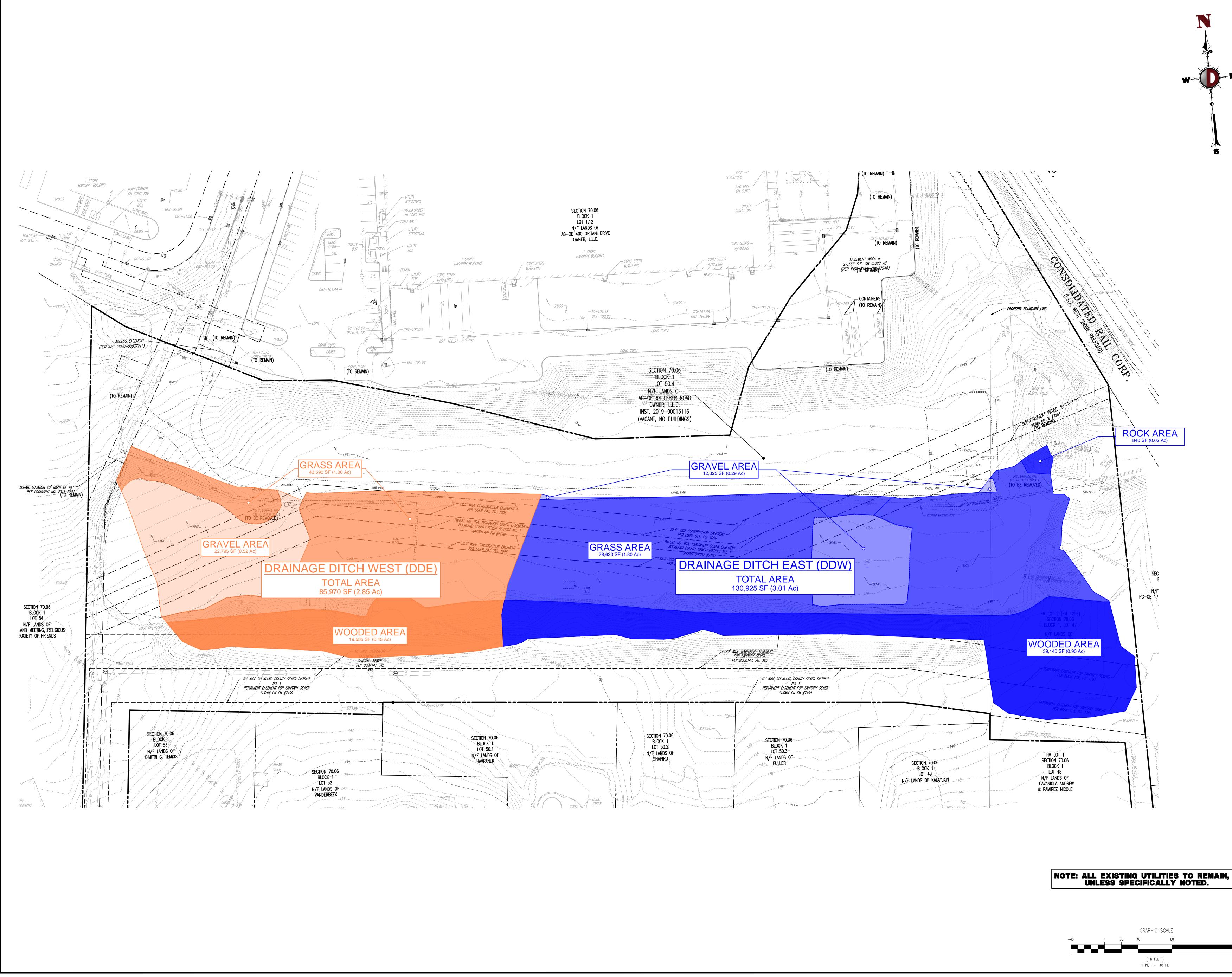
Zachary Kamm(Dynamic Engineering Consultants PC)Robert Freud(Dynamic Engineering Consultants PC)SMandelbaum@mgslawyers.com(Dynamic Engineering Consultants PC)John Kosko(Dynamic Engineering Consultants PC)



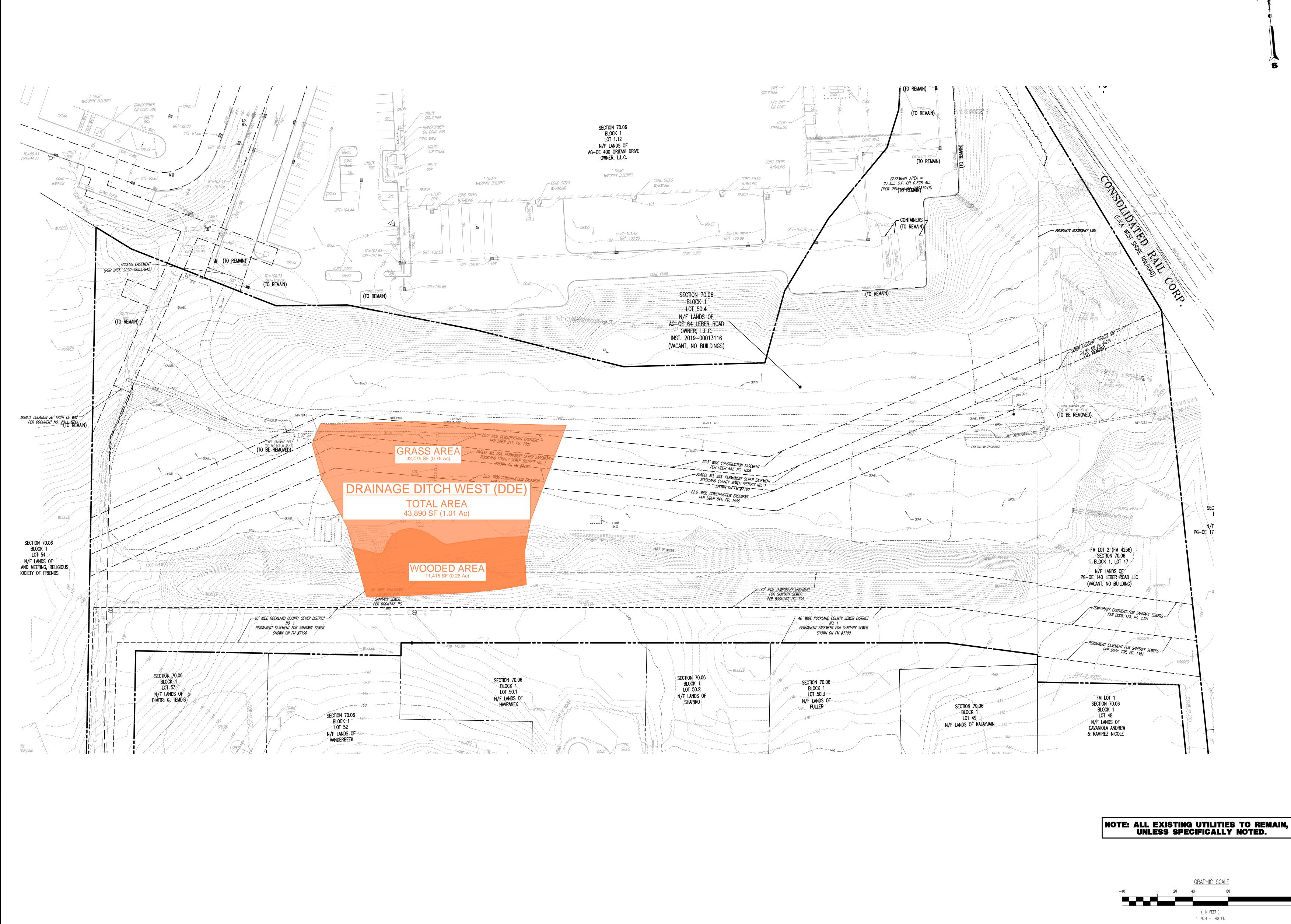




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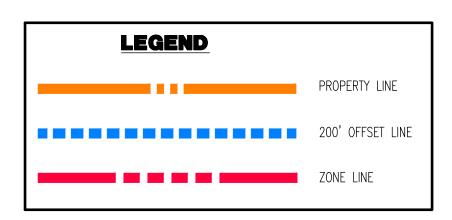
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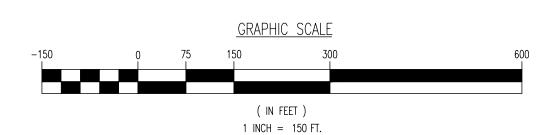


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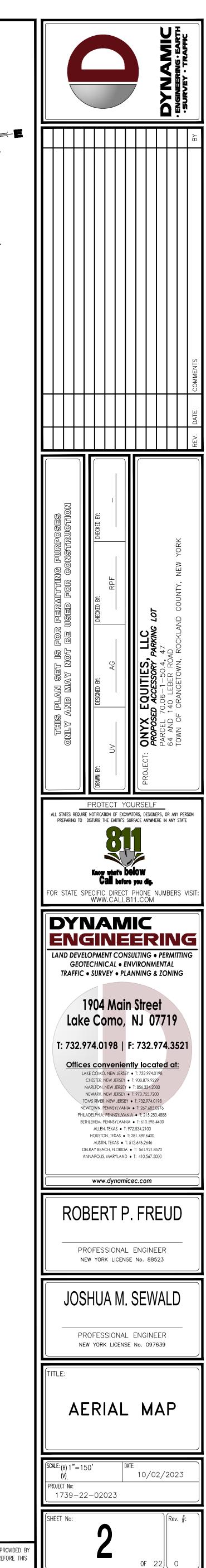








THE AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED ON IMAGERY PREPARED BY DIGITAL GLOBE, GEO EYE AND USDA FARM SERVICE AGENCY. THIS IMAGERY WAS PROVIDED BY GOOGLE MAPS ON 07/18/22. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.



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## **Stormwater Conveyance System Capacity Analysis**

Project: Proposed Accessory Parking Lot Job #: 1739-22-02023 Location: Town of Orangetown, NY Design Storm: 100-year

Computed By: JSK Checked By: ZK Date: 5/9/2024

#### NOTES:

 Design method used is Rational Method, unless otherwise noted.
 Refer to Inlet Area Summary and Average Coefficient (C) Calculations Table for calculation of incremental areas and C values

PIPE SE	CTION	SUBCATCHMENT AREA	INCR	EMENTAL	CUMULATIVE		TIME OF CENTRA		Ι	PEAK R	UNOFF	PIP	ING INP	UT	1	PIPING DA	ATA
FROM	ТО	Area (Acres)	"C"	A x C Ac	A x C (acres)	Tc to Inlet (min)	Tc in Pipe (min.)	Final Tc (min)	(In/Hr)	Q to Inlet (CFS)	Q cum. for Pipe (CFS)	Dia. (In)	Length (Ft)	Man. "n"	Slope (ft/ft)	Pipe Capacity (cfs)	Pipe Velocity (fps)
DDW	POA-W	1.01	0.66	0.67	0.67	10.00	0.05	10.00	8.15	5.46	5.46	30	35.0	0.013	0.0230	62.20	12.68

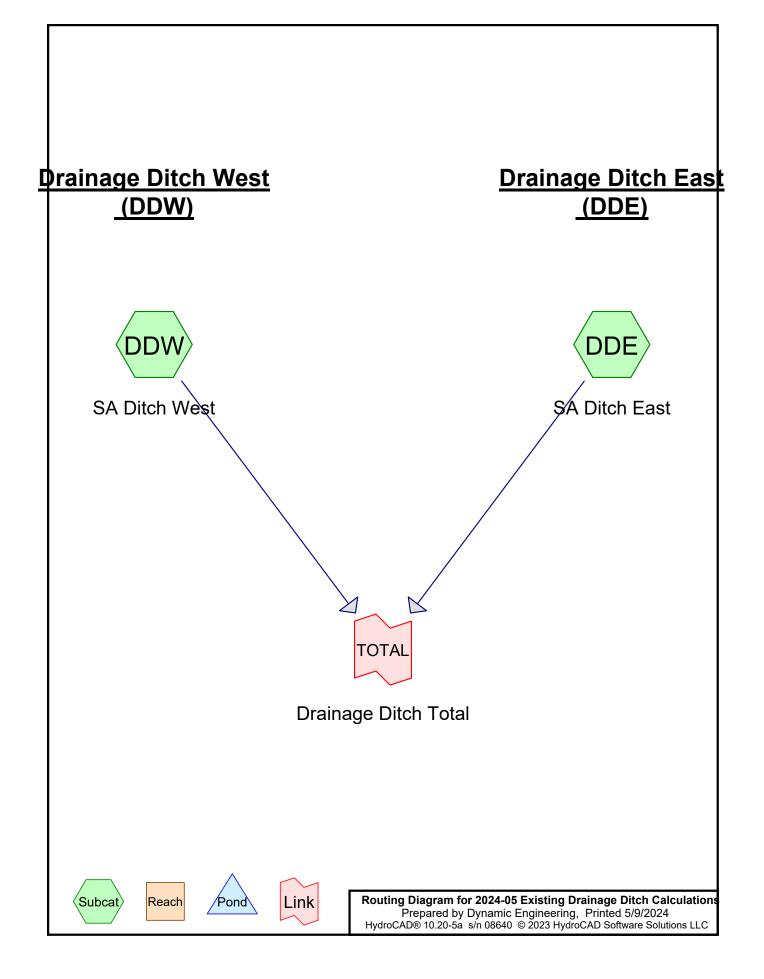


# **Ditch Area Summary and Average Coefficient (C) Calculations**

Project:Proposed Accessory Parking LotJob #:1739-22-02023Location:Town of Orangetown, NY

Computed By: JSK Checked By: ZK Date: 5/9/2024

, j					Average Coefficient (C) Used	Total Area (SF)	Total Area (acres)
Drainage Ditch West	0	0.96	43890	0.66	0.66	43890	1.01



# **Project Notes**

Copied 9 events from NY-Orangetown 24-hr S1 storm Copied 9 events from NY-Orangetown 24-hr S1 storm

 Event#	Event Name	Storm Type	Curve	Mode	Duration (hours)	B/B	Depth (inches)	AMC
 1	1-yr	NY-Orangetown 24-hr S1	1-yr	Default	24.00	1	2.79	2
2	10-yr	NY-Orangetown 24-hr S1	10-yr	Default	24.00	1	5.06	2
3	100-yr	NY-Orangetown 24-hr S1	100-yr	Default	24.00	1	8.97	2

# **Rainfall Events Listing**

# Area Listing (all nodes)

Area	CN	Description
(acres)		(subcatchment-numbers)
1.805	69	50-75% Grass cover, Fair, HSG B (DDE)
1.001	79	50-75% Grass cover, Fair, HSG C (DDW)
0.283	96	Gravel surface, HSG B (DDE)
0.523	96	Gravel surface, HSG C (DDW)
0.019	98	Rock Area, HSG B (DDE)
0.899	60	Woods, Fair, HSG B (DDE)
0.450	73	Woods, Fair, HSG C (DDW)

# Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
3.006	HSG B	DDE
1.974	HSG C	DDW
0.000	HSG D	
0.000	Other	

 HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
 0.000	1.805	1.001	0.000	0.000	2.806	50-75% Grass cover, Fair	DDE,
							DDW
0.000	0.283	0.523	0.000	0.000	0.806	Gravel surface	DDE,
							DDW
0.000	0.019	0.000	0.000	0.000	0.019	Rock Area	DDE
0.000	0.899	0.450	0.000	0.000	1.348	Woods, Fair	DDE,
							DDW

# Ground Covers (all nodes)

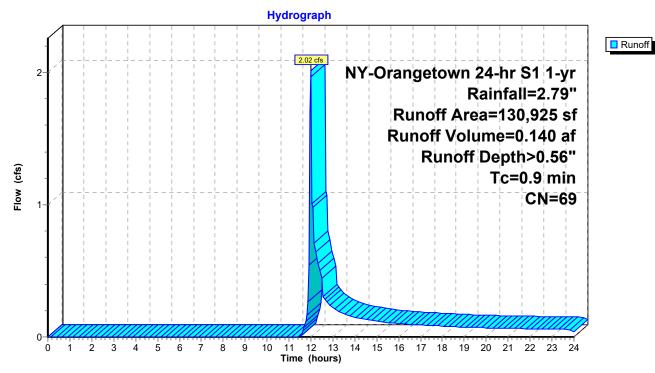
# Summary for Subcatchment DDE: SA Ditch East

Runoff = 2.02 cfs @ 11.99 hrs, Volume= 0.140 af, Depth> 0.56" Routed to Link TOTAL : Drainage Ditch Total

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs NY-Orangetown 24-hr S1 1-yr Rainfall=2.79"

	A	rea (sf)	CN [	Description							
		78,620	69 5	50-75% Grass cover, Fair, HSG B							
		12,325	96 (	Gravel surface, HSG B							
		39,140	60 \	Woods, Fair, HSG B							
*		840	98 F	Rock Area,	HSG B						
	1	30,925	69 \	69 Weighted Average							
	1	30,085	ę	99.36% Pervious Area							
		840	(	0.64% Impervious Area							
	Тс	Length	Slope	Velocity	Capacity	Description					
(	(min)	(feet)	(ft/ft)	(ft/sec)	(cfs)						
	0.9					Direct Entry, TC DDE					

# Subcatchment DDE: SA Ditch East



# oCAD® 10.20-5a s/n 08640 © 2023 HydroCAD Software Solutions LLC Hydrograph for Subcatchment DDE: SA Ditch East

Time	Precip.	Excess	Runoff	Time	Precip.	Excess	Runoff
(hours)	(inches)	(inches)	(cfs)	(hours)	(inches)	(inches)	(cfs)
0.00	0.00	0.00	0.00	13.00	2.04	0.23	0.22
0.25	0.01	0.00	0.00	13.25	2.08	0.25	0.19
0.50	0.02	0.00	0.00	13.50	2.12	0.26	0.18
0.75	0.03	0.00	0.00	13.75	2.16	0.28	0.16
1.00	0.04	0.00	0.00	14.00	2.19	0.29	0.15
1.25 1.50	0.05 0.06	0.00 0.00	0.00 0.00	14.25 14.50	2.22 2.25	0.30 0.31	0.14 0.13
1.50	0.00	0.00	0.00	14.30	2.23	0.31	0.13
2.00	0.07	0.00	0.00	15.00	2.20	0.32	0.12
2.25	0.09	0.00	0.00	15.25	2.32	0.34	0.11
2.50	0.10	0.00	0.00	15.50	2.34	0.35	0.11
2.75	0.11	0.00	0.00	15.75	2.36	0.36	0.11
3.00	0.12	0.00	0.00	16.00	2.38	0.37	0.10
3.25	0.13	0.00	0.00	16.25	2.40	0.38	0.10
3.50	0.14	0.00	0.00	16.50	2.42	0.39	0.10
3.75	0.15	0.00	0.00	16.75	2.44	0.39	0.09
4.00	0.17	0.00	0.00	17.00	2.46	0.40	0.09
4.25	0.18	0.00	0.00	17.25	2.47 2.49	0.41	0.09
4.50 4.75	0.19 0.20	0.00 0.00	0.00 0.00	17.50 17.75	2.49	0.42 0.42	0.09 0.08
5.00	0.20	0.00	0.00	18.00	2.50	0.42	0.00
5.25	0.22	0.00	0.00	18.25	2.53	0.44	0.08
5.50	0.24	0.00	0.00	18.50	2.55	0.44	0.08
5.75	0.26	0.00	0.00	18.75	2.56	0.45	0.08
6.00	0.27	0.00	0.00	19.00	2.57	0.45	0.08
6.25	0.29	0.00	0.00	19.25	2.59	0.46	0.07
6.50	0.30	0.00	0.00	19.50	2.60	0.47	0.07
6.75	0.32	0.00	0.00	19.75	2.61	0.47	0.07
7.00 7.25	0.34 0.35	0.00	0.00	20.00	2.62 2.64	0.48	0.07 0.07
7.25	0.35	0.00 0.00	0.00 0.00	20.25 20.50	2.64	0.48 0.49	0.07
7.75	0.39	0.00	0.00	20.30	2.66	0.50	0.07
8.00	0.41	0.00	0.00	21.00	2.67	0.50	0.07
8.25	0.43	0.00	0.00	21.25	2.68	0.51	0.06
8.50	0.45	0.00	0.00	21.50	2.69	0.51	0.06
8.75	0.47	0.00	0.00	21.75	2.70	0.52	0.06
9.00	0.49	0.00	0.00	22.00	2.71	0.52	0.06
9.25	0.52	0.00	0.00	22.25	2.72	0.53	0.06
9.50	0.54	0.00	0.00	22.50	2.73	0.53	0.06
9.75 10.00	0.57 0.60	0.00 0.00	0.00 0.00	22.75 23.00	2.74 2.75	0.54 0.54	0.06 0.06
10.00	0.60	0.00	0.00	23.00	2.75	0.54	0.06
10.20	0.67	0.00	0.00	23.20	2.70	0.55	0.06
10.75	0.71	0.00	0.00	23.75	2.78	0.56	0.06
11.00	0.76	0.00	0.00	24.00	2.79	0.56	0.04
11.25	0.82	0.00	0.00				
11.50	0.89	0.00	0.00				
11.75	1.03	0.00	0.12				
12.00	1.53	0.08	1.97				
12.25	1.78	0.14	0.59				
12.50 12.75	1.92 1.98	0.19 0.21	0.45 0.25				
12.15	1.50	0.21	0.20				
				I			

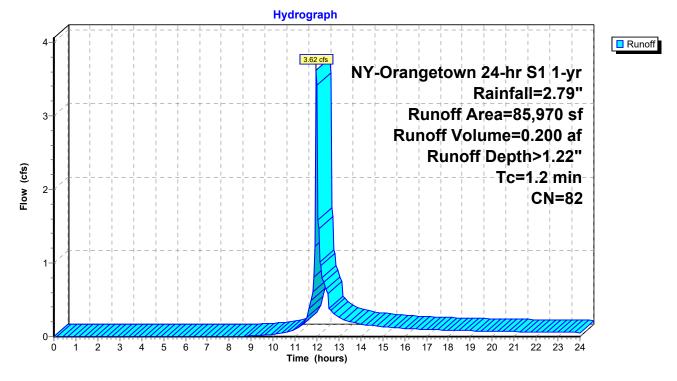
# Summary for Subcatchment DDW: SA Ditch West

Runoff = 3.62 cfs @ 11.98 hrs, Volume= 0.200 af, Depth> 1.22" Routed to Link TOTAL : Drainage Ditch Total

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs NY-Orangetown 24-hr S1 1-yr Rainfall=2.79"

A	rea (sf)	CN	Description					
	43,590	79	50-75% Grass cover, Fair, HSG C					
	22,795	96	Gravel surfa	ace, HSG C				
	19,585	73	Woods, Fai	r, HSG C				
	85,970	82	Weighted A	verage				
	85,970		100.00% Pervious Area					
Tc	Length	Slope	e Velocity	Capacity	Description			
(min)	(feet)	(ft/ft	) (ft/sec)	(cfs)				
1.2					Direct Entry, TC DDW			
					•			

# Subcatchment DDW: SA Ditch West



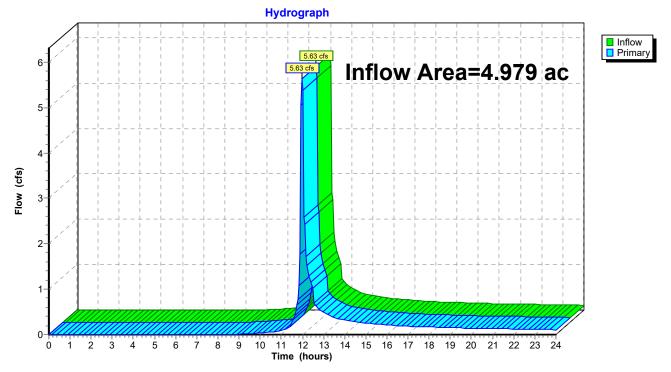
# Hydrograph for Subcatchment DDW: SA Ditch West

		_		ı		_	
Time	Precip.	Excess	Runoff	Time	Precip.	Excess	Runoff
(hours)	(inches)	(inches)	(cfs)	(hours)	(inches)	(inches)	(cfs)
0.00 0.25	0.00 0.01	0.00 0.00	0.00 0.00	13.00 13.25	2.04 2.08	0.67	0.27 0.23
0.25	0.01	0.00	0.00	13.25	2.08	0.71 0.73	0.23
0.30	0.02	0.00	0.00	13.75	2.12	0.76	0.21
1.00	0.04	0.00	0.00	14.00	2.10	0.78	0.17
1.25	0.05	0.00	0.00	14.25	2.22	0.80	0.16
1.50	0.06	0.00	0.00	14.50	2.25	0.82	0.15
1.75	0.07	0.00	0.00	14.75	2.28	0.84	0.14
2.00	0.08	0.00	0.00	15.00	2.30	0.85	0.13
2.25	0.09	0.00	0.00	15.25	2.32	0.87	0.13
2.50	0.10	0.00	0.00	15.50	2.34	0.89	0.12
2.75	0.11	0.00	0.00	15.75	2.36	0.90	0.11
3.00	0.12	0.00	0.00	16.00	2.38	0.91	0.11
3.25	0.13	0.00	0.00	16.25	2.40	0.93	0.11
3.50	0.14	0.00	0.00	16.50	2.42	0.94	0.10
3.75	0.15	0.00	0.00	16.75 17.00	2.44 2.46	0.95	0.10
4.00 4.25	0.17 0.18	0.00 0.00	0.00 0.00	17.00	2.40	0.97 0.98	0.10 0.09
4.20	0.10	0.00	0.00	17.50	2.47	0.98	0.09
4.75	0.20	0.00	0.00	17.75	2.50	1.00	0.09
5.00	0.22	0.00	0.00	18.00	2.52	1.01	0.09
5.25	0.23	0.00	0.00	18.25	2.53	1.02	0.08
5.50	0.24	0.00	0.00	18.50	2.55	1.03	0.08
5.75	0.26	0.00	0.00	18.75	2.56	1.04	0.08
6.00	0.27	0.00	0.00	19.00	2.57	1.05	0.08
6.25	0.29	0.00	0.00	19.25	2.59	1.06	0.08
6.50	0.30	0.00	0.00	19.50	2.60	1.07	0.07
6.75	0.32	0.00	0.00	19.75	2.61	1.08	0.07
7.00 7.25	0.34 0.35	0.00 0.00	0.00 0.00	20.00 20.25	2.62 2.64	1.09 1.10	0.07 0.07
7.50	0.35	0.00	0.00	20.25	2.04	1.10	0.07
7.75	0.39	0.00	0.00	20.30	2.66	1.12	0.07
8.00	0.41	0.00	0.00	21.00	2.67	1.12	0.07
8.25	0.43	0.00	0.00	21.25	2.68	1.13	0.07
8.50	0.45	0.00	0.00	21.50	2.69	1.14	0.06
8.75	0.47	0.00	0.00	21.75	2.70	1.15	0.06
9.00	0.49	0.00	0.01	22.00	2.71	1.16	0.06
9.25	0.52	0.00	0.01	22.25	2.72	1.16	0.06
9.50	0.54	0.00	0.02	22.50	2.73	1.17	0.06
9.75	0.57	0.01	0.03	22.75	2.74	1.18	0.06
10.00 10.25	0.60 0.63	0.01 0.02	0.03 0.04	23.00 23.25	2.75 2.76	1.19 1.19	0.06 0.06
10.25	0.63	0.02	0.04	23.25	2.70	1.19	0.00
10.75	0.71	0.02	0.03	23.75	2.78	1.20	0.06
11.00	0.76	0.04	0.09	24.00	2.79	1.22	0.05
11.25	0.82	0.06	0.13				
11.50	0.89	0.08	0.21				
11.75	1.03	0.13	0.54				
12.00	1.53	0.36	3.42				
12.25	1.78	0.51	0.80				
12.50	1.92	0.59	0.58				
12.75	1.98	0.64	0.31				
				l			

# Summary for Link TOTAL: Drainage Ditch Total

Inflow Area =	4.979 ac,	0.39% Impervious, Inflow I	Depth > 0.82"	for 1-yr event
Inflow =	5.63 cfs @	11.98 hrs, Volume=	0.340 af	
Primary =	5.63 cfs @	11.98 hrs, Volume=	0.340 af, Atte	en= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs



# Link TOTAL: Drainage Ditch Total

# Hydrograph for Link TOTAL: Drainage Ditch Total

Time	Inflow	Elevation	Primary	Time	Inflow	Elevation	Primary
(hours)	(cfs)	(feet)	(cfs)	(hours)	(cfs)	(feet)	(cfs)
0.00	0.00	0.00	0.00	13.00	0.49	0.00	0.49
0.25	0.00	0.00	0.00	13.25	0.42	0.00	0.42
0.50	0.00 0.00	0.00 0.00	0.00	13.50 13.75	0.38 0.34	0.00 0.00	0.38 0.34
0.75 1.00	0.00	0.00	0.00 0.00	14.00	0.34	0.00	0.34
1.00	0.00	0.00	0.00	14.00	0.32	0.00	0.32
1.50	0.00	0.00	0.00	14.20	0.30	0.00	0.30
1.75	0.00	0.00	0.00	14.75	0.26	0.00	0.26
2.00	0.00	0.00	0.00	15.00	0.25	0.00	0.25
2.25	0.00	0.00	0.00	15.25	0.24	0.00	0.24
2.50	0.00	0.00	0.00	15.50	0.23	0.00	0.23
2.75	0.00	0.00	0.00	15.75	0.22	0.00	0.22
3.00	0.00	0.00	0.00	16.00	0.21	0.00	0.21
3.25	0.00	0.00	0.00	16.25	0.20	0.00	0.20
3.50	0.00	0.00	0.00	16.50	0.20	0.00	0.20
3.75	0.00	0.00	0.00	16.75	0.19	0.00	0.19
4.00	0.00	0.00	0.00	17.00	0.19	0.00	0.19
4.25	0.00	0.00	0.00	17.25	0.18	0.00	0.18
4.50	0.00	0.00	0.00	17.50	0.18	0.00	0.18
4.75	0.00	0.00	0.00	17.75	0.17	0.00	0.17
5.00	0.00	0.00	0.00	18.00	0.17	0.00	0.17
5.25	0.00	0.00	0.00	18.25	0.16	0.00	0.16
5.50	0.00	0.00	0.00	18.50	0.16	0.00	0.16
5.75	0.00	0.00	0.00	18.75	0.16	0.00	0.16
6.00 6.25	0.00 0.00	0.00 0.00	0.00 0.00	19.00 19.25	0.15 0.15	0.00 0.00	0.15 0.15
6.50	0.00	0.00	0.00	19.25	0.15	0.00	0.15
6.75	0.00	0.00	0.00	19.75	0.13	0.00	0.13
7.00	0.00	0.00	0.00	20.00	0.14	0.00	0.14
7.25	0.00	0.00	0.00	20.25	0.14	0.00	0.14
7.50	0.00	0.00	0.00	20.50	0.14	0.00	0.14
7.75	0.00	0.00	0.00	20.75	0.13	0.00	0.13
8.00	0.00	0.00	0.00	21.00	0.13	0.00	0.13
8.25	0.00	0.00	0.00	21.25	0.13	0.00	0.13
8.50	0.00	0.00	0.00	21.50	0.13	0.00	0.13
8.75	0.00	0.00	0.00	21.75	0.13	0.00	0.13
9.00	0.01	0.00	0.01	22.00	0.12	0.00	0.12
9.25	0.01	0.00	0.01	22.25	0.12	0.00	0.12
9.50	0.02	0.00	0.02	22.50	0.12	0.00	0.12
9.75	0.03	0.00	0.03	22.75	0.12	0.00	0.12
10.00	0.03	0.00	0.03	23.00	0.12	0.00	0.12
10.25	0.04	0.00	0.04	23.25	0.12	0.00	0.12
10.50	0.05	0.00	0.05	23.50	0.11	0.00	0.11
10.75	0.07	0.00	0.07	23.75	0.11	0.00	0.11
11.00	0.09	0.00	0.09	24.00	0.09	0.00	0.09
11.25	0.13	0.00	0.13				
11.50	0.21	0.00	0.21				
11.75	0.66	0.00	0.66				
12.00	5.39	0.00	5.39				
12.25	1.40	0.00	1.40				
12.50	1.03	0.00	1.03				
12.75	0.57	0.00	0.57				
				l			

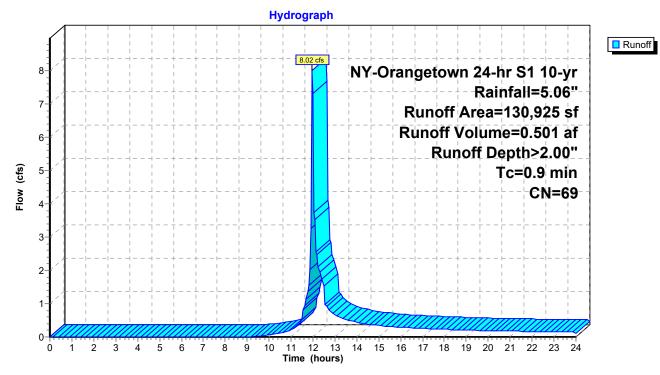
# Summary for Subcatchment DDE: SA Ditch East

Runoff = 8.02 cfs @ 11.97 hrs, Volume= 0.501 af, Depth> 2.00" Routed to Link TOTAL : Drainage Ditch Total

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs NY-Orangetown 24-hr S1 10-yr Rainfall=5.06"

	A	rea (sf)	CN	Description		
		78,620	69	50-75% Gra	ass cover, F	Fair, HSG B
		12,325	96	Gravel surfa	ace, HSG E	3
		39,140	60	Noods, Fai	r, HSG B	
*		840	98	Rock Area,	HSG B	
	1	30,925	69	Neighted A	verage	
	1	30,085			vious Area	3
		840		0.64% Impe	ervious Area	a
	Tc	Length	Slope	Velocity	Capacity	Description
	(min)	(feet)	(ft/ft)	(ft/sec)	(cfs)	
	0.9					Direct Entry, TC DDE

# Subcatchment DDE: SA Ditch East



#### Time Precip. Excess Runoff Time Precip. Excess Runoff (inches) (inches) (cfs) (inches) (hours) (hours) (inches) (cfs) 0.00 0.69 0.00 0.00 0.00 13.00 3.68 1.06 0.25 0.02 0.00 0.00 3.76 0.59 13.25 1.12 0.50 0.03 0.00 0.00 13.50 3.84 1.16 0.53 0.75 0.00 1.20 0.48 0.05 0.00 13.75 3.90 1.00 0.07 0.00 0.00 14.00 3.96 1.24 0.45 1.25 0.09 0.00 14.25 4.01 1.28 0.41 0.00 1.50 0.11 0.00 0.00 14.50 4.06 1.31 0.39 1.75 0.12 0.00 0.00 14.75 4.11 1.34 0.37 2.00 0.14 0.00 0.00 15.00 4.16 1.37 0.35 0.33 2.25 0.16 0.00 0.00 15.25 4.20 1.40 2.50 0.18 0.00 0.00 15.50 4.24 1.42 0.32 1.45 0.30 2.75 0.20 0.00 0.00 15.75 4.28 0.00 4.31 1.47 0.29 3.00 0.22 0.00 16.00 1.50 0.28 3.25 0.24 0.00 0.00 16.25 4.35 0.00 1.52 0.27 3.50 0.26 0.00 16.50 4.38 3.75 0.29 0.00 0.00 16.75 4.41 1.54 0.26 4.00 0.00 0.00 17.00 4.44 1.56 0.26 0.31 4.25 17.25 0.33 0.00 0.00 4.47 1.58 0.25 17.50 0.24 4.50 0.00 0.00 4.50 1.60 0.35 4.75 0.00 17.75 0.23 0.38 0.00 4.53 1.62 18.00 1.64 0.23 5.00 0.40 0.00 0.00 4.56 5.25 0.43 0.00 0.00 18.25 4.58 1.66 0.22 5.50 0.45 0.00 0.00 18.50 4.61 1.68 0.22 0.00 4.64 1.70 5.75 0.48 0.00 18.75 0.21 0.00 0.00 19.00 4.66 1.71 0.21 6.00 0.50 0.20 6.25 0.53 0.00 0.00 19.25 4.68 1.73 6.50 0.56 0.00 0.00 19.50 4.71 1.75 0.20 6.75 0.59 0.00 0.00 19.75 4.73 1.76 0.19 7.00 0.62 0.00 0.00 20.00 4.75 1.78 0.19 7.25 0.65 0.00 0.00 20.25 4.77 1.80 0.19 7.50 0.18 0.68 0.00 0.00 20.50 4.80 1.81 7.75 1.83 0.72 0.00 0.00 20.75 4.82 0.18 8.00 0.75 0.00 0.00 21.00 4.84 1.84 0.18 8.25 4.86 1.85 0.79 0.00 0.00 21.25 0.17 0.00 21.50 4.88 1.87 8.50 0.83 0.00 0.17 0.00 4.90 1.88 0.17 8.75 0.87 0.00 21.75 0.00 1.90 0.17 9.00 0.91 0.00 22.00 4.92 9.25 0.95 0.00 0.01 22.25 4.94 1.91 0.16 9.50 0.00 0.03 1.92 1.00 22.50 4.95 0.16 9.75 1.05 0.01 0.04 22.75 4.97 1.94 0.16 1.95 10.00 1.11 0.01 0.06 23.00 4.99 0.16 1.96 10.25 1.17 0.02 0.08 23.25 0.16 5.01 1.98 10.50 1.23 0.02 0.11 23.50 5.03 0.15 10.75 1.31 0.03 0.15 23.75 5.04 1.99 0.15 11.00 1.40 0.05 0.21 24.00 5.06 2.00 0.12 11.25 1.50 0.07 0.30 11.50 1.63 0.10 0.52

11.75

12.00

12.25

12.50

12.75

1.91

2.74

3.20

3.46

3.58

0.19

0.54

0.78

0.93

1.00

1.36

7.31

2.10

1.52

0.80

# Hydrograph for Subcatchment DDE: SA Ditch East

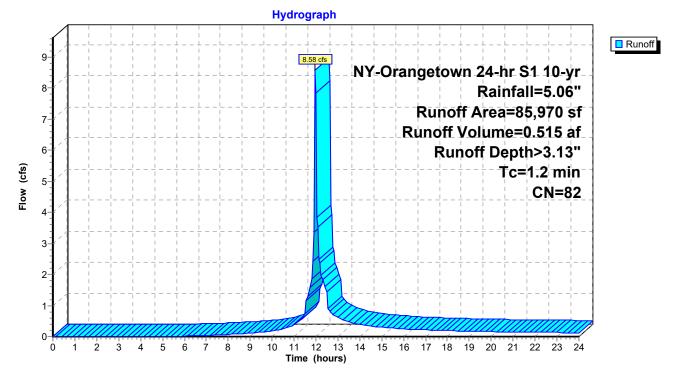
# Summary for Subcatchment DDW: SA Ditch West

Runoff = 8.58 cfs @ 11.97 hrs, Volume= 0.515 af, Depth> 3.13" Routed to Link TOTAL : Drainage Ditch Total

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs NY-Orangetown 24-hr S1 10-yr Rainfall=5.06"

A	rea (sf)	CN	Description		
	43,590	79	50-75% Gra	ass cover, l	Fair, HSG C
	22,795	96	Gravel surfa	ace, HSG (	C
	19,585	73	Woods, Fai	r, HSG C	
	85,970	82	Weighted A	verage	
	85,970		100.00% Pe	ervious Are	ea
Тс	Length	Slop	,	Capacity	Description
(min)	(feet)	(ft/ft	) (ft/sec)	(cfs)	
1.2					Direct Entry, TC DDW
					-

# Subcatchment DDW: SA Ditch West



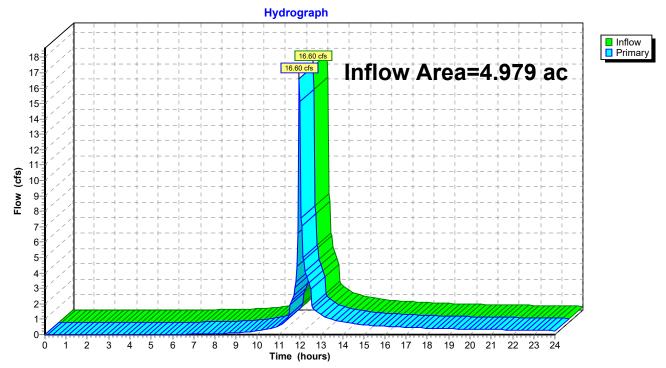
# Hydrograph for Subcatchment DDW: SA Ditch West

Time	Precip.	Excess	Runoff	Time	Precip.	Excess	Runoff
(hours)	(inches)	(inches)	(cfs)	(hours)	(inches)	(inches)	(cfs)
0.00	0.00	0.00	0.00	13.00	3.68	1.93	0.61
0.25	0.02	0.00	0.00	13.25	3.76	2.00	0.52
0.50	0.03	0.00	0.00	13.50	3.84	2.06	0.47
0.75	0.05	0.00	0.00	13.75	3.90	2.12	0.42
1.00	0.07	0.00	0.00	14.00	3.96	2.17	0.39
1.25	0.09	0.00	0.00	14.25	4.01	2.22	0.36
1.50	0.11	0.00	0.00	14.50	4.06	2.26	0.34
1.75	0.12	0.00	0.00	14.75	4.11	2.30	0.31
2.00	0.14	0.00	0.00	15.00	4.16 4.20	2.34 2.37	0.30
2.25 2.50	0.16 0.18	0.00 0.00	0.00 0.00	15.25 15.50	4.20	2.37	0.28 0.27
2.30	0.18	0.00	0.00	15.50	4.24	2.41	0.27
3.00	0.20	0.00	0.00	16.00	4.20	2.44	0.20
3.25	0.22	0.00	0.00	16.25	4.35	2.50	0.23
3.50	0.24	0.00	0.00	16.50	4.38	2.53	0.24
3.75	0.29	0.00	0.00	16.75	4.41	2.56	0.22
4.00	0.31	0.00	0.00	17.00	4.44	2.59	0.21
4.25	0.33	0.00	0.00	17.25	4.47	2.61	0.21
4.50	0.35	0.00	0.00	17.50	4.50	2.64	0.20
4.75	0.38	0.00	0.00	17.75	4.53	2.66	0.19
5.00	0.40	0.00	0.00	18.00	4.56	2.69	0.19
5.25	0.43	0.00	0.00	18.25	4.58	2.71	0.18
5.50	0.45	0.00	0.00	18.50	4.61	2.73	0.18
5.75	0.48	0.00	0.01	18.75	4.64	2.76	0.17
6.00	0.50	0.00	0.01	19.00	4.66	2.78	0.17
6.25	0.53	0.00	0.02	19.25	4.68	2.80	0.17
6.50	0.56	0.01	0.02	19.50	4.71	2.82	0.16
6.75	0.59	0.01	0.03	19.75	4.73	2.84	0.16
7.00	0.62	0.01	0.04	20.00	4.75	2.86	0.16
7.25	0.65	0.02	0.04	20.25	4.77	2.88	0.15
7.50	0.68	0.02	0.05	20.50	4.80	2.90 2.92	0.15 0.15
7.75 8.00	0.72 0.75	0.03 0.04	0.06 0.07	20.75 21.00	4.82 4.84	2.92	0.15
8.00	0.75	0.04	0.07	21.00	4.86	2.95	0.13
8.50	0.83	0.06	0.00	21.20	4.88	2.97	0.14
8.75	0.87	0.07	0.05	21.30	4.90	2.99	0.14
9.00	0.91	0.08	0.10	22.00	4.92	3.00	0.14
9.25	0.95	0.10	0.13	22.25	4.94	3.02	0.13
9.50	1.00	0.11	0.14	22.50	4.95	3.04	0.13
9.75	1.05	0.13	0.16	22.75	4.97	3.05	0.13
10.00	1.11	0.16	0.19	23.00	4.99	3.07	0.13
10.25	1.17	0.18	0.22	23.25	5.01	3.09	0.13
10.50	1.23	0.21	0.25	23.50	5.03	3.10	0.12
10.75	1.31	0.25	0.31	23.75	5.04	3.12	0.12
11.00	1.40	0.29	0.37	24.00	5.06	3.13	0.10
11.25	1.50	0.34	0.49				
11.50	1.63	0.42	0.73				
11.75	1.91	0.59	1.72				
12.00	2.74	1.18	7.83				
12.25	3.20	1.54	1.98				
12.50 12.75	3.46	1.75 1.85	1.43				
12.70	3.58	1.00	0.72				
				l			

# Summary for Link TOTAL: Drainage Ditch Total

Inflow Area	=	4.979 ac,	0.39% Impervious,	Inflow Depth >	2.45"	for 10-yr event
Inflow =	=	16.60 cfs @	11.97 hrs, Volume	= 1.016	af	
Primary =	=	16.60 cfs @	11.97 hrs, Volume	e= 1.016	af, Atte	en= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs



# Link TOTAL: Drainage Ditch Total

# Hydrograph for Link TOTAL: Drainage Ditch Total

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1.25       0.00       0.00       14.25       0.77       0.00       0.73         1.50       0.00       0.00       0.00       14.50       0.73       0.00       0.73         1.75       0.00       0.00       0.00       14.75       0.68       0.00       0.68         2.00       0.00       0.00       15.25       0.61       0.00       0.61         2.50       0.00       0.00       15.50       0.59       0.00       0.59         2.75       0.00       0.00       0.00       16.55       0.52       0.00       0.52         3.50       0.00       0.00       0.00       16.75       0.48       0.00       0.44         4.00       0.00       0.00       17.25       0.45       0.00       0.44         4.50       0.00       0.00       17.55       0.48       0.00       0.44         4.50       0.00       0.00       17.55       0.44       0.00       0.44         4.75       0.00       0.00       17.55       0.44       0.00       0.44         4.75       0.00       0.00       18.00       0.42       0.00       0.42         5.50							
1.50       0.00       0.00       14.50       0.73       0.00       0.78         1.75       0.00       0.00       0.00       14.75       0.68       0.00       0.68         2.25       0.00       0.00       0.00       15.05       0.59       0.00       0.59         2.75       0.00       0.00       0.00       15.75       0.56       0.00       0.56         3.00       0.00       0.00       16.55       0.52       0.00       0.52         3.50       0.00       0.00       0.00       16.55       0.52       0.00       0.52         3.75       0.00       0.00       0.00       16.55       0.48       0.00       0.44         4.00       0.00       0.00       17.05       0.44       0.00       0.44         4.50       0.00       0.00       17.75       0.43       0.00       0.44         4.50       0.00       0.00       17.75       0.43       0.00       0.44         5.00       0.00       0.00       17.75       0.43       0.00       0.44         5.00       0.00       0.00       18.50       0.40       0.00       0.44							
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10.75       0.46       0.00       0.46       23.75       0.27       0.00       0.27         11.00       0.58       0.00       0.58       24.00       0.22       0.00       0.22         11.25       0.79       0.00       0.79       24.00       0.22       0.00       0.22         11.50       1.25       0.00       1.25       1.175       3.08       0.00       3.08       12.00       15.14       0.00       15.14       12.25       4.08       0.00       4.08       12.50       2.94       0.00       2.94       1.00       1.94<							
11.00       0.58       0.00       0.58       24.00       0.22       0.00       0.22         11.25       0.79       0.00       0.79       1.100       1.25       0.00       0.22       0.00       0.22         11.50       1.25       0.00       1.25       1.100       1.25       1.100       1.25       1.100       1.25       1.100       1.25       1.100       1.25       1.100       1.25       1.100       1.25       1.100       1.25							
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11.50       1.25       0.00       1.25         11.75 <b>3.08</b> 0.00 <b>3.08</b> 12.00 <b>15.14</b> 0.00 <b>15.14</b> 12.25       4.08       0.00       4.08         12.50       2.94       0.00       2.94						_	 -
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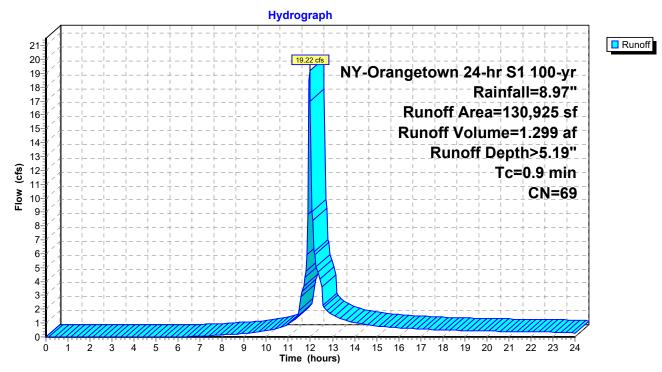
# Summary for Subcatchment DDE: SA Ditch East

Runoff = 19.22 cfs @ 11.97 hrs, Volume= 1.299 af, Depth> 5.19" Routed to Link TOTAL : Drainage Ditch Total

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs NY-Orangetown 24-hr S1 100-yr Rainfall=8.97"

A	rea (sf)	CN [	Description		
	78,620	69 5	50-75% Gra	ass cover, F	Fair, HSG B
	12,325	96 (	Gravel surfa	ace, HSG E	3
	39,140	60 N	Voods, Fai	r, HSG B	
*	840	98 F	Rock Area,	HSG B	
	30,925	69 \	Veighted A	verage	
	130,085	ç	9.36% Pei	vious Area	
	840	(	).64% Impe	ervious Area	a
Tc	Length	Slope	Velocity	Capacity	Description
(min)	(feet)	(ft/ft)	(ft/sec)	(cfs)	
0.9					Direct Entry, TC DDE

# Subcatchment DDE: SA Ditch East



		I	Hydrograph	for Sub	catchm	ent DDE	: SA Ditch East
Time	Precip.	Excess	Runoff	Time	Precip.	Excess	Runoff
(hours)	(inches)	(inches)	(cfs)	(hours)	(inches)	(inches)	(cfs)
0.00	0.00	0.00	0.00	13.00	6.46	3.07	1.59
0.25	0.03	0.00	0.00	13.25	6.61	3.19	1.36
0.50	0.06	0.00	0.00	13.50	6.74	3.30	1.23
0.75	0.10	0.00	0.00	13.75	6.85	3.39	1.10
1.00	0.13	0.00	0.00	14.00	6.96	3.48	1.02
1.25	0.16	0.00	0.00	14.25	7.06	3.56	0.94
1.50	0.20	0.00	0.00	14.50	7.15	3.64	0.89
1.75	0.23	0.00	0.00	14.75	7.23	3.71	0.83
2.00	0.26	0.00	0.00	15.00	7.32	3.77	0.79
2.25	0.30	0.00	0.00	15.25	7.39	3.84	0.75
2.50	0.34	0.00	0.00	15.50	7.46	3.90	0.72
2.75	0.37	0.00	0.00	15.75	7.53	3.96	0.68
3.00	0.41	0.00	0.00	16.00	7.60	4.01	0.66
3 25	0 45	0.00	0 00	16 25	7 66	4 06	0.63

1.500.200.0014.507.153.640.891.750.230.000.0014.757.233.710.832.000.260.000.0015.057.323.770.792.250.300.000.0015.507.463.900.722.750.370.000.0015.507.664.060.683.000.410.000.0016.257.664.060.633.500.490.000.0016.557.784.160.594.000.570.000.0016.757.784.160.594.000.570.000.0017.707.844.210.574.250.610.000.0017.757.894.260.544.750.690.000.0017.758.004.350.525.000.740.000.0018.088.144.470.485.750.880.000.0018.758.194.510.476.000.930.000.0119.008.234.550.466.250.980.000.0219.258.284.590.456.501.030.000.0219.258.244.620.437.501.250.030.1020.508.484.760.416.751.080.010.0519.758.364.660.43 <th>1.50 0.20 0.00 0.00 14.50 7.15 3.64 0.89</th>	1.50 0.20 0.00 0.00 14.50 7.15 3.64 0.89
$\begin{array}{c} 1.75\\ 2.00\\ 2.25\\ 2.50\\ 2.75\\ 3.00\\ 3.25\\ 3.50\\ 3.75\\ 4.00\\ 4.25\\ 4.50\\ 4.75\\ 5.50\\ 5.50\\ 5.50\\ 5.50\\ 5.50\\ 5.50\\ 5.50\\ 5.50\\ 6.25\\ 6.50\\ 6.25\\ 7.00\\ 7.25\\ 7.50\\ 8.25\\ 8.50\\ 8.75\\ 9.00\\ 9.25\\ 9.50\\ 9.50\\ 10.25\\ 11.50\\ 11.25\\ 12.00\\ 12.25\\ 12.50\\ \end{array}$	1.25
$\begin{array}{c} 0.23\\ 0.26\\ 0.30\\ 0.34\\ 0.37\\ 0.41\\ 0.45\\ 0.49\\ 0.53\\ 0.57\\ 0.61\\ 0.65\\ 0.69\\ 0.74\\ 0.78\\ 0.83\\ 0.93\\ 0.98\\ 1.03\\ 1.08\\ 1.03\\ 1.08\\ 1.14\\ 1.19\\ 1.25\\ 1.31\\ 1.51\\ 1.59\\ 1.66\\ 1.75\\ 1.83\\ 1.92\\ 2.02\\ 2.13\\ 2.25\\ 2.39\\ 2.54\\ 2.72\\ 2.95\\ 3.45\\ 4.81\\ 5.59\\ 6.06\end{array}$	0.10
0.00 0.01 0.02 0.03 0.04 0.05 0.06 0.07 0.09 0.11 0.13 0.23 0.27 0.31 0.37 0.44 0.53 0.64 0.93 1.82 2.40 2.76	0.00
0.00 0.02 0.33 0.52 0.34 0.53 0.62 0.75 0.91 1.21 1.89 <b>4.30</b> <b>17.00</b> 5.05 3.61	0.00
$\begin{array}{c} 14.75\\ 15.00\\ 15.25\\ 15.50\\ 15.75\\ 16.00\\ 16.25\\ 16.50\\ 16.75\\ 17.00\\ 17.25\\ 17.00\\ 17.25\\ 17.50\\ 17.75\\ 18.00\\ 18.25\\ 19.00\\ 19.25\\ 19.50\\ 19.75\\ 20.00\\ 20.25\\ 20.50\\ 20.75\\ 21.00\\ 20.25\\ 20.50\\ 20.75\\ 21.00\\ 21.25\\ 21.50\\ 21.75\\ 22.00\\ 22.25\\ 22.50\\ 22.75\\ 23.00\\ 23.25\\ 23.50\\ 23.75\end{array}$	14.25
7.23 7.32 7.39 7.46 7.53 7.60 7.66 7.72 7.78 7.84 7.89 7.95 8.00 8.05 8.10 8.14 8.23 8.28 8.32 8.36 8.40 8.44 8.52 8.56 8.60 8.63 8.67 8.71 8.74 8.81 8.84 8.87 8.91 8.94	7.00
3.71 3.77 3.84 3.90 3.96 4.01 4.06 4.11 4.26 4.30 4.35 4.39 4.43 4.47 4.51 4.55 4.59 4.62 4.66 4.70 4.73 4.76 4.80 4.83 4.83 4.99 5.02 5.04 5.07 5.10 5.13 5.16	3.50 3.64
0.83 0.79 0.75 0.72 0.68 0.66 0.63 0.61 0.59 0.57 0.55 0.54 0.52 0.51 0.50 0.48 0.47 0.46 0.43 0.43 0.43 0.43 0.42 0.41 0.40 0.39 0.39 0.37 0.36 0.35 0.35 0.34 0.33	0.94

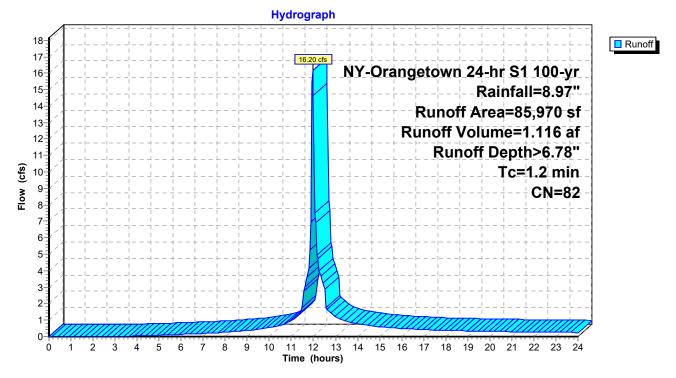
# Summary for Subcatchment DDW: SA Ditch West

Runoff = 16.20 cfs @ 11.97 hrs, Volume= 1.116 af, Depth> 6.78" Routed to Link TOTAL : Drainage Ditch Total

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs NY-Orangetown 24-hr S1 100-yr Rainfall=8.97"

Area (sf)	CN	Description						
43,590	79	50-75% Gra	iss cover, F	Fair, HSG C				
22,795	96	Gravel surfa	ice, HSG C					
19,585	73	Woods, Fair	, HSG C					
85,970	82	Weighted Av	Weighted Average					
85,970		100.00% Pe	ervious Are	a				
Tc Length (min) (feet)	Slop (ft/t	,	Capacity (cfs)	Description				
1.2				Direct Entry, TC DDW				

# Subcatchment DDW: SA Ditch West



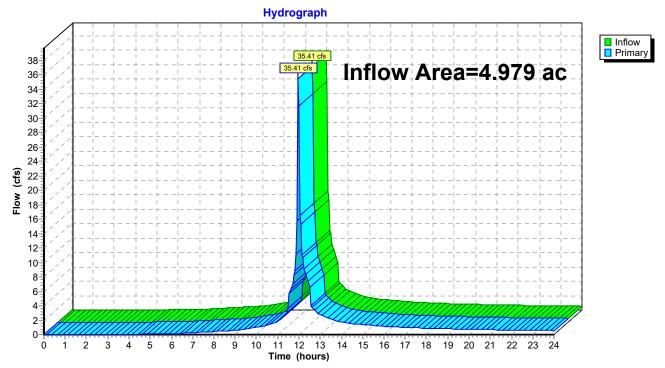
# Hydrograph for Subcatchment DDW: SA Ditch West

Time	Precip.	Excess	Runoff	Time	Precip.	Excess	Runoff
(hours)	(inches)	(inches)	(cfs)	(hours)	(inches)	(inches)	(cfs)
0.00	0.00	0.00	0.00	13.00	6.46	4.41	1.21
0.25	0.03	0.00	0.00	13.25	6.61	4.55	1.03
0.50 0.75	0.06 0.10	0.00 0.00	0.00 0.00	13.50 13.75	6.74 6.85	4.67 4.78	0.93 0.83
1.00	0.10	0.00	0.00	14.00	6.96	4.78	0.03
1.25	0.16	0.00	0.00	14.25	7.06	4.97	0.71
1.50	0.20	0.00	0.00	14.50	7.15	5.06	0.66
1.75	0.23	0.00	0.00	14.75	7.23	5.14	0.62
2.00	0.26	0.00	0.00	15.00	7.32	5.21	0.59
2.25	0.30	0.00	0.00	15.25	7.39	5.28	0.56
2.50	0.34	0.00	0.00	15.50	7.46	5.35	0.53
2.75	0.37	0.00	0.00	15.75	7.53	5.42	0.51
3.00	0.41	0.00	0.00	16.00	7.60	5.48	0.49
3.25	0.45	0.00	0.00	16.25	7.66	5.54	0.47
3.50 3.75	0.49 0.53	0.00 0.00	0.01 0.02	16.50 16.75	7.72 7.78	5.60 5.65	0.45 0.43
4.00	0.53	0.00	0.02	17.00	7.84	5.71	0.43
4.25	0.61	0.01	0.05	17.25	7.89	5.76	0.41
4.50	0.65	0.02	0.06	17.50	7.95	5.81	0.40
4.75	0.69	0.03	0.07	17.75	8.00	5.86	0.38
5.00	0.74	0.04	0.08	18.00	8.05	5.90	0.37
5.25	0.78	0.05	0.09	18.25	8.10	5.95	0.36
5.50	0.83	0.06	0.10	18.50	8.14	6.00	0.36
5.75	0.88	0.07	0.12	18.75	8.19	6.04	0.35
6.00 6.25	0.93 0.98	0.09 0.11	0.13 0.14	19.00 19.25	8.23	6.08 6.12	0.34 0.33
6.50	1.03	0.11	0.14	19.25	8.28 8.32	6.12	0.33
6.75	1.08	0.15	0.10	19.75	8.36	6.20	0.32
7.00	1.14	0.17	0.19	20.00	8.40	6.24	0.31
7.25	1.19	0.19	0.21	20.25	8.44	6.28	0.30
7.50	1.25	0.22	0.22	20.50	8.48	6.32	0.30
7.75	1.31	0.25	0.24	20.75	8.52	6.36	0.29
8.00	1.38	0.28	0.26	21.00	8.56	6.39	0.29
8.25	1.45	0.32	0.29	21.25	8.60	6.43	0.28
8.50	1.51	0.35	0.31	21.50	8.63	6.46	0.28
8.75 9.00	1.59 1.66	0.39 0.44	0.34 0.37	21.75 22.00	8.67 8.71	6.50 6.53	0.27 0.27
9.00 9.25	1.00	0.44	0.37	22.00	8.74	6.57	0.27
9.50	1.83	0.54	0.40	22.50	8.78	6.60	0.26
9.75	1.92	0.60	0.49	22.75	8.81	6.63	0.25
10.00	2.02	0.66	0.54	23.00	8.84	6.66	0.25
10.25	2.13	0.74	0.61	23.25	8.87	6.69	0.25
10.50	2.25	0.82	0.69	23.50	8.91	6.72	0.24
10.75	2.39	0.92	0.81	23.75	8.94	6.76	0.24
11.00	2.54	1.03	0.95	24.00	8.97	6.79	0.20
11.25 11.50	2.72 2.95	1.16 1.34	1.22 1.75				
11.75	3.45	1.34	<b>3.91</b>				
12.00	4.81	2.91	14.62				
12.25	5.59	3.62	3.99				
12.50	6.06	4.04	2.88				
12.75	6.28	4.25	1.43				

# Summary for Link TOTAL: Drainage Ditch Total

Inflow Are	a =	4.979 ac,	0.39% Impervious, Inflo	ow Depth > 5.82"	for 100-yr event
Inflow	=	35.41 cfs @	11.97 hrs, Volume=	2.415 af	
Primary	=	35.41 cfs @	11.97 hrs, Volume=	2.415 af, Atte	en= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs



# Link TOTAL: Drainage Ditch Total

# Hydrograph for Link TOTAL: Drainage Ditch Total

Time	Inflow	Elevation	Primary	Time	Inflow	Elevation	Primary
(hours)	(cfs)	(feet)	(cfs)	(hours)	(cfs)	(feet)	(cfs)
0.00	0.00	0.00	0.00	13.00	2.80	0.00	2.80
0.25	0.00	0.00	0.00	13.25	2.39	0.00	2.39
0.50	0.00	0.00	0.00	13.50	2.16	0.00	2.16
0.75	0.00	0.00	0.00	13.75	1.93	0.00	1.93
1.00	0.00	0.00	0.00	14.00	1.79	0.00	1.79
1.25	0.00	0.00	0.00	14.25	1.65	0.00	1.65
1.50	0.00	0.00	0.00	14.50	1.55	0.00	1.55
1.75	0.00	0.00	0.00	14.75	1.45	0.00	1.45
2.00	0.00	0.00	0.00	15.00 15.25	1.38	0.00	1.38
2.25	0.00	0.00	0.00		1.30	0.00	1.30
2.50	0.00	0.00	0.00	15.50	1.25	0.00	1.25
2.75	0.00	0.00	0.00	15.75	1.19	0.00	1.19
3.00	0.00	0.00	0.00	16.00	1.15	0.00	1.15
3.25 3.50	0.00 0.01	0.00 0.00	0.00 0.01	16.25 16.50	1.10	0.00 0.00	1.10
3.50	0.01	0.00	0.01	16.75	1.06 1.02	0.00	1.06 1.02
4.00	0.02	0.00	0.02	17.00	0.99	0.00	0.99
4.00	0.05	0.00	0.05	17.00	0.99	0.00	0.99
4.20	0.05	0.00	0.05	17.50	0.90	0.00	0.90
4.30	0.00	0.00	0.00	17.75	0.94	0.00	0.94
5.00	0.07	0.00	0.07	18.00	0.88	0.00	0.88
5.25	0.00	0.00	0.00	18.25	0.86	0.00	0.86
5.50	0.00	0.00	0.00	18.50	0.84	0.00	0.84
5.75	0.10	0.00	0.10	18.75	0.82	0.00	0.82
6.00	0.12	0.00	0.12	19.00	0.80	0.00	0.80
6.25	0.16	0.00	0.16	19.25	0.78	0.00	0.78
6.50	0.19	0.00	0.19	19.50	0.77	0.00	0.77
6.75	0.22	0.00	0.22	19.75	0.75	0.00	0.75
7.00	0.25	0.00	0.25	20.00	0.74	0.00	0.74
7.25	0.29	0.00	0.29	20.25	0.72	0.00	0.72
7.50	0.32	0.00	0.32	20.50	0.71	0.00	0.71
7.75	0.36	0.00	0.36	20.75	0.69	0.00	0.69
8.00	0.40	0.00	0.40	21.00	0.68	0.00	0.68
8.25	0.45	0.00	0.45	21.25	0.67	0.00	0.67
8.50	0.50	0.00	0.50	21.50	0.66	0.00	0.66
8.75	0.56	0.00	0.56	21.75	0.65	0.00	0.65
9.00	0.62	0.00	0.62	22.00	0.64	0.00	0.64
9.25	0.70	0.00	0.70	22.25	0.63	0.00	0.63
9.50	0.78	0.00	0.78	22.50	0.62	0.00	0.62
9.75	0.88	0.00	0.88	22.75	0.61	0.00	0.61
10.00	0.99	0.00	0.99	23.00	0.60	0.00	0.60
10.25	1.14	0.00	1.14	23.25	0.59	0.00	0.59
10.50	1.31	0.00	1.31	23.50	0.58	0.00	0.58
10.75	1.56	0.00	1.56	23.75	0.57	0.00	0.57
11.00	1.87	0.00	1.87	24.00	0.45	0.00	0.45
11.25	2.42	0.00	2.42				
11.50	3.65	0.00	3.65				
11.75	8.20	0.00	8.20				
12.00	31.62	0.00	31.62				
12.25	9.04	0.00	9.04				
12.50	6.49	0.00	6.49				
12.75	3.29	0.00	3.29				
				I			

McCullough, Goldberger & Staudt, LLP

Attorneys at Law 1311 Mamaroneck Ave., Suite 340, White Plains, NY 10605 TEL (914) 949-6400 FAX (914) 949-2510 mcculloughgoldberger.com

May 9, 2024

SETH M. MANDELBAUM Managing Partner smandelbaum@mgslawyers.com

Honorable Supervisor Teresa Kenny and Members of the Town Board Town of Orangetown 26 West Orangeburg Road Orangeburg, NY 10962

> Re: Onyx Management Group, LLC Watercourse Diversion Permit Request 64 & 140 Leber Road, Blauvelt, New York

Dear Hon. Supervisor Kenny & Members of the Town Board:

This firm represents Onyx Management Group, LLC.<sup>1</sup> (the "Applicant"), the manager of the properties identified as Section 70.06, Block 1, Lot 50.4 ("64 Leber")<sup>2</sup> and Section 70.06, Block 1, Lot 47 ("140 Leber")<sup>3</sup> on the Town of Orangetown Tax Map and commonly known as 64 and 140 Leber Road (collectively, the "Property"). The 64 Leber Property is located within the LO "Laboratory Office" and R-40 "Low Density Residential" Zoning Districts, and the 140 Leber Property is within the R-40 District. The Property is part of the larger Hudson Crossing development owned by the Applicant, previously known as Bradley Corporate Park.

The Applicant is specifically proposing to lease a section of the Property to Rivian, LLC for use as an accessory 633-space parking area for the vehicles that are pre-ordered by customers and are awaiting preparation and customer pickup at Rivian's nearby facility at 800 Bradley Hill Road, which was approved by the Planning Board in April 2023. *See* PB # 23-13. The Property is currently an unimproved vacant lot, and as part of the site development, the Applicant proposes to construct a new paved parking area, together with appropriate striping, curbing, directional arrows and traffic signage, two 30-foot access driveways, significant additional landscaping, and related improvements. The Applicant also proposes to merge the contiguous 64 and 140 Leber properties to create one 13-acre parcel. The Applicant is currently before the Planning Board in connection with its request for Site Plan Approval to permit the 64 Leber property for use as an accessory parking lot. Following two public hearings, at its March 27, 2024 meeting the Planning Board granted Preliminary Site Plan and Resubdivision Approvals and also adopted a Negative Declaration under SEQRA, concluding that the proposed action will not have any significant adverse environmental impacts.

<sup>&</sup>lt;sup>1</sup> Onyx Management Group, LLC has been authorized by the owners of the property, to manage the properties, including leasing the properties and applying for any necessary permits and land use approvals. Therefore, Onyx Management Group, LLC is the Applicant for the Watercourse Diversion Permit application.

<sup>&</sup>lt;sup>2</sup> Owned by PG-OE 64 Leber Road Owner LLC

<sup>&</sup>lt;sup>3</sup> Owned by PG-OE 140 Leber Road Owner LLC

The Town of Orangetown Department of Environmental Management and Engineering ("DEME") has determined that the proposed improvements to the stormwater management and drainage systems at the Property require a Watercourse Diversion Permit from this Board. The Applicant filed a Watercourse Diversion Permit request on March 28, 2024 and, in response to a request from DEME for additional information, submitted a supplemental Watercourse Diversion Permit Narrative and Watercourse Permit Exhibition Package prepared by Dynamic Engineering on April 19, 2024. DEME has reviewed the Applicant's Watercourse Diversion Permit request (including the supplemental information) and provided additional comments in a memorandum dated May 2, 2024. Enclosed for your review is a letter prepared by Dynamic Engineering responding to the DEME comments therein. It is respectfully submitted that all remaining DEME comments have been addressed and the Watercourse Diversion Permit should be granted.

Per my discussion with the Town Attorney, kindly place this matter on the May 21, 2024 Town Board agenda for consideration of the Applicant's request for a Watercourse Diversion Permit. If you have any questions or require additional information, please do not hesitate to contact our office.

Very truly yours,

Seth M. Mandelbaum

SMM:tsr

Enc.

cc: Robert Magrino, Esq., Town Attorney Rick Pakola, Esq., Deputy Town Attorney Jane Slavin, RA, Director O.B.Z.P.A.E. Bruce Peters, P.E., D.E.M.E Onyx Management Group, LLC Dynamic Engineering



Dynamic Engineering Consultants, PC 50 Park Place, Suite 901 Newark, NJ 07102 T. 973-755-7200

May 9, 2024 Via FedEx

Town of Orangetown Town Board 26 West Orangeburg Road, Orangeburg, NY 10962

Attn: Honorable Supervisor Kenny and Members of the Town Board

RE: Onyx Equities, LLC Watercourse Diversion Permit Request Accessory Parking Lot Plan Parcel 70.06-1-50.4 & 47 64 & 140 Leber Road, Blauvelt Town of Orangetown Rockland County, NY DEC# 1739 22-02023

Dear Hon. Supervisor Kenny and Members of the Town Board,

On behalf of our client, Onyx Equities, LLC, enclosed please find the following items consulting our Town Board submission for a Watercourse Diversion Permit for the above referenced project:

Enclosed please find the following items constituting our re-submission regarding the above-referenced project:

- Three (3) signed copies of the Watercourse Diversion Permit Narrative and Supplemental Responses prepared by our office dated April 19, 2024, last revised May 9, 2024;
- Three (3) copies of the Watercourse Diversion Permit Exhibit Package prepared by our office dated April 19, 2024, last revised May 9, 2024; and
- Three (3) signed copies of the Watercourse Diversion Permit Request prepared by McCullough, Goldberger & Staudt, LLP dated May 9, 2024.

Below are sequential responses to the comment letters prepared by the Borough Professionals:

#### <u>Memorandum prepared by Eamon Reilly, P.E. Commissioner of the Department of Environmental Management and</u> <u>Engineering dated May 2, 2024:</u>

1. The cover letter to the Town Board should include the words "Watercourse Diversion Permit Request" (most likely in the "RE:" portion of the top of the letter.)

This cover letter, along with the cover letter prepared by McCullough, Goldberger & Staudt, LLP, have been revised to include "Watercourse Diversion Permit Request" in the "RE:" shown above.

# www.dynamicec.com

Lake Como, NJ • Chester, NJ • Toms River, NJ • Newark, NJ • Marlton, NJ • Newtown, PA • Philadelphia, PA Bethlehem, PA • Allen, TX • Houston, TX • Austin, TX • Delray Beach, FL • Annapolis, MD 2. Page 3 of 10- <u>Watercourse Diversion Permit</u>-Last paragraph of section - wording (or similar) shall be added as follows " ... The proposed development plans to demolish, fill and cover the existing watercourse, **including all of the existing watercourse piping**. "

# The narrative has been updated to include the wording regarding the demolition of all existing stormwater piping.

3. Page 3 of 10-<u>Existing Conditions</u>- paragraphs 4 & 5 appear to be mixed up in what they are describing. Specially, paragraph 4 begins by referencing the east portion of the site but describes the piping (30" CPP) which is on the west side of the site. The same holds true for paragraph 5.

The Existing Conditions Section, paragraphs 4 and 5, have been updated to reflect the existing eastern and western piping on the Overall Existing Conditions Exhibit (Sheet 1). The eastern piping has been updated to be a 24" RCP at 183 feet in length and the western piping to be a 30" RCP at 35 feet in length per the original survey.

4. Page 3 of 10-<u>Existing Conditions</u> -Paragraph 5 makes no mention of the "existing pipes" (as depicted on the Overall Existing Conditions Exhibit - sheet 1.) The number of pipes, sizes, lengths and material(s) for these existing pipes shall be listed in this paragraph.

# Paragraph 5 has been updated to reflect the existing pipe and its characteristics located on the western portion of the site as depicted on the Overall Existing Conditions Exhibit (Sheet 1).

5. Pages 6 of 10 thru 8 of 10 - <u>Site Photos</u> - The location and direction of the photos presented shall be added to the Overall Existing Conditions Exhibit - sheet 1.

A Site Photo Location Plan has been provided as a part of the "Watercourse Diversion Exhibit Package" where each of the photo's location and direction have been depicted.

6. Overall Existing Conditions Exhibit - sheet 1 - The number, sizes, inverts, lengths and material(s) of the piping shown at the east end of site shall be shown and labeled on this sheet.

The Overall Existing Conditions Exhibit (Sheet 1) has been updated to show all existing pipes and their characteristics, which include their number, size, inverts, lengths, and material, on both the eastern and western portions of the site.

7. Overall Existing Conditions Exhibit - sheet 1 - Label property line between lots 50.4 & 47 and label each lot.

Lots 50.4 and 47 have been labeled with their respective parcel data as well as the property line, labeled as "Property Boundary Line" on the Overall Existing Conditions Exhibit (Sheet 1).

# WATERCOURSE DIVERSION PERMIT

The project site is located at 64 & 140 Leber Road, Town of Orangetown, Rockland County, New York and is classified as Section 70.06, Block 1, Lots 50.4 & 47. The existing conditions of the tract have been verified by the ALTA/NSPS Land Title Survey as prepared by Control Point Associates, Inc. dated January 21, 2021, last revised September 20, 2022.

The Overall Existing Conditions sheet (Sheet 1 – Exhibit Set) illustrates two (2) drainage ditches, defined below as a watercourse, which collect and discharge overland flow on the eastern and western portions of the site.

A watercourse is defined per Town of Orangetown Code, Chapter 30D, Article II, Section 6 (Sediment and Erosion Control and Stormwater Management, Stormwater Control, Definitions):

As any permanent or intermittent natural or artificial stream, river, creek, ditch, channel canal, conduit, culvert, drain, waterway gully or ravine, in and including any area adjacent thereto, in which water normally flows per.

The Overall Site Plan (Sheet 3 – Preliminary and Final Site Plan (Rev.2)) and Drainage and Utility Plans (Sheets 11-13 – Preliminary and Final Site Plan (Rev. 2)) illustrates that the development proposes an accessory parking lot of 633 spaces with an underground infiltration system to mitigate the newly created impervious surfaces. The proposed development plans to demolish, fill and cover the existing watercourse, including all of the existing watercourse piping. 100% of new impervious surfaces will be captured, routed to, and treated (by NYSDEC approved stormwater management practices) proposed on site. The modification to the existing drainage pattern triggers the required Watercourse Diversion Permit from the Town of Orangetown Town Board.

# **EXISTING CONDITIONS**

Currently the parcel is undeveloped consisting of woodlands, brushlands and gravel/dirt paths. In the parcel's undeveloped state, an existing watercourse is located in the center of Lot 50.4.

Existing topography of the site is heavily influenced by the existing berm, at about 20' of height, at the southern portion of the site grading towards the northern portion of the site. The northern portion of the site continues with a heavy slope towards the existing warehouse building. There is an additional soil mound along the eastern portion of the property in the residentially zoned district approximately 20' in height.

The existing watercourse is separated by a highpoint located within the center of the site. Areas both east and west of the highpoint are collected by earthen drainage ditches, piping and conveyed to a discharge point.

At the eastern portion of the site, existing grading promotes overland flow to the earthen drainage ditch where a 24" Reinforced Concrete Pipe, 183 feet in length, exists. Based on the existing inverts, the 24" RCP is pitched from east (Invert 125.2) to west (Invert 124.1) which does not follow the topography of the eastern drainage ditch. Due to the invert elevations, this pipe does not convey or collect any runoff.

A ditch on the western portion of the site first collects stormwater runoff before being conveyed through a 30" Reinforced Concrete Pipe, 35 feet in length connecting to the earthen ditch at the western side of Lot 50.4. The remainder of the contributing area to the western ditch is collected via overland flow and drains westbound before being uncontrollably discharged to the western portion of the site.

A Stormwater Conveyance System Capacity Analysis has been included within the Watercourse Diversion Permit Exhibit Package. The purpose was to calculate and analyze the capacity existing pipes on site for a 100-year storm event and their contributory areas depicted on the Existing Ditch Inlet Area Map (Sheet 3). The 100-year storm event was analyzed to match the proposed stormwater system design which utilized the 100-year storm event.

It was determined that the western 30" RCP has enough capacity to convey the contributary drainage area to the western existing watercourse, but the pipe velocity exceeds acceptable rates, and the discharge may cause soil erosion and has potential to adversely affect downstream areas.

Additionally, the eastern 24" RCP was analyzed, however as noted above, this pipe does not follow the existing topography of the eastern drainage ditch, nor convey or collect any stormwater runoff.

# **EXISTING DRAINAGE CALCULATIONS**

The site has been evaluated using the TR-55 'Urban Hydrology for Small Watersheds' standards with the following drainage areas for the existing drainage ditches on site.

<u>Drainage Ditch West</u>: The contributory area of the drainage ditch includes areas of woodlands, brushlands, gravel and grasslands on the south and southwest portion of the parcel.

<u>Drainage Ditch East</u>: This area consists of areas of woodlands, brushlands, gravel and grasslands on the south and southeast portion of the parcel.

### AERIAL IMAGES

Per the satellite captures of Google Earth, the subject watercourse discussed in this narrative was dug between the approximate dates of June 2010 and April 2016 while the site still remaining undeveloped. See the images below captured from Google Earth.



#### June 2010

March 2015



<u>April 2016</u>



# **SITE PHOTOS**

A site visit was conducted on February 7<sup>th</sup>, 2024, and photos of the existing ditch on the western and eastern portions of the lot are depicted below. A photo location map has also been supplied as a part of the submission for the Watercourse Diversion Permit which includes the location and direction of each of photo.



PHOTO #2 Looking Southeast



PHOTO #3 Looking Southwest



PHOTO #4 Looking Southeast





# PROPOSED CONDITIONS

The proposed project will include the construction of 633 parking spaces as well as other respective site improvements such as lighting, landscaping, grading, drainage, and fire protection services.

To offset set any adverse impacts to the addition of impervious areas, a NYSDEC SMP I-4 Underground Infiltration Basin has been designed and developed in conformance with the current New York State Stormwater Management Design Manual as a means of mitigation for increased impervious surfaces and of the existing watercourse on site.

### **PROPOSED DRAINAGE CALCULATIONS**

The site has been evaluated using the TR-55 'Urban Hydrology for Small Watersheds' standards with the following drainage areas for the existing drainage ditches on site.

<u>Study Area UG Basin</u>: This area consists of the entire parking area and landscaped islands. Stormwater runoff generated from this area is collected by multiple on-site inlets and conveyed to a proposed infiltration basin. Runoff collected and discharged will be conveyed to the existing conveyance system to the north.

<u>Study Area North Undetained</u>: This drainage area consists of the proposed driveways, open space and wooded areas around the perimeter disturb as a part of the proposed development. Collected runoff will drain to the existing conveyance system to the north.

<u>Study Area West Undetained</u>: This drainage area consists of the proposed driveways, open space and wooded areas around the perimeter disturb as a part of the proposed development. Collected runoff will drain to the existing conveyance system to the west.

The I-4 Underground Infiltration System collects overland flow from areas surrounding the site and conveys all contributing areas to hydrodynamic separators which pre-treat 100% of the Water Quality storm event. Stormwater runoff then enters the underground infiltration system, 6 rows of stone embedded 36" perforated

pipe, which has been sized to infiltrate the entire WQv and attenuate flows of the 1-, 10- and 100-year storm events through an outlet control structure.

All calculations regarding the design and compliance of the NYSDEC SMP I-4 Underground Infiltration System can be found within the Stormwater Pollution Prevention Plan last submitted to the Town of Orangetown on February 16, 2024.

# WATERCOURSE DIVERSION IMPACTS

The existing watercourse and the post-development conditions have both been analyzed in a HydroCAD model and the following table has been made to illustrate the pre- and post-development impacts.

Existing Drainage Ditch Runoff Rates (CFS)						
Design Storm	Eastern Drainage Ditch Runoff Rates (cfs)	Western Drainage Ditch Runoff Rates (cfs)	Combined Runoff Rates (cfs)			
1-Year (CPv)	2.02	3.62	5.63			
10-Year (Qp)	8.02	8.58	16.60			
100-Year (Qf)	19.22	16.20	35.41			

# PEAK FLOW ATTENUATION RESULTS:

Existing Drainage Ditch vs. Proposed Stormwater System Runoff Rates (CFS)						
Design Storm	Existing Drainage Ditch Runoff Rates (cfs)	Proposed Stormwater System Runoff Rates (cfs)	Difference (cfs)			
1-Year (CPv)	5.63	0.00	-5.63			
10-Year (Qp)	16.60	0.99	-15.61			
100-Year (Qf)	35.41	21.41	-14.00			

\*Please note: Existing drainage ditch runoff rates are combined values from the western and eastern ditches\*

As illustrated in the table above, the proposed NYSDEC SMP I-4 Underground Infiltration System significantly attenuates and reduces the discharge rates of the 1-, 10- and 100-year storm events.

# **CONCLUSION**

The proposed development has been designed in accordance with all local and state stormwater design requirements and fully satisfies the NYSDEC Unified Stormwater Design Criteria for Water Quality Volume (WQv), Runoff Reduction Volume (RRv), Channel Protection Volume (CPv, 1-year storm event), Overbank Flood (Qp, 10-year storm event), and Extreme Storm (Qf, 100-year storm event).

The proposed stormwater management facilities have been designed to capture and treat 100% of newly created impervious surfaces, which fully encompass the existing contributary area to the drainage ditches/ watercourses.

Therefore, the proposed development does not pose any negative impacts and properly manages and reduces stormwater runoff from the site for all design storms.

Should you have any questions, comments or require additional information, please do not hesitate to contact the undersigned.

Sincerely,

# Dynamic Engineering Consultants, PC

Zachary A. Kamm, PE Senior Project Manager

McCullough, Goldberger & Staudt, LLP

Attorneys at Law 1311 Mamaroneck Ave., Suite 340, White Plains, NY 10605 TEL (914) 949-6400 FAX (914) 949-2510 mcculloughgoldberger.com

March 28, 2024

SETH M. MANDELBAUM Managing Partner smandelbaum@mgslawyers.com

Honorable Supervisor Teresa Kenny and Members of the Town Board Town of Orangetown 26 West Orangeburg Road Orangeburg, NY 10962

> Re: Onyx Management Group, LLC Watercourse Diversion Permit <u>64 & 140 Leber Road, Blauvelt, New York</u>

Dear Hon. Supervisor Kenny & Members of the Town Board:

This firm represents Onyx Management Group, LLC.<sup>1</sup> (the "Applicant"), the manager of the properties identified as Section 70.06, Block 1, Lot 50.4 ("64 Leber")<sup>2</sup> and Section 70.06, Block 1, Lot 47 ("140 Leber")<sup>3</sup> on the Town of Orangetown Tax Map and commonly known as 64 and 140 Leber Road (collectively, the "Property"). The 64 Leber Property is located within the LO "Laboratory Office" and R-40 "Low Density Residential" Zoning Districts, and the 140 Leber Property is within the R-40 District. The Property is part of the larger Hudson Crossing development owned by the Applicant, which was previously known as Bradley Corporate Park.

The Applicant is specifically proposing to lease a section of the Property to Rivian, LLC for use as an accessory 633-space parking area for the vehicles that are pre-ordered by customers and are awaiting preparation and customer pickup at Rivian's nearby facility at 800 Bradley Hill Road, which was approved in April 2023. *See* PB # 23-13. The Property is currently an unimproved vacant lot, and as part of the site development, the Applicant proposes to construct a new paved parking area, together with appropriate striping, curbing, directional arrows and traffic signage, two 30-foot access driveways, significant additional landscaping, and related improvements. The Applicant also proposes to merge the contiguous 64 and 140 Leber properties to create one 13-acre parcel. The Applicant is currently before the Planning Board in connection with its request for Site Plan Approval to permit the 64 Leber property for use as an accessory parking lot. Following two public hearings, at its March 27, 2024 meeting the Planning Board granted Preliminary Site Plan and Resubdivision Approvals and also adopted a

<sup>&</sup>lt;sup>1</sup> Onyx Management Group, LLC has been authorized by the owners of the property, to manage the properties, including leasing the properties and applying for any necessary permits and land use approvals. Therefore, Onyx Management Group, LLC is the Applicant for the Site Plan and Resubdivision applications.

<sup>&</sup>lt;sup>2</sup> Owned by PG-OE 64 Leber Road Owner LLC

<sup>&</sup>lt;sup>3</sup> Owned by PG-OE 140 Leber Road Owner LLC

Negative Declaration under SEQRA, declaring that the proposed action will not have any significant adverse effects on the environment.

As described more fully in the enclosed letter prepared by Dynamic Engineering, dated March 28, 2024, the Applicant also proposes improvements to the stormwater management and drainage systems at the Property. The Department of Environmental Management and Engineering of the Town of Orangetown ("DEME") has determined that the Applicant's proposal requires a Watercourse Diversion Permit from this Board.<sup>4</sup> Enclosed for your review is a check for the required fee, as well as a letter prepared by Dynamic Engineering and two copies of the complete Site Plan drawings.

We respectfully request that this matter be placed on the next available Town Board agenda for consideration of the Applicant's request for a Watercourse Diversion Permit. If you have any questions or require additional information, please do not hesitate to contact our office.

Very truly yours,

ettill. Me

Seth M. Mandelbaum

SMM:tsr

cc: Robert Magrino, Esq., Town Attorney Rick Pakola, Esq., Deputy Town Attorney Jane Slavin, RA, Director O.B.Z.P.A.E. Onyx Management Group, LLC

<sup>&</sup>lt;sup>4</sup> A Watercourse Diversion Permit is required for applications to "fill, block, dam, bridge or divert any stream or watercourse" within the Town of Orangetown. Chapter 41, Watercourse Diversion and Pollution, does not define the terms "stream" or "watercourse." DEME has required the Applicant to obtain a Watercourse Diversion Permit due to the proposed diversion of an existing drainage ditch on the Property. This drainage ditch does not carry flow to or from any stream or regulated waterbody. A picture of the drainage ditch is enclosed with the letter prepared by Dynamic Engineering.



Dynamic Engineering Consultants, PC 50 Park Place, Suite 901 Newark, NJ 07102 T. 973-755-7200

March 28, 2024 Via FedEx

Town of Orangetown Town Board 26 West Orangeburg Road Orangeburg, NY 10962

Attn: Honorable Supervisor Kenny and Members of the Town Board

> RE: Onyx Equities, LLC Accessory Parking Lot Plan Parcel 70.06-1-50.4 & 47 64 & 140 Leber Road, Blauvelt Town of Orangetown Rockland County, NY DEC# 1739 22-02023

Dear Hon. Supervisor Kenny & Members of the Town Board,

On behalf of our client, Onyx Equities, LLC, enclosed please find the following items consulting our Town Board submission for the above referenced project:

- Two (2) signed and sealed copies of the Preliminary and Final Site Plan prepared by our office, dated October 2, 2023, last revised February 16, 2024; and
- One (1) copy of the project narrative summary prepared by McCullough, Goldberger & Staudt, LLP.

We are proposing the development of 633 accessory parking spaces with associated site amenities, which includes robust stormwater management facilities. Our stormwater design fully satisfies all Local and State stormwater requirements. Town professional staff identified the need for a Watercourse Diversion Permit pursuant to Chapter 41 of Town Code at the January 10, 2024 Project Review Committee (PRC) Meeting and the Planning Board confirmed the requirement at the January 24, 2024 Planning Board Meeting. There is a small "drainage ditch" pictured below that is the reason for the permit. The applicant respectfully requests to be placed on the next Town Board agenda.

Should you have any questions, comments or require additional information, please do not hesitate to contact the undersigned.

Sincerely,

**Dynamic Engineering Consultants, PC** 

Zachary A. Kamm, PE Senior Project Manager

Enclosures

www.dynamicec.com

Lake Como, NJ • Chester, NJ • Toms River, NJ • Newark, NJ • Marlton, NJ • Newtown, PA • Philadelphia, PA Bethlehem, PA • Allen, TX • Houston, TX • Austin, TX • Delray Beach, FL • Annapolis, MD

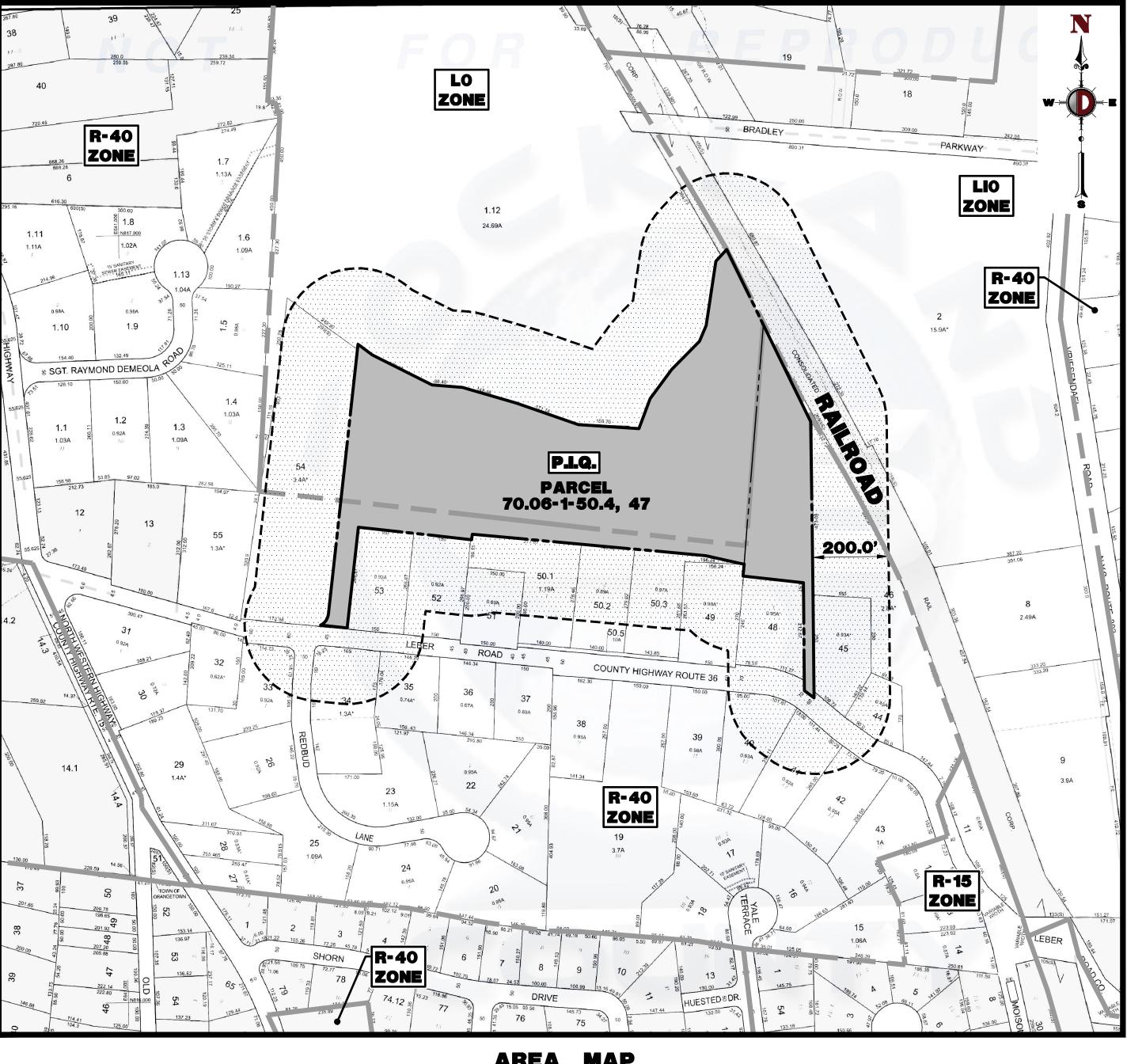
Hon. Supervisor Kenny & Members of the Town Board March 28, 2024 Page 2 of 2



# FOR ONYX EQUITIES, LLC PROPOSED ACCESSORY PARKING LOT 64 & 140 LEBER ROAD, TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK

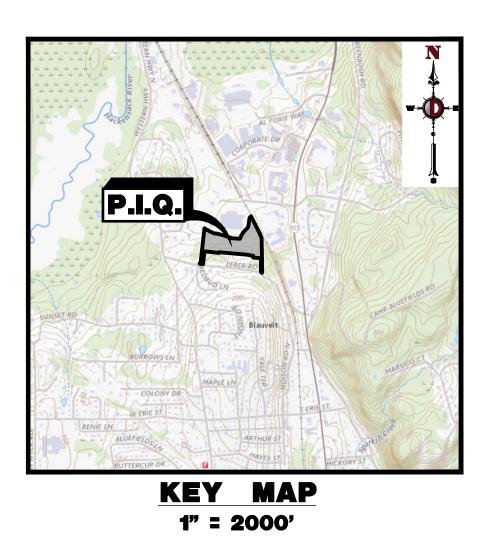
# PRELIMINARY AND FINAL SITE PLAN PARCEL 70.06-1-50.4 & 47; TAX MAP SHEET #70.06 - LATEST REV. DATED 06-16-1992

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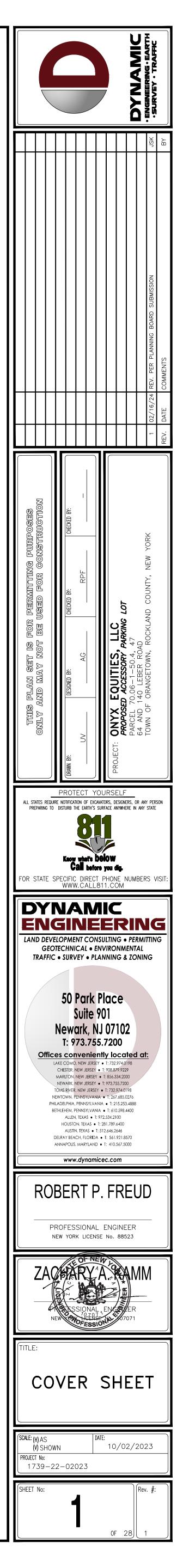


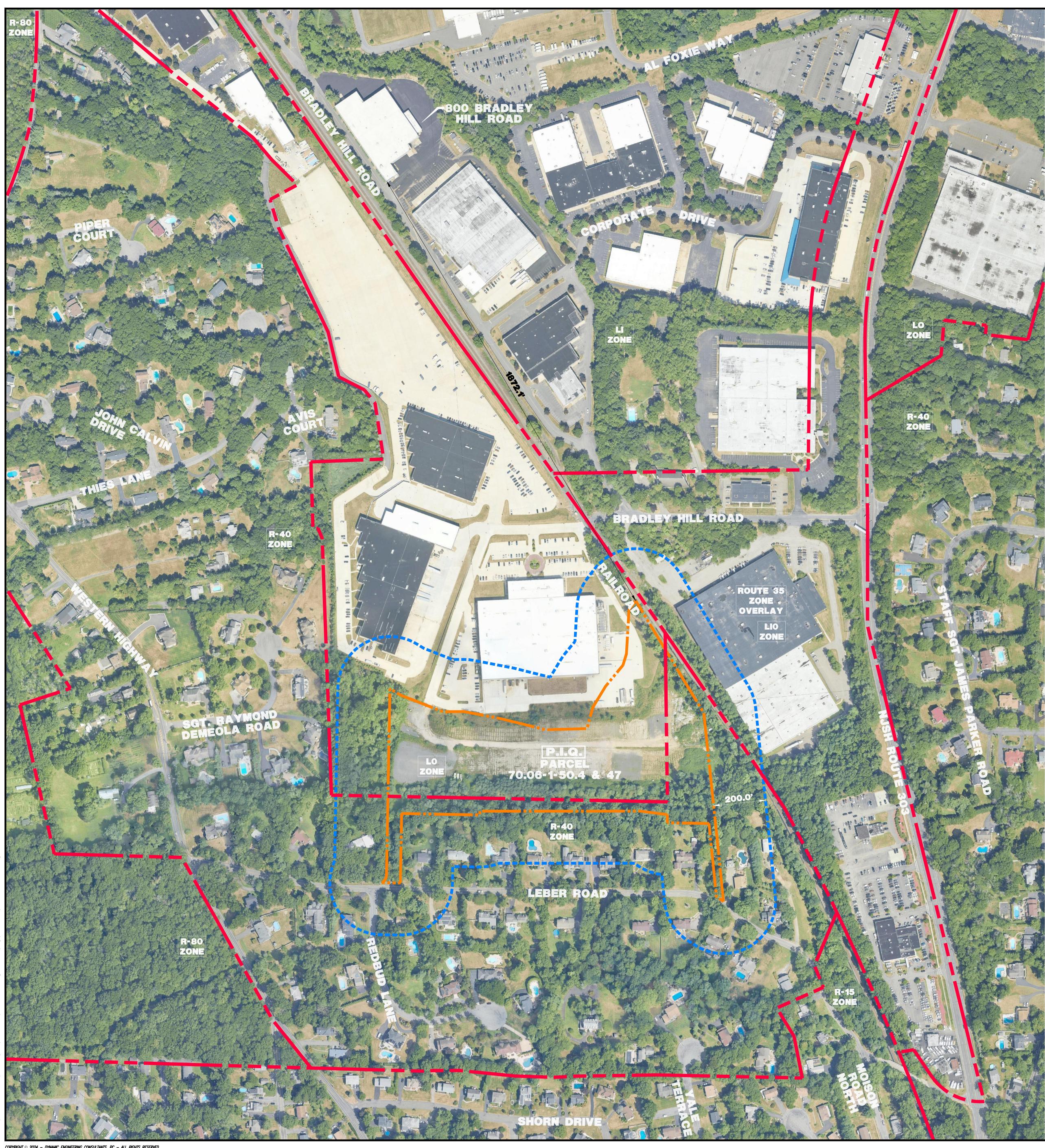
AREA MAP 1" = 200'

PREPARED BY DYNAMIC ENGINEERING CONSULTANTS, P.C. 50 PARK PLACE - SUITE 901 NEWARK, NJ 07102 WWW.DYNAMICEC.COM

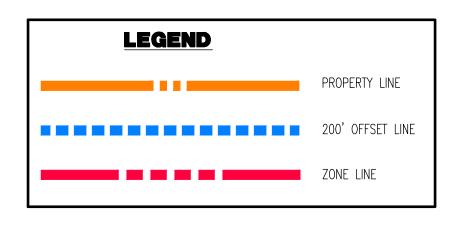


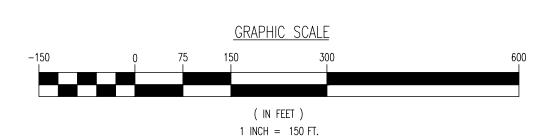
DRAWING INDE	Y
COVER SHEET	1 of 28
AERIAL MAP	2 of 28
OVERALL SITE PLAN	3 of 28
SITE PLAN 'A' – 'B'	4 - 5 of 28
DEMOLITION PLAN 'A' – 'B'	6 - 7 of 28
OVERALL GRADING PLAN	8 of 28
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OVERALL DRAINAGE AND UTILITY PLAN	11 of 28
DRAINAGE AND UTILITY PLAN 'A' – 'B'	12 - 13 of 28
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CONSTRUCTION DETAILS	23 - 26 of 28
VEHICLE CIRCULATION PLAN (CAR CARRIER TRAILER)	27 of 28
VEHICLE CIRCULATION PLAN (FIRE)	28 of 28





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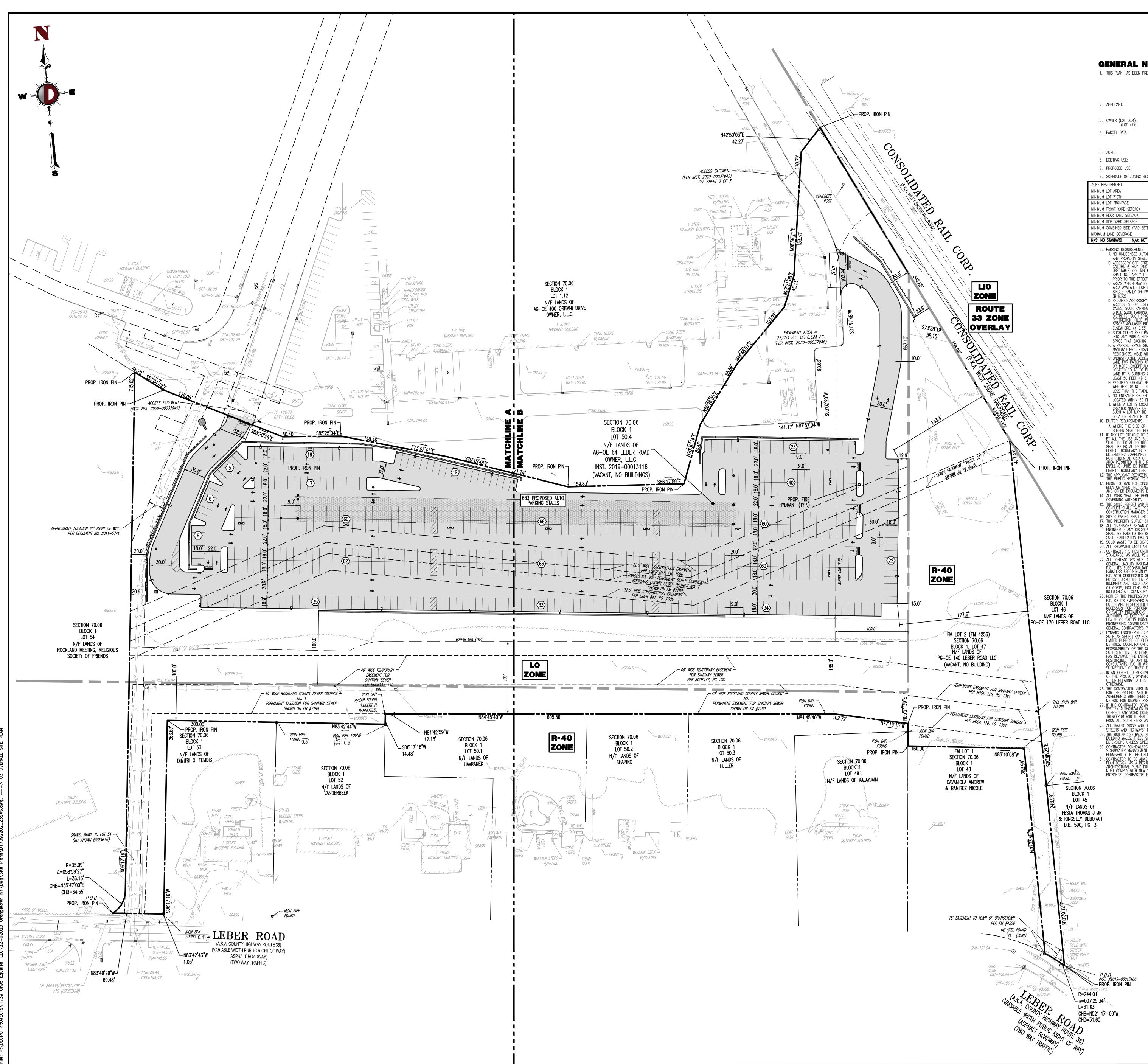




THE AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED ON IMAGERY PREPARED BY DIGITAL GLOBE, GEO EYE AND USDA FARM SERVICE AGENCY. THIS IMAGERY WAS PROVIDED BY GOOGLE MAPS ON 07/18/22. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.



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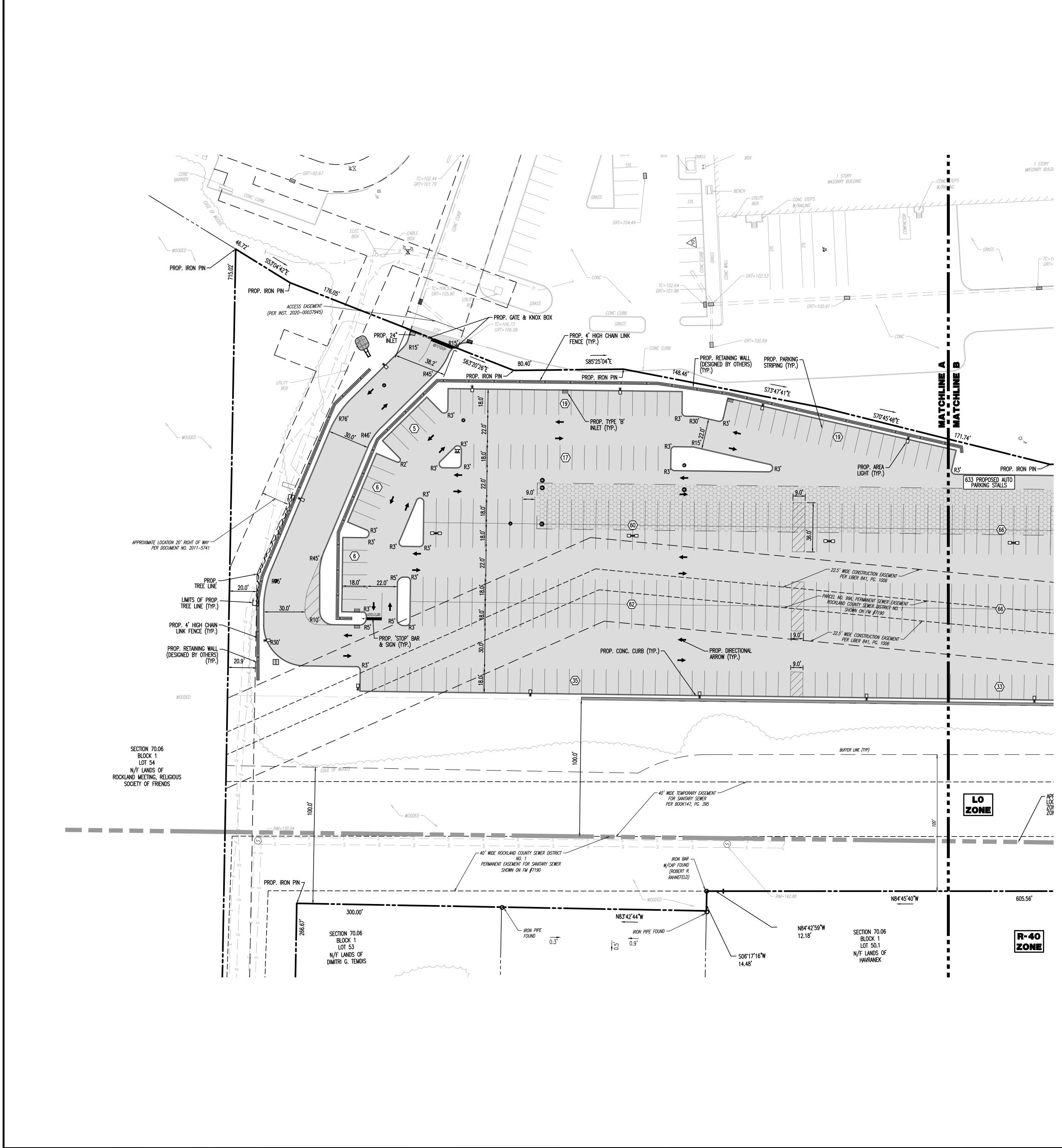
G	ENERAL NO	TES						
	THIS PLAN HAS BEEN PREPAR		EFERENCES INCL	UDING:				
		ALTA/NSPS LAND CONTROL POINT , 30 INDEPENDENC WARREN, NJ 070 SURVEYOR FILE N	59					
2.	APPLICANT:	ONYX EQUITIES, LLC ONE GATEWAY CENTER, SUITE 2400 NEWARK, NJ 07102						
3.								
4.	PARCEL DATA: PARCELS: 70.06-1-50.4 70.06-1-47 TOWN OF ORANGETOWN ROCKLAND COUNTY, NY							
5.	ZONE:	ZONE LO (LABORATORY OFFICE DISTRICT)/R-40 (LOW DENSITY RESIDENTIAL DISTRICT)						
6.	EXISTING USE:	VACANT						
7.	PROPOSED USE:	ACCESSORY PARKING LOT (PERMITTED ACCESORY USE) (§ 43 ATTACHMENT 8)						
8.	SCHEDULE OF ZONING REQUIF		•		,			
ZONE RE	QUIREMENT	ZONE LO	ZONE R-40	EXISTING (LOT 50.4)	EXISTING (LOT 47)	PROF		
MINIMUM	LOT AREA	2 AC	40,000 SF	11.131 AC (484,886 SF)	2.053 AC (89,427 SF)	13.184 AC		
MINIMUM	LOT WIDTH	300 FT	150 FT	1,071.80 FT	191.63 FT	1,263		
MINIMUM	LOT FRONTAGE	150 FT	100 FT	69.48 FT <b>(E)</b>	31.60 FT <b>(E)</b>	101.08		
MINIMUM	FRONT YARD SETBACK	100 FT	50 FT	N/A	N/A	N		
MINIMUM	REAR YARD SETBACK	100 FT	50 FT	N/A	N/A	N		
MINIMUM	SIDE YARD SETBACK	100 FT	30 FT	N/A	N/A	N		
MINIMUM	COMBINED SIDE YARD SETBAC	K 200 FT	80 FT	N/A	N/A	N		
MAXIMUM	LAND COVERAGE	50%	N/A	15.1 % (73,310 SF)	N/A	41.7% (2		
n/s: no	STANDARD N/A: NOT AP	PLICABLE (E	): Existing Non	-conformance (V): VA	RIANCE			
9.	ANY PROPERTY SHALL BE	LIMITED TO THE PARKING SPACES, IICH IS DEVELOPE SHALL BE CONSID ADDITION TO OR	NUMBER OF PA OPEN OR ENCI D AS A UNIT UI ERED A SINGLE RECONSTRUCTIO	OUT OF DOORS ON ANY PRO RKING SPACES LEGALLY PRO LOSED, SHALL BE PROVIDED NDER SINGLE OWNERSHIP ANI LOT FOR THE PURPOSE OF S IN OF A CHURCH, WHERE SU	IDED ON THE PROPERTY (	(861R)		

- PRIOR TO THE EFFECTIVE DATE OF THIS CODE. (§ 6.31) C. AREAS WHICH MAY BE COMPUTED AS OPEN OR ENCLOSED OFF-STREET PARKING SPACES INCLUDE ANY PRIVATE GARAGE, CARPORT OR OTHER AREA AVAILABLE FOR PARKING, OTHER THAN A STREET OR A DRIVEWAY, EXCEPT THAT A DRIVEWAY WITHIN A REQUIRED FRONT YARD FOR A SINGLE–FAMILY OR TWO–FAMILY RESIDENCE MAY COUNT AS TWO PARKING SPACES OTHER THAN ON A CORNER LOT, AS PROVIDED IN 5.22
- (9 0.32)
  D. REQUIRED ACCESSORY PARKING SPACES, OPEN OR ENCLOSED, MAY BE PROVIDED UPON THE SAME LOT AS THE USE TO WHICH THEY ARE ACCESSORY, OR ELSEWHERE, PROVIDED THAT ALL SPACES THEREIN ARE LOCATED WITHIN 1,000 FEET WALKING DISTANCE OF SUCH LOT. IN ALL CASES, SUCH PARKING SPACES SHALL CONFORM TO ALL THE REGULATIONS FOR THE USETTO WHICH THEY ARE ACCESSORY AND SHALL BE VIDENT SHALL SUCH PARKING SPACES SHALL CONFORM TO ALL THE REGULATIONS FOR THE USE TO WHICH THEY ARE ACCESSORY ARE PERMITTED IN SUCH DISTRICT. SUCH PARKING SPACES SHALL BE IN THE SAME OWNERSHIP AS THE USE TO WHICH THEY ARE ACCESSORY AND SHALL BE SUBJECT TO DEED RESTRICTION, FILED WITH THE COUNTY CLERK, BINDING THE OWNER AND HIS HEIRS AND ASSIGNS TO MAINTAIN THE REQUIRED NUMBER OF SPACES AVAILABLE EITHER THROUGHOUT THE EXISTENCE OF SUCH USE TO WHICH THEY ARE ACCESSORY OR UNTIL SUCH SPACES ARE PROVIDED ELSEWHERE. (§ 6.33) (VARIANCE)
  E. SUCH OFF-STREET PARKING SPACES SHALL BE SO LAID OUT THAT IT SHALL NOT BE NECESSARY FOR A VEHICLE PARKED THEREON TO BACK INTO ANY PUBLIC HIGHWAY. AT THE EXIT FROM ALL SUCH AREAS A SIGN SHALL BE PROMINENTLY DISPLAYED ADVISING USERS OF THE PARKING SPACE THAT BACKING INTO THE PUBLIC HIGHWAY IS PROHIBITED. (§ 6.331)
  F. A PARKING SPACES SHALL BE CONSIDERED A SPACE NINE FEET WIDE AND 18 FEET LONG, EXCLUSIVE OF STANDING AREA AND AISLES FOR MANEUVERING. ENTRANCE AND EXIT FROM ALL SUCH AREAS A SIGN SPACE EXCEPT FOR ONE-FAMILY AND TWO-FAMILY RESIDENCES. AISLE WIDTH SHALL NOT BE LESS THAN 20 FEET FOR 60' OR 22 FEET FOR 90' PARKING. (§ 6.34)
  G. UNOBSTRUCTED ACCESS TO AND FROM STREETS SHALL BE PROVIDED. SUCH ACCESS SHALL CONSIST OF NOT MORE THAN ONE TWENTY-FOOT LANE FOR PARKING AREA WITH 20 SPACES AND NOT MORE THAN FOUR TWENTY-FOOT LANE FOR PARKING AREAS WITH 20 SPACES AND NOT MORE THAN ONE TWENTY-FOOT LANE FOR PARKING AREAS WITH 20 SPACES AND NOT MORE THAN FOUR TWENTY-FOOT LANE FOR PARKING AREAS WITH 20 SPACES AND NOT MORE THAN FOUR TWENTY-FOOT LANE FOR PARKING AREAS WITH 20 SPACES AND NO
- LEAST 50 FEEL (§ 6.55) H. REQUIRED PARKING SPACES, OPEN OR ENCLOSED, MAY BE PROVIDED IN SPACES DESIGNED TO SERVE JOINTLY TWO OR MORE ESTABLISHMENTS, WHETHER OR NOT LOCATED ON THE SAME LOT, PROVIDED THAT THE NUMBER OF REQUIRED SPACES IN SUCH JOINT FACILITIES SHALL NOT BE LESS THAN THE TOTAL REQUIRED FOR ALL SUCH ESTABLISHMENTS. (§ 6.37) I. NO ENTRANCE OR EXIT FOR ANY ACCESSORY OFF-STREET PARKING AREA WITH OVER 10 PARKING SPACES, NOR ANY LOADING BERTH, SHALL BI LOCATED WITHIN 50 FEET OF THE INTERSECTION OF ANY TWO STREET LINES. (§ 6.51) J. WHEN A LOT IS LOCATED PARTLY IN ONE DISTRICT AND PARTLY IN ANOTHER DISTRICT, THE REGULATIONS FOR THE DISTRICT REQUIRING THE GREATER NUMBER OF PARKING SPACES OR LOADING BERTHS SHALL APPLY TO ALL OF THE LOT. PARKING SPACES OR LOADING BERTHS ON SUCH A LOT MAY BE LOCATED WITHOUT REGARD TO DISTRICT LINES, PROVIDED THAT NO SUCH PARKING SPACE OR LOADING BERTHS SHALL BE LOCATED IN ANY R. DISTRICT UNITED TO HELSE TO WITHOUT REGARD TO DISTRICT LINES, PROVIDED THAT NO SUCH PARKING SPACE OR LOADING BERTHS SHALL BE LOCATED IN ANY R. DISTRICT UNITED TO HELSE TO WITHOUT REGARD TO DISTRICT DESTRICT, SERVITED IN SUCH PARKING SPACE OR LOADING BERTHS SHALL BE LOCATED IN ANY R. DISTRICT LINESS THE LISE TO WITHOUT REGARD TO DISTRICT THEY ARE ACCESSORY IS DEDUITED IN SUCH DISTRICT. IN DISTRICT MEDIATIONS FOR THE DISTRICT OF A LOT MAY BE LOCATED WITHOUT REGARD TO DISTRICT AND PARTLY ARE ACCESSORY. LOCATED IN ANY R DISTRICT, UNLESS THE USE TO WHICH THEY ARE ACCESSORY IS PERMITTED IN SUCH DISTRICT. (§ 6.53)
- A. WHERE THE SIDE OR REAR LOT LINE OF A LOT IN LO ADJOINS OR LIES WITHIN TWENTY-FIVE (25) FFET OF ANY R DISTRICT A 100-FOOT-WIDE BUFFER SHALL BE REQUIRED. (§ 43 ATTACHMENT 18) (VARIANCE) . IF ANY LOT CAPABLE OF SUBDIVISION IS DIVIDED BY A DISTRICT BOUNDARY, THE PART OF SUCH LOT WITHIN EACH DISTRICT SHALL BE REGULATED BY ALL THE USE AND BULK REGULATIONS OF THAT DISTRICT, EXCEPT THAT THE MAXIMUM FLOOR AREA OR MAXIMUM NUMBER OF DWELLING UNITS SHALL BE EQUAL TO THE SUM OF THE FLOOR AREAS AND DWELLING UNITS PERMITTED ON EACH PART OF THE LOT, IF ANY PART OF SUCH LOT DIVIDED BY A DISTRICT DOUNDARY IS IN A DEFUNDATION OF THE USABLE OPEN SPACE REQUIRED ON EACH PART OF THE LOT. IF ANY PART OF SUCH LOT DIVIDED BY A DISTRICT DOUNDARY IS IN A DEFUNDATION OF THE USTRICT THE DISTRICT DOUNDARY IS CALL AND THE USABLE OPEN SPACE STALL DE DUNDARY IS IN A RESIDENTIAL DISTRICT, THE DISTRICT BOUNDARY LINE SHALL BE CONSIDERED A LOT LINE FOR PURPOSES OF DETERMINING COMPLIANCE WITH BULK REGULATIONS.HOWEVER, THE MAXIMUM FLOOR AREA OF AN EXISTING OR PROPOSED BUILDING IN ANY NONRESIDENTIAL AREA OF A LOT DIVIDED BY A DISTRICT BOUNDARY LINE SHALL NOT BE INCREASED BY THE INCLUSION OF ANY RESIDENTIAL FLOOR AREA PERMITTED IN THE RESIDENTIAL AREA OF A LOT DIVIDED BY SUCH DISTRICT BOUNDARY LINE, NOR SHALL THE NUMBER OF RESIDENTIAL DWELLING UNITS BE INCREASED BY THE NONRESIDENTIAL FLOOR AREA PERMITTED IN THE NONRESIDENTIAL AREA OF SUCH LOT DIVIDED BY A DISTRICT DOLINDARY LINE (& 6 12) DISTRICT BOUNDARY LINE. (§ 5.12)
- THE APPLICANT REQUESTS ANY AND ALL SUBMISSION WAIVERS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN. TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT SAID SUBMISSION WAIVERS.
   PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES. 14. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LO GOVERNING AUTHORITY.
- THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT & PLANS. 16. SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC. 7. THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
- THE PROPERT SOLVET SHALL BE CONSIDERED A PART OF THESE PLANS.
   ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS SUCH NOTIFICATION HAS NOT BEEN GIVEN. 19. SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS. 20. ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- 1. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE. STANDARUS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
   ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C. ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTORS. MUST FURNISH DYNAMIC ENGINEERING CONSULTANTS, P.C. WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
   23 NEITHER THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENCINEERING CONSULTANTS. 23. NEITHER THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENGINEERING CONSULTANTS, P.C., NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANT
- 5. NEITHER THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENGINEERING CONSULTANTS, P.C., NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR OR TAKE OTHER ACTION ON THE CONTRACTOR SUBMITTALS.
- GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
  24. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DYNAMIC ENGINEERING'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT DYNAMIC ENGINEERING CONSULTANTS, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR ANY DEVATIONS FROM THE CONTRACTOR. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OF THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
  25. IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT OR THAL ARISING OUT OF RELATING TO THIS AGREEMENT FOR THAT ARISE DONLITANTS, P.C. AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
- 26. THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN AL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMAR METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL THOSE AGREEMENTS.
- 27. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CONNECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM. 28. ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
- 29. THE BUILDING SETBACK DIMENSIONS ILLUSTRATED AND LISTED ON THE SITE PLAN DRAWINGS ARE MEASURED FROM THE OUTSIDE SURFACE OF BUILDING WALLS. THESE SETBACK DIMENSIONS DO NOT ACCOUNT FOR ROOF OVERHANGS, ORNAMENTAL ELEMENTS, SIGNAGE OR OTHER EXTERIOR EXTENSIONS UNLESS SPECIFICALLY NOTED.
   20. CONTRACTOR ACCNOWLEDGES AND LINDEDEDGEDOD THE DEGICAL DIMENSIONS TO ACCOUNT FOR ROOF OVERHANGS, ORNAMENTAL ELEMENTS, SIGNAGE OR OTHER EXTERIOR EXTENSIONS UNLESS SPECIFICALLY NOTED.
- EXTENSIONS UNLESS SPECIFICALLY NOTED.
  CONTRACTOR ACKNOWLEDGES HE HAS READ AND UNDERSTOOD THE DESIGN PHASE SOIL PERMEABILITY AND GROUNDWATER TEST RESULTS IN THE STORMWATER MANAGEMENT REPORT AND THAT THE CONTRACTORS RESPONSIBILITIES INCLUDE NECESSARY PROVISIONS TO ACHIEVE THE DESIGN PERMEABILITY IN THE FIELD.
  CONTRACTOR TO BE ADVISED THAT THE ENGINEER WAS NOT PROVIDED WITH FINAL FLOOR PLAN DRAWINGS FOR THE BUILDING AT THE TIME OF SITE PLAN DESIGN. AS A RESULT, ENTRANCE DOOR LOCATIONS AS DEPICTED HEREON MAY NOT BE FINAL AND MUST BE CONFIRMED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. THE HANDICAP ACCESSIBLE PARKING SPACES AND THE ASSOCIATED RAMPS AND ACCESSIBLE ROUTE MUST COMPLY WITH NEW YORK STATE REQUIREMENTS AND THE HANDICAP PARKING SPACES MUST BE LOCATED AS THE NEAREST SPACES TO THE ENTRANCE. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.

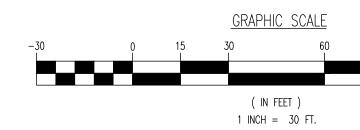
<u>GRAPHIC</u> SCALE ( IN FEET )

1 INCH = 50 FT.



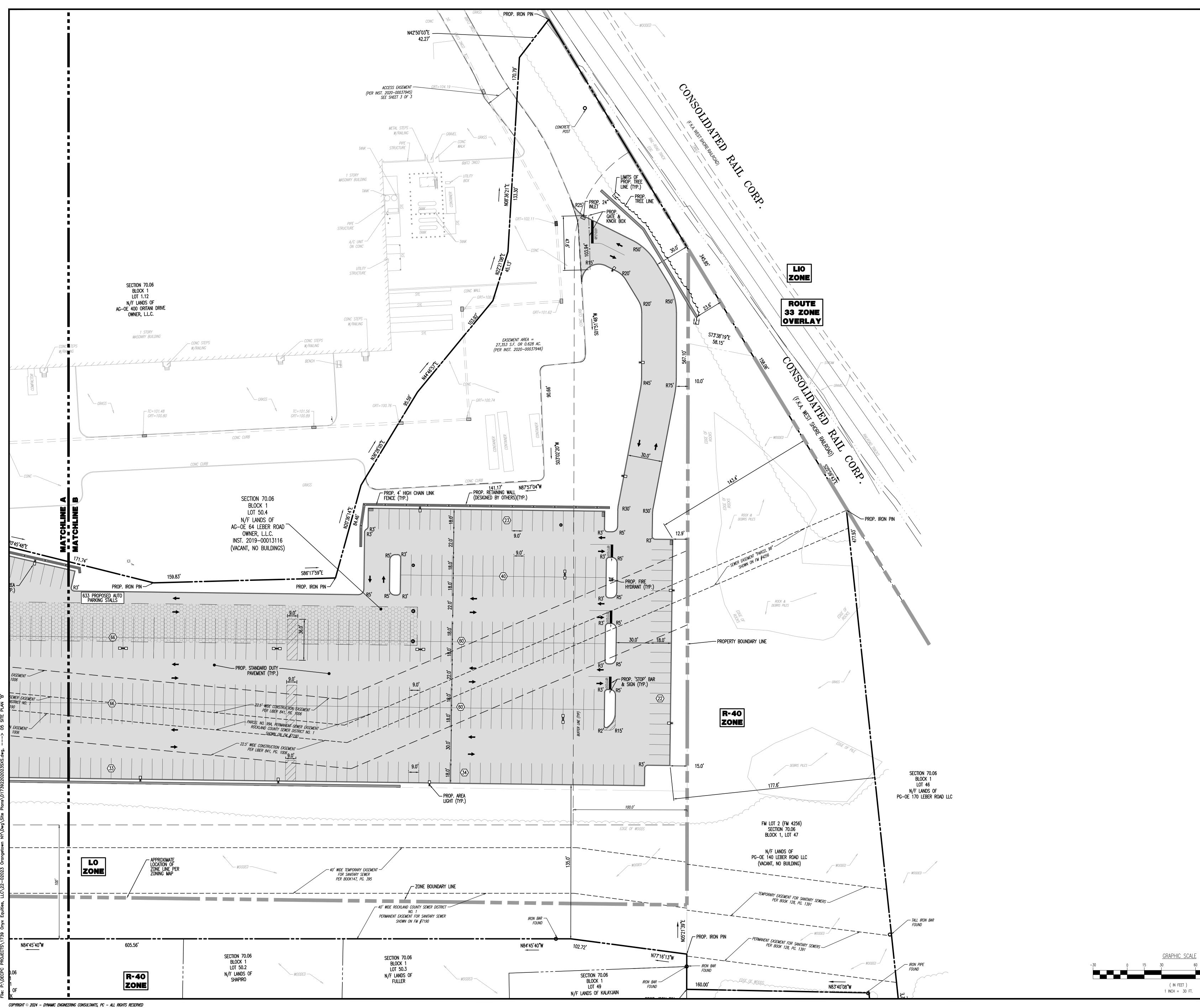


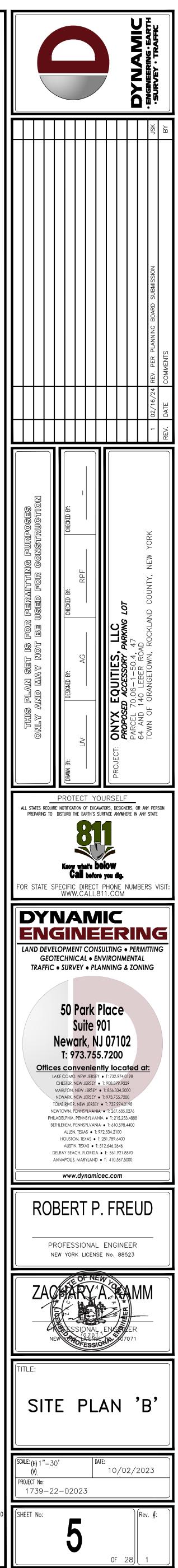
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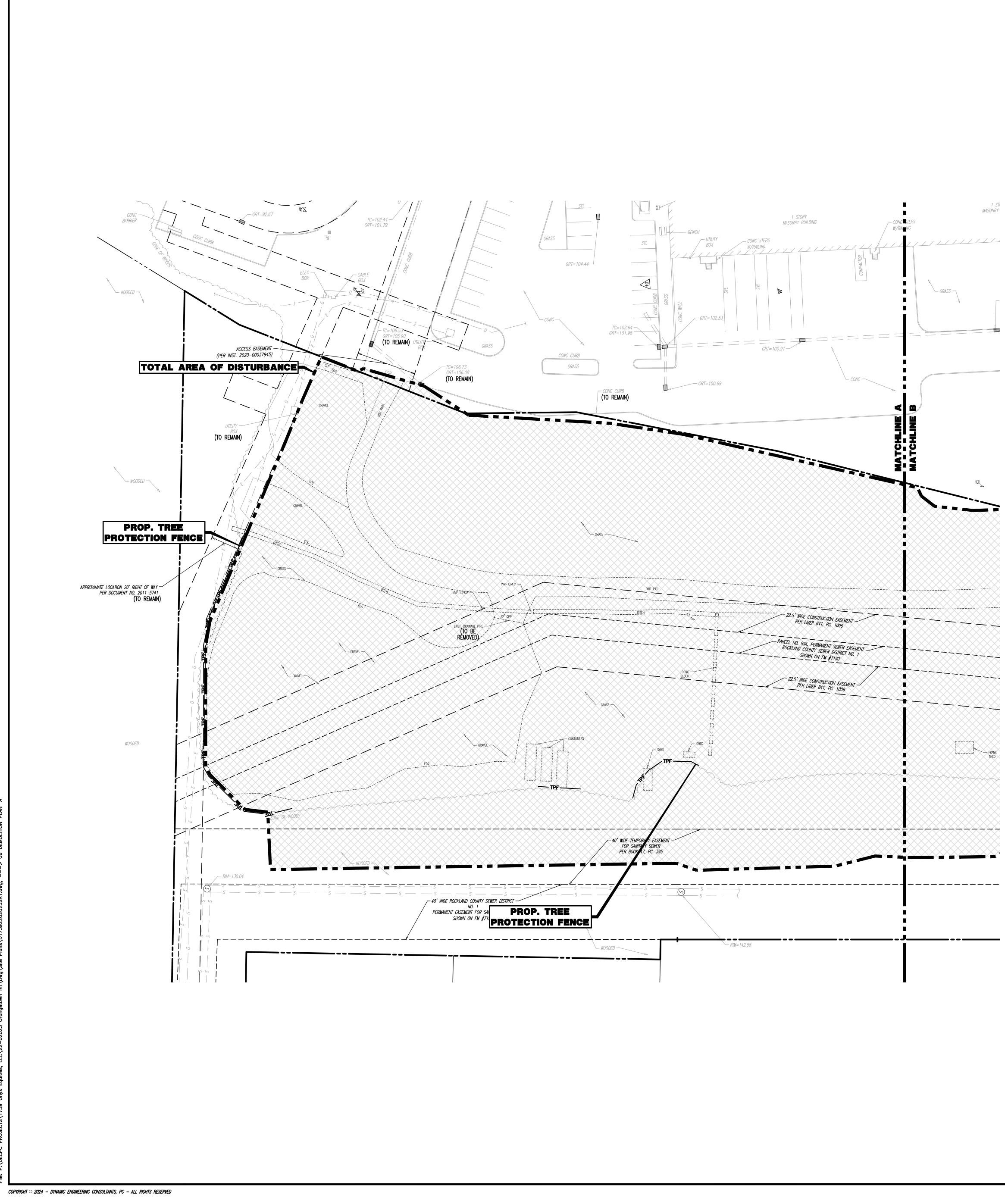
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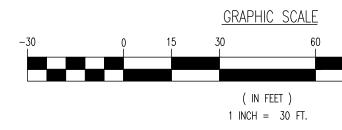




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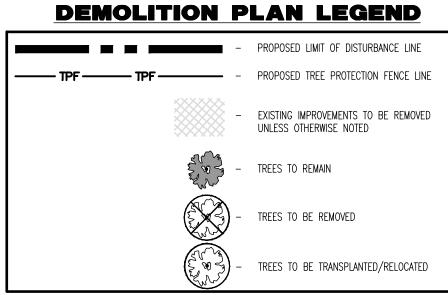
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- 18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY. 19. VERIFY THAT ALL ENVIRONMENTAL CONCERNS INCLUDING BUT NOT LIMITED TO ASBESTOS, LEAD BASED PAINT, HAZMAT MATERIALS, UNDERGROUND STORAGE TANKS, AND TRANSFORMERS HAVE BEEN REMOVED PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES. THESE ARE NOT SHOWN ON THE PLANS. REFER TO ENVIRONMENTAL REPORTS AND DOCUMENTS FOR LOCATIONS AND DISPOSAL PROCEDURES.
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- 14. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME. 15. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY.
- 13. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
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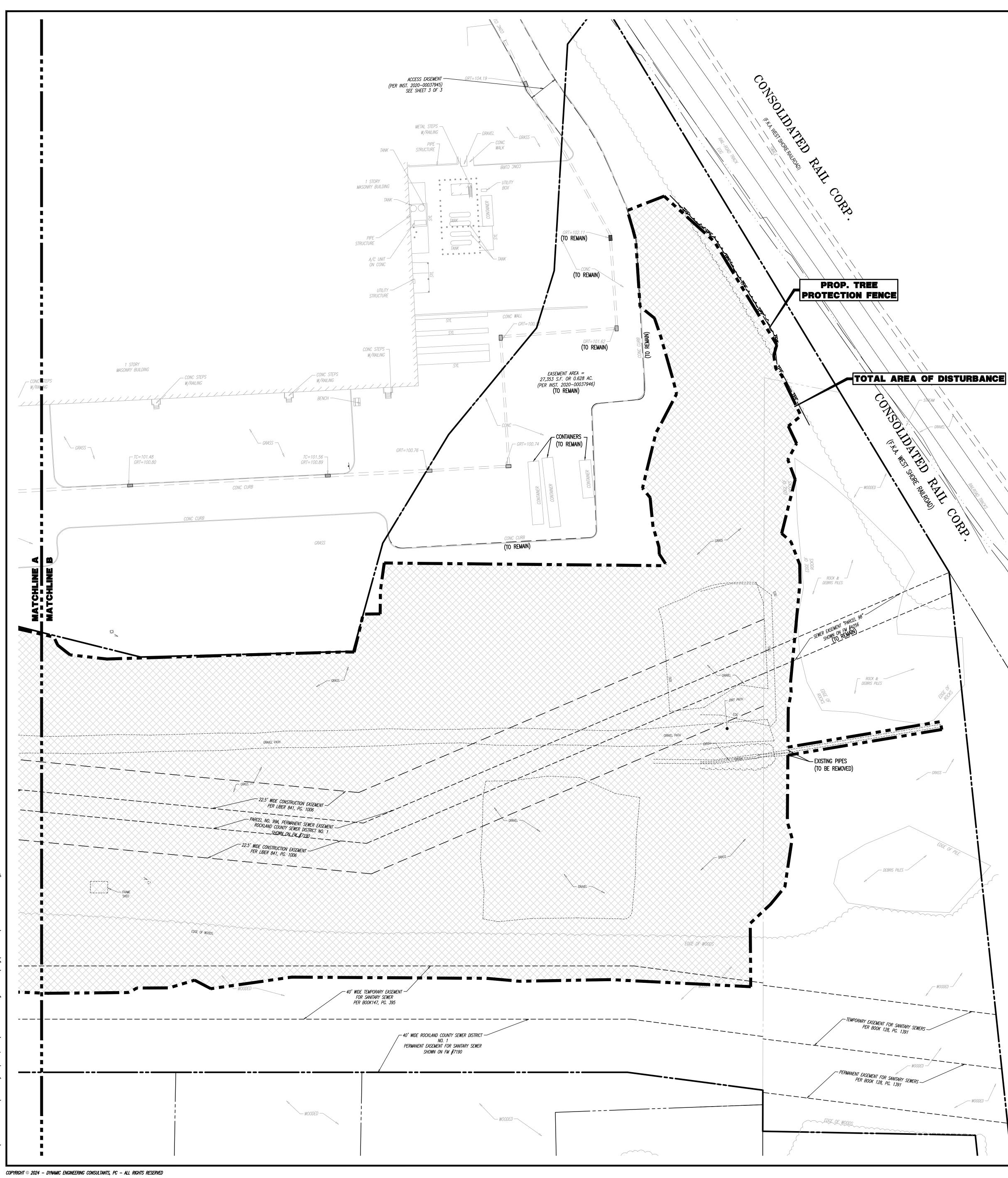
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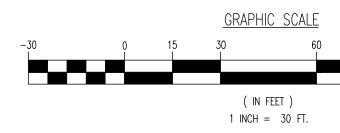
**DEMOLITION NOTES** 

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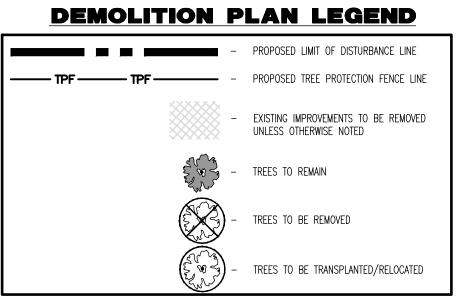
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NOTES

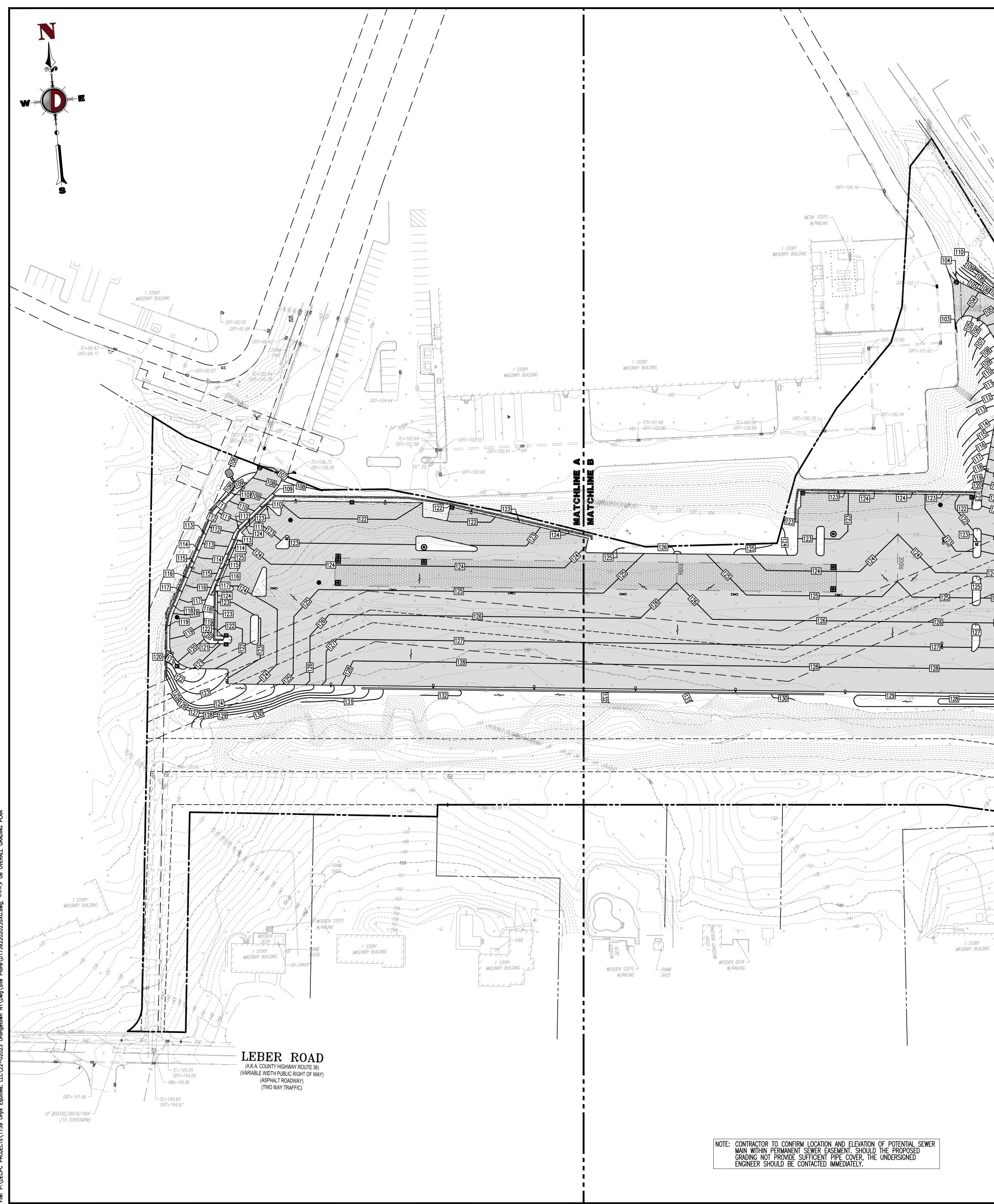
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- **DEMOLITION NOTES**



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# **GRADING NOTES**

- SPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SOILS ENGINEER, REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING ING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE 1AXIMUM DEN
- 2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL ISLAND GUTTERS, CURBS AND 1.0% ON ALL CONCRETE SURFACES, AND 1–1/2% MIN. ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY EFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- 3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
- 4. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- 5. REFER TO SITE PLAN FOR ADDITIONAL NOTES. 6. IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.

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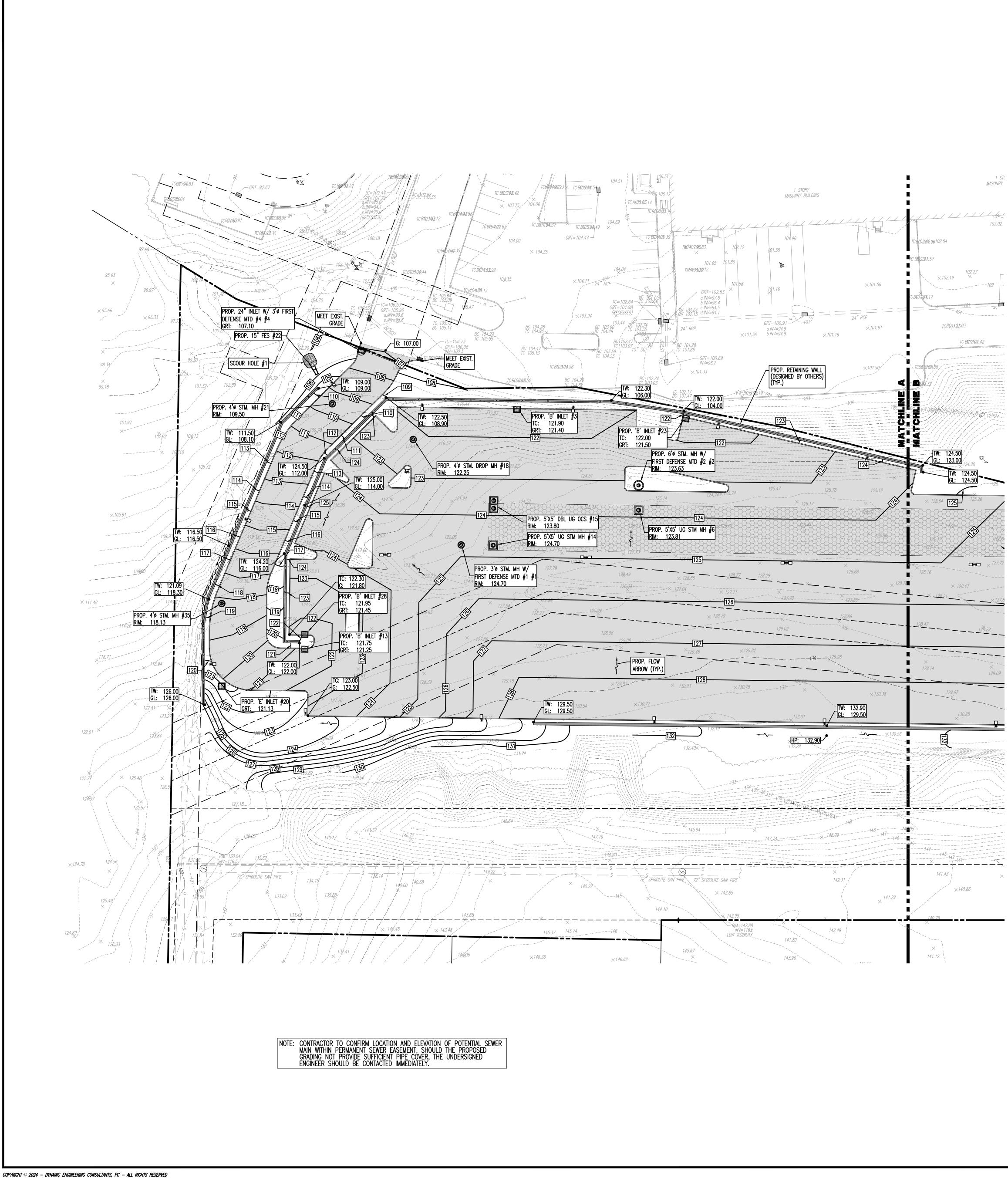
ORP

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<b>RADING/UTI</b>	LITY	<b>GRAPHIC LEGEND</b>
		PROPERTY LINE (PARCEL IN QUESTION) OFF-SITE PROPERTY LINES
C	ζ	
c		PROP. CABLE LINE
<i>E</i>		EXIST. ELECTRIC LINE PROP. ELECTRIC LINE
F0		
——— F0 ———		PROP. FIBER OPTIC LINE
G		EXIST. GAS LINE
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T		EXIST. TELEPHONE LINE
/	-	PROP. TELEPHONE LINE EXIST. WATER LINE
w		PROP. WATER LINE
<i>FS</i>		
F3		PROP. FIRE SERVICE EXIST. UNDERGROUND ELEC./TELE. SERVICE
UGET		(NO. & SIZE OF CONDUITS NOT DEFINED) PROP. UNDERGROUND ELEC./TELE. SERVICE
	s	(NO. & SIZE OF CONDUITS NOT DEFINED)
OR		EXIST. SANITARY SEWER LINE
OR		PROP. SANITARY SEWER LINE
FM	FM	EXIST. FORCE MAIN
= = = = =	= =	PROP. FORCE MAIN EXIST. STORM DRAIN LINE
		PROP. STORM DRAIN LINE
		EXIST. MINOR CONTOUR & ELEVATION EXIST. MAJOR CONTOUR & ELEVATION
		PROP. FINISH GRADE CONTOUR & ELEVATION
	-~->	PROP. DIRECTION OF DRAINAGE FLOW ARROW
	× 8.9 × G: 8.90	EXIST. SPOT ELEVATIONS EXIST. GUTTER ELEV.
	× TC: 8.90	EXIST. TOP OF CURB ELEV.
	× FF: 8.90	EXIST. FINISH FLOOR ELEV.
	× GF: 8.90	EXIST. GARAGE FLOOR ELEV.
	G: 000.00	PROP. GRADE SPOT ELEV.
	G: 000.00	PROP. TOP OF CURB & FINISHED GRADE ELE
	FF: 000.00	PROP. FINISHED FLOOR ELEV. PROP. TOP. OF WALL & FINISHED GRADE @ LOW SID
	GL: 000.00	OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	TC: 000.00 GH: 000.00	PROP. TOP OF EXTENDED CURB, (GH) FINISHED GRADE @ HIGH_SIDE OF EXTENDED_CURB & (GL)
	GL: 000.00	FINISHED GRADE @ LOW SIDE OF EXTENDED CURB EXIST. GUY WIRE
	Å	EXIST. LIGHT POLE
	曱	EXIST. BUILDING LIGHT
0		EXIST. SHOE BOX LIGHT EXIST. COBRA LIGHT POLE
	 	EXIST. TRAFFIC SIGNAL POLE
	$\bigcirc$	EXIST. MANHOLE
		EXIST. "A" INLET EXIST. "B" INLET
		EXIST. "E" INLET
		EXIST. YARD INLET
		EXIST. FLARED END SECTION EXIST. HEADWALL
	Å <sup>₩₩</sup>	EXIST. MONITORING WELL
	X	EXIST. FIRE HYDRANT
	¥X gX	EXIST. WATER VALVE
	⊠ GM/ □	EXIST. GAS VALVE EXIST. GAS METER
	ĒM	EXIST. ELECTRIC METER
	Elbox C/O	EXIST. ELECTRIC BOX
	c% @	EXIST. CLEAN OUT EXIST. WELL
	wso	EXIST. WATER SHUT OFF VALVE
	TEL D	EXIST. TELEPHONE BOX
	හි ප	EXIST. CABLE TV BOX EXIST. UTILITY POLE
	W	PROP. WATER VALVE
	X2	PROP. GAS VALVE
	©	PROP. STORM CLEANOUT PROP. SANITARY CLEANOUT
	, œ⊡	PROP. AREA LIGHT
		PROP. OUTLET CONTROL STRUCTURE
	<b>(</b>	PROP. DRAINAGE MANHOLE
	Í O O	PROP. SANITARY SEWER MANHOLE
		PROP. 'A' INLET
		PROP. 'B' INLET
		PROP. 'E' INLET PROP. YARD INLET
		PROP. YARD INLET PROP. FLARED END SECTION
		PROP. HEADWALL

<u>GRAPHIC SCALE</u>





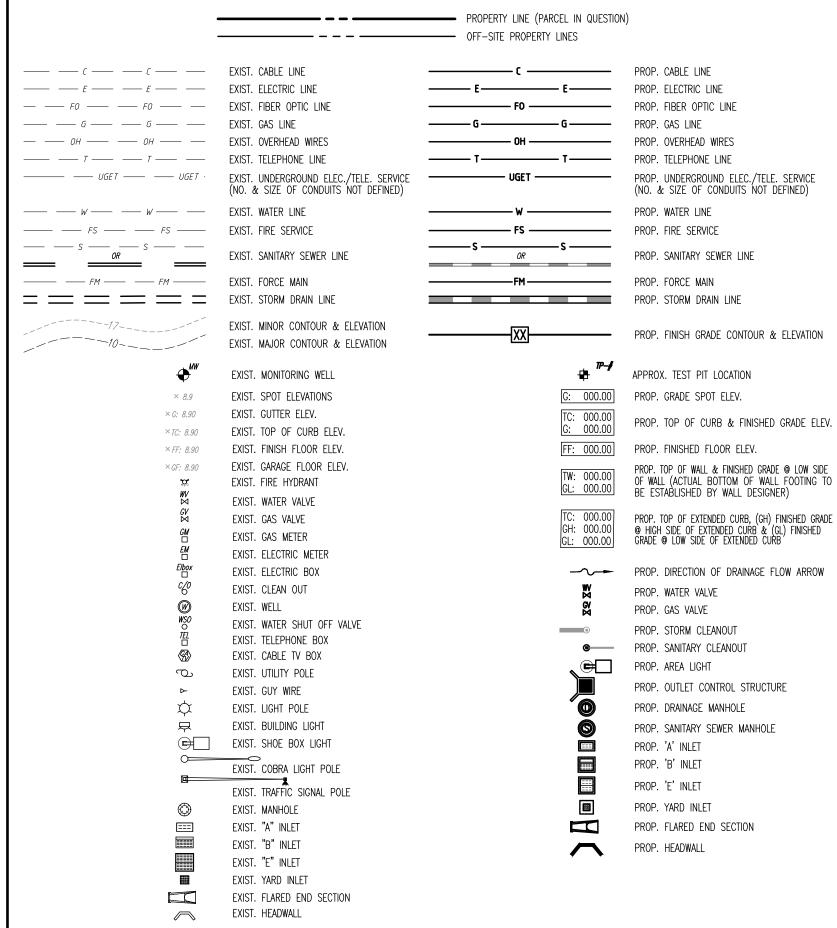
## **<u>GRADING NOTES</u>**

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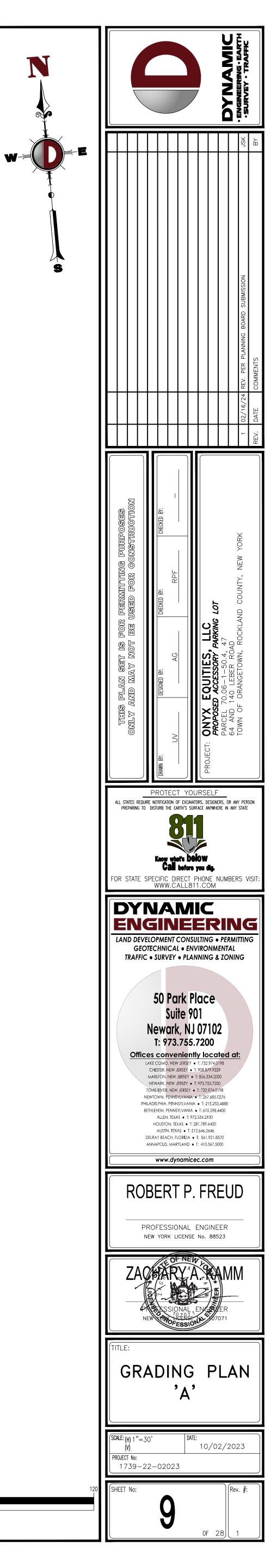
## **GRADING/UTILITY GRAPHIC LEGEND**

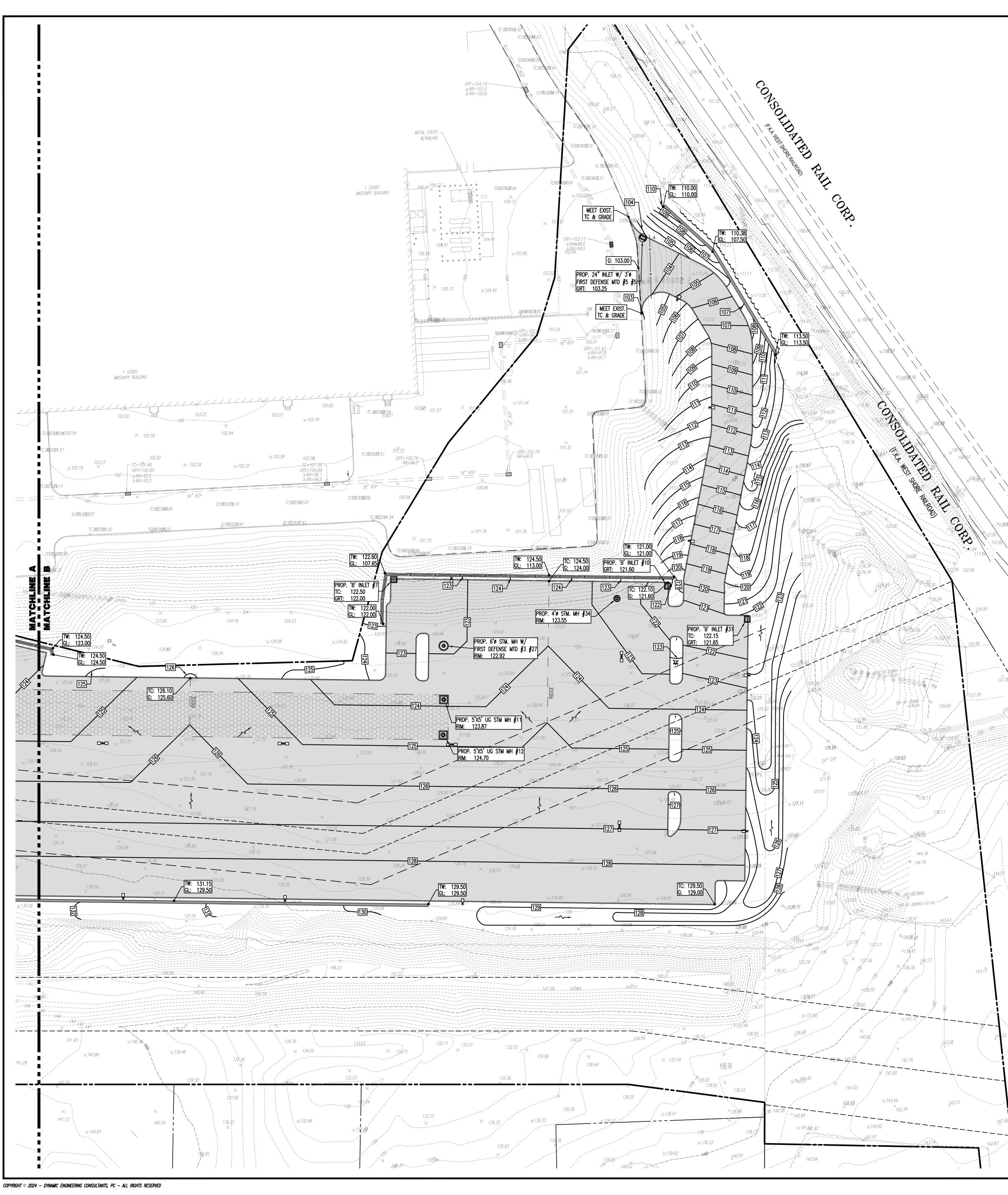


<u>GRAPHIC SCALE</u>

( IN FEET )

1 INCH = 30 FT.





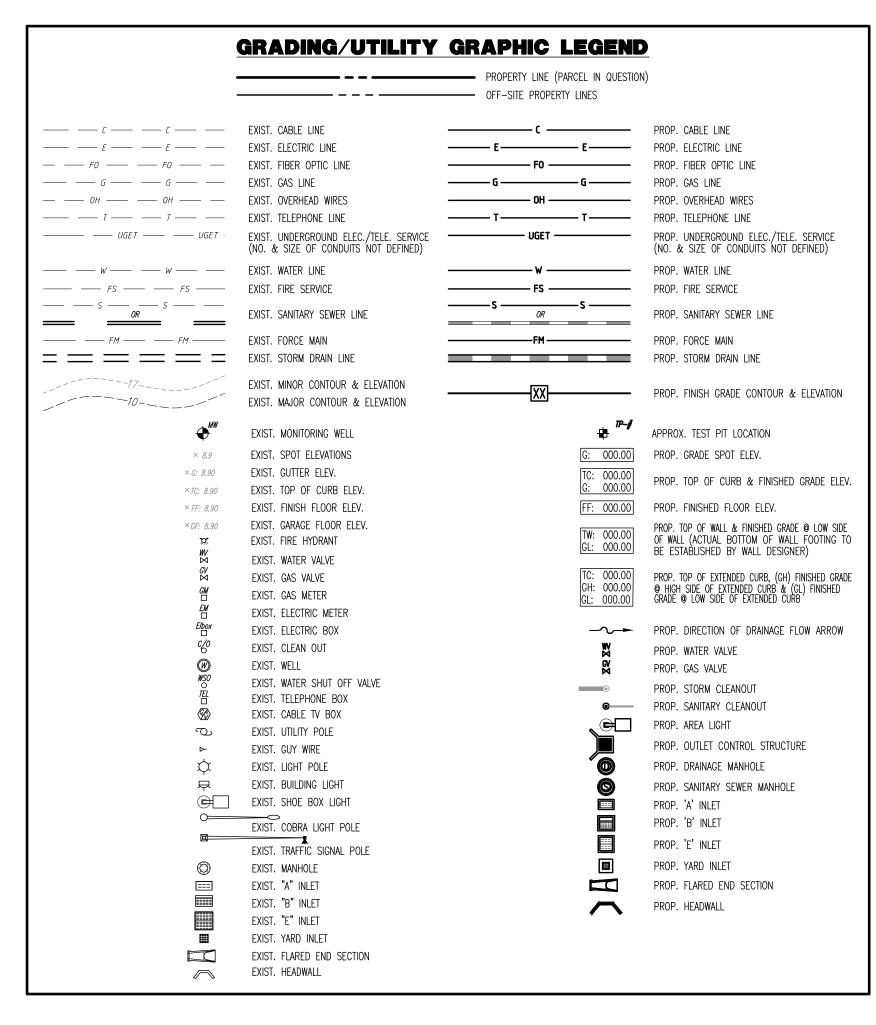
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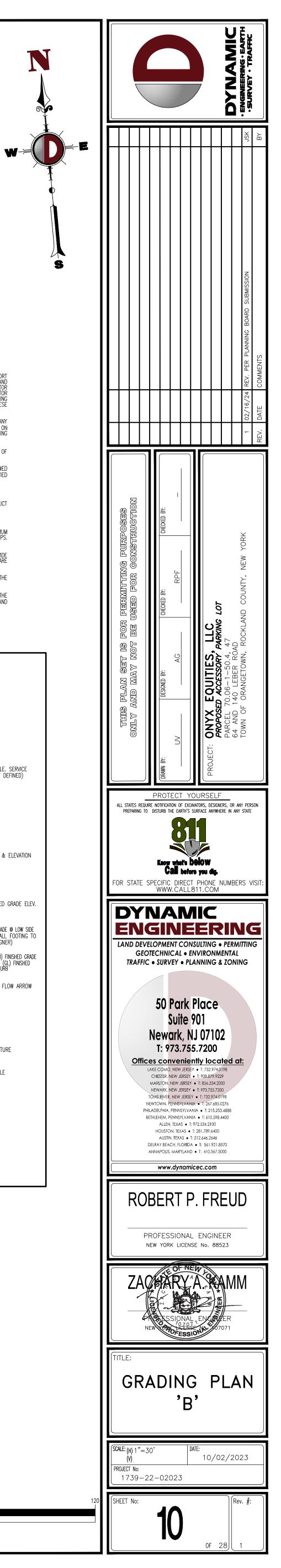
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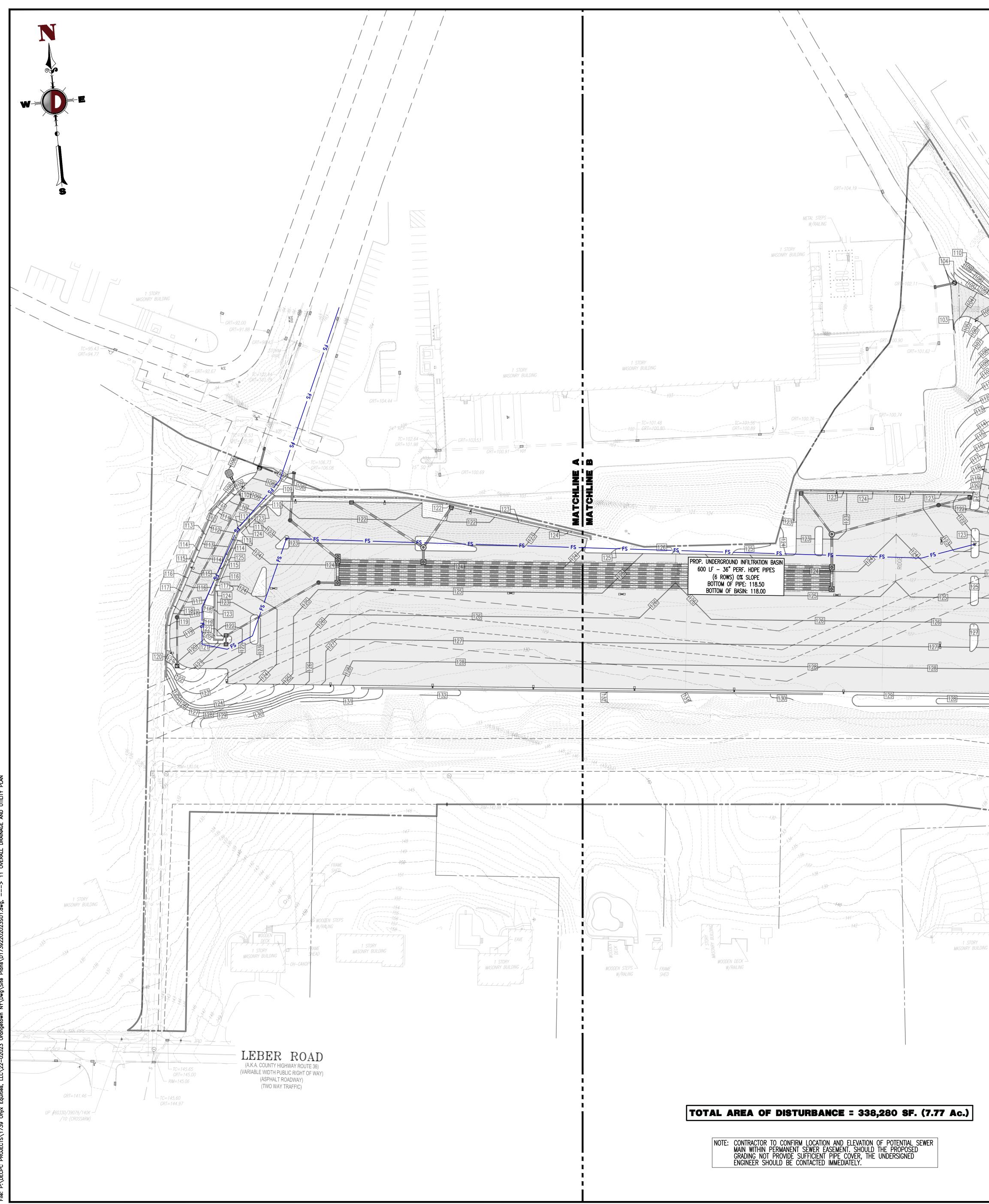
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CONTRACTOR TO CONFIRM LOCATION AND ELEVATION OF POTENTIAL SEWER MAIN WITHIN PERMANENT SEWER EASEMENT. SHOULD THE PROPOSED GRADING NOT PROVIDE SUFFICIENT PIPE COVER, THE UNDERSIGNED ENGINEER SHOULD BE CONTACTED IMMEDIATELY.

> GRAPHIC SCALE ( IN FEET ) 1 INCH = 30 FT.





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V       PROP. WATER LINE         LINE - FS       PROP. MATER LINE         LINE - FS       PROP. RESERVICE         VIET       UNCET         VIET       PROP. INFERSION DETEC./FILL SERVICE         VIET       PROP. SATITARY SENTER LINE         PROP. SATITARY SENTER LINE       PROP. SATITARY SENTER LINE         VIET       PROP. SATITARY SENTER LINE         PROP. SATITARY SENTER LINE       PROP. SATITARY SENTER LINE         PROP. SATITARY SENTER LINE       PROP. SATITARY SENTER LINE         PROP. SATITARY SENTER LINE       PROP. STORE DAWN         PROP. STORE DAWN       PROP. STORE DAWN         PRO			
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FS       PROP. FRE SERVEE         U027       0027         U027       0027         U027       Size of consults LEC./FLE. SERVEE         U027       Size of consults Not BEINED         U027       Size of consults Not BEINED         U027       File         U027       Size of consults Not BEINED         U027       File         U028       File         U028       File         U028       File         U028       File         U028 <td< td=""><td> w</td><td></td><td>PROP. WATER LINE</td></td<>	w		PROP. WATER LINE
U007       U007       U007       EXST. UNDERGRADUD FLC./TELE. SERVED         U007       S       S       EXST. SEE OF CONDUITS NOT DEFINED)         008       PROP. NUMERGADUD FLC./TELE. SERVED         008       PROP. SANTARY SEVER LUNE         008       FROM DANN. LINE         PROP. STORM DANN. LINE       PROP. STORM DANN. LINE         PROP. DRECTION OF DANNAE FLOW ARROW       PROP. TO FOR CLIB & ENVIRT         PROP. DRECTION OF DANNAE FLOW ARROW       PROP. DRECTION OF WALL FOOTING         PROP. DRECTION OF WALL FOOTING       PROP. DRECTION OF WALL FOOTING         PROP. DRECTION OF WALL FOOTING       PROP. DRECTION OF WALL FOOTING         PROP. DRECTION OF WALL FOOTING       PROP. TO FOR CLIBA ENVIRUE         PROP. DREA	FS	- FS	EXIST. FIRE SERVICE
UGET       PROP. SAVE OF CONDUCTS VARI DETRACTORY         S       OF       PROP. SAVE AND REFORMED LINE         DEST. STORE DAWN LINE       EXIST. STORE DAWN LINE         PROP. FINISH CADE CONTOUR & LEVATION       EXIST. STORE DAWN LINE         DATE       EXIST. STORE DAWN LINE         PROP. FINISH CADE CONTOUR & LEVATION       EXIST. STORE DAWN ELLAN         X = 0       EXIST. STORE DAWN LINE         VERT. STORE DAWN LINE       EXIST. STORE DAWN ELLAN         X = 0       EXIST. COROLE LIN.         Y = 0 <td></td> <td></td> <td></td>			
UGET       PROP. UNDERCOND. DEC. /FELE. SERVICE         00       SEE OF CONDUCTION DEDITORY         01       PROP. SANTARY SEVER LINE         02       PROP. SANTARY SEVER LINE         03       PROP. SANTARY SEVER LINE         04       PROP. SANTARY SEVER LINE         05       PROP. SANTARY SEVER LINE         04       PROP. SANTARY SEVER LINE         05       PROP. SANTARY SEVER LINE         04       PROP. SANTARY SEVER LINE         05       PROP. STORM DRAIN LINE         05       PROP. STORM DRAIN LINE         05       PROP. STORM DRAIN LINE         060       PROP. STORM DRAIN LINE         07       PROP. STORM DRAIN LINE         07       PROP. TOROT MANOR CHOURD RELY.         07       PROP. TOP OF CLEB & FINISHED GRADE 0 LOW SEVENCE         07       PROP. TOP OF CLEB & FINISHED GRADE 0 LOW SEVENCE         07       PROP. TOP OF CLEB & FINISHED GRADE 0 LOW SEVENCE         07       PROP. TOP OF CLEB & FINISHED GRADE 0 LOW SEVENCE         07       PROP. TOP OF CLEB & FINISHED GRADE 0 LOW SEVENCE         07       PROP. TOP OF CLEB & FINISHED GRADE 0 LOW SEVENCE         07       PROP. TOP OF CLEB & FINISHED GRADE 0 LOW SEVENCE         08       PROP. TOP OF CLEB & FINISHED GRADE 0 LOW SEVE	UGET	- UGET ——	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
S       BX       S         BX       FM       FM       FM         FM       FM       FM       FM       FM         FM       FM       FM       FM       FM         FM       FM       FM       FM       FM         FM       FM       FM       FM       FM         FM       FM       FM <t< td=""><td> UGET</td><td></td><td>PROP. UNDERGROUND ELEC./TELE. SERVICE</td></t<>	UGET		PROP. UNDERGROUND ELEC./TELE. SERVICE
0       PROP. SANTARY SEWER LINE         FM       PROP. FORCE MAIN         PROP. FORCE MAIN       PROP. FORCE MAIN         PROP. STORM DRAIN LINE       PROP. STORM DRAIN LINE         PROP. STORM DRAIN LINE       PROP. STORM DRAIN LINE         PROP. STORM DRAIN LINE       EXIST. MUNCE CONTOUR & ELEVATION         PROP. DIRECTION OF DRAINAGE FLOW ARROW       # 4.8         # 4.8       EXIST. SPOT ELEVATIONS         # 4.8       EXIST. COURD OF DRAINAGE FLOW ARROW         # 5.80       EXIST. MUNCH COURD OF DRAINAGE FLOW ARROW         # 5.80       EXIST. MUNCH COURD OF DRAINAGE FLOW ARROW         # 5.80       EXIST. MUNCH COURD OF DRAINAGE FLOW ARROW         # 5.80       EXIST. MUNCH COURD. OF DRAINAGE FLOW ARROW         # 5.80       EXIST. MUNCH COURD. OF WALLANDED         # 5.80	S	- s	
Image: Defact Main         PROP. FORCE MAIN         PROP. FORSE GRADE CONTOUR & ELEVATION         PROP. FORSE GRADE EVEN         PROP. FORCE MAIN         PROP. FORCE MAIN         PROP. GRADE SPOT ELEV.         PROP. FORCE MAIN OF RALLENDED GRADE EVEN         PROP. FOR OT MAIL & TINNERD GRADE EVEN         PROP. TOP OF CURBE LEV.			EXIST. SANTIART SEWER LINE
PROP. FORCE MAN         PROP. FORCE MAN         PROP. FORCE MAN         PROP. STORM DRAIN LINE         EXST. MADR CONTOUR & ELEVATION         PROP. FORCE CONTOUR & ELEVATION         PROP. FORCE TO OF DEMANCE FLOW ARROW         # 49         PROP. FINISH FLOOR OF DEMANCE FLOW ARROW         # 49         # 400         # 401         # 401         # 402         # 403         # 404         # 404         # 405         # 400         # 401         # 401         # 401         # 402         # 400         # 400	OR		PROP. SANITARY SEWER LINE
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PROP. STORM DRAIN LINE EXIST. MARC CONTOUR & ELEVATION EXIST. MARCE CONTOUR & ELEVATION PROP. FINSH GRADE CONTOUR & ELEVATION PROP. FINSH GRADE COUTOUR & ELEVATION * 6.8.00 * 6.8.00 * 6.8.00 * 7.6.8.00 * 7.6.8.00 * 7.6.8.00 * 7.6.8.00 * 7.6.8.00 * 7.6.8.00 * 7.6.8.00 * 7.6.8.00 * 7.6.9.00 * 7.6.00 * 7.6.000 * 7.6.000 * 7.6.000	FM		
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10       EXST. MAJOR CONTOUR & ELEVATION         10       PROP. FINSH GRADE CONTOUR & ELEVATION         11       PROP. FINSH GRADE CONTOUR & ELEVATION         12       4.6.69         13       C.6.69         14       FINSH FLOOR ELEV.         15       C.6.69         16       DOGDOP         17       F.6.70         16       DOGDOP         17       F.6.70         16       DOGDOP         17       F.6.70         18       FILOR ELEV.         17       F.6.70         10       EST. MARCE LOOR ELEV.         10       EST. MARADE FLOOR ELEV.         10       EST.00000         10       FILOR ELEV.         10       EST.00000         10       FILOR ELEV.         10       EST.00000         11       FILOR ELEV.         12       EXST. LOAT POP OF CURB & FINSHED GRADE ELEV.         12       EXST. LOAT POP OF CURB & FINSHED GRADE ELEV.         12       EXST. LOAT WRE         12       EXST. LOAT WRE         14       EXST. LOAT WRE         15       EXST. LOAT WRE         16       EXST. LOAT WRE			
PROP. FINISH GRADE CONTOUR & ELEVATION         * 6.9         * 6.9         * 6.9         * 70 4.00			
PROP. DIRECTION OF DRAINAGE FLOW ARROW         × 62.30       EXIST. SPOT ELEVATIONS         × 62.30       EXIST. TOP OF CURB & LEV.         × 67.300       EXIST. FINISH FLOOR ELEV.         × 67.300       EXIST. FINISH FLOOR ELEV.         × 67.300       PROP. GRADE SPOT ELEV.         © 000000       PROP. TOP OF CURB & FINISHED GRADE ELE         ØF. 000000       PROP. TOP OF CURB & FINISHED GRADE ELE         ØF. 000000       PROP. TOP OF CURB & FINISHED GRADE ELE         ØF. 000000       PROP. TOP OF CURB & FINISHED GRADE ELE         ØF. 000000       PROP. TOP OF CURB & FINISHED GRADE ELE         ØF. 000000       PROP. TOP OF CURB & FINISHED GRADE ELE         ØF. 000000       PROP. TOP OF CURB & FINISHED GRADE ELE         ØF. 000000       PROP. TOP OF EXTENDED CURB         ØF. 000000       PROP. TOP OF EXTENDED CURB ELE         ØF. 000000       PROP. TOP OF EXTENDED CURB         ØF. 000000       PROP. TOP OF EXTENDED CURS         ØF. 000000       PROP. TOP OF EXTENDED CURB         ØF. 000000       PROP. TOP TOP EXTENDED CURB         ØF. 0000000       PROP. TOP TOP EXTENDED C			
* 4.9       EXIST. GUTTER ELEV.         * 70.839       EXIST. GUTTER ELEV.         * 77.839       EXIST. GUTTER ELEV.         * 77.839       EXIST. CARAGE FLOOR ELEV.         * 67.839       EXIST. CARAGE FLOOR ELEV.         * 67.839       EXIST. GARAGE FLOOR CONF. ELV.         * 600000       PROP. TOP OF CURB & FINISHED GARAB ELV.         * 600000       PROP. TOP OF CLORE DY WALL EXISTENCY         * 600000       PROP. TOP OF EXTENDED CURB. (C) PINISHED         * 600000       PROP. TOP OF EXTENDED CURB. (C) PINISHED         * 600000       PROP. TOP OF EXTENDED CURB. (C) PINISHED         * 600000       PROP. TOP OF EXTENDED CURB. (C) PINISHED         * 600000       PROP. TOP OF EXTENDED CURB. (C) PINISHED         * 600000       PROP. TOP OF EXTENDED CURB. (C) PINISHED         * 600000       PROP. TOP OF EXTENDED CURB. (C) PINISHED         * 600000       PROP. TOP OF EXTENDED CURB. (C) PINISHED         * 600000       PROP. TOP OF EXTENDED CURB. (C) PINISHED         * 6000000       PROP. TOP OF EXTENDED CURB. (C) PINISHED         * 60000		-~-	
*TC: 4.80       EXIST. TOP OF CURB ELEV.         *FC: 4.80       EXIST. FANSH FLOOR ELEV.         *C: 000001       PROP. GRADE SPOT ELEV.         *C: 000001       PROP. TOP OF CURB LEV.         *C: 000001       PROP. TOP OF CURB LEV.         *C: 000001       PROP. TOP OF CURB LEV.         *C: 000001       PROP. TOP OF EXTENDED CURB ELEV.         *C: 000001       PROP. TOP OF EXTENDED CURB ELEV.         *C: 000001       PROP. TOP OF CURB LEV.         *C: 000001       PROP. TOP OF EXTENDED CURB ELEV.         *C: 000001       PROP. TOP OF EXTENDED CURB ELEV.         *C: 000001       PROP. TOP OF EXTENDED CURB ELEV.         *C: 000001       PROP. TOR TETS OF TAULT FORTHER ELEV.         *C: EXIST. CURAN LOGAT       EXIST. SHOLE BOX LIGHT         *C: EXIST. TRAFFIC SIGNAL LOTLE       EXIST. TRAFFIC SIGNAL POLE         *C: EXIST. TRAFFIC SIGNAL LOTLE       EXIST. TRAFFIC SIGNAL POLE         *C: EXIST. TRAFFIC SIGNAL LOTLE       EXIST. TRAFFIC SIGNAL POLE         *C: EXIST. TRAFFIC SIGNAL LOTL		× 8.9	
×TF: 6.00       EXIST. FINISH FLOOR ELEV.         ×GF: 8.07       EXIST. GARAGE FLOOR ELEV.         VC: 000000       PROP. TOP OF CURB & FINISHED GRADE ELEV.         VC: 000000       PROP. TOP OF CURB & FINISHED GRADE ELEV.         VC: 000000       PROP. TOP OF CURB & FINISHED GRADE ELEV.         VC: 000000       PROP. TOP OF CURB & FINISHED GRADE ELEV.         VC: 000000       PROP. TOP OF CURB & FINISHED GRADE ELEV.         VC: 000000       PROP. TOP OF EXTENDED OWNER & CONSE         VC: 000000       PROP. TOP OF EXTENDED OWNER & CONSE         VC: 000000       PROP. TOP OF EXTENDED OWNER & CONSE         VC: 000000       PROP. TOP OF EXTENDED OWNER & CONSE         VC: 000000       PROP. TOP OF EXTENDED OWNER & CONSE         VC: 000000       PROP. TOP OF EXTENDED OWNER & CONSE         VC: 000000       PROP. TOP OF EXTENDED OWNER & CONSE         VC: 000000       PROP. TOP OF EXTENDED OWNER & CONSE         VC: 000000       PROP. TOP OF EXTENDED OWNER & CONSE         VC: 000000       PROP. TOP OF EXTENDED OWNER & CONSE         VC: 000000       PROP. TARE NAME         VC: 00000       PROP. TARE NAME         VC: 00000       PROP. TARE NAME         VC: 00000       PROP. TARE NAME         VC: 000000       PROP. TARE NAME         VC:		× G: 8.90	EXIST. GUTTER ELEV.
×GF.8.00       EXIST. GARAGE FLOOR ELEV.         Image: Construction of the second		×TC: 8.90	EXIST. TOP OF CURB ELEV.
E: 00000       PROP. GRADE SPOT ELEV.         TC: 00000       PROP. TOP OF CURB & FINSHED GRADE ELW.         FE: 00000       PROP. TOP OF CURB & FINSHED GRADE ELW.         FE: 00000       PROP. TOP OF CURB & FINSHED GRADE ELW.         FE: 00000       PROP. TOP OF CURB & FINSHED GRADE ELW.         FE: 00000       PROP. TOP OF CURB & FINSHED GRADE ELW.         FE: 00000       PROP. TOP OF CURB & FINSHED GRADE ELW.         FE: 00000       PROP. TOP OF CURB & FINSHED GRADE ELW.         FE: 00000       PROP. TOP OF CURB & FINSHED GRADE ELW.         FE: 00000       PROP. TOP OF CURB & FINSHED GRADE ELW.         FE: 00000       PROP. TOP OF CURB & FINSHED GRADE ELW.         FE: 00000       PROP. TOP OF CURB & CURB. (A) FINSHED CURB & K(G)         FE: 00000       PROP. TOP OF CURB & CURB. (A) FINSHED ELW.         FE: 00000       PROP. TOP OF MULL & FINSHED FLOWED CURB. (A) FINSHED ELW.         FE: 00000       PROP. TOP OF MULL ENT.         FE: 00000       EXIST. UCHT POLE         FE: 00000       EXIST. TORAE ULW.         FE: 00000       EXIST. TORAE VILW.         FE: 0			
IC: 600000       PROP. TOP OF CURB & FINSHED GRADE ELI         IF: 600000       PROP. FINISHED FLOOR ELEV.         IV: 600000       OF WALL & FINISHED GRADE @ LOW SE         IV: 600000       OF WALL & FINISHED GRADE @ LOW SE         IV: 600000       FROP. TOP OF CURB & FINISHED GRADE @ LOW SE         IV: 600000       FROP. TOP OF CURB & CUBS & C			
G:       000.00       PROP.       FINSHED FLOOR & FINSHED GRADE & LOW SE         FF:       000.00       GRADE & FINSHED FLOOR & FINSHED GRADE & LOW SE         FF:       000.00       FINSHED FLOOR & FINSHED CARB & K(G)         FF:       000.00       FINSHED GRADE & LOW SE         FF:       000.00       FINSHED GRADE & LOW SE       FINSHED GRADE & LOW SE         FF:       000.00       FINSHED GRADE & LOW SE       FINSHED GRADE & LOW SE         FF:       000.00       FINSHED GRADE & LOW SE       FINSHED GRADE & LOW SE         FF:       000.00       FINSHED GRADE & LOW SE       FINSHED GRADE & LOW SE         FF:       000.00       FINSHED GRADE & LOW SE       FINSHED GRADE & LOW SE         FF:       EXIST.       FINSHED GRADE & LOW SE       FINSHED GRADE & LOW SE         FF:       EXIST.       FINSHED GRADE & LOW SE       FINSHED GRADE & LOW SE         FF:       EXIST.       FINSHED GRADE & LOW SE       FINSHED GRADE & LOW SE         FF:       EXIST.       FINSHED GRADE & LOW SE       FINSHED GRADE & LOW SE         FF:       EXIST.       FINSHED GRADE & LOW SE       FINSHED GRADE & LOW SE         FF:       EXIST.       FINSHED GRADE & LOW SE       FINSHED GRADE & LOW SE         FF:       EXIST.       FINSHED GRADE			PROP. GRADE SPOT ELEV.
WR. 000.00 CL: 000.00 CF. 000.00 CF			PROP. TOP OF CURB & FINISHED GRADE ELI
Image: Boole of Wall (Actual Bottom of Wall PODTMG To BE CSTREMESHED WALL DESIGNER)         Image: Boole of Wall (Actual Bottom of Wall PODTMG CHER & CONSULT)         Image: Boole of Wall (Actual Bottom of Wall PODTMG CHER & CONSULT)         Image: Boole of Wall (Actual Bottom of Wall PODTMG CHER & CONSULT)         Image: Boole of Wall (Actual Bottom of Wall PODTMG CHER & CONSULT)         Image: Boole of Wall (Actual Bottom of Wall POLE)         Image: Boole of Wall (Actual Bottom of Wall POLE)         Image: Boole of Wall (Actual Bottom of Wall POLE)         Image: Boole of Wall (Actual Bottom of Wall POLE)         Image: Boole of Wall (Actual Bottom of Wall POLE)         Image: Boole of Wall (Actual Bottom of Wall POLE)         Image: Boole of Wall (Actual Bottom of Wall POLE)         Image: Boole of Wall (Actual Bottom of Wall POLE)         Image: Boole of Wall (Actual Bottom of Wall POLE)         Image: Boole of Wall (Actual Bottom of Wall (POLE)         Image: Boole of Wall (POLE)		FF: 000.00	
TO BE ESTABLISHED BY WALL DESIGNER)         TO BE ESTABLISHED BY WALL DESIGNER)         PROP. TO OF EXTENDED CURB & (CI)         BL 000000         PROSTED CANDE & LOW SIDE OF EXTENDED CURB & (CI)         PL EXIST. LIGHT POLE         PL EXIST. BUILDING LIGHT         PL EXIST. BUILDING LIGHT         PL EXIST. BUILDING LIGHT         PL EXIST. TAFFIC SIGNAL POLE         PL EXIST. TAFFIC SIGNAL         PL EXIST. TAFFIC SIGNAL         PL EXIST.			
GM: 000.000       GRADE & Hich: SDE OF EXTENDED CURB & GIA         P       EXIST. GUY WIRE         C       EXIST. GUY WIRE         C       EXIST. BUILDING LIGHT         C       EXIST. BUILDING LIGHT         C       EXIST. COBRA LIGHT POLE         EXIST. COBRA LIGHT POLE       EXIST. COBRA LIGHT POLE         EXIST. MARHOLE       EXIST. TAFFIC SIGNAL POLE         EXIST. TAFFIC SIGNAL POLE       EXIST. TAFFIC SIGNAL POLE         EXIST. TAFFIC SIGNAL       EXIST. TAFFIC SIGNAL POLE         EXIST. TAFFIC SIGNAL       EXIST. TAFFIC SIGNAL         EXIST. TAFFIC SIGNAL       EXIST. TAFFIC SIGNAL         EXIST. TAFFIC SIGNAL       EXIST. TAFFIC SIGNAL         EXIST. FLARED END SECTION       EXIST. MONTORING WELL         EXIST. MATER VALVE       EXIST. CASN METER         EXIST. CASN WITE VALVE       EXIST. CASN WITE         EXIST. CASN WITE VALVE       EXIST. WELL         EXIST. CLEAR OUT       EXIST. W			TO BE ESTABLISHED BY WALL DESIGNER)
P       EXIST. GUY WIRE         Image: Construct of the second		GH: 000.00	GRADE @ HIGH SIDE OF EXTENDED CURB, (GH) FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB & (GL)
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EXIST. SHOE BOX LIGHT         EXIST. TRAFFIC SIGNAL POLE         EXIST. FLARED END SECTION         EXIST. FLARED END SECTION         EXIST. FLARED END SECTION         EXIST. FIRE HYDRANT         EXIST. GAS VALVE         EXIST. GAS VALVE         EXIST. ELECTRIC METER         EXIST. ELECTRIC BOX         EXIST. WATER SHUT OFF VALVE         EXIST. WATER VALVE         EXIST. WATER VALVE         PROP. WATER VALVE         PROP. SOUTHER VALVE         PROP. SOUTHER VALVE         PROP. SOUTHER VALVE <td></td> <td></td> <td></td>			
EXIST. TRAFFIC SIGNAL POLE         Image: Signal Pole			
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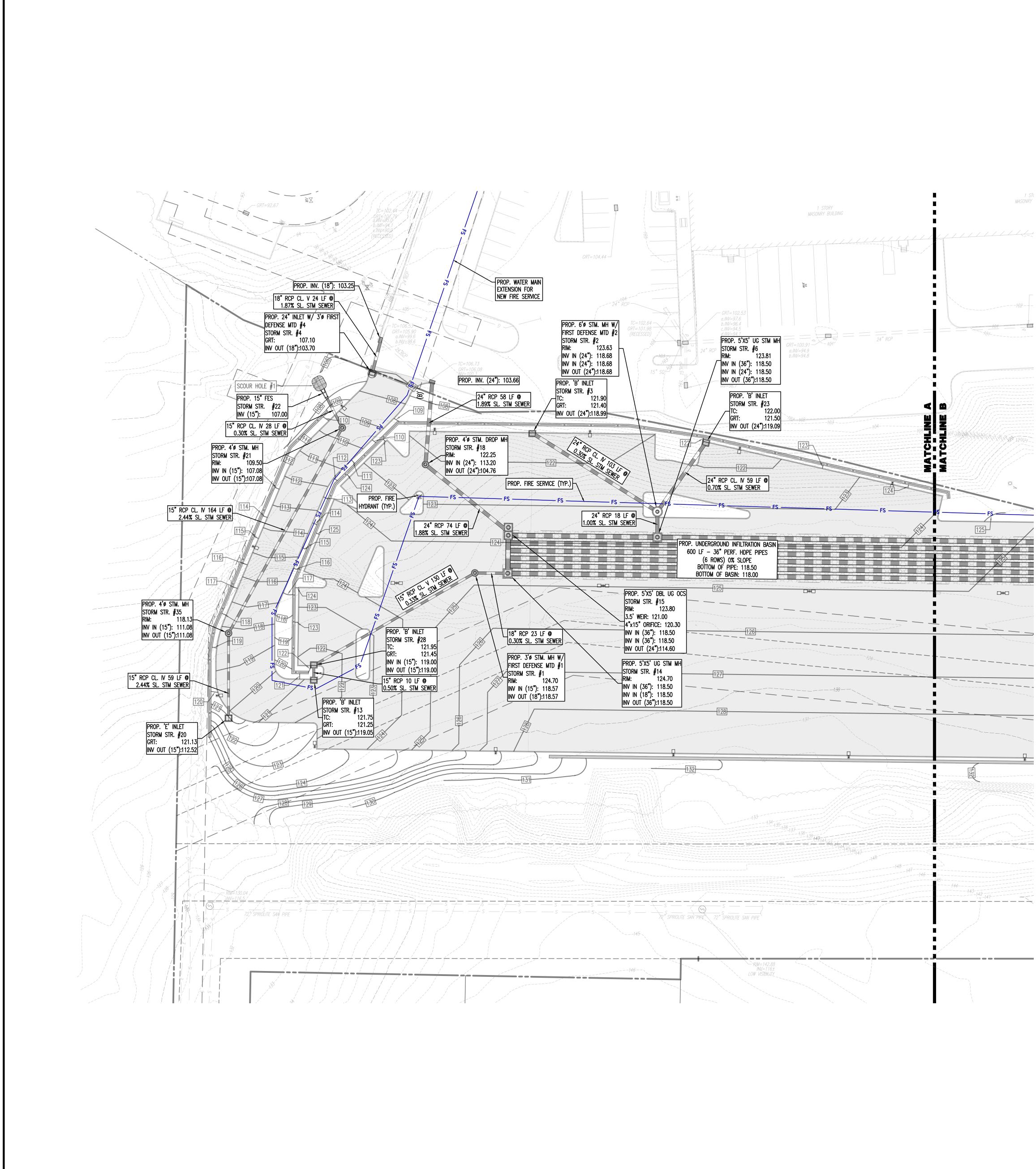
<u>GRAPHIC SCALE</u>

( IN FEET )

1 INCH = 50 FT.

50





## EXISTING UTILITY NOTES

WATER COMPANY PRIOR TO COMPLETION. IF THE EXISTING WATER SERVICE CAN NOT BE UTILIZED, THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL WATER COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE. EXISTING GAS SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING GAS SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING GAS SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL GAS COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL GAS COMPANY PRIOR TO COMPLETION. ANY NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING OF NEW SERVICE.

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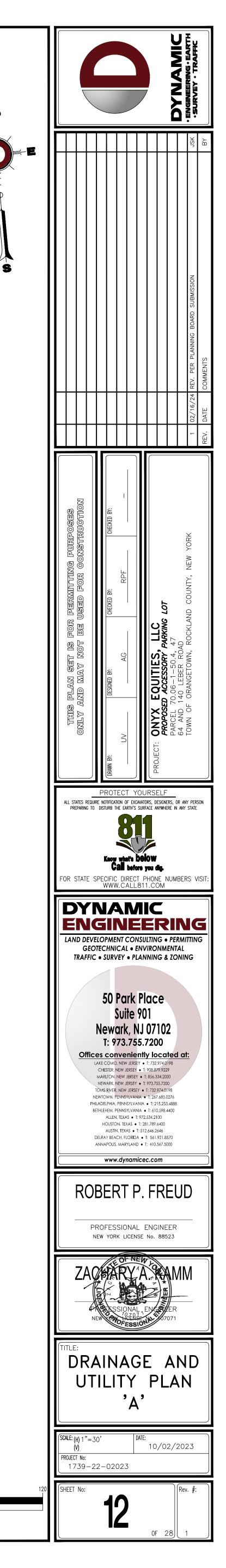
SANITARY SEWER SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING SEWER SERVICE CONNECTION IF OF ADEQUATE SIZE AND INTEGRITY AND ACCEPTABLE TO LOCAL SEWER AUTHORITY. OTHERWISE CONTRACTOR TO REMOVE EXISTING SEWER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL SEWER AUTHORITY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL SEWER AUTHORITY PRIOR TO COMPLETION. IF EXISTING SEWER SERVICE CAN NOT BE UTILIZED THEN THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL SEWER AUTHORITY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

# UTILITY NOTES

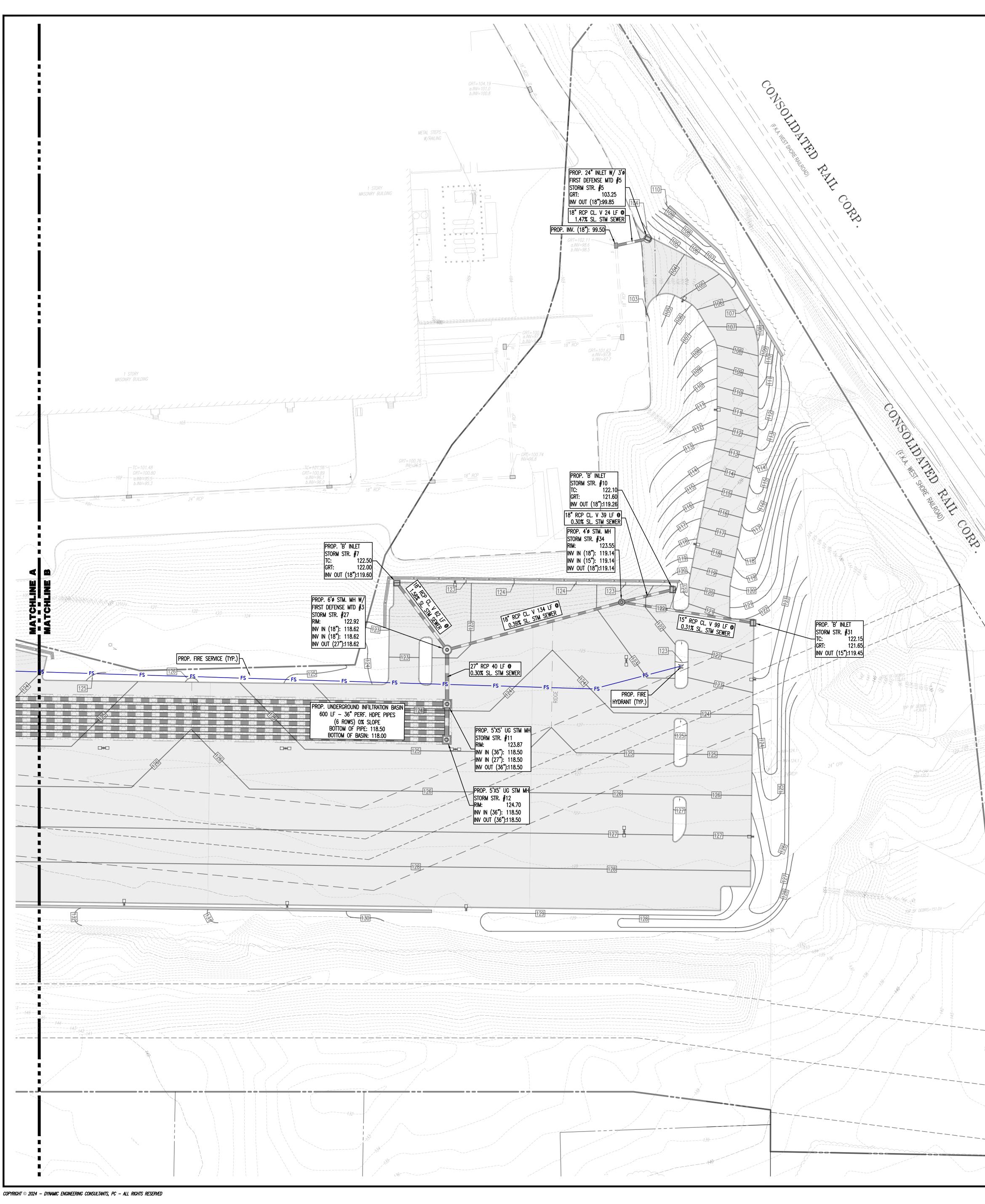
- 1. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK-OUT THEIR UTILITIES.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
   WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND
- APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE. 5. ALL WATER MAIN SHALL BE CEMENT-LINED, CLASS 52 DUCTILE IRON PIPE, UNLESS OTHERWISE DESIGNATED.
- 6. THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICES SHALL BE 1 INCH.
- 7. ALL SANITARY SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER MAIN AT LEAST 18 INCHES BELOW THE WATER MAIN OR SUCH OTHER SEPARATION AS APPROVED BY THE APPROVING AUTHORITY. WHERE APPROPRIATE CROSSING SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER MAIN AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL STRUCTURAL SUPPORT FOR STORM SEWER CROSSING OVER SEWER LINES.
- 8. ALL SANITARY SEWER MAINS SHALL BE SDR-35 PVC PIPE MATERIAL UNLESS OTHERWISE DESIGNATED. SEWER PIPES INSTALLED WITH LESS THAN 3 FEET OF COVER, GREATER THAN 20 FEET OF COVER OR WITHIN 18 INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. ALL DUCTILE IRON SEWER PIPE SHALL BE CEMENT-LINED, CLASS 52 PIPE, FURNISHED WITH SEWER COAT, OR APPROVED EQUAL.
  9. WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10' DEEP AT CONNECTION TO THE SEWER MAIN, CONCRETE DEEP LATERAL CONNECTIONS ARE TO BE UTILIZED.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILIZATION OF THE EXISTING SEWER MAIN, STRUCTURES AND APPURTENANCES DURING CONNECTION. 11. LOCATION & LAYOUT OF GAS, ELECTRIC & TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE. ACTUAL LOCATION
- & LAYOUT OF THESE UTILITIES & SERVICES ARE TO BE PER THE APPROPRIATE UTILITY PROVIDER.
  12. ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED W/ ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
- ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS.
   ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- 15. MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS III, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELLIPTICAL STORM PIPE TO CONFORM TO ASTM C-507, CLASS HE-III, UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MORTAR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C 990 TO BE UTILIZED TO PROVIDE A SILT-TIGHT JOINT. WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATERTIGHT AND CONFORM TO ASTM C-443.
   16. HDPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNULAR EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306. SOLID PIPE SHALL HAVE
- GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM D3212. PERFORATED PIPE SHALL HAVE GASKETED SILT-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HDPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HDPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURE RECOMMENDATIONS. 17. HP DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNULAR EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2736 (12"-30" PIPE) AND ASTM F2881
- (36"-60" PIPE), PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 AND ASTM F477. FIELD WATERTIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2487. HP PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HP STORM PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
   18. PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.

	<b>GRADING/UTILITY</b>	<b>GRAPHIC LEGEND</b>	
		PROPERTY LINE (PARCEL IN QUESTION)	-
		OFF-SITE PROPERTY LINES	
C C	EXIST. CABLE LINE	c	PROP. CABLE LINE
E E	EXIST. ELECTRIC LINE	E E	PROP. ELECTRIC LINE
— FO — FO — —	EXIST. FIBER OPTIC LINE	F0	PROP. FIBER OPTIC LINE
	EXIST. GAS LINE	GG	PROP. GAS LINE
— — OH — OH — — OH — — — — — — — — — — —	EXIST. OVERHEAD WIRES	OH T T	PROP. OVERHEAD WIRES PROP. TELEPHONE LINE
/ / / / /	EXIST. TELEPHONE LINE	/ /	
	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)		PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
W W	EXIST. WATER LINE	W	PROP. WATER LINE
FS FS	EXIST. FIRE SERVICE	FS	PROP. FIRE SERVICE
S S OR	EXIST. SANITARY SEWER LINE	SS	PROP. SANITARY SEWER LINE
FM FM	EXIST. FORCE MAIN	FM	PROP. FORCE MAIN
======	EXIST. STORM DRAIN LINE		PROP. STORM DRAIN LINE
	EXIST. MINOR CONTOUR & ELEVATION	िर्जे	
	EXIST. MAJOR CONTOUR & ELEVATION	XX	PROP. FINISH GRADE CONTOUR & ELEVATION
€ <sup>₩₩</sup>	EXIST. MONITORING WELL	₽-#	APPROX. TEST PIT LOCATION
× 8.9	EXIST. SPOT ELEVATIONS	G: 000.00	PROP. GRADE SPOT ELEV.
× G: 8.90	EXIST. GUTTER ELEV.	TC: 000.00	PROP. TOP OF CURB & FINISHED GRADE ELEV.
× TC: 8.90	EXIST. TOP OF CURB ELEV.	<u>C:</u> 000.00	FROF. FOF OF COND & FINISHED GRADE ELEV.
× FF: 8.90	EXIST. FINISH FLOOR ELEV.	FF: 000.00	PROP. FINISHED FLOOR ELEV.
×GF: 8.90	EXIST. GARAGE FLOOR ELEV.	[TW: 000.00]	PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE
WV XX	EXIST. FIRE HYDRANT	GL: 000.00	OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
⊠ GV	EXIST. WATER VALVE		
⊠ GM	EXIST. GAS VALVE	TC: 000.00 GH: 000.00	PROP. TOP OF EXTENDED CURB, (GH) FINISHED GRADE © HIGH SIDE OF EXTENDED CURB & (GL) FINISHED GRADE © LOW SIDE OF EXTENDED CURB
GM EM EM	EXIST. GAS METER	GL: 000.00	GRADE @ LOW SIDE OF EXTENDED CURB'
Elbox	EXIST. ELECTRIC METER EXIST. ELECTRIC BOX		PROP. DIRECTION OF DRAINAGE FLOW ARROW
□ c/0 ○	EXIST. CLEAN OUT	w	
w and the second se	EXIST. WELL	¥ Z S Z	PROP. WATER VALVE
WSO	EXIST. WATER SHUT OFF VALVE		PROP. GAS VALVE
WSO O TEL □	EXIST. TELEPHONE BOX	•	PROP. STORM CLEANOUT
	EXIST. CABLE TV BOX		PROP. SANITARY CLEANOUT
ى ت	EXIST. UTILITY POLE		PROP. AREA LIGHT
⊳	EXIST. GUY WIRE		PROP. OUTLET CONTROL STRUCTURE
Ф.	EXIST. LIGHT POLE	ľ@	PROP. DRAINAGE MANHOLE
	EXIST. BUILDING LIGHT		PROP. SANITARY SEWER MANHOLE
	exist. Shoe box light		PROP. 'A' INLET
с С	EXIST. COBRA LIGHT POLE		PROP. 'B' INLET
	EXIST. TRAFFIC SIGNAL POLE		PROP. 'E' INLET
Ô	EXIST. MANHOLE		PROP. YARD INLET
	EXIST. "A" INLET		PROP. FLARED END SECTION
	EXIST. "B" INLET		PROP. HEADWALL
	EXIST. "E" INLET	<b>▼ ▼</b>	
	EXIST. YARD INLET		
	EXIST. FLARED END SECTION		
$\sim$	EXIST. HEADWALL		

TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)



W->



otted: 02/14/24 — 4:09 PM, By: kheege e: P:\DECPC PROJECTS\1739 Onyx Equities, LLC\22-02023 Orangetown NY\Dwg\Site Plans\D17392202023SU1.dwg, ———> 13 DRAINAGE AND UTILITY PL/

# EXISTING UTILITY NOTES

EXISTING WATER SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING WATER SERVICE LINE AND CAP AT MAIN IN R.O.W. IN ACCORDANCE WITH THE LOCAL WATER COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL WATER COMPANY PRIOR TO COMPLETION. IF THE EXISTING WATER SERVICE CAN NOT BE UTILIZED, THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL WATER COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

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## UTILITY NOTES

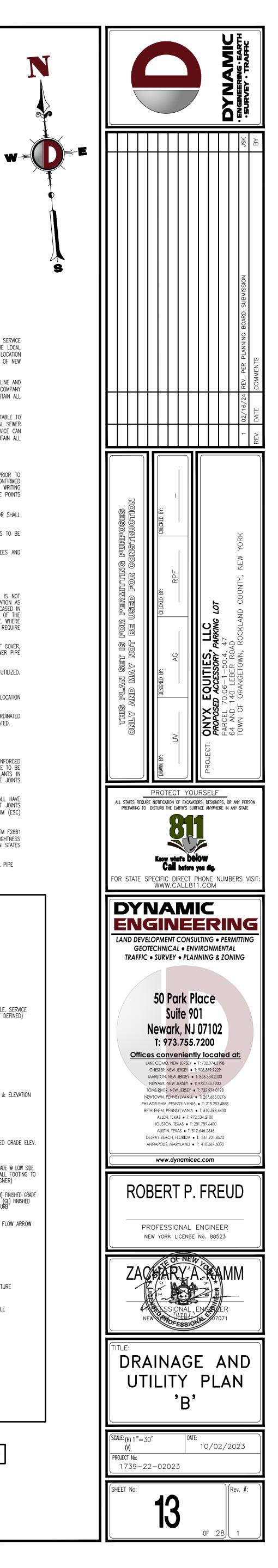
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- 4. WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- 5. ALL WATER MAIN SHALL BE CEMENT-LINED, CLASS 52 DUCTILE IRON PIPE, UNLESS OTHERWISE DESIGNATED.
- 6. THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICES SHALL BE 1 INCH.
  7. ALL SANITARY SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER MAIN AT LEAST 18 INCHES BELOW THE WATER MAIN OR SUCH OTHER SEPARATION AS APPROVED BY THE APPROVING AUTHORITY. WHERE APPROPRIATE CROSSING SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP—ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER MAIN AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL SUPPORT FOR STRUCTURAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL SUPPORT FOR THE SEWER ADDITIONAL SUPPORT FOR THE S
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   THE CONTRACTOR IS RESPONSIBLE FOR THE STABILIZATION OF THE EXISTING SEWER MAIN, STRUCTURES AND APPURTENANCES DURING CONNECTION.
- 11. LOCATION & LAYOUT OF GAS, ELECTRIC & TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE. ACTUAL LOCATION & LAYOUT OF THESE UTILITIES & SERVICES ARE TO BE PER THE APPROPRIATE UTILITY PROVIDER.
- 12. ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED W/ ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
- ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS.
   ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- 15. MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS III, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELLIPTICAL STORM PIPE TO CONFORM TO ASTM C-507, CLASS HE-III, UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MORTAR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C 990 TO BE UTILIZED TO PROVIDE A SILT-TIGHT JOINT. WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATERTIGHT AND CONFORM TO ASTM C-443.
- 16. HDPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNULAR EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306. SOLID PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM D3212. PERFORATED PIPE SHALL HAVE GASKETED SILT-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HDPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HDPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURE RECOMMENDATIONS.
- 17. HP DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNULAR EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2736 (12"-30" PIPE) AND ASTM F2881 (36"-60" PIPE). PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 AND ASTM F477. FIELD WATERTIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2487. HP PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HP STORM PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
- 18. PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.

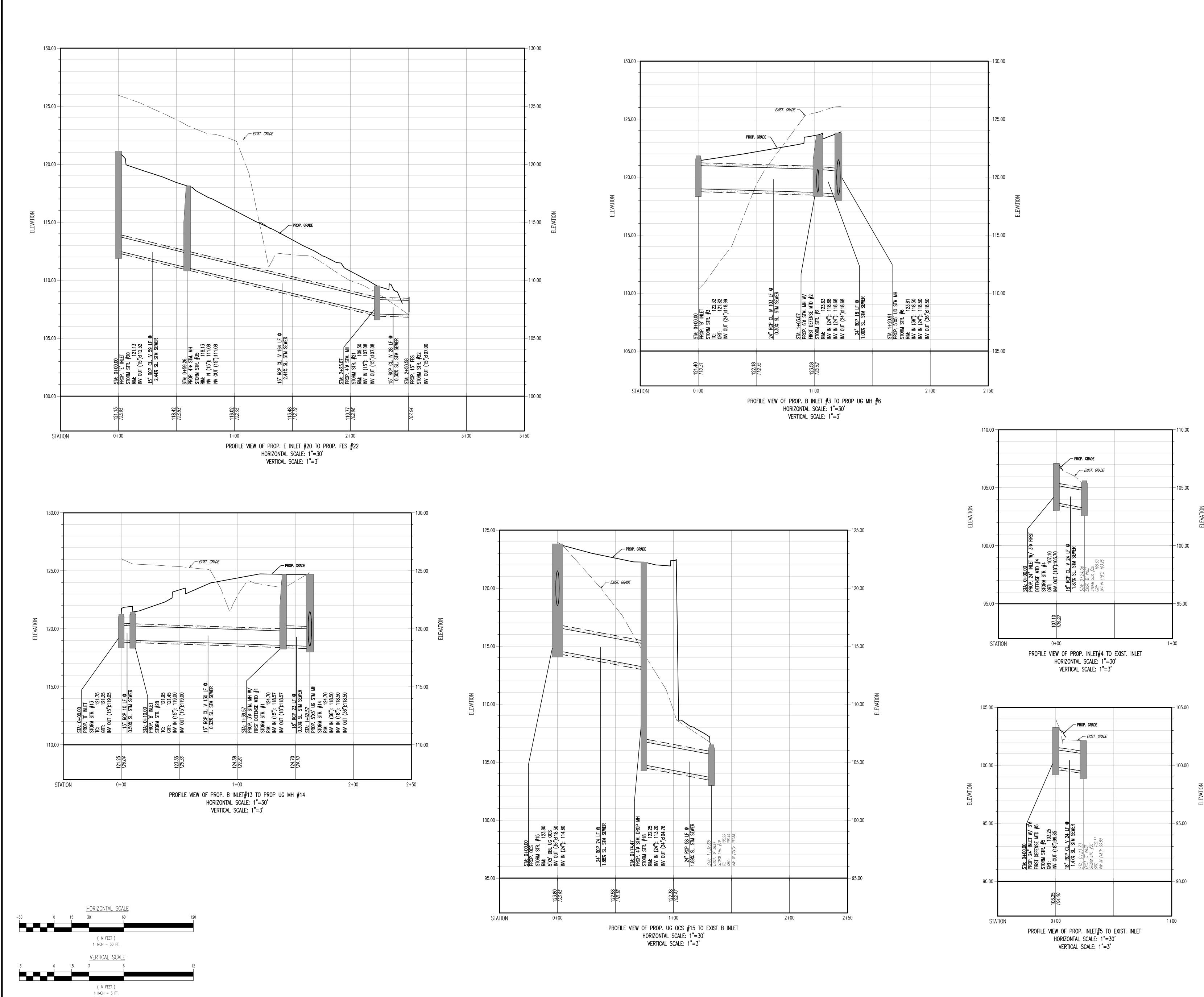
# **GRADING/UTILITY GRAPHIC LEGEND**

PROPERTY LINE (PARCEL IN QUESTION)

	-			
( ( (		exist. cable line —	c	PROP. CABLE LINE
E E		EXIST. ELECTRIC LINE -	[	PROP. ELECTRIC LINE
F0 F0		EXIST. FIBER OPTIC LINE -	F0	PROP. FIBER OPTIC LINE
G G		EXIST. GAS LINE -	GG	PROP. GAS LINE
— — ОН — ОН —		EXIST. OVERHEAD WIRES -	ОН	PROP. OVERHEAD WIRES
T T T		EXIST. TELEPHONE LINE -	T T	PROP. TELEPHONE LINE
UGET	— UGET ·	EXIST. UNDERGROUND ELEC./TELE. SERVICE - (NO. & SIZE OF CONDUITS NOT DEFINED)	UGET	PROP. UNDERGROUND ELEC./TELE. SERVIC (NO. & SIZE OF CONDUITS NOT DEFINED)
W W		EXIST. WATER LINE -	W	PROP. WATER LINE
FS F.	s	EXIST. FIRE SERVICE -	FS	PROP. FIRE SERVICE
S S S		EXIST. SANITARY SEWER LINE	SS	PROP. SANITARY SEWER LINE
FM FN	м	EXIST. FORCE MAIN -	FM	PROP. FORCE MAIN
= = = = =	= =	EXIST. STORM DRAIN LINE		PROP. STORM DRAIN LINE
		EXIST. MINOR CONTOUR & ELEVATION		
		EXIST. MAJOR CONTOUR & ELEVATION	<u> </u>	PROP. FINISH GRADE CONTOUR & ELEVATI
	€ <sup>₩₩</sup>	EXIST. MONITORING WELL	₽ <b>~</b> #	APPROX. TEST PIT LOCATION
	× 8.9	EXIST. SPOT ELEVATIONS	G: 000.00	PROP. GRADE SPOT ELEV.
:	× G: 8.90	EXIST. GUTTER ELEV.	TC: 000.00	PROP. TOP OF CURB & FINISHED GRADE
;	× TC: 8.90	EXIST. TOP OF CURB ELEV.	G: 000.00	
:	× FF: 8.90	EXIST. FINISH FLOOR ELEV.	FF: 000.00	PROP. FINISHED FLOOR ELEV.
:	× GF: 8.90	EXIST. GARAGE FLOOR ELEV.	TW: 000.00	PROP. TOP OF WALL & FINISHED GRADE @ LOW
	₩ ₩/	EXIST. FIRE HYDRANT	GL: 000.00	OF WALL (ACTUAL BOTTOM OF WALL FOOTIN BE ESTABLISHED BY WALL DESIGNER)
	⊠ GV	EXIST. WATER VALVE	TC: 000.00	
		EXIST. GAS VALVE	GH: 000.00	PROP. TOP OF EXTENDED CURB, (GH) FINISHED ( @ HIGH SIDE OF EXTENDED CURB & (GL) FINISH
	GM EM D	EXIST. GAS METER	GL: 000.00	GRADE @ LOW SIDE OF EXTENDED CURB'
	Elbox	EXIST. ELECTRIC METER	0 -	
	□ c/0	EXIST. ELECTRIC BOX EXIST. CLEAN OUT	 w	PROP. DIRECTION OF DRAINAGE FLOW ARR
	©	EXIST. WELL	W X S X	PROP. WATER VALVE
	WSO	EXIST. WATER SHUT OFF VALVE	Ň	PROP. GAS VALVE
		EXIST. TELEPHONE BOX	•	PROP. STORM CLEANOUT
	<b>\$</b>	EXIST. CABLE TV BOX		PROP. SANITARY CLEANOUT
	С)	EXIST. UTILITY POLE	<u> </u>	PROP. AREA LIGHT
	┢	EXIST. GUY WIRE		PROP. OUTLET CONTROL STRUCTURE
	¢	EXIST. LIGHT POLE	Č 🔘	PROP. DRAINAGE MANHOLE
	曱	EXIST. BUILDING LIGHT	<b>S</b>	PROP. SANITARY SEWER MANHOLE
	œ	EXIST. SHOE BOX LIGHT		PROP. 'A' INLET
	0	EXIST. COBRA LIGHT POLE		PROP. 'B' INLET
	<b>¤</b>	EXIST. TRAFFIC SIGNAL POLE		PROP. 'E' INLET
	$\bigcirc$	EXIST. MANHOLE		PROP. YARD INLET
	===	EXIST. "A" INLET		PROP. FLARED END SECTION
		EXIST. "B" INLET		PROP. HEADWALL
		EXIST. "E" INLET	<b>₹ ♦</b>	
		EXIST. YARD INLET		
		EXIST. FLARED END SECTION		
	$\frown$	EXIST. HEADWALL		

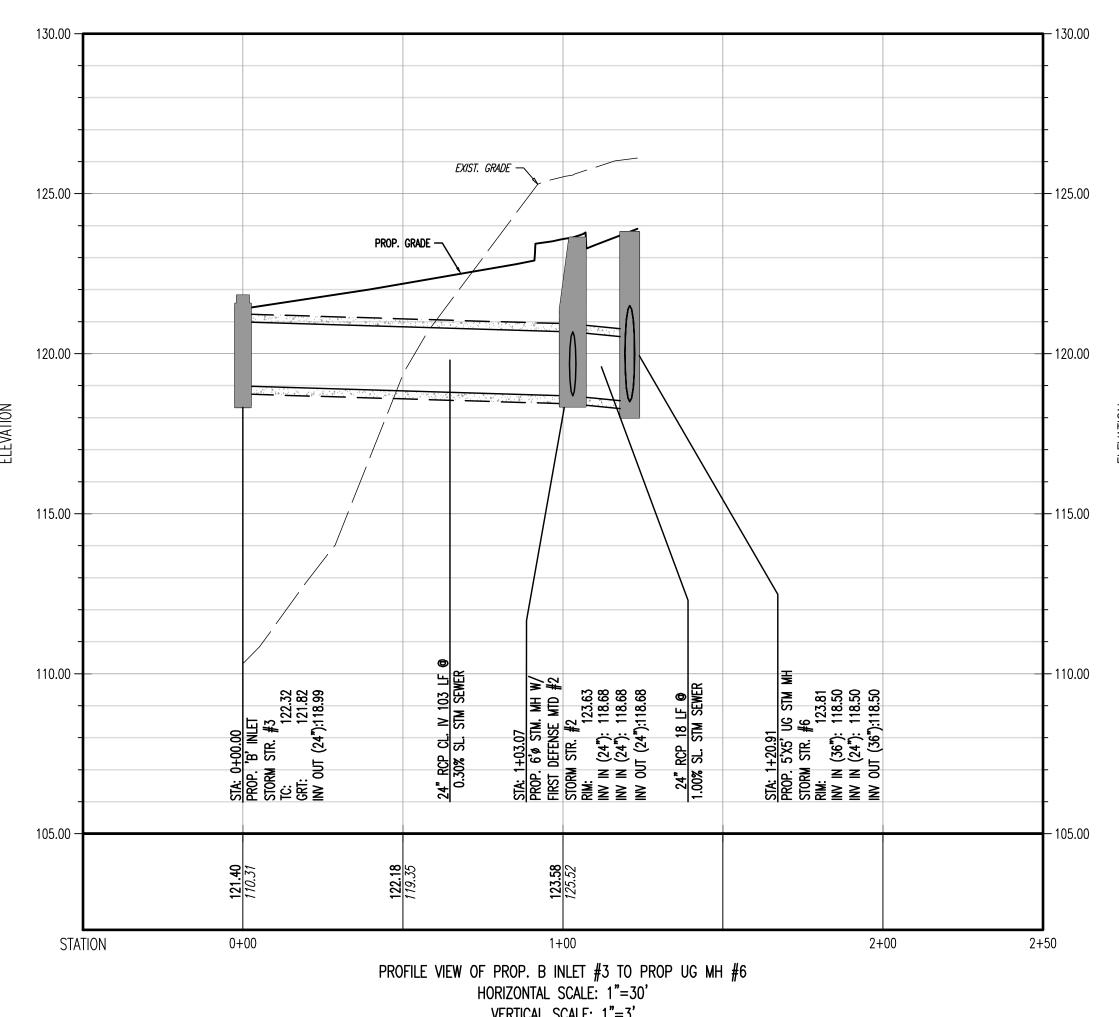
<u>GRAPHIC SCALE</u> -30 0 15 30 60 120 (IN FEET ) 1 INCH = 30 FT.

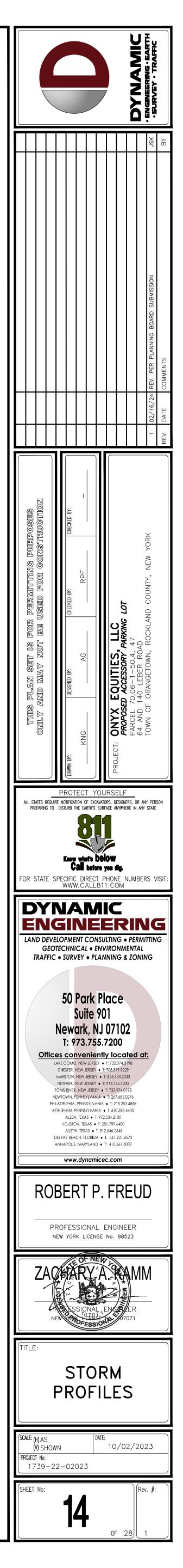


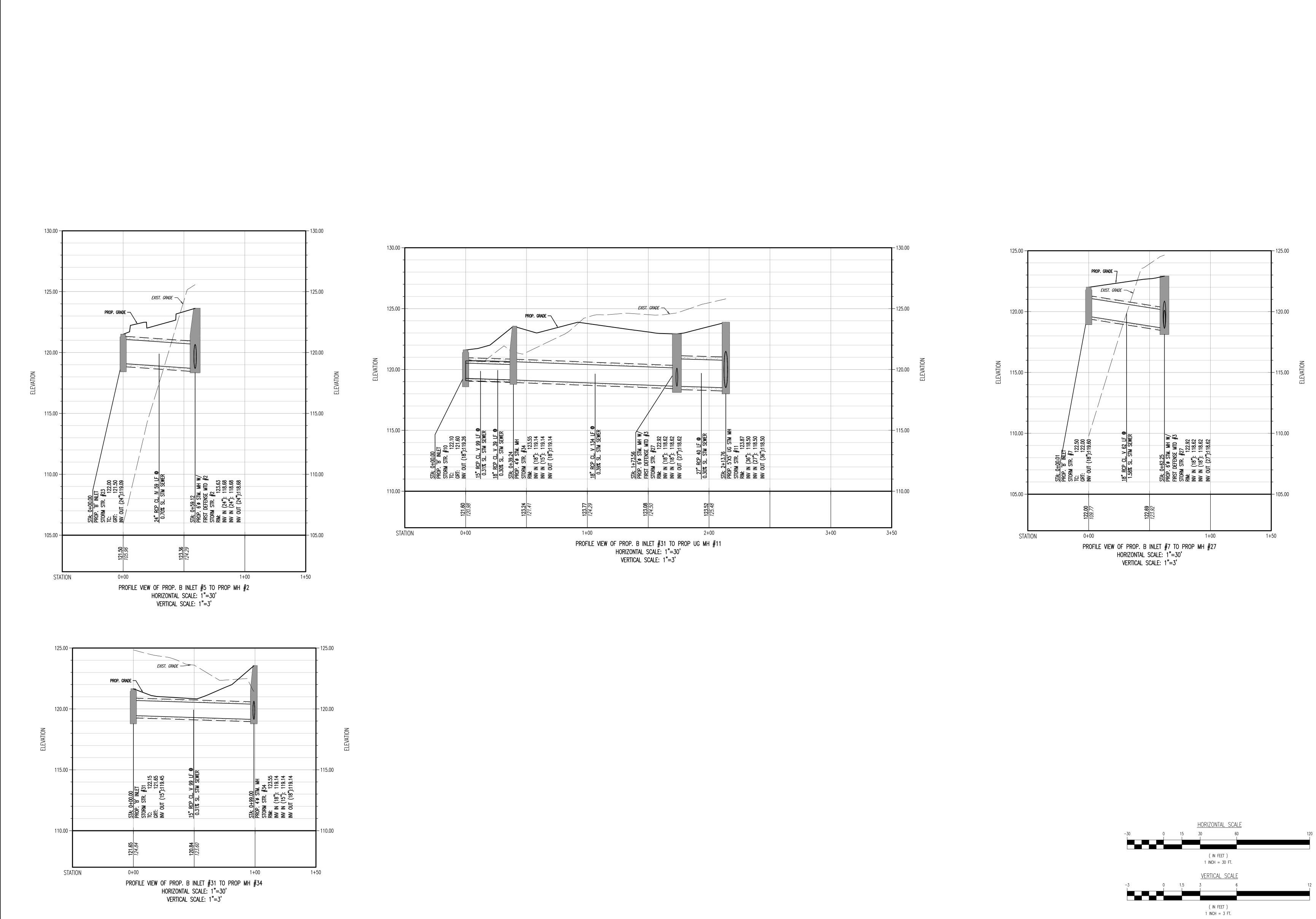


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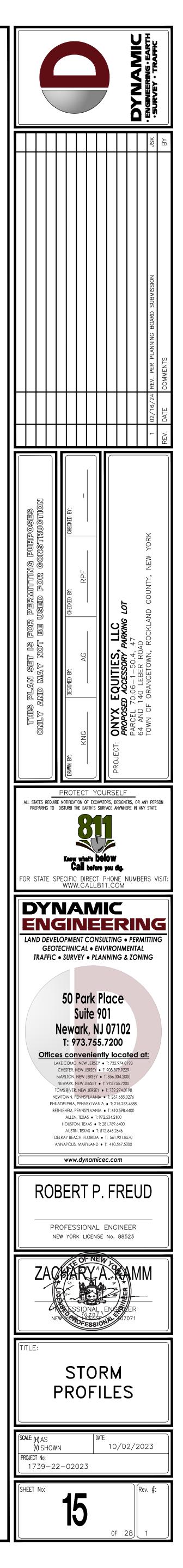


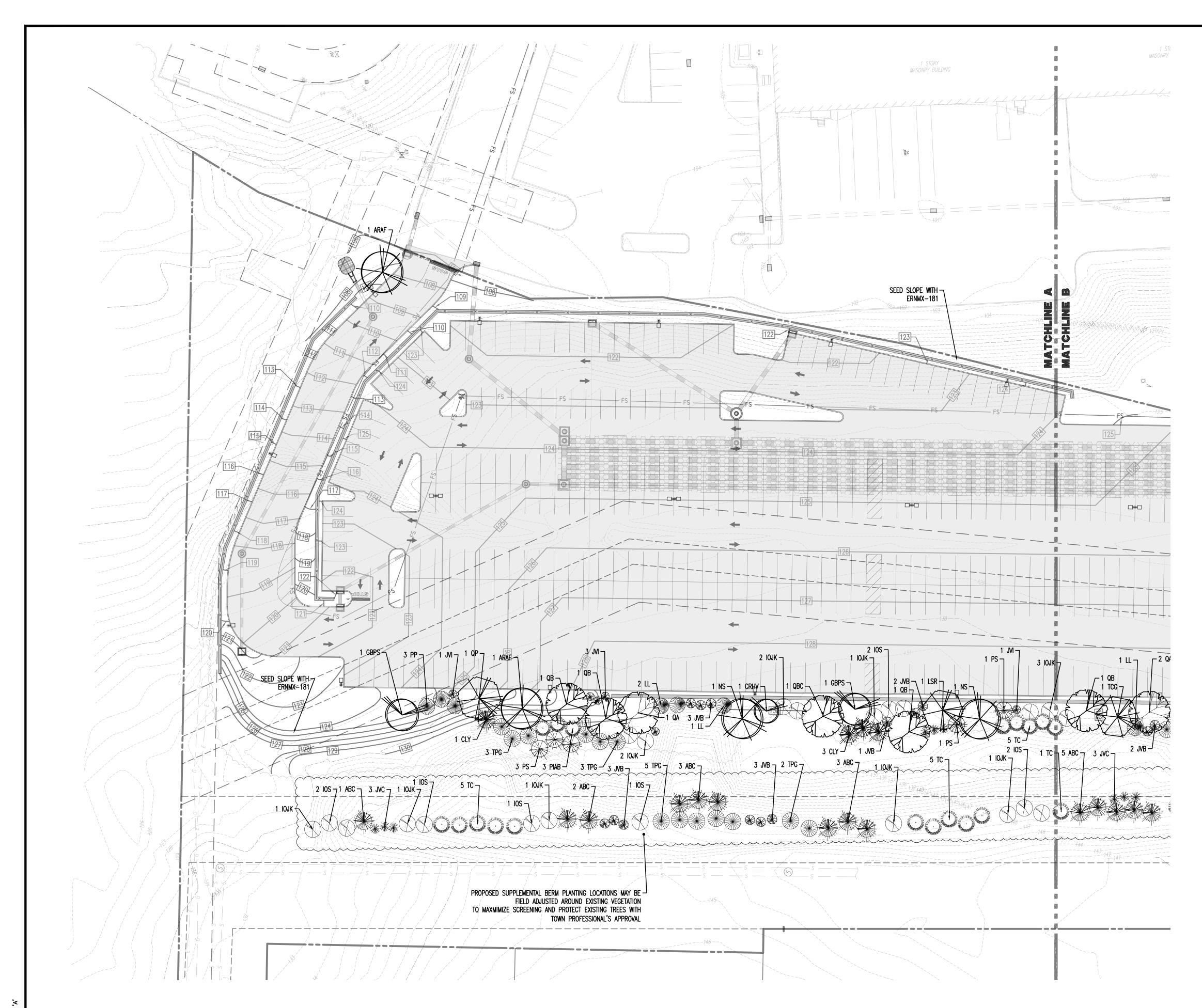


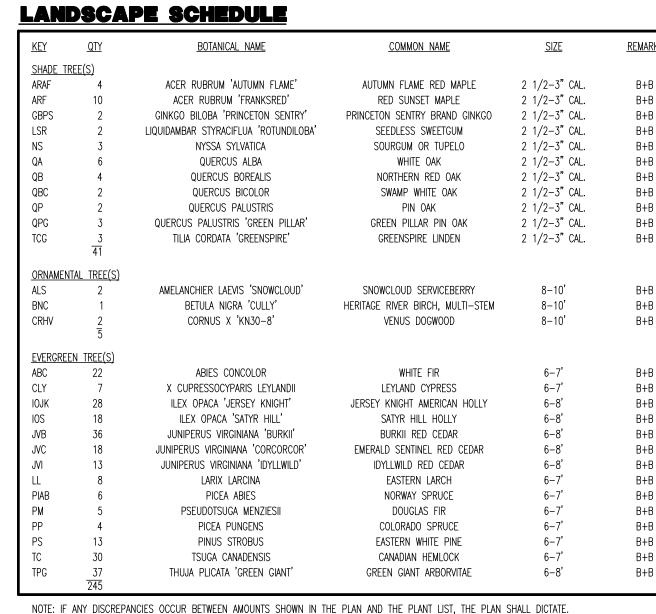


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# THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

## **PLANTING NOTES**

. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED; INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP. . THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT PLANIS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES. CONTRACTOR SHALL REPORT ANY SOLL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE (1) YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE. INSOFAR AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED. OUNLING THIS PERIOD WILL BE REJECTED. PROTECT STUCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (REV. 2001) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
ALL PLANTS SHALL BE PLANTED IN AMENDED TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
PLANTS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PTI.
ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (2" CALIPER AND OVER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ET EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
 ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS. ALL EXISTING TREES SHALL BE FERTILIZED WITH A REGULAR GARDEN FERTILIZER (5–10–5) UPON COMPLETION OF WORK. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR TO ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH SHARP TOOLS AND FILLED AROUND WITH TOPSOIL. COMPLETELY SATURATE THESE AREAS WITH WATER. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR IS TO PROTECT ALL EXISTING TREES TO REMAIN BY ERECTING TREE PROTECTION FENCE AT THE DRIP LINE. THIS WILL ENSURE NO COMPACTION OF THE ROOT MASS.
 ALL PLANTING BEDS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
 NEW PLANTING AREAS AND SOD SHALL BE ADEQUATELY IRRIGATED OR WATERED TO ESTABLISH THE PROPOSED PLANTS AND LAWN.
 PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE AS SHOWN ON THE APPROVED LANDSCAPE PLAN MUST BE INSTALLED, INSPECTED AND APPROVED BY THE MUNICIPAL LANDSCAPE ARCHITECT. THE MUNICIPAL ENGINEER AND LANDSCAPE ARCHITECT SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER AS REQUIRED BY OR ASSOCIATED WITH A SUBDIVISION OR SITE PLAN APPROVAL BY THE PLANNING BOARD OR ZONING BOARD OF ADJUSTMENT SHALL BE INSTALLED DURING THE FOLLOWING PLANTING SEASONS:

<u>DATES</u> 3/15 TO 12/15 PLANTS 3/15 TO 6/15 LAWN 9/15 TO 12/1 FURTHERMORE, THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH DIGGING THESE TREES IN THIS SEASON. ACER RUBRUM BETULA VARIETIES CARPINUS VARIETIES CRATAEGUS VARIETIES KOELREUTERIA POPULUS VARIETIES PYRUS VARIETIES QUERCUS VARIETIES SALIX WEEPING VARIETIES TILIA TOMENTOSA TELIAOUNUNANTE LIQUIDAMBAR STYRACIFLUA LIRIODENDRON TULIPIFERA PLATANUS ACERFOLIA ZELKOVA VARIETIES

ANY PLANTINGS INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE THE WRITTEN APPROVAL BY THE MUNICIPAL ENGINEER OR LANDSCAPE ARCHITECT, PRIOR TO PLANTING. FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL REQUIRE THE REMOVAL OF THE PLANTING IN QUESTION. THIS REQUIREMENT DOES NOT APPLY TO SEEDING OR SODDING OR PLANTINGS SPECIFICALLY FOR SOIL STABILIZATION PURPOSES. THE PLANTING ASSOCIATED WITH ANY LOT GIVEN A CERTIFICATE OF OCCUPANCY OUTSIDE THESE PERIODS SHALL BE PROVIDED DURING THE PREVIOUS OR NEXT APPROPRIATE SEASON. 19. ALL DISTURBED AREAS TO BE TREATED WITH TOPSOIL SEED SOD STABILIZATION METHOD.

## **PLANTING SPECIFICATIONS**

- A. THIS WORK SHALL CONSIST OF PERFORMING, CLEARING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT. 2. MATERIALS A. GENERAL – ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION (D.O.T.) MANUAL OF ROADWAY AND BRIDGE CONSTRUCTION (LATEST EDITION) OR APPROVED EQUAL.
   B. PLANTS - ALL PLANTS SHALL BE HEALTHY OR NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS.
   C. TOPSOIL - LOAMY SILT, HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, pH RANGE BETWEEN 4.5 - 7, BE FREE OF DEBRIS, ROCKS LARGER THAN TWO INCHES (2"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
   D. MULCH - FOUR (4") INCHES DOUBLE SHREDDED HARDWOOD BARK MULCH.
   FERTILIZER AND SOIL CONDITIONER - PLANTED AREAS
   A. DOBANGE FERTILIZER
- FERILIZER AND SOIL CONDITIONER PLANIED AREAS

   ORGANIC FERTILIZER SHALL BE PROCESSED SEWER SLUDGE WITH MINIMAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID, EQUAL TO 'NITROHUMIS'.
   ORGANIC FERTILIZER AND SOIL CONDITIONER SHALL BE 'GRO- POWER' AND ORGANIC BASE MATERIALS COMPRISED OF DECOMPOSED ANIMAL AND VEGETABLE MATTER AND COMPOSTED TO SUPPORT BACTERIAL CULTURES, CONTAINING NO POULTRY OR HUMAN WASTE. GUARANTEED ANALYSIS (5-3-1): NITROGEN 5%. PHOSPHATE 3%, POTASH 1%. 50% HUMUS AND 15% HUMIC ACIDS.

   GENERAL WORK PROCEDURES

   A. LANDSCAPE WORK SHALL COMMENCE AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE. CONTRACTOR TO UTILIZE WORKMANLIKE STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH DAY'S WORK. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STOCKPILED OR DISPOSED OF. ALL PAVED SURFACES SHALL BE SWEPT CLEAN AT THE END OF EACH DAY'S WORK.
- 5. WEEDING A. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE. 6. TOPSOILING
- A. CONTRACTOR TO PROVIDE A 4" THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO PRODUCE A 4" UNSETTLED THICKNESS. TOPSOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE TOPSOIL UTILIZED IN ALL PLANTING AREAS. ADJUST PH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE
- GROWING MEDIUM. 7. SOIL CONDITIONING: A. CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE. SPREAD EVENLY IN ALL PLANTING AREAS AND TILL (2 DIRECTIONS) INTO TOP 4" WITH THE FOLLOWING PER 1,000 SQ. FT.: 20 POUNDS 'GRO-POWER' 100 POUNDS AGRICULTURAL GYPSUM
- 20 POUNDS NITROFORM (COURSE) 38–0–0 BLUE CHIP SOIL MODIFICATIONS: HOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. SE COMPOSTED BARK, RECYCLED YARD WASTE OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH ENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A pH HIGHER THAN 7.5. B. MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.
- MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PUTS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED. A. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACK FILLED WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY: 1 PART PEAT MOSS BY VOLUME 1 PART COW MANURE BY VOLUME 3 PARTS TOPSOIL BY VOLUME 3 PARTS TOPSOIL BY VOLUME 4 ODNE TOPSOIL BY VOLUME
  - 21 GRAM 'AGRIFORM' PLANTING TABLETS AS FOLLOWS: 2 TABLETS PER 1 GAL. PLANT 3 TABLETS PER 5 GAL. PLANT 4 TABLETS PER 15 GAL. PLANT
- LARGER PLANTS (2) TWO TABLETS PER 1/2" DIAM. OF TRUNK CALIPER B. PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLANT 1/2 WAY, AND INSERT PLANT TABLETS. COMPLETE BACK FILL AND WATER THOROUGHLY. ALL PLANTS SHALL BE SET SO THAT, THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPLANTED. IRANSPEANIED. . PREPARE RAISED EARTH BASIN AS WIDE AS PLANTING HOLE OF EACH TREE. . WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACK FILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
- F. PRUNE ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS TO A MIN. OF 7' BRANCHING HEIGHT. . GROUND COVER A. ALL GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING GROUND COVER. B. SPACING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS. C. IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER. D. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR
- O APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION. ). FINISH GRADING A. ALL AREAS WILL BE RECEIVED BY THE CONTRACTOR AT SUBSTANTIALLY PLUS/MINUS .1 FOOT OF FINISH GRADE. B. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY. C. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
- A. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM ACCEPTANCE OF JOB. OWNER TO SECURE A MAINTENANCE BOND FROM THE CONTRACTOR FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE COMMENCEMENT OF THE GUARANTEE PERIOD AND PASSES A FINAL INSPECTION BY THE OWNER OR OWNERS REPRESENTATIVE.
- CLEANUP A. UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTIODIZED DEPORTMENT. MERSOLITING FROM HIS WORK. ALL PAYED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS AFFROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
   B. MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY WITH HERBICIDE AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
   C. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
   VANDETANDER (ALTERNATE DED MONTH AFTER INTEN AD AND AD ACCEPTABLE DAWN, FREE OF ERODED OR BARE AREAS.

COMMON NAME

ANNUAL RYEGRASS

CANADA WILDRYE

BIG BLUESTEM, 'NIAGARA'

INDIANGRASS, NEW ENGLAND 2 ECOTYPE

VIRGINIA WILDRYE, MADISON-NY ECOTYPE

SWITCHGRASS, 'CARTHAGE', NC ECOTYPE

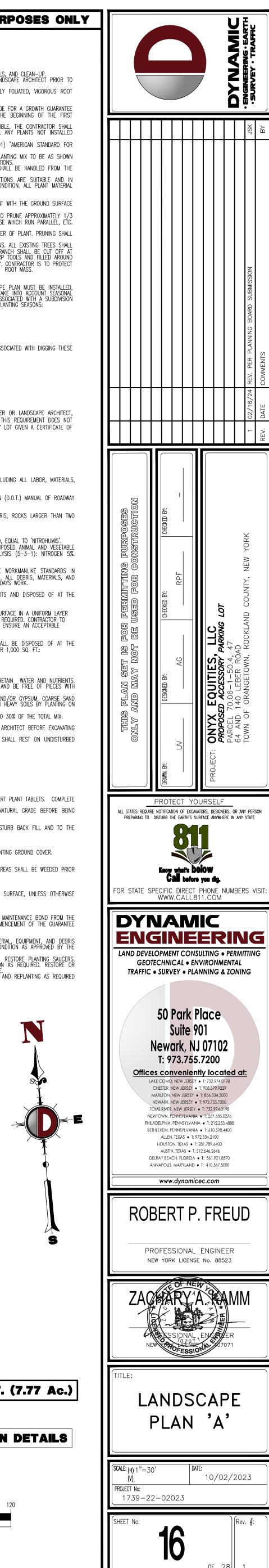
AUTUMN BENTGRASS, ALBANY PINE BUSH-NY ECOTYPE

# ERNST CONSERVATION SEEDS NATIVE STEEP SLOPE MIX W/ ANNUAL RYEGRASS (ERNMX-181):

13. MAINTENANCE (ALTERNATE BID) COST PER MONTH AFTER INITIAL 90-DAY MAINTENANCE PERIOD.

- BOTANICAL NAME 31.10 % SORGHASTRUM NUTANS, NEW ENGLAND 2 ECOTYPE 20.00 % LOLIUM MULTIFLORUM 14.00 % ANDROPOGON GERARDII, 'NIAGARA' 10.00 % ELYMUS VIRGINICUS, MADISON-NY ECOTYPE 7.00 % ELYMUS CANADENSIS 4.00 % AGROSTIS PERENNANS, ALBANY PINE BUSH-NY ECOTYPE 4.00 % PANICUM VIRGATUM, 'CARTHAGE', NC ECOTYPE 3.00 % PANICUM CLANDESTINUM, TIOGA 1.50 % ECHINACEA PURPUREA 1.30 % CHAMAECRISTA FASCICULATA, PA ECOTYPE 1.20 % HELIOPSIS HELIANTHOIDES. PA ECOTYPE 1.00 % COREOPSIS LANCEOLATA 1.00 % RUDBECKIA HIRTA 0.30 % MONARDA FISTULOSA, FORT INDIANTOWN GAP-PA ECOTYPE 0.20 % ASCLEPIAS SYRIACA 0.20 % SOLIDAGO RUGOSA. PA ECOTYPE 0.10 % ASTER LATERIFLORUS 0.10 % ASTER PILOSUS, PA ECOTYPE 100%
  - PURPLE CONEFLOWER PARTRIDGE PEA, PA ECOTYPE OXEYE SUNFLOWER, PA ECOTYPE LANCELEAF COREOPSIS BLACKEYED SUSAN WILD BERGAMOT, FORT INDIANTOWN GAP-PA ECOTYPE COMMON MILKWEED WRINKLELEAF GOLDENROD, PA ECOTYPE CALICO ASTER HEATH ASTER, PA ECOTYPE

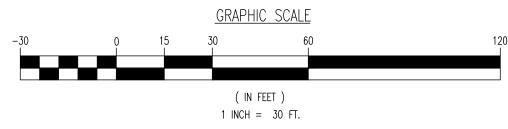
DEERTONGUE, TIOGA



SEEDING RATE:60 LB PER ACRE, OR 1.5 LB PER 1,000 SQ FT EROSION CONTROL AND RE-VEGETATION

TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)

SEE SHEET 22 OF 28 FOR LANDSCAPE PLAN DETAILS





# THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

# PLANTING NOTES

- PLANTING PLANT, MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED: INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
  THE CONTRACTOR SHALL BE FURNISHED AND INSTALLED AS INDICATED: INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
  THE CONTRACTOR SHALL BE FURNISHED AND INSTALLED AS INDICATED: INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
  PLANTS SHALL BE FURNISHED AND THAT SHOL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND NURRES.
  CONTRACTOR SHALL REPORT ANY SOLL OR DRAINAGE CONDITIONS CONSIDERED DETIMENTAL TO THE GROWTH OF PLANT MATERIAL.
  CALL PLANT MATERIAL SHAL BE GLARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF A LESST ONE (1) YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS, REPLACEMENTS SHALL BE MADE AT THE DEGINING OF THE FIRST SUCCEDING PLANTING STASON ALL REPLACTEMENTS SHALL ADY A GUARANTEE DEVIDEY. AND PRIOD ATTEME DELIVERY. ANY PLANTS NOT INSTALLED DURING STASON ALL REPLACTEMENTS SHALL ADY A GUARANTEE ON THE DAY OF LONGER THAN A THREE DAY PERIOD ATTEME DELIVERY. ANY PLANTS NOT INSTALLED DURING THE FRINT SHALL DE PLANTED NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD ATTEME DELIVERY. ANY PLANTS NOT INSTALLED DURING THE REPLACTED IN AMERICAN NURSERY STOCK' AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
  ALL PLANTS SHALL DE PLANTED IN AMENDED TOPSOIL THAT IS THOROUGHLY WATERD AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTED FOR SOLS AND DAMAGE THE BARK OR BREAK BRANCHES. FLANT SHALL DE HANDLED FROM THE WEATHER AND SOLL CONDITIONS ARE SUITABLE. AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE ON THE SOLS AS OL DAMAGE THE BARK OR BREAK BRANCHES. FLANTS SHALL BE HANDLED FROM THE REAL ONLY.
  PLANTIS SHALL NOT BE E PLANTED DURIN

- ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS. ALL EXISTING TREES SHALL BE FERTILIZED WITH A REGULAR GARDEN FERTILIZER (5-10-5) UPON COMPLETION OF WORK. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR TO ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH SHARP TOOLS AND FILLED AROUND WITH TOPSOIL. COMPLETELY SATURATE THESE AREAS WITH WATER. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR IS TO PROTECT ALL EXISTING TREES TO REMAIN BY ERECTING TREE PROTECTION FENCE AT THE DRIP LINE. THIS WILL ENSURE NO COMPACTION OF THE ROOT MASS.
   ALL PLANTING BEDS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
   NEW PLANTING AREAS AND SOD SHALL BE ADEQUATELY IRRIGATED OR WATERED TO ESTABLISH THE PROPOSED PLANTS AND LAWN.
   PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. THE PROPOSED LANDSCAPE AS SHOWN ON THE APPROVED LANDSCAPE PLAN MUST BE INSTALLED, INSPECTED AND APPROVED BY THE MUNICIPAL LANDSCAPE ARCHITECT. THE MUNICIPAL ENGINEER AND LANDSCAPE ARCHITECT SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER AS REQUIRED BY OR ASSOCIATED WITH A SUBDIVISION OR SITE PLAN APPROVAL BY THE PLANNING BOARD OR ZONING BOARD OF ADJUSTMENT SHALL BE INSTALLED DURING THE FOLLOWING PLANTING SEASONS:

<u>DATES</u> 3/15 TO 12/15 PLANTS 3/15 TO 6/15 LAWN 9/15 TO 12/1 FURTHERMORE, THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH DIGGING THESE TREES IN THIS SEASON. ACER RUBRUM CALIN KUBKUM BETULA VARIETIES CARPINUS VARIETIES CRATAEGUS VARIETIES KOELREUTERIA

PRUNUS VARIETIES PYRUS VARIETIES QUERCUS VARIETIES SALIX WEEPING VARIETIES TILIA TOMENTOSA ZELKOVA VARIETIES

LIQUIDAMBAR STYRACIFLUA LIRIODENDRON TULIPIFERA PLATANUS ACERFOLIA ANY PLANTINGS INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE THE WRITTEN APPROVAL BY THE MUNICIPAL ENGINEER OR LANDSCAPE ARCHITECT, PRIOR TO PLANTING. FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL REQUIRE THE REMOVAL OF THE PLANTING IN QUESTION. THIS REQUIREMENT DOES NOT APPLY TO SEEDING OR SODDING OR PLANTINGS SPECIFICALLY FOR SOIL STABILIZATION PURPOSES. THE PLANTING ASSOCIATED WITH ANY LOT GIVEN A CERTIFICATE OF OCCUPANCY OUTSIDE THESE PERIODS SHALL BE PROVIDED DURING THE PREVIOUS OR NEXT APPROPRIATE SEASON. 19. ALL DISTURBED AREAS TO BE TREATED WITH TOPSOIL SEED SOD STABILIZATION METHOD.

# **PLANTING SPECIFICATIONS**

- A. THIS WORK SHALL CONSIST OF PERFORMING, CLEARING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT. 2. MATERIALS A. GENERAL – ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION (D.O.T.) MANUAL OF ROADWAY
- A. GENERAL ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION (D.O.T.) MANUAL OF ROADWAY AND BRIDGE CONSTRUCTION (LATEST EDITION) OR APPROVED EQUAL.
  B. PLANTS ALL PLANTS SHALL BE HEALTHY OR NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS.
  C. TOPSOIL LOAMY SILT, HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, pH RANGE BETWEEN 4.5 7, BE FREE OF DEBRIS, ROCKS LARGER THAN TWO INCHES (2"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
  D. MULCH FOUR (4") INCHES DOUBLE SHREDDED HARDWOOD BARK MULCH.
  3. FERTILIZER AND SOIL CONDITIONER PLANTED AREAS
  A. ORGANIC FERTILIZER SHALL BE PROCESSED SEWER SLUDGE WITH MINIMAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID, EQUAL TO 'NITROHUMIS'.
  B. ORGANIC FERTILIZER AND SOIL CONDITIONER SHALL BE 'GRO- POWER' AND ORGANIC BASE MATERIALS COMPRISED OF DECOMPOSED ANIMAL AND VEGETABLE MATTER AND COMPOSTED TO SUPPORT BACTERIAL CULTURES, CONTAINING NO POULTRY OR HUMAN WASTE. GUARANTEED ANALYSIS (5-3-1): NITROGEN 5%. PHOSPHATE 3%, POTASH 1%. 50% HUMUS AND 15% HUMIC ACIDS.
  4. GENERAL WORK PROCEDURES

  A. GENERAL WORK SHALL COMMENCE AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE. CONTRACTOR TO UTILIZE WORKMANLIKE STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE AND OF EACH DAY'S WORK, MATERIALS, AND PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE AND OF EACH DAY'S WORK, MATERIALS, AND PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE AT HE AVAILABLE. CONTRACTOR TO UTILIZE WORKMANLIKE STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE AND OF EACH DAY'S WORK, MATERIALS, AND PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE AND OF EACH DAY'S WORK, MATERIALS, AND PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN
- PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH DAY'S WORK. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STOCKPILED OR DISPOSED OF. ALL PAVED SURFACES SHALL BE SWEPT CLEAN AT THE END OF EACH DAYS WORK. 5. WEEDING A. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE
- CONTRACTOR'S EXPENSE. 6. TOPSOILING A. CONTRACTOR TO PROVIDE A 4" THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO PRODUCE A 4" UNSETTLED THICKNESS. TOPSOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE TOPSOIL UTILIZED IN ALL PLANTING AREAS. ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE
- GROWING MEDIUM. . SOIL CONDITIONING: A. CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE. SPREAD EVENLY IN ALL PLANTING AREAS AND TILL (2 DIRECTIONS) INTO TOP 4" WITH THE FOLLOWING PER 1,000 SQ. FT.: 20 POUNDS 'GRO-POWER' 100 POUNDS AGRICULTURAL GYPSUM
- 20 POUNDS NITROFORM (COURSE) 38-0-0 BLUE CHIP OIL MODIFICATION Y TILL ORGANIC MATTER INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. STED BARK, RECYCLED YARD WASTE OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5. THOROUGHLY BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND NT TO\_MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON
- NSED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM U SITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITEC THE CLOSENT ADJUSTMENTS AS DIRECTED. PTS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED (H PLANT PIT SHALL BE BACK FILLED WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY: 1 PART PEAT MOSS BY VOLUME 1 PART COW MANURE BY VOLUME 3 PARTS TOPSOIL BY VOLUME 21 GRAM 'ACREEDED' DI ANTINO TADLETE TO SOLICITE MAKING NECESSARY ADJUSTMENTS AS D

# 21 GRAM 'AGRIFORM' PLANTING TABLETS AS FOLLOWS: 2 TABLETS PER 1 GAL. PLANT 3 TABLETS PER 5 GAL. PLANT 4 TABLETS PER 15 GAL. PLANT

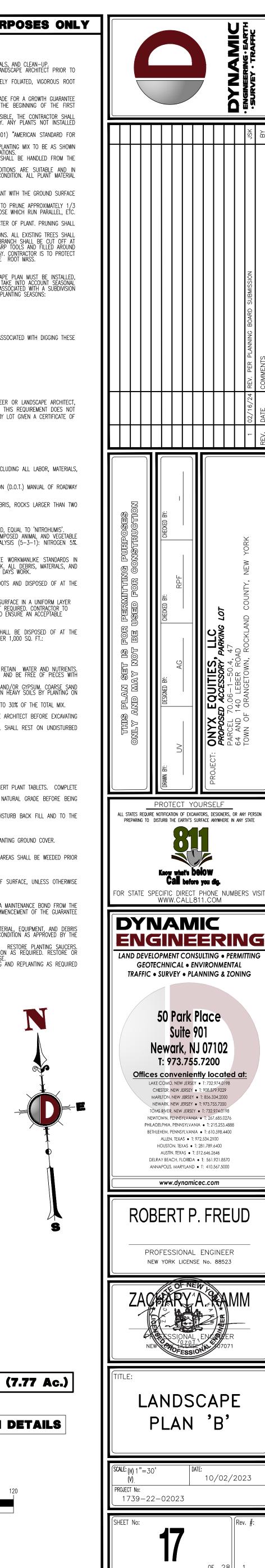
- LARGER PLANTS (2) TWO TABLETS PER 1/2" DIAM. OF TRUNK CALIPER B. PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL PREPARED SOIL AROUND BALL OF PLANT 1/2 WAY, AND INSERT PLANT TABLETS. COMPLETE BACK FILL AND WATER THOROUGHLY. PLANTS SHALL BE SET SO THAT, THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPLANTED. PREPARE RAISED EARTH BASIN AS WIDE AS PLANTING HOLE OF EAC
- WATER IMMEDIATELY AFTER PLANTING, WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACK FILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. F. PRINE ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS TO A MIN. OF 7' BRANCHING HEIGHT. 9. GROUND COVER
- A. ALL GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING GROUND COVER. 3. SPACING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS. 2. IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER. 3. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR 3. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION. 10. FINISH GRADING A. ALL AREAS WILL BE RECEIVED BY THE CONTRACTOR AT SUBSTANTIALLY PLUS/MINUS .1 FOOT OF FINISH GRADE. A. ALL AREAS WILL BE RECEIVED BY THE CONTRACTOR AT SUBSTANTIALLY PLUS/MINUS .1 FOOT OF FINISH GRADE. A. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
- A. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM ACCEPTANCE OF JOB. OWNER TO SECURE A MAINTENANCE BOND FROM THE
- CONTRACTOR FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE COMMENCEMENT OF THE GUARANTEE PERIOD AND PASSES A FINAL INSPECTION BY THE OWNER OR OWNERS REPRESENTATIVE. A. UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRI RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY TH
- RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
  B. MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY WITH HERBICIDE AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
  C. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
  13. MAINTENANCE (ALTERNATE BID) COST PER MONTH AFTER INITIAL 90-DAY MAINTENANCE PERIOD.

# **ERNST CONSERVATION SEEDS** NATIVE STEEP SLOPE MIX W/ ANNUAL RYEGRASS (ERNMX-181):

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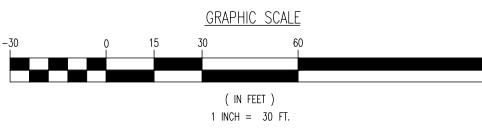
SEEDING RATE:60 LB PER ACRE, OR 1.5 LB PER 1,000 SQ FT EROSION CONTROL AND RE-VEGETATION

COMMON NAME INDIANGRASS, NEW ENGLAND 2 ECOTYPE ANNUAL RYEGRASS BIG BLUESTEM, 'NIAGARA' VIRGINIA WILDRYE, MADISON-NY ECOTYPE CANADA WILDRYF AUTUMN BENTGRASS, ALBANY PINE BUSH-NY ECOTYPE SWITCHGRASS, 'CARTHAGE', NC ECOTYPE DEFRICINGUE, TIOGA PURPLE CONEFLOWER PARTRIDGE PEA, PA ECOTYPE OXEYE SUNFLOWER, PA ECOTYPE LANCELEAF COREOPSIS BLACKEYED SUSAN WILD BERGAMOT, FORT INDIANTOWN GAP-PA ECOTYPE COMMON MILKWEED WRINKLELEAF GOLDENROD, PA ECOTYPE CALICO ASTER HEATH ASTER, PA ECOTYPE



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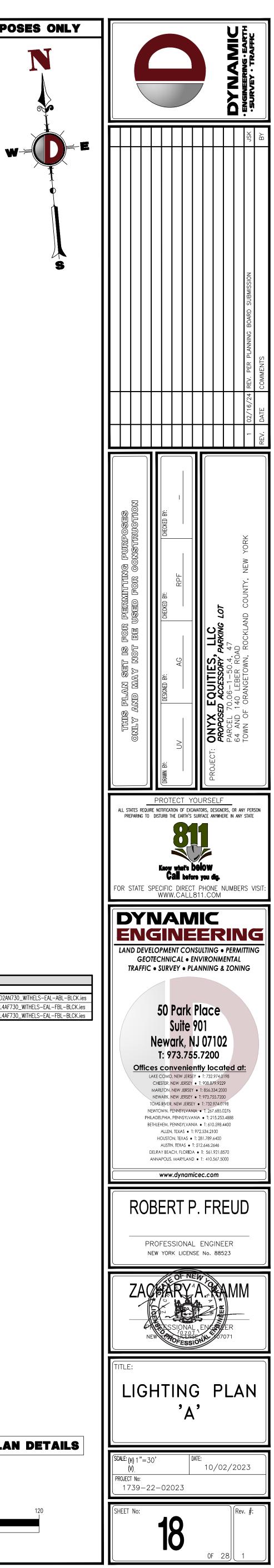
SEE SHEET 22 OF 28 FOR LANDSCAPE PLAN DETAILS



⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0  $t_{0.0}$   $t_{0$ to to.6 to.3 to.1 to.1 to.0 to.0 to.3 to.2 to.1 -- to. 3 \$2,8 °0.7 °0.7 °0.7 €... \$1.6€ \$0.5 °0.6 °0.7 °0.6 10 +1.1 to.9 to.7  $\times$   $\sim$   $\sim$ \*0.0 \*0.0 \*0.0 \*0.0 🖞 to.o to.o to.b <sup>+</sup>1.5 <sup>+</sup>1.1 <sup>+</sup>1.2 <sup>+</sup>1.2 \*3.9 \*1.8 \*1.0 \$1.9 \$1.2 \*1.6 \*2.3 \*2.3 \*2.8 \*2.9 \*2.7 \*2.2 \*2.1 \*1.7 \* †0.0 †0.0 †0.0 †0.0 † †0.0 †0.0 /†0.0 †0.0 †0.0 †0.0 †0.0 † ⁺o.o ⁺o.o 7 tol6 to.8 +1.4 +2.7 +5.2 +5.4 \*0.0 \*0.0 \*0.0 \*0.0 p. \*o.o /o.o 9 \*8.9 \*8.7 \*6.0 \*5.2 \*3.3 \*1. ).7 +1.5 +3.4 +7.7 ±0.0 ±0.0 ±0.0 ±0.0 €.0 <sup>+</sup>5.8 <sup>+</sup>3.2 +1<u>8.0 +17.5 +16.2 +11.0 +8.2 +4.2 +2</u> <sup>+</sup>7.3 □== 2.6 <sup>+</sup>14.2 <sup>+</sup>10.1 <sup>+</sup>8.4 <sup>+</sup>4.3 <sup>+</sup>2.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 †o, **X** <sup>+</sup>3.5 <sup>+</sup>7.7 <sup>+</sup>8.6 A-L4-BB PED to.o to.o to.o to.o to.o <sup>+</sup>1.6 <sup>+</sup>3.5 <sup>+</sup>8.0 <sup>+</sup>9.4 17.7 <sup>+</sup>16.5 <sup>+</sup>16.1 <sup>+</sup>11.1 <sup>+</sup>8.8 <sup>|</sup> <sup>+</sup>4.3 <sup>|</sup> <sup>+</sup>2.1 1.0 to.9 to.7 <u>\*0.8</u> \*1.5 \*2.9 \*5.6 \*6.0 \*9.9 \*9.8 \*10.0 \*6.7 \*6.0 \*3.5 \*1.8 to.o to.o to.o to.o to.o <sup>+</sup>0.2 ±0.0 ±0.0 ±0.0 ±0.0 €0.1 to.0 to.0 to.0 to.0 +1.8 <sup>†</sup>0.8 / <sup>†</sup>0.6  $\frac{1}{18}6$   $\frac{1}{38}$   $\frac{1}{37}$   $\frac{1}{31}$   $\frac{1}{79}$ +1.7 +1.6 +1.7 +1.5 +1.7 +1.5 +1.1 to.o to.o to.o to.o 1.8 +1.3 +0.9 +0.7 to.o to.o to.o to.o <sup>+</sup>3.4 <sup>+</sup>2.0  $\begin{array}{c} 1.0 \\ \hline 1.8 \\ \hline 1.8 \\ \hline 1.7 \\ \hline 1.5 \\ \hline 1.7 \\ \hline 1.5 \\ \hline 1.7 \\ \hline 1.9 \\ \hline$ <sup>+</sup>1.4 <sup>+</sup>1.7 <sup>+</sup>1.2 to.o to.o to.o to.o ∎to.A <sup>-+</sup>1.5 <sup>+</sup>1.1 **\** <sup>+</sup>0.9 <sup>+</sup>0. <sup>+</sup>2.0 <sup>+</sup>2.4 <sup>+</sup>3.0 <sup>+</sup>3.9 <sup>+</sup>4.2 <sup>+</sup>4.4 <sup>+</sup>3.7 <sup>+</sup>3.0 <sup>+</sup>2.2 <sup>+</sup>1.4 <sup>+</sup>1 †0.0 †0.0 †0.0 †0.0 <sup>+</sup>1.2 <sup>+</sup>1.9 <sup>+</sup>2.6 <sup>+</sup>3. †0.0 †0.0 †0.0 †0.0 <sup>+</sup>4.0 <sup>+</sup>2.6 <sup>+</sup>3.6 <sup>+</sup>4.7 <sup>+</sup>7.<del>5 </del> \*8.5 <sup>+</sup>8.9 <sup>+</sup>6.4 <sup>+</sup>4.3 <sup>-</sup>2.9 <sup>+</sup>1.5 ∕<sup>+</sup>1.0 <sup>+</sup>0.8 <sup>+</sup>1.3 <sup>+</sup>2.4 <sup>+</sup>3.9 <sup>+</sup>5.6 <sup>+</sup>*3.4* <sup>+</sup>*2.2* <sup>+</sup>*2.0* <sup>+</sup>*3.8* <sup>+</sup>*4.9* <sup>-</sup>*8.5* \*0.0 \*0.0 \*0.0 \*0.0 +10.7 +6.9 +4.5 +2.9~ <sup>†</sup>0.7 | <sup>†</sup>0.6 2.2 4.1 ±0.0 ±0.0 ±0.0 ±0.0 ∎±0.0 .₹ <sup>†</sup>1.8 <sup>†</sup>1.6 <sup>†</sup>1.9 <sup>†</sup>4.3 <sup>†</sup>6.1\_ 13.6 9.6 5.9 3.0 23 54 7 †0.0 †0.0 †0.0 †0.0 1.2 <sup>+</sup>1.6 <sup>+</sup>3.4 <sup>+</sup>4.0 <sup>+</sup>6.5 <sup>+</sup>6.5 <sup>+</sup>6.8 <sup>+</sup>5.4 <sup>+</sup>3.8 <sup>+</sup>2.4 <sup>+</sup>0.9 <sup>+</sup>0.4 <sup>+</sup>0.4  $70.\lambda$  71.7 73.7 74.9\*0.0 \*0.0 \*0.0 \*0.0 <sup>+</sup>1.9 <sup>+</sup>1.7 <sup>+</sup>1.8 <sup>+</sup>1.5 <sup>+</sup>1.5 <sup>+</sup>1.6 <sup>+</sup>1.7 <sup>+</sup>1.4 <sup>+</sup>1.6 <sup>+</sup>0.3 <sup>+</sup>0.3 <sup>+</sup>0.3 <sup>+</sup>5.5 0.4 to.7 to.5 to.4 10.1 0.4 to.4 to.5 to.5 to.3 to.2 to.2 to.3 to.5 to.7 to.5 †0.0 †0.0 †0.0 †0.0 0.7. 1 0.2 to.3 to.4 ±0.0 ±0.0 ±0.0 ±0.0 †0.0 †0.0 †0.0 †0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ±0.0 ±0.0 ±0.0 ±0.0 <u>b.0</u> <u>t.0</u> \_\_\_\_\_

Plotted: 02/14/24 - 4:11 PM, By: kheege File: P:\DECPC PROJECTS\1739 Onyx Equities, LLC\22-02023 Orangetown NY\Dwg\Site Plans\D17392202023SI1.dwg, ---> 18 LIGHTING PLAN 'A'

		1 STORY MASONRY BUILDING	1 STC MASONRY
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0.6 0.6 0.4 0.5 × 0.5 0.4 × 0.3 0.3 × 0.3 0.3 × 0.3	to.2     to.2     to.2     to.2     to.2     to.0     to.0     to.0     to.0     to.0     to.0     to.0       to.2     to.2     to.2     to.2     to.3     to.1     to.0     to.0     to.0     to.0       to.3     to.3     to.1     to.3     to.1     to.3     to.1     to.1	<sup>†</sup> 0.0 <u>†</u> 2.0 <u>†</u> 0.1 <u>†</u> 0.0 <sup>†</sup> 0.0 <sup>†</sup> 0.0 <sup>†</sup> 0.0 <sup>†</sup> 0.0 <sup>†</sup> 0.0 <sup>†</sup> 0.0	to.o 💑 to.o to.o to.o to.o to.o
$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	1.4     1.1     1.1     1.6     1.2     1.1     1.6       +1.4     +1.1     +1.1     +1.6     +2.5     +3.1     +5.6     +5.4     +1.4	$ \begin{array}{cccccccccccccccccccccccccccccccccccc$
$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	$\begin{array}{cccccccccccccccccccccccccccccccccccc$		$\begin{array}{cccccccccccccccccccccccccccccccccccc$
$\begin{array}{cccccccccccccccccccccccccccccccccccc$	$3  3  7.8  7.8  7.7  7.6  7.9  7.4  7.3  7.1 \\ 3  74.0  72.0  71.1  70.7  70.6  71.9  71.7  73.0  74.5 $	*3.6 *4.5 *4.6 *4.4 *3.4 *3.1 *2.1 *1.5 *1.4 *5.3 *8.2 *8.0 *8.0 *4.8 *4.3 *2.5 *1.5 *1.1	$\begin{array}{cccccccccccccccccccccccccccccccccccc$
$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$	5.9 <sup>1</sup> 2.4 <sup>1</sup> 1.1 <sup>1</sup> 0.6 <sup>1</sup> 0.5 <sup>1</sup> 1.0 <sup>1</sup> 2.1 <sup>1</sup> 4.7 <sup>1</sup> 9.0	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	$\begin{array}{c} -100 & 17.5 & 12.6 & 15.2 & 15.9 & 18.6 & 19.6 & 19.8 & 17.7 \\ \hline 0.9 & 17.5 & 13.0 & 16.8 & 18.8 & 14.7 & 14.9 & 15.6 & 13.7 \\ \hline 0.8 & 17.4 & 12.9 & 16.7 & 18.1 & 173.8 & 12.1 & 13.3 & 11.5 \\ \hline 0.8 & 17.4 & 12.9 & 16.7 & 18.1 & 173.8 & 12.1 & 13.3 & 11.5 \\ \hline \end{array}$
$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	$5  \begin{array}{c} 4.7 \\ 4.7 \\ 5 \\ \hline \end{array} \\ \begin{array}{c} 5 \\ 5 \\ \hline \end{array} \\ \begin{array}{c} 5 \\ 5 \\ \hline \end{array} \\ \begin{array}{c} 7 \\ 7 \\ 7 \\ 7 \\ 7 \\ 7 \\ 7 \\ 7 \\ 7 \\ 7 $		$\begin{array}{c ccccccccccccccccccccccccccccccccccc$
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$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	0 <sup>+</sup> 12.4 <sup>+</sup> 14.6 <sup>+</sup> 15.1 <sup>+</sup> 9.5 <sup>+</sup> 5.8 <sup>+</sup> 3.0 <sup>+</sup> 1 ≠ <sup>1</sup> 0.7 <sup>+</sup> 0.7	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	
$\begin{array}{cccccccccccccccccccccccccccccccccccc$	<u>5,8</u> 0.4 0.4 0.8 0.8 0.8 0.4 0.3 0.3	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	10,5 to.3 to.3 to.4 to.9 t <u>1.4</u> t <u>1.4</u> t <u>1.4</u> t <u>1.7</u> t <u>1.2</u> 0.9
OX. LIMIT OF 0.1 FC ISOLUX LINE (TYP.)	<b>*</b> $0.0$ $0.0$ $0.0$ $0.0$ $0.0$ $0.0$ $0.1$ $0.1$ $0.0$ $0.1$	to.1 to.1 to.0 to.0 to.0 to.0 to.0 to.0 to.0 to.1	$\begin{array}{cccccccccccccccccccccccccccccccccccc$
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n tao	o to.o to.o to.o to.o to.o to.o to.o to		to.o to.o to.o to.o to.o to.o to.o to.o



## **GENERAL NOTES**

- THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINARIES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
   CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUIDERAIL POSTS.
- 4. ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
- 5. REFER TO ARCHITECTURAL PLANS FOR SITE WIRING DIAGRAM.
- 6. THIS PLAN IS PREPARED SPECIFICALLY TO ANALYZE THE LIGHTING LEVELS GENERATED BY THE PROPOSED ON-SITE LIGHTING ONLY. EXISTING LIGHT FIXTURES BEYOND THE EXTENTS OF THIS DEVELOPMENT/PROPERTY ARE NOT MODELED IN THIS DESIGN, AND MAY ALTER ACTUAL LIGHT LEVELS AT THE PROPERTY LINES.

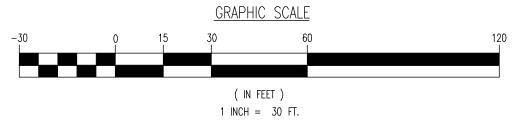
SYMBOL	QUANTITY	LABEL	WATTAGE	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	MANUFACTURER	DESCRIPTION	IES FILE
	12	A-D2	74	20'	SINGLE	1.000	GE LIGHTING	AREA LIGHT	EALP03_D2AN730_WITHELS-EAL-ABL-
	8	A-L4	263	20'	SINGLE	1.000	GE LIGHTING	AREA LIGHT	EALP03_L4AF730_WITHELS-EAL-FBL-
	8	A-L4-BB PED	263	20'	BACK-TO-BACK	1.000	ge lighting	BACK-TO-BACK AREA LIGHT	EALP03_L4AF730_WITHELS-EAL-FBL-
ISO CURVES ARE MA	SO CURVES ARE MAINTAINED AND SHOWN AT 0.5 AND 0.1 FC.								
(FM) – FLUSH MOUI	m) – Flush mount foundation (PED) – PEDESTAL FOUNDATION								

LIGHTING LUMINAIRE SCHEDULE

THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

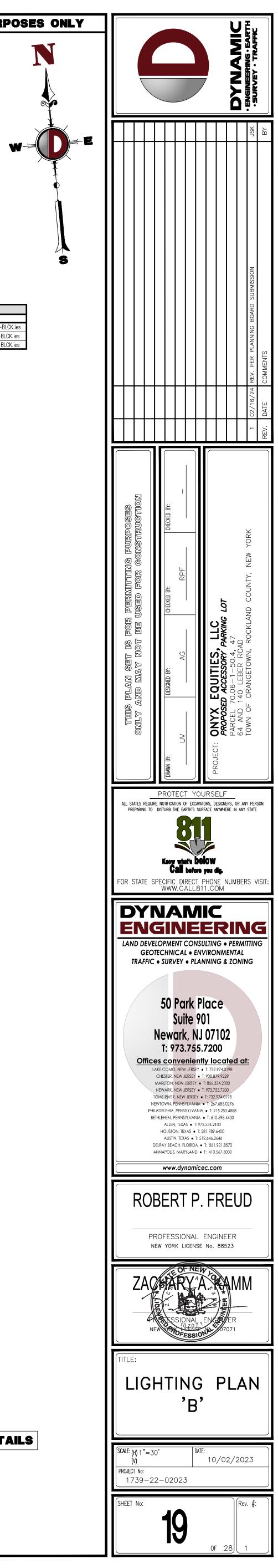
STATISTICAL AREA SUMMARY						
LABEL	AVERAGE	MAXIMUM	MINIMUM	avg./min.	MAX./MIN.	DESCRIPTION
PAVEMENT	3.91	44.1	0.5	7.82	88.20	LIGHT LEVELS IN PAVEMENT

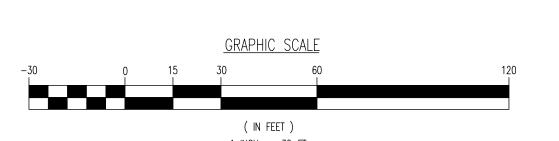
# SEE SHEET 24 OF 28 FOR LIGHTING PLAN DETAILS

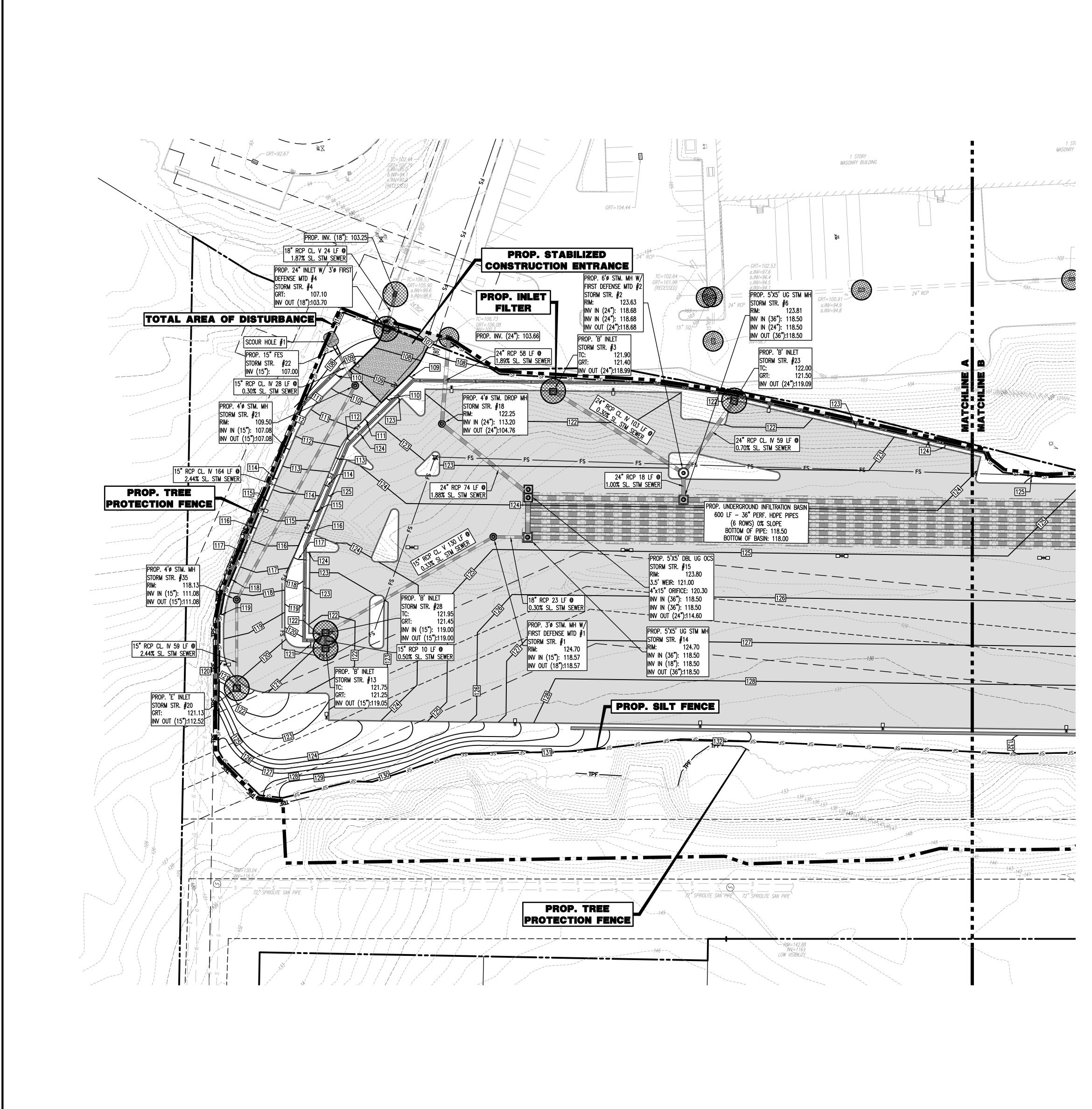


					THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSE
					I THE PLAN IN DE VIILIZED FUK LIGMIING PUKPOSE
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	MASONRY BUILDING	to.o to.o to.o to.o to.o to.o to.o to.o	0.0 to.1 to.1 to.0 to.0 to.0 to.0 to.0 to.0 to.0 to.0	to.o 120,0 to.o to.o	
		$\begin{array}{cccccccccccccccccccccccccccccccccccc$	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	to.0 to.0 to.0 to.0 SYMBOL QUANTITY LABEL	LIGHTING LUMINAIRE SCHEDULE           WATTAGE         MOUNTING HEIGHT         ARRANGEMENT         LIGHT LOSS FACTOR         MANUFACTURER         DESCRIPTION         IES FILE           74         00'         0'         00'         00'         0
			4 1.5 1.6 1.1 0 to.2 to.2 to.1 to:4 to.1 to.0 to.0 to.0 to.0	Constrained         8         A-L4           Image: Constrained         8         A-L4-BB         PED           Iso Curves are maintained and shown at 0.5 and 0.1 FC.         100 curves are maintained and shown at 0.5 and 0.1 FC.         100 curves are maintained and shown at 0.5 and 0.1 FC.	74       20'       SINGLE       1.000       GE LIGHTING       AREA LIGHT       EALP03_D2AN730_WITHELS-EAL-ABL-BLCK.ies         263       20'       SINGLE       1.000       GE LIGHTING       AREA LIGHT       EALP03_L4AF730_WITHELS-EAL-FBL-BLCK.ies         263       20'       BACK-TO-BACK       1.000       GE LIGHTING       BACK-TO-BACK AREA LIGHT       EALP03_L4AF730_WITHELS-EAL-FBL-BLCK.ies
		to.0 to.0 to.0 to.0 to.0 to.0 to.0 to.0	<del>1.0</del> <del>1.1</del> <del>1.0</del> <del>1.0</del> <del>1.0</del> <del>1.4</del> <del>1.4 <del>1.4</del> <del>1.4</del> <del>1.4 <del>1.4</del> <del>1.4</del> <del>1.4 <del>1.4</del> <del>1.4 1.4 <del>1.4 1.4 1.4 1.4 1.4 1.4 1.4 1.4 1.4 1.4 </del></del></del></del></del>	to.0 to.0 to.0 to.0 to.0 to.0 to.0 to.0	ITUN EDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND E STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF). STATISTICAL AREA SUMMARY
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		to.0 t.0 to.0 to.0 to.0 to.0 to.0 to.0 t	0.0 to.0 to.0 to.1 to 4 to.8 to.9 to.7 to.4 to.2 (to.1) to.1 to.0 to.0	to.o to.o to.o	
1 STORY MASONRY BUILDING		to.o to.o to.o to.o to.o to.o to.o to.o			
		to.o to.o to.o to.o to.o to.o to.o to.o			<u>General Notes</u>
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$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	11.3       15.9       16.3       17.8       9.3       8.0       1.6       1.8       1.2       1.5       1.9       6.7       18.7       15.1       15.5       16         9.9       14.6       12.7       17.0       8.8       7.8       1.6       1.8       1.2       1.5       1.5       1.6       11.6	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	ta.a ta.a ta.a ta.a ta.a ta.a ta.a ta.a	
$\begin{array}{c} t_{0,p} & t_{1,4} & t_{2,8} & t_{6,5} & t_{7,9} & t_{14,9} & t_{15,8} & t_{16,4} & t_{12,7} & t_{8,6} & t_{5,5} & t_{2,4} & t_{1,2} & t_{0,8} & t_{1,1} & t_{2,0} & t_{4,2} & t_{8,6} \\ \hline t_{0,p} & t_{1,3} & t_{2,4} & t_{4,7} & t_{5,0} & t_{7,5} & t_{8,4} & t_{8,6} & t_{6,6} & t_{5,4} & t_{4,1} & t_{2,1} & t_{1,2} & t_{0,9} & t_{1,1} & t_{1,8} & t_{3,3} & t_{5,6} \end{array}$	<sup>†</sup> 6.1 <sup>†</sup> 9.1 <sup>†</sup> 9.2 <sup>†</sup> 8.9 <sup>†</sup> 5.6 <sup>†</sup> 5.2 <sup>†</sup> 3.0 <sup>†</sup> 1.8 <sup>†</sup> 1.4 <sup>†</sup> 1.6 <sup>†</sup> 2.6 <sup>†</sup> 4.9 <sup>†</sup> 5.4 <sup>†</sup> 8.1 <sup>†</sup> 9.1 <sup>†</sup> 9.2	2 <sup>†</sup> 7.0 <sup>†</sup> 5.7 <sup>†</sup> 4.4 <sup>†</sup> 2.3 <sup>†</sup> 1.4 <sup>†</sup> 1.2 <sup>†</sup> 7.3 <sup>†</sup> 1.9 <sup>†</sup> 2.6 <sup>†</sup> 3.1 <sup>†</sup> 3.9 <sup>†</sup> 3.8 <sup>†</sup> 3.8 <sup>†</sup> 3.	<u>1 <sup>1</sup>/<sub>2.6</sub> <sup>1</sup>/<sub>1.8</sub> <sup>1</sup>/<sub>1.2</sub> <sup>1</sup>/<sub>0.9</sub> <sup>1</sup>/<sub>0.9</sub> <sup>1</sup>/<sub>0.9</sub> <sup>1</sup>/<sub>0.9</sub> <sup>1</sup>/<sub>0.9</sub> <sup>1</sup>/<sub>0.9</sub> <sup>1</sup>/<sub>0.6</sub> <sup>1</sup>/<sub>0.3</sub> <sup>1</sup>/<sub>0.1</sub> <sup>1</sup>/<sub>0.0</sub> <sup>1</sup>/<sub>0.0</sub> <sup>1</sup>/<sub>0.0</sub> <sup>1</sup>/<sub>0.0</sub></u>		
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					SEE SHEET 24 OF 28 FOR LIGHTING PLAN DETAILS
					<u>GRAPHIC SCALE</u> -30 0 15 30 60 120
					( IN FEET ) 1 INCH = 30 FT.

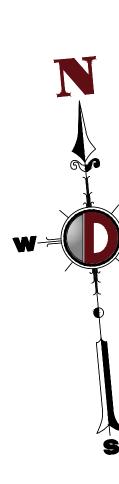
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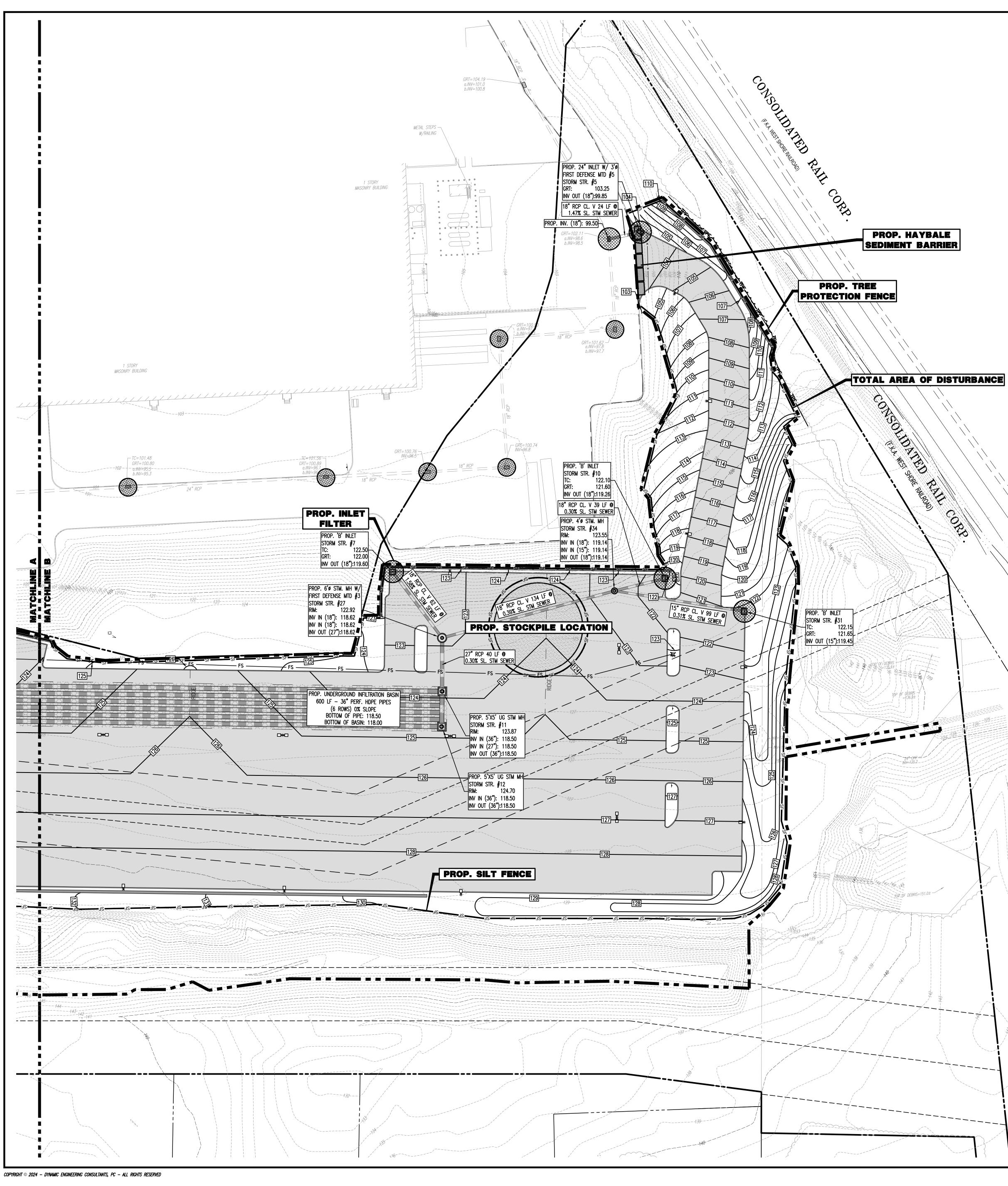


# SEE SHEET 22 OF 28 FOR SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS

TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)

# EROSION CONTROL LEGEND SF SF SF SF PROP. SILT FENCE LINE PROP. TPF PROP. INLET FILTER PROP. HAYBALE SEDIMENT BARRIER 30 0 15 30 60 (IN FEET ) 1 INCH = 30 FT.





Plotted: 02/14/24 - 4:12 PM, by: kheege File: P:\DECPC PROJECTS\1739 Onyx Equities, LLC\22-02023 Orangetown NY\Dwg\Site Plans\D17392202023SE1.dwg, ---> 21 SOIL EROSION AND SEDIMENT CONTROL PLAN



SEE SHEET 22 OF 28 FOR SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS

TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)

# **EROSION CONTROL LEGEND**

	SF		PROP. LIMIT OF DISTURBANCE LINE PROP. SILT FENCE LINE
TPF	TPF	— TPF ———	PROP. TREE PROTECTION FENCE LINE
	$\bigcirc$		PROP. INLET FILTER
			PROP. HAYBALE SEDIMENT BARRIER
		GRAPHIC	<u>SCALE</u>
0	15 	30 I	60 I
		( IN FI 1 INCH =	EET ) 30 FT.



# **CONSTRUCTION PHASING:**

PHASE 1: INSTALL STONE ANTI-TRACKING PAD AND OTHER SOIL EROSION SEDIMENT CONTROL MEASURES INCLUDING DOWN SLOPE PERIMETER HAY BALES AND SILT FENCING. PHASE 2: CLEAR AND ROUGH GRADE FOR NEW BUILDING SITE AND OTHER STRUCTURES REQUIRING EXCAVATION. PHASE 3: EXCAVATION, CONSTRUCTION, AND STABILIZATION OF BASIN(S), EXCAVATE AND INSTALL UNDERGROUND PIPING AND DRAINAGE STRUCTURES. PHASE 4: EXCAVATE AND INSTALL ON SITE IMPROVEMENTS INCLUDING CURBING, UNDERGROUND PIPING, AND DRAINAGE STRUCTURES.

## PHASE 5: FINAL GRADING ON SITE. PHASE 6: INSTALL PAVING, CONCRETE, AND FINAL VEGETATION INCLUDING SEEDING AND LANDSCAPING.

- SOIL EROSION & SEDIMENT CONTROL NOTES: 1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL,
- AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED. 2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A
- TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BE BOUND IN ACCORDANCE WITH THE STATE STANDARDS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- 3. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO STATE STANDARDS. 4. STABILIZATION SPECIFICATIONS – TEMPORARY SEEDING AND MULCHING:
- LIME 90 LBS/1,000 SF GROUND LIMESTONE; FERTILIZER 11 LBS/1,000 SF; 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4". - SEEDS: COOL SEASON:
- PERENNIAL RYE GRASS 100LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1. WARM SEASON: PEARL MILLET AT 20 LBS/AC. OR OTHER APPROVED SEEDS; PLANT BETWEEN MAY 15 AND AUGUST 15.
- MULCH SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF TO BE APPLIED ACCORDING TO THE STATE STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER. 5. TEMPORARY BERMS ARE TO BE INSTALLED ON ALL CLEARED ROADWAYS AND EASEMENT AREAS IN ACCORDANCE WITH THE STATE STANDARDS. 6. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, SUB-BASE WILL BE INSTALLED WITHIN 15 DAYS OF PRELIMINARY GRADING.
- 7. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUN-OFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- 8. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACK FILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER 3:1). 9. ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT. 10. STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOOD PLAIN, SLOPE, ROADWAY, OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES MUST BE PROTECTED BY A HAY BALE BARRIER OR SEDIMENT FENCE.
- 11. A CRUSHED STONE VEHICLE WHEEL CLEANING BLANKET WILL BE INSTALLED IMMEDIATELY AFTER INITIAL SITE DISTURBANCE AND WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. BLANKET SHALL BE 1-1/2" TO 2" CRUSHED STONE AND AT LEAST 30' X 100', AND MUST BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED. 12. MAXIMUM SLIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT. 13. ANY INDIVIDUAL ACCESS ROADS OR DRIVES MUST BE STABILIZED WITH 2-1/2" CRUSHED STONE PRIOR TO COMMENCEMENT OF CONSTRUCTION IN THAT AREA.
- 14. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. 15. ALL CATCH BASIN INLETS MUST BE PROTECTED WITH A CRUSHED STONE OR HAY BALE FILTER (SEE DETAIL).
- 16. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUT FALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL. 17. ALL DE-WATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA. THE SEDIMENT FILTER SHALL BE COMPOSED OF A SUITABLE SEDIMENT FILTER FABRIC (SEE DETAIL). 18. PERMANENT VECETATION TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH TO BE USED AS NECESSARY FOR
- PROTECTION UNTIL SEEDING IS ESTABLISHED. 19. PERMANENT STABILIZATION SPECIFICATIONS: SEEDING 20. PERMANENT STABILIZATION SPECIFICATIONS: MULCHING
- A. MULCH MATERIALS TO BE UNROTTED SALT HAY, HAY, OR SMALL GRAIN STRAW AT THE RATE OF 1.5 TO 2 TONS PER ACRE OR 70 TO 90 POUNDS PER 1,000 SQ. B. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 95% OF SOIL SURFACE WILL BE COVERED. C. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS: PEG AND TWINE

#### (2) MULCH NETTING (3) LIQUID MULCH-BINDERS

- 21. ALL ÚNSTABILIZED AREAS TO BE SPRINKLED WITH WATER UNTIL WET AT THE BEGINNING OF EACH DAY TO CONTROL DUST. 22. ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDES SHALL BE COVERED WITH A MINIMUM OF 12" OF SOIL HAVING A PH OF 5 OR MORE PRIOR
- TO SEEDBED PREPARATION. 23. AT THE TIME OF SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION, ANY SOIL NOT SUITABLE TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER WILL BE
- REMOVED OR TREATED IN SUCH A WAY TO PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. (IF REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE PROVIDED.)
- 24. ALL SITE WORK FOR SITE PLANS WILL HAVE TO BE COMPLETED PRIOR TO THE SOIL CONSERVATION DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY . 25. THE SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF SITE EROSION PROBLEMS DURING CONSTRUCTION. THE DISTRICT SHALL BE NOTIFIED IN WRITING 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBANCE. 26. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLANS WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL

PLANS TO THE DISTRICT FOR RECERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.

# STABILIZATION SPECIFICATIONS -

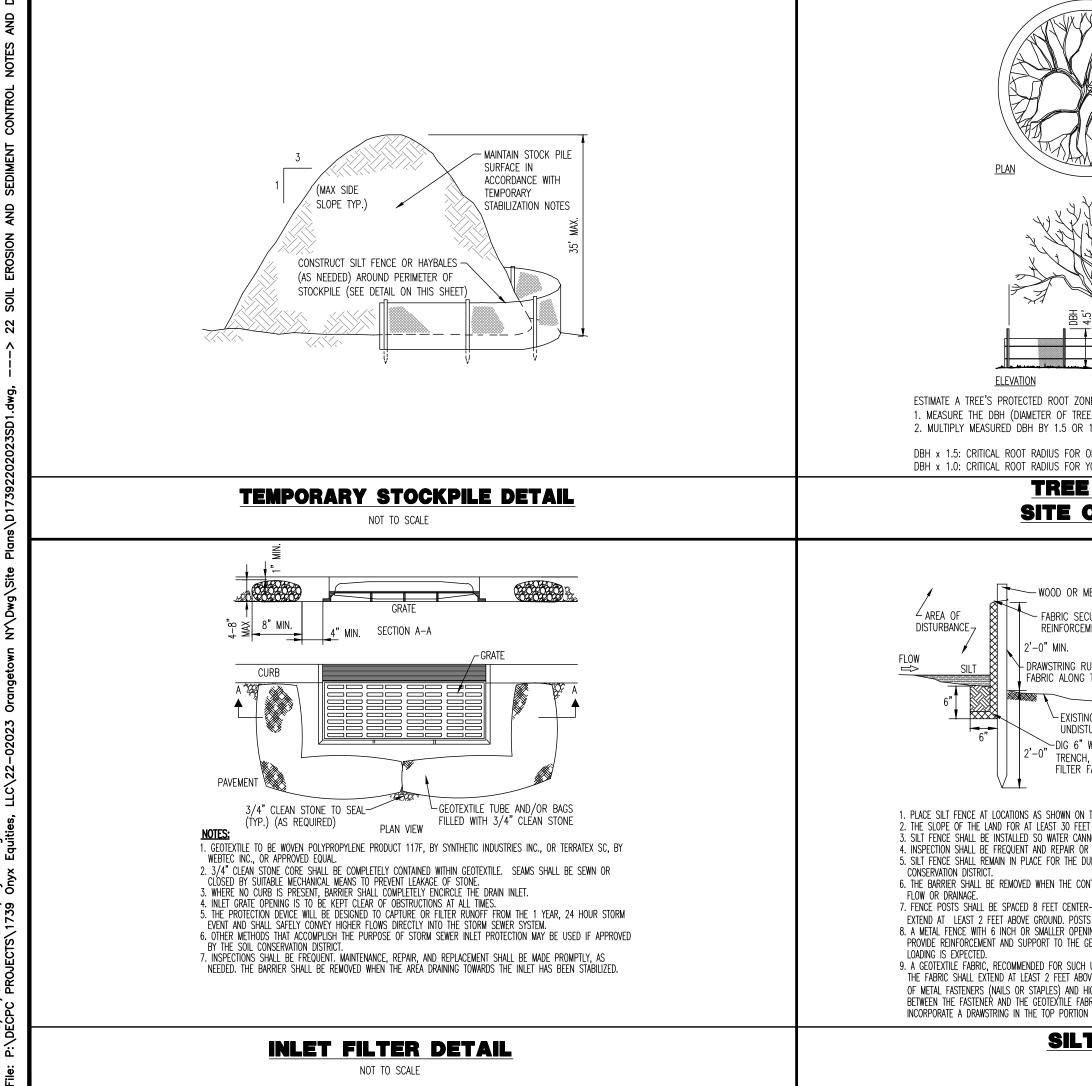
- SEEDS:

COOL SEASON: PERENNIAL RYE GRASS 100LBS/ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1. WARM SEASON: PEARL MILLET AT 20 LBS/AC. OR OTHER APPROVED SEEDS; PLANT BETWEEN MAY 15 AND AUGUST 15. - MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF TO BE APPLIED ACCORDING TO THE STATE STANDARDS. MULCH SHALL BE SECURED BY APPROVED

# METHODS (I.E. PEG AND TWINE, MULCH NETTING. OR LIQUID MULCH BINDER. **STABILIZATION SPECIFICATIONS -**

**PERMANENT SEEDING** - PERMANENT STABILIZATION SPECIFICATIONS: SEEDING

- 3. SEEDING RATES:
- PERENNIAL RYEGRASS
- PERMANENT STABILIZATION SPECIFICATIONS: MULCHING
- A. MULCH MATERIALS TO BE UNROTTED SALT HAY, HAY, OR SMALL GRAIN STRAW AT THE RATE OF 1.5 TO 2 TONS PER ACRE OR 70 TO 90 POUNDS PER 1,000 SQ. FT. B. SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 75% TO 95% OF SOIL SURFACE WILL BE COVERFD. C. MULCH ANCHORING TO BE DONE IMMEDIATELY AFTER PLACEMENT BY ONE OF THE FOLLOWING METHODS:
- (1) PEG AND TWINE(2) MULCH NETTING(3) LIQUID MULCH-BINDERS



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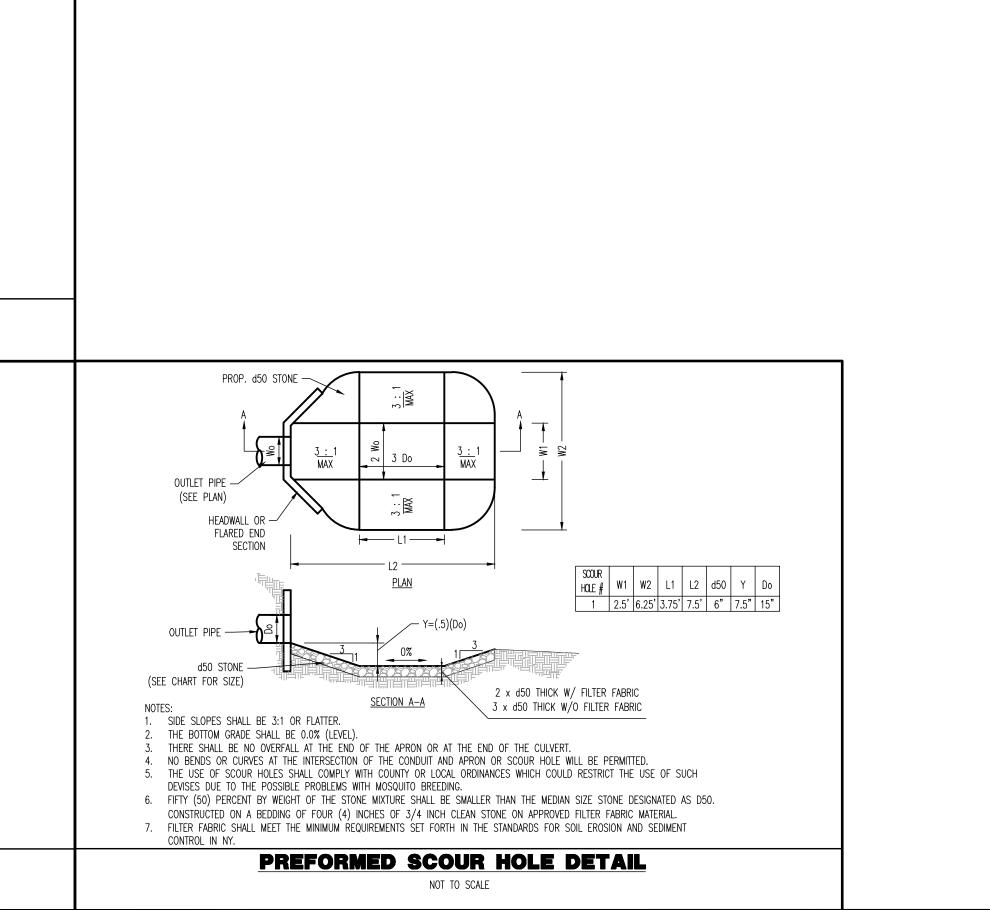
PROTECTED ROOT ZONE (PRZ) CRITICAL ROOT RADIUS (CRR) TREE PROTECTION FENCE SHALL BE INSTALLED WITHIN THE LIMIT OF THE PROTECTED ROOT ZONE 4' WOOD & WIRE SNOW FENCE W/STEEL STAKES 6'-10" O.C. TREE DRIP LINE TREE DRIP LINE TREE DRIP LINE AREA WITHIN PROTECTION FENCE SHALL BE INSTALLED WITHIN THE LIMIT OF THE PROTECTED ROOT ZONE AREA WITHIN PROTECTED ROOT ZONE TO REMAIN UNISTURBED DURING CONSTRUCTION 4' WOOD & WIRE SNOW FENCE W/STEEL STAKES 6'-10" O.C. TONE (PRZ) BY CALCULATING THE CRITICAL ROOT RADIUS (CRR) REE AT BREAST HEIGHT, 4.5' ABOVE GROUND ON THE UPHILL SIDE OF TREE) IN INCHES. R 1.0. EXPRESS THE RESULT IN FEET R OLDER, UNHEALTHY, OR SENSITIVE SPECIES.	EXISTING       FUBLIC         GROUND       FROFILE         1" - 2 1/2"       CLEAN STONE         PROFILE       FROFILE         PROVIDE       APPROPRIATE TRANSITION BETWEEN STABILIZED         CONSTRUCTION       ENTRANCE AND PUBLIC R.O.W.         PLAN VIEW       FROFILE         PERCENT       SLOPE         CAME 1       CONSERVICTION         EXISTING       FILE         PERCENT       SLOPE         CONSTRUCTION       ENTREME         PLAN VIEW       FILE         PERCENT       SLOPE         CONSERVENTION       FILE         PERCENT       SLOPE         CONSERVENTION       ENTRE FRAINED         SS       DITIE         SS       DITIE         SS       DITIE         VIANT       STABULZE VIANTE AUTORNTY.
E PROTECTION DURING CONSTRUCTION DETAIL NOT TO SCALE	STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE
METAL FENCE POSTS SPACED 8'-0" O.C. ECURED TO POST WITH METAL FASTENERS AND EMENT BETWEEN FASTENER AND FABRIC RUNNING THROUGH IG TOP OF FENCE. TING STURBED GROUND "WIDE AND 6" DEEP H, BURY BOTTOM 1'-0" OF 3 FABRIC, TAMP IN PLACE IN THE SOIL EROSION AND SEDIMENT CONTROL PLAN. EET AJACCM TO ANY SUIT FENCE SHALL NOT EXCEED 5 PERCENT ANOTO PYRASE. THE FENCE ANDITO THE SIDES. OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE. DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE TOWNSHIP ENGINEER OR SOIL ZONTRIBUTING DRANAGE AREA HAS BEEN STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM EER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND STS SHALL BE CONSTRUCTED OF HARDWOOD A MIN. DAMLETER THICKNESS OF 1 1/2 INCHES. CONTRIBUTING DRANAGE AREA HAS BEEN STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM EER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND STS SHALL BE CONSTRUCTED OF HARDWOOD A MIN. DAMLETER THICKNESS OF 1 1/2 INCHES. DOWNG AND AT LEAST 2 FEET INFO THE PRACTICES IS LIMITED AND HEAVY SEDIMENT ST GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT SH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 1 6 INCHES DEEP IN THE GROUND. HIGH STREMENT HERENFOR CHURCH WATERE SICHING NAWY FROM THE POST. THE FABRIC SHALL ON OF THE FROLE FOR ADDED STRENGTH.	<ul> <li>2 RE-BARS, STEEL PICKETS OR 2'x 2" STAKES 1 1/2' TO</li> <li>2' IN GROUND, DRIVE STAKES FULSH WITH BALES</li> <li>ANGLE FIRST STAKE TOWARD</li> <li>PREVIOUSLY LAD BALE</li> <li>FLOW</li> <li>BOUND BALES PLACED</li> <li>ON CONTOUR</li> <li>OF STRAW BALE DUE FOR SLOPES LESS THAN 25%</li> <li>OF STRAW BALE DUE FOR SLOPES LESS THAN 25%</li> <li>OF STRAW BALE DUE FOR SLOPES LESS THAN 25%</li> <li>DARIPAGE SHALL BE PLACED AT THE TOP OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTING THE AMACENT BALES.</li> <li>DARIPAGE SHALL BE PLACED SO THE BINDINGS ARE HORZONIAL.</li> <li>BALES SHALL BE SCHELLY ANOHORDIN MERALE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE.</li> <li>THE THIST STALL BE FLORED SO THE BINDINGS ARE HORZONIAL.</li> <li>BALES SHALL BE SCHELLY BANCHORDIN MORAD THE PREVIOUSTLY AND BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE REPREATED TOWN THE PREVIOUSTLY AND LEAR TREPOLY TO FORCE THE BALES TOGETHER. STAKES SHALL BE REPREVENT MAND REPREVENTION WITH THE BALE.</li> <li>ANSPECTION SHALL BE FLORED WHEN THEY HAVE SERVED THER USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAMAGE.</li> </ul>
T FENCE DETAIL NOT TO SCALE	HAYBALE SEDIMENT BARRIER DETAIL NOT TO SCALE

4. GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

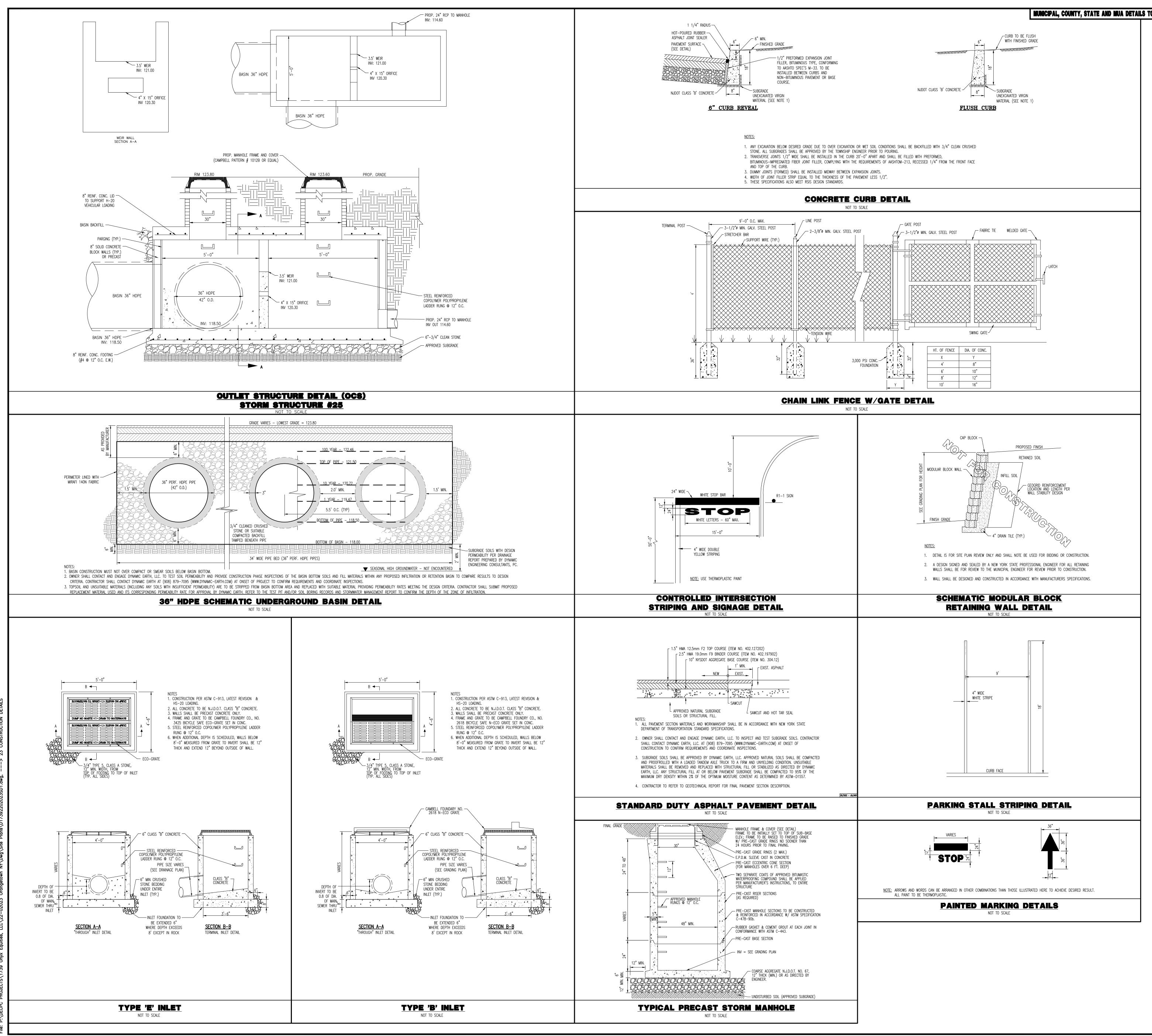
1,... PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER. 2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

# TEMPORARY SEEDING AND MULCHING

- LIME - 90 LBS/1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS/1,000 SF; 10-20-10 OR EQUIVALENT WORKED INTO SOIL A MINIMUM OF 4".



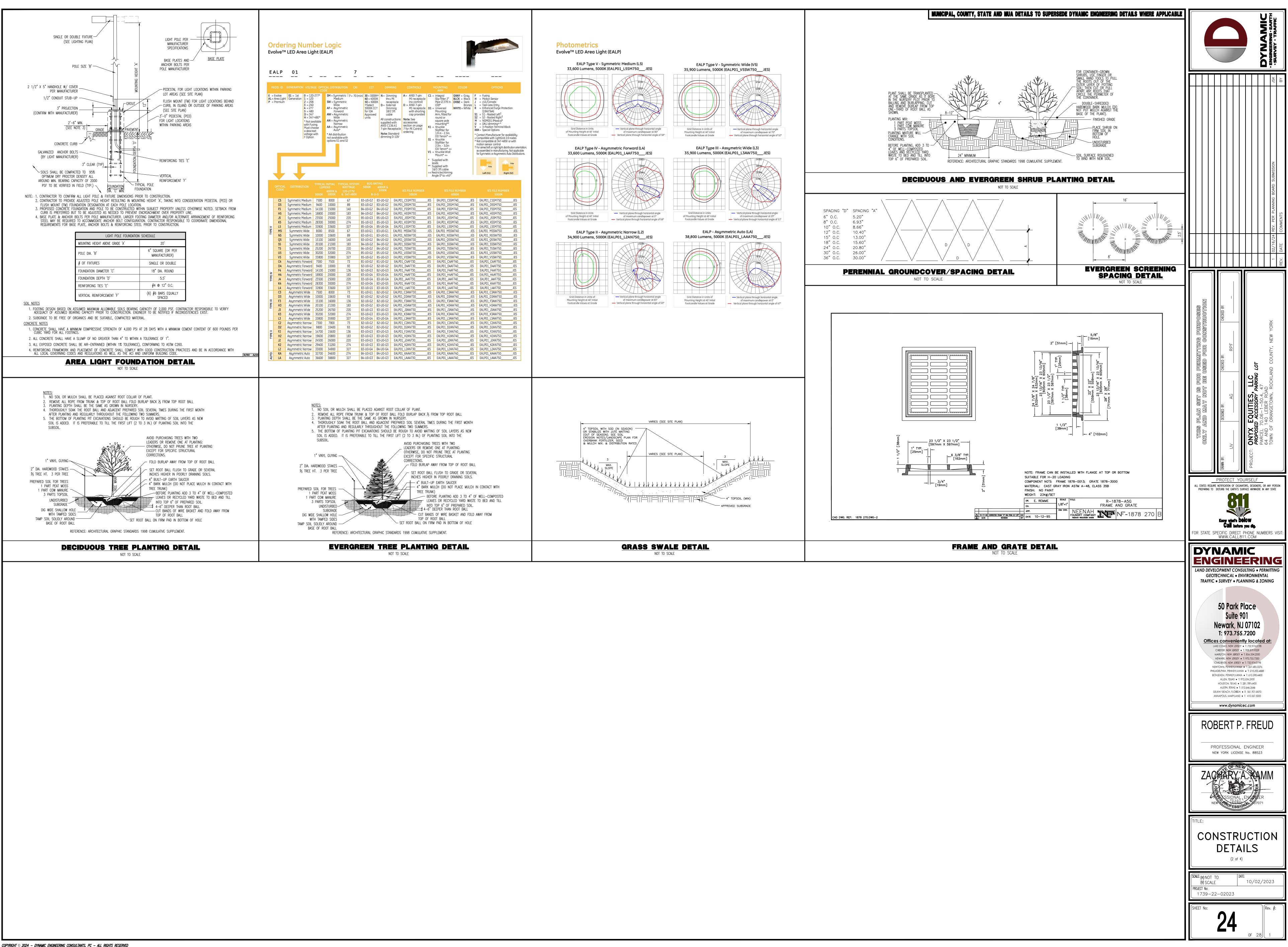


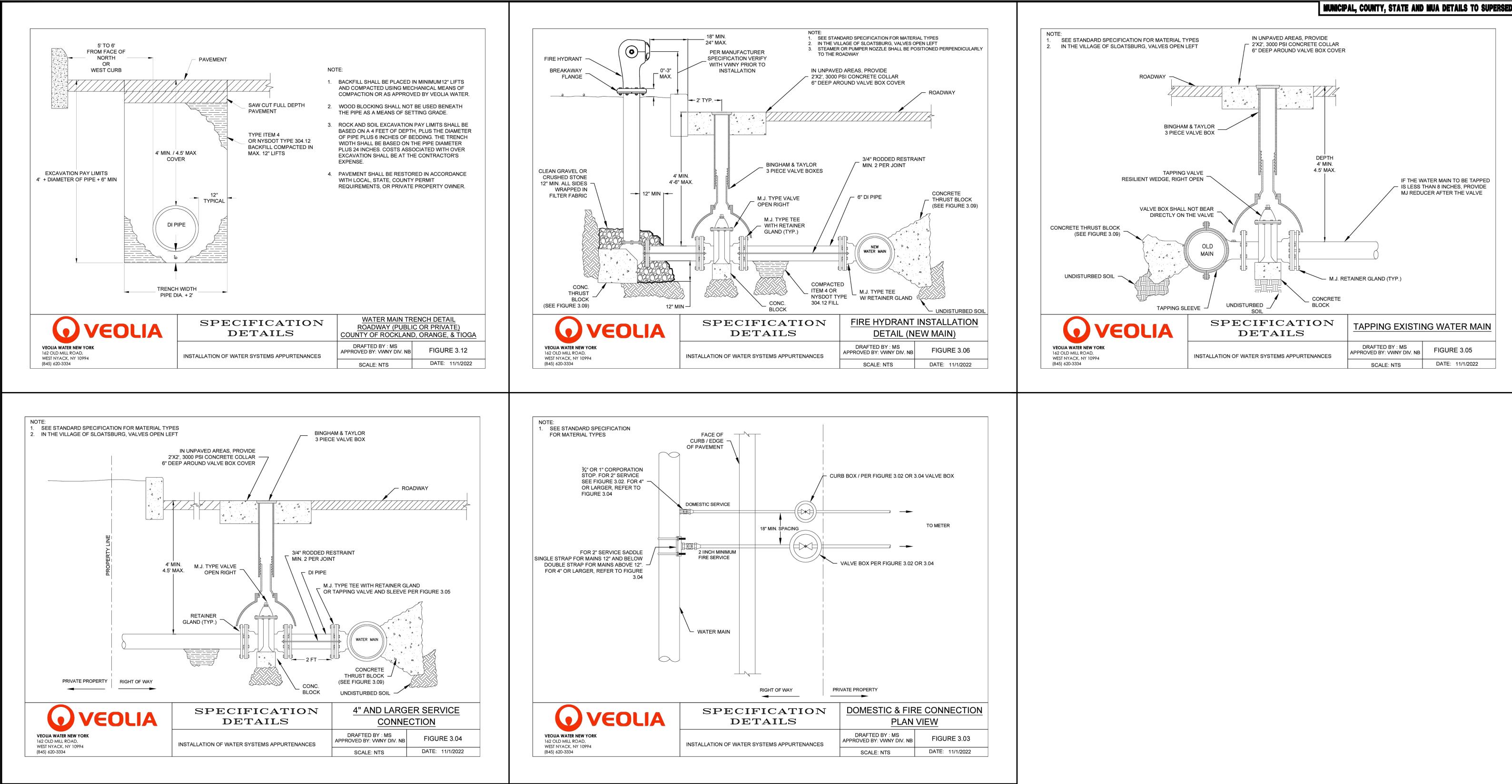


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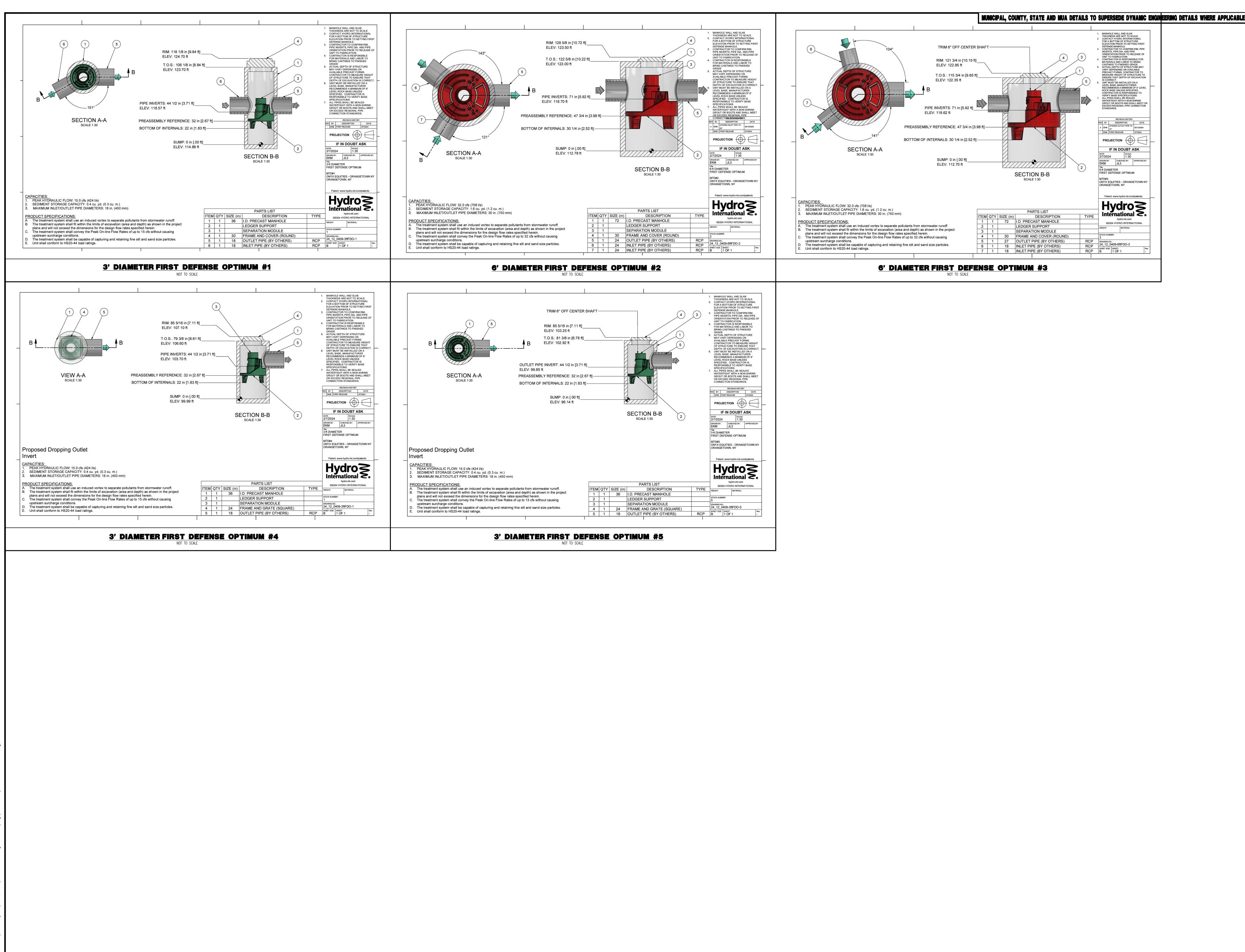






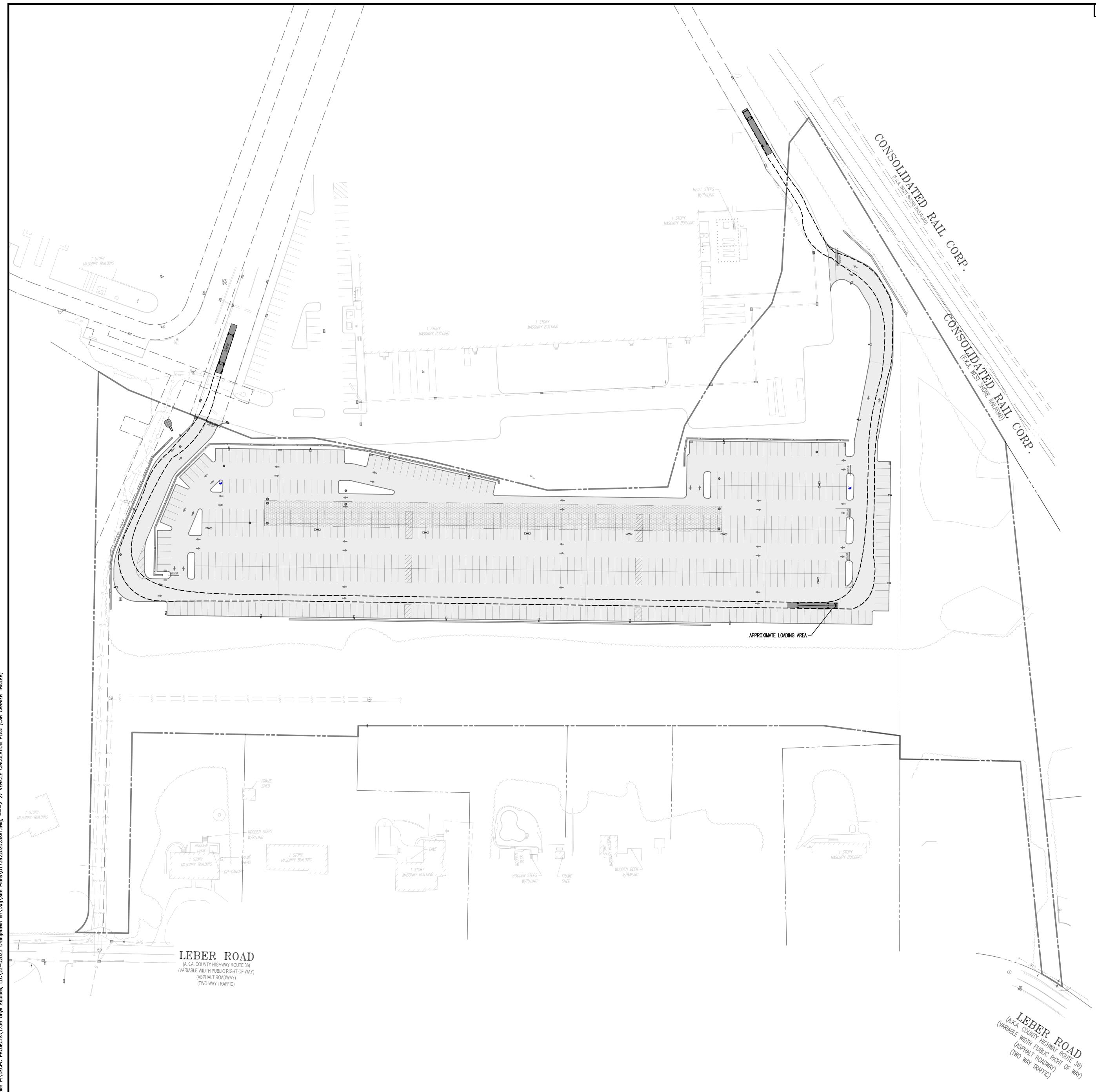
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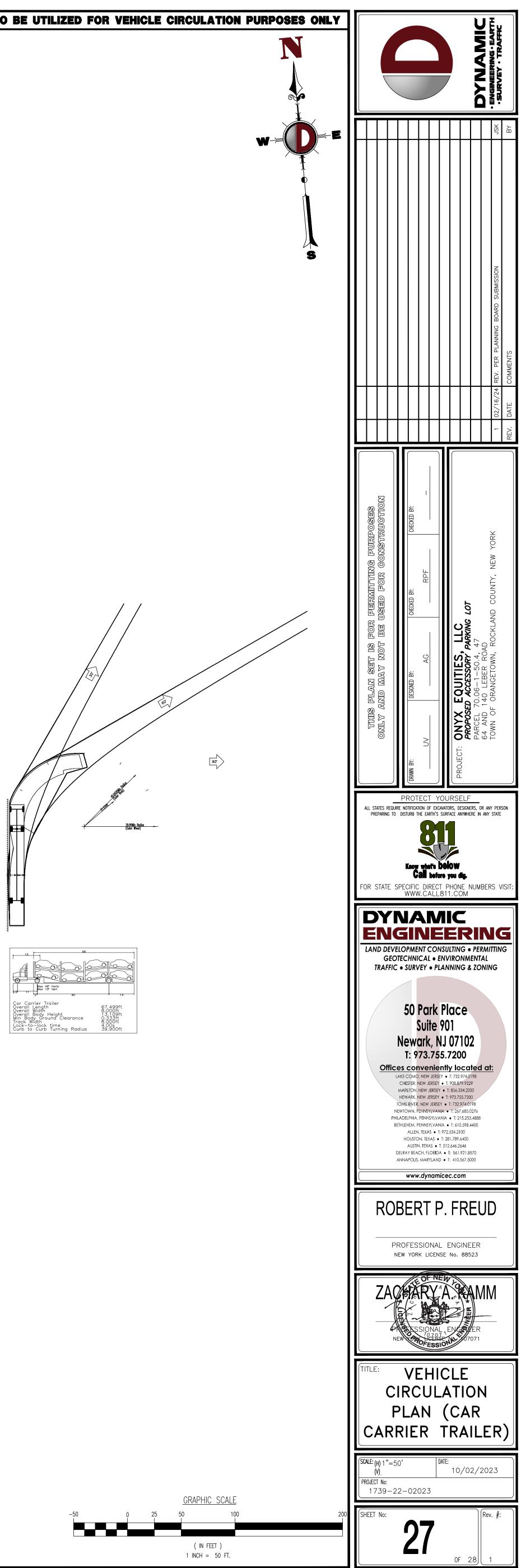




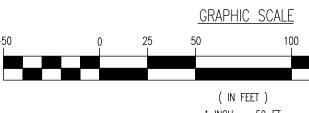


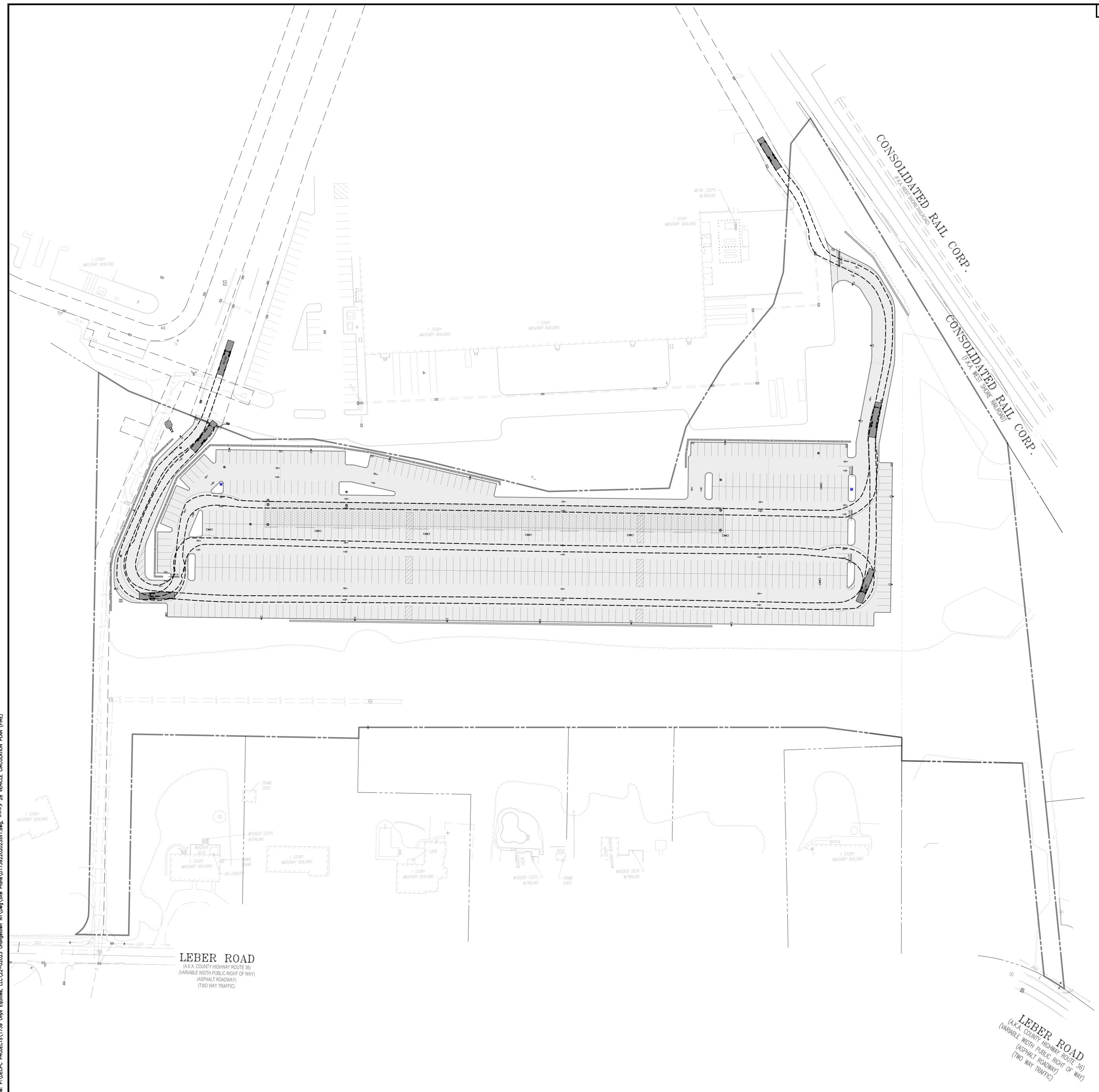




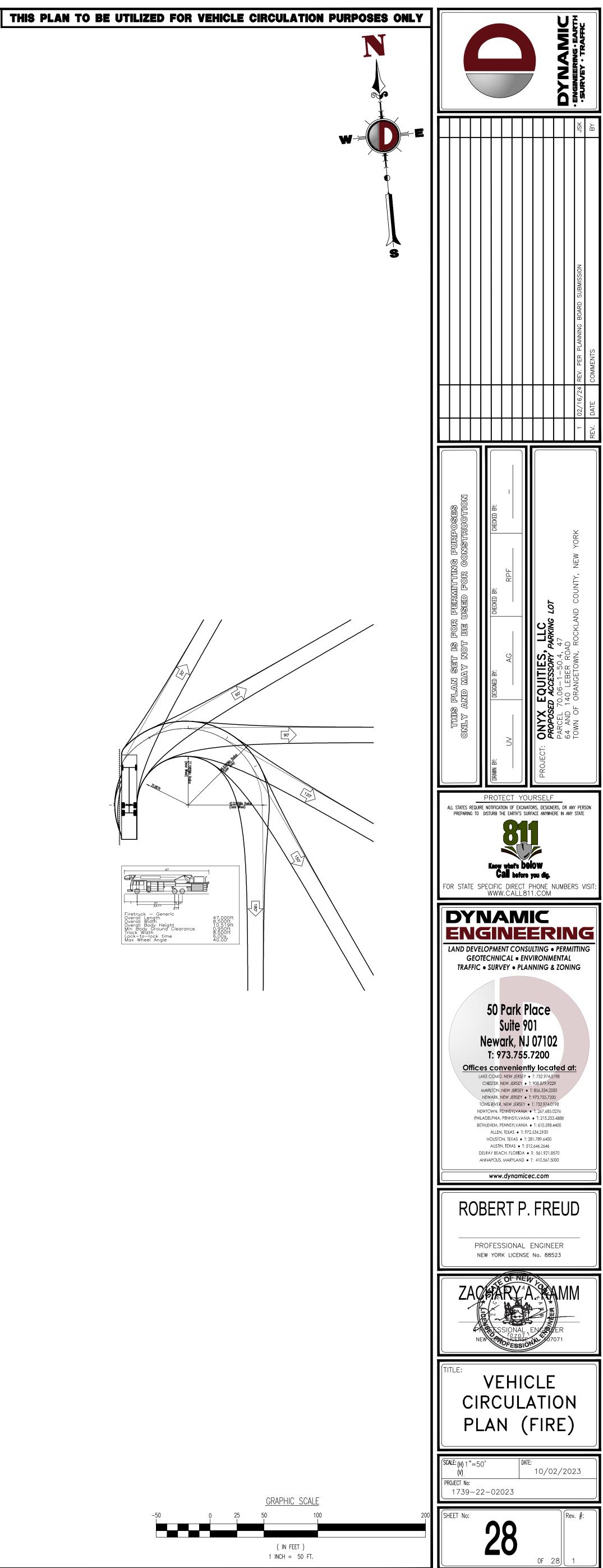


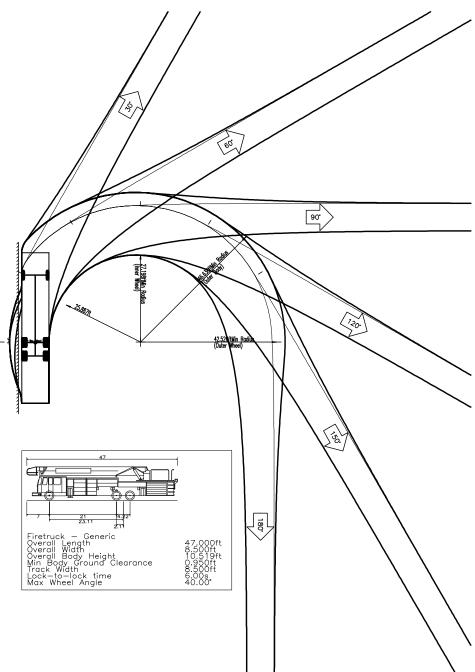
	2-0	$\sim$
Max 46' Horiz Max 10' Vert 2.5' 11		
F2T 40		14
Car Carrier Trailer Overall Length Overall Width Overall Body Height Min Body Ground Clearance Track Width Lock-to-lock time Curb to Curb Turning Radius	8.0 13. 0.3 8.0 4.0	499ft 00ft 109ft 33ft 00ft 0s 900ft

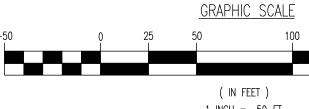


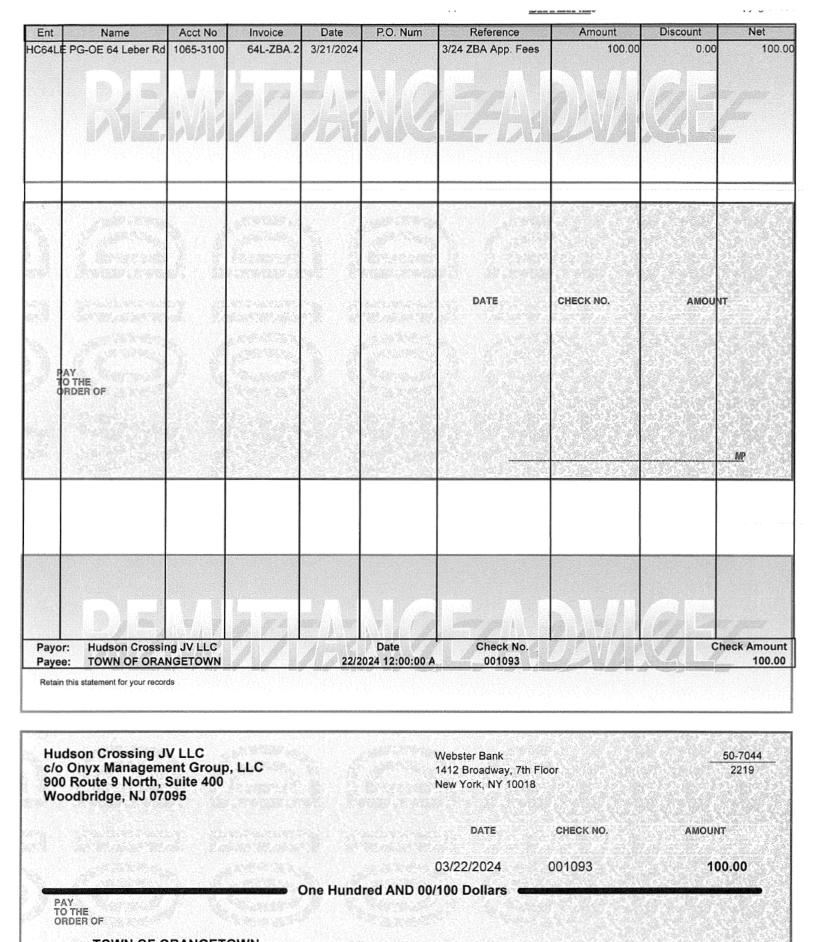


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TOWN OF ORANGETOWN 20 GREENBUSH ROAD ORANGEBURG, NY 10962

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Jan Muordan M



# Department of Environmental Management and Engineering Town of Orangetown

127 Route 303 Orangeburg New York 10962 Tel: (845) 359-6502 • Fax: (845) 359-6951

May 17, 2024

Dynamic Engineering Consultants, PC 50 Park Place Suite 901 Newark, NJ 07102 Attn: Zachary A. Kamm, P.E.

RE: Onyx Equities, LLC – Accessory Parking lot Plan – Water Course Diversion Permit Request

Dear Mr. Kamm;

This Department has reviewed the Onyx Equities, LLC – Accessory Parking lot Plan – Water Course Diversion Permit Request (last dated 5/09/24) in accordance with our local laws and finds it to be acceptable.

If you have any questions, please feel free to contact Bruce Peters of this office.

Eamon Reilly, P.E.

Commissioner - DEME

cc: T. Kenny, Supervisor
J. Bottari, Town Councilman
B. Donohue, Town Councilman
D. Sullivan, Town Councilman
P. Valentine, Town Councilman
R. Pakola, Deputy Town Attorney
R. Sfraga, Town Clerk
Planning Board
Site Plan File
MS4 file

Donald Brenner, P.E., LL.B.

Attorney-At-Law • Professional Engineer 4 Independence Avenue, Tappan, New York 10983

Phone 845-359-2210

Fax 845-359-8070

April 2, 2024

Supervisor Teresa Kenny, Esq. Members of the Town Board Town of Orangetown 26 West Orangeburg Road Orangeburg, New York 10962 Re: Petition for Zone Change from MFR to RG for a portion of 283 N Middletown Road, Pearl River, New York 10965 Section 68.12 Block 3 Lot 24 24-2925

Dear Supervisor Kenny and Members of the Town Board:

My client 283 NMR, LLC. Is attempting to develop two residential lots at the rear of 283 N. Middletown Road, Pearl River.

The Town in 2008 changed the Zone on the property for the benefit of the prior owner. However, the change required an additional land area of 0.156 sq. ft. to permit the new owner to obtain the 2 lots.

Accordingly, I enclose (1) a Petition for the Zone Change and (2) a Entity Disclosure Form.

The client respectfully respects that this matter be place on the next Town Board Agenda for final consideration.

If you require additional information feel free to call me.

Very truly yours,

Donald Brenner

DB/hi Enclosures cc: Town Attorney Town Clerk 283 NMR, LLC

Z:\Docs\1 - Client\2925 - Ackermann - Tarnowski- 283 N Middletown\Letter Supervisor Kenny, etal (2925) April 2, 2024.wpd

## TOWN BOARD: TOWN OF ORANGETOWN COUNTY OF ROCKLAND STATE OF NEW YORK

	X
	1
IN THE MATTER OF THE	

PETITION OF

283 NMR, LLC

PETITION

OWN CLERK'S OFF

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## AMENDMENT TO THE ZONING ORDINANCE | OF THE TOWN OF ORANGETOWN FROM AN | "MFR" DISTRICT TO AN "RG " DISTRICT |

## TO THE TOWN BOARD OF THE TOWN OF ORANGETOWN

The undersigned Petitioner respectfully petitions your Honorable Board as follows:

<u>FIRST</u>:

283 NMR, LLC, is the owner of property located in the hamlet of Pearl River,

more particularly bounded and described in Addendum A, annexed hereto.

SECOND:

The property described in Addendum A is known and designated on the Tax Map

of the Town of Orangetown as:

Section	Block	Lot
68.12	3	24

## THIRD:

Annexed hereto and marked Exhibit A is a copy of the Map of the subject of the Petition; Exhibit B is a copy of the Land Area and Zoning Map; and Exhibit C is a copy of the

Vicinity Map of the subject of the Petition and of the surrounding parcels.

## FOURTH:

Annexed hereto and marked Addendum B is the portion of the property which is the subject of this Petition.

## FIFTH:

Annexed hereto and marked Addendum C is a list of names and addresses of all owners owning property within 500 feet of the property which is the subject of this Petition as the same appears on the tax roll of the Town of Orangetown.

## SIXTH:

The property which is the subject of this Petition comprises approximately 0.156 acres, which is a portion of the full tax lot which comprises 1.83 acres. However, in 2008 the Town Board granted a zone change of 0.54 acres from MFR to RG. The zone change was granted so that the prior owner could build their own house on the property which was adjacent to their Business. The new owner does not want to live on the property. Therefore, this slight difference would enable them to use the property for two residential lots.

#### **SEVENTH:**

Said property is presently zoned "MFR".

#### **EIGHTH:**

Pursuant to the Town Law of the State of New York, and the Zoning Ordinance of the Town of Orangetown, Petitioner hereby requested that the Zoning Ordinance be amended to place a portion of the aforesaid real property, as described in and shown in Exhibit C, in an RG Zoning District, which would allow the development of two residential houses within the zone.

-2-

#### NINTH:

That said proposed change would be compatible with the present and proposed use of the adjoining and neighboring properties to the west and south.

## TENTH:

That said proposed use would be in the public interest of the residents of the Town of Orangetown in that:

(A) the development of the property under an RG Zone would establish a new tax ratable;

(B) the development of the property under an RG Zone would fill a need for a residents in the Town of Orangetown;

(C) the development of the property under an RG Zone would be consistent with the general character of the immediate area surrounding the subject premises, which is principally residential and zoned RG. In fact, a residency adjacent to the Town's street would be more desirable than the development under the existing zone;

(D) the development of the parcel under an RG Zone would permit the developer to install public water and sewers to this location and accommodate the Town in its Cherry Brook Drainage Project; and

(E) the granting of such relief as is sought in this Petition will be the most appropriate use of the subject parcel, will promote the general health and welfare of the community, will preserve property values and will be beneficial to the owner.

#### **ELEVENTH**:

That the parcel which is the subject of this Petition can best be developed under

-3-

the proposed RG Zone.

## TWELFTH:

That the subject premises are not within 500 feet of any of the following:

(1) any City, Town, or Village boundary line;

(2) any County or State park or recreation area;

(3) any right-of-way of any State park or recreation area, expressway, or other limited access highway;

(4) any County or State land on which a public building or institution is situated.

## THIRTEENTH:

That the overall project is within 500 feet of a County Road, North Middletown Road, but the parcel on which the Petitioner is seeking re-zoning is not within 500 feet of the County Road.

WHEREFORE, Petitioner respectfully prays that your Honorable Board take such steps and such action as may be necessary to grant the relief sought in this Petition.

Dated: April 1, 2024

Respectfully submitted,

283 NMR, LLC

an BY ŠĽAW TARNOWSKI

BY:

#### STATE OF NEW YORK ) ) ss.: COUNTY OF ROCKLAND )

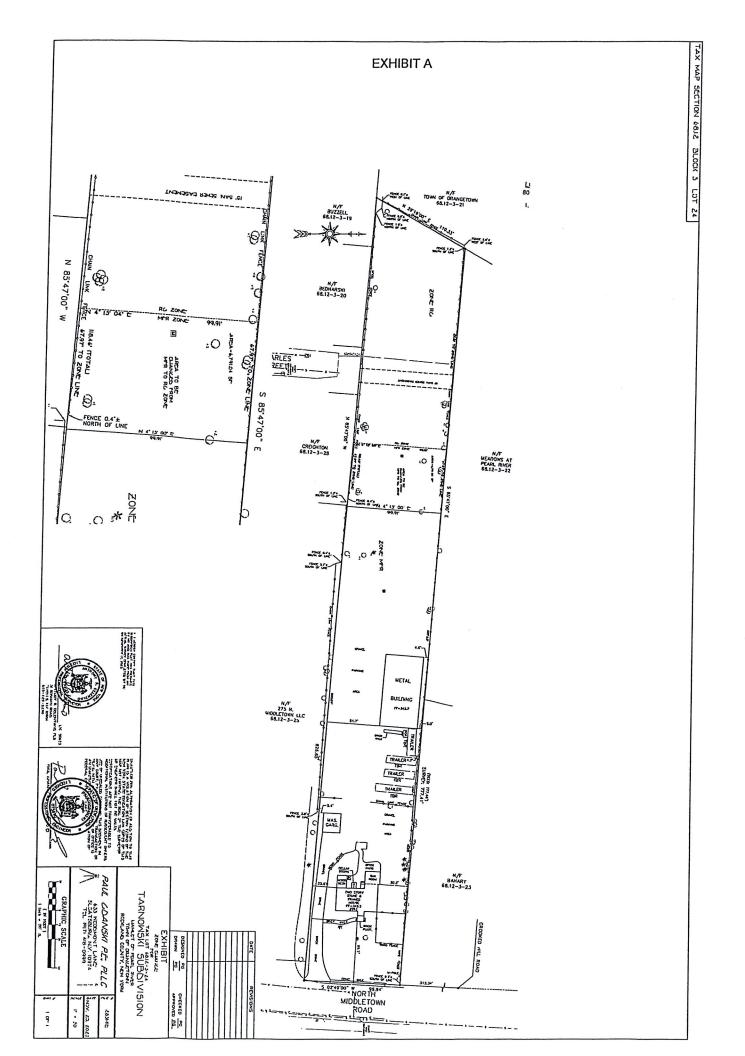
ist \_\_\_\_ day of April in the year 2024, before me the undersigned, a notary public On this in and for said state, personally appeared WIESLAW TARNOWSKI and AGNIESZKA TARNOWSKI, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

NOTARY PUBLIC, STATE OF NEW YORK

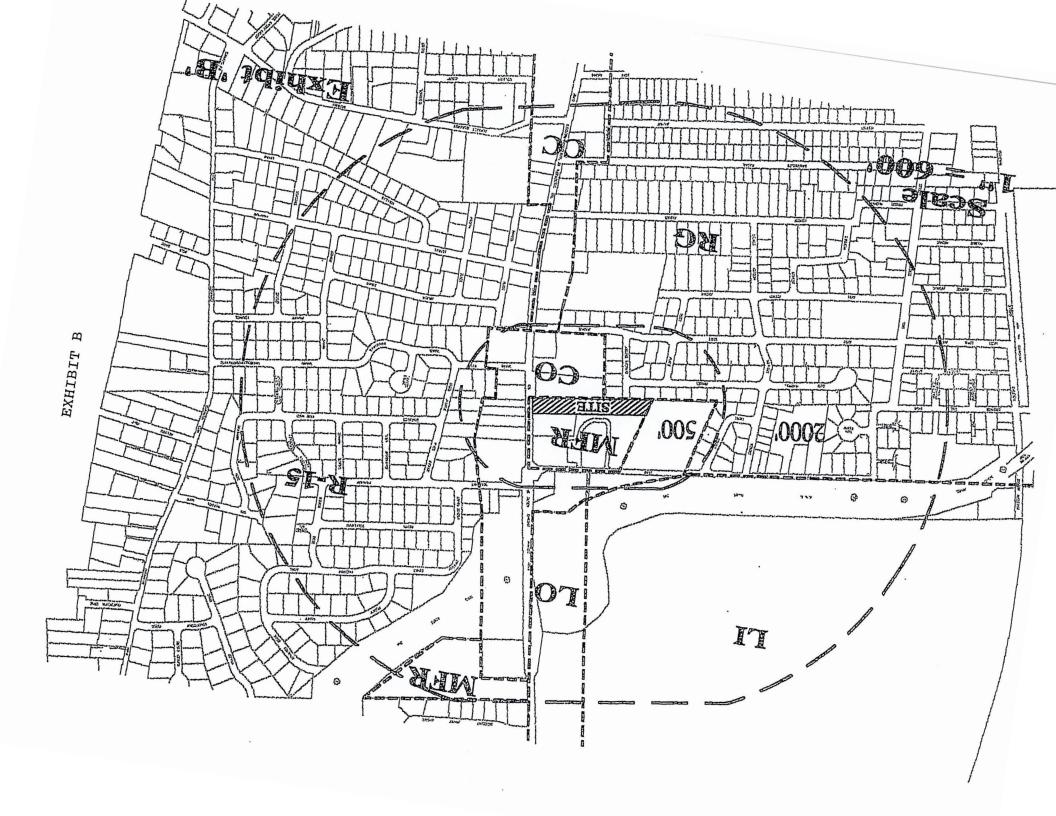
HELEN M. INGALLS NOTARY PUBLIC, STATE OF NEW YORK Registration No. 01IN6129380 Qualified in Rockland County June 20, 20 3 Commission Expires

Z:\Docs\1 - Client\2925 - Ackermann - Tarnowski- 283 N Middletown\PETITION.wpd

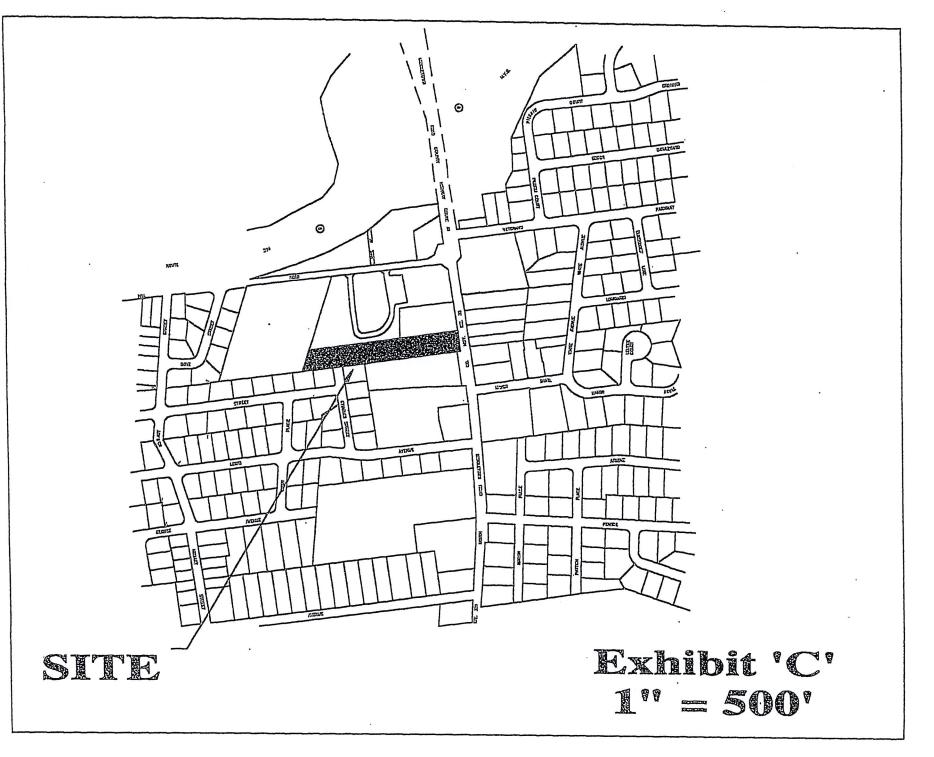
# **EXHIBIT A**



# EXHIBIT B



# EXHIBIT C



**!**..

EXHIBIT C

# ADDENDUM A

All that certain plot, piece or parcel of land with improvement erected thereon, situate lying and being in Pearl River, Town of Orangetown, Rockland County, New York, being more particularly bounded and described as follows:

BEGINNING at a point lying 823.53 feet west of Middletown Road, said point being the south westerly corner of lands now or formerly Bounadonna as descibed in Instrument No. 2000 - 19117 filed in the Rockland County clerk's office, and the southwest corner of the parcel about to be described and running thence

North 29 degrees 19 minutes 00 seconds East 110.33 feet

۰.

THENCE South 85 degrees 47 minutes 00 seconds East 774.28 feet

THENCE South 02 degrees 49 minutes 00 seconds West 99.94 feet

THENCE North 85 degrees 47 minutes 00 seconds West 823.53 feet to the POINT OR PLACE OF BEGINNING.

Together with and subject to covenants, easements, and restrictions of record.

Said property contains 1.83 Acres more or less.

# ADDENDUM B

#### ADDENDUM B

All that certain plot, piece or parcel of land with improvement erected thereon, situate lying and being in Pearl River, Town of Orangetown, Rockland County, New York, being more particularly bounded and described as follows:

BEGINNING at a point lying 823.53 feet west of Middletown Road, said point being the south westerly corner of lands now or formerly Bounadonna as descibed in Instrument No. 2000 - 19117 filed in the Rockland County clerk's office, and the southwest corner of the parcel about to be described and running thence

North 29 degrees 19 minutes 00 seconds East 110.33 feet

THENCE South 85 degrees 47 minutes 00 seconds East 211.81 feet

THENCE South 04 degrees 13 minutes 00 seconds West 99.91 feet

THENCE North 85 degrees 47 minutes 00 seconds West 258.61 feet to the **POINT** OR PLACE OF BEGINNING.

Together with and subject to covenants, easements, and restrictions of record.

Said property contains 0.5395 Acres more or less.

# ADDENDUM C

WIS	PRINT KEY
92489	68.08-1-2
92489	68.08-1-3
92489 92489 92489 92489 92489 92489 92489 92489 92489 2489	68.12-3-17 68.12-3-18 68.12-3-19 68.12-3-20 68.12-3-21 68.12-3-22./152 68.12-3-22./154 68.12-3-22./156 68.12-3-22./158 68.12-3-22./160 68.12-3-22./160 68.12-3-22./166 68.12-3-22./166 68.12-3-22./254 68.12-3-22./256 68.12-3-22./258 68.12-3-22./260 68.12-3-22./260 68.12-3-22./260 68.12-3-22./260 68.12-3-22./260 68.12-3-22./260 68.12-3-22./260 68.12-3-22./260 68.12-3-22./261 68.12-3-22./356 68.12-3-22./356 68.12-3-22./356 68.12-3-22./360 68.12-3-22./366 68.12-3-22./366 68.12-3-22./366 68.12-3-22./366
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189 189	68.12-3-22./854 68.12-3-22./856

NAME

American Cyanamid Co

Pfizer Inc - Indirect Tax American Cyanamid Co

Pfizer Inc - Indirect Tax J & M North Corp

Mary Ellen O'Callaghan Thomas N Buzzell Jr

Kevin Emsworth

Teresa Bednarski

Patricia Van Zandt

Kathleen Keena Thomas P Lenihan

Robert Simon

Diane Dunne

John Bradley Ann N Finnegan

John T Dillon

Doreen Feller Ruth Puca

Cheryl L Hoyt

Patrick Casey

Camille Paccione

Anne Maria Pettus Thomas Montgomery

Kenneth Mulderrig Ann Gaudio

Mary Farrell Maria A Scarano

James Dinan

Daniel Carlin Michael Comerford

Janet A Canale

John J Carney

Camille Iannazzo Athanasios Maniopoulos

Christina Mueller

Eileen T Mc Hale

**Brendan M Dowling** 

Lillian Murphy Maria L Portoro

Matthew Meck James F Sullivan

Arlene Tauken c/o Steven Lanoce

Regina Blake

Jan Los Christine Mancuso

Amy L Urquhart

John Graviano

Katie J Carinci

Lynn Marsico Nereida Hernandez

Ying I Eng Thomas G Coffey

Patricia Finucane Frances M Passamonte

Eulogia Rodriguez

Anthony Ramunno

Francie F Sales-Oliveros

John P Keegan

Philip S Benigno

Antonina Poggioreale

Ann P Mc Garry

Lucito Jao

Rute D Almeida

Raphial Fogarty Peter Mc Aleer

James Coen Mary M Princi

Town Of Orangetown

ADDRESS

100 Route 206 North, Peapack, NJ 07977 100 Route 206 North, Peapack, NJ 07977 327 N Middletown Rd, Pearl River, NY 10965 117 E Carroll St.Pearl River, NY 10965 119 E Carroll St, Pearl River, NY 10965 4 Coyen PI, Palm Coast, FL 32137 133 E Carroll St.Pearl River, NY 10965 26 Orangeburg Rd,Orangeburg, NY 10962 152 E Crooked Hill Rd,Pearl River, NY 109 10965 154 E Crooked Hill Rd, Pearl River, NY 10965 156 E Crooked Hill Rd, Pearl River, NY 10965 158 E Crooked Hill Rd, Pearl River, NY 10965 160 E Crooked Hill Rd, Pearl River, NY 10965 162 E Crooked Hill Rd. Pearl River, NY 10965 164 E Crooked Hill Rd, Pearl River, NY 10965 166 E Crooked Hill Rd, Pearl River, NY 10965 252 E Crooked Hill Rd, Pearl River, NY 10965 254 E Crooked Hill Rd, Pearl River, NY 10965 256 E Crooked Hill Rd, Pearl River, NY 10965 258 E Crooked Hill Rd, Pearl River, NY 10965 260 E Crooked Hill Rd, Pearl River, NY 10965 262 E Crooked Hill Rd, Pearl River, NY 10965 264 E Crooked Hill Rd, Pearl River, NY 10965 266 E Crooked Hill Rd.Pearl River, NY 10965 352 E Crooked Hill Rd, Pearl River, NY 10965 10965 354 E Crooked Hill Rd, Pearl River, NY 356 E Crooked Hill Rd, Pearl River, NY 10965 358 E Crooked Hill Rd, Pearl River, NY 10965 10965 360 E Crooked Hill Rd, Pearl River, NY 362 E Crooked Hill Rd, Pearl River, NY 10965 364 E Crooked Hill Rd, Pearl River, NY 10965 366 E Crooked Hill Rd, Pearl River, NY 10965 452 E Crooked Hill Rd, Pearl River, NY 10965 454 E Crooked Hill Rd, Pearl River, NY 10965 456 E Crooked Hill Rd, Pearl River, NY 10965 458 E Crooked Hill Rd, Pearl River, NY 10965 2 Woodway Dr, Pearl River, NY 10965 462 E Crooked Hill Rd.Pearl River, NY 10965 464 E Crooked Hill Rd, Pearl River, NY 10965 466 E Crooked Hill Rd, Pearl River, NY 10965 552 E Crooked Hill Rd, Pearl River, NY 10965 554 E Crooked Hill Rd.Pearl River, NY 10965 556 E Crooked Hill Rd, Pearl River, NY 10965 558 E Crooked Hill Rd, Pearl River, NY 10965 560 E Crooked Hill Rd, Pearl River, NY 10965 562 E Crooked Hill Rd, Pearl River, NY 10965 564 E Crooked Hill Rd, Pearl River, NY 10965 566 E Crooked Hill Rd, Pearl River, NY 10965 652 E Crooked Hill Rd.Pearl River, NY 10965 654 E Crooked Hill Rd, Pearl River, NY 10965 656 E Crooked Hill Rd, Pearl River, NY 10965 658 E Crooked Hill Rd.Pearl River, NY 10965 9221 Fairoak Dr, Sherrills Ford, NC 28673 662 E Crooked Hill Rd, Pearl River, NY 10965 664 E Crooked Hill Rd, Pearl River, NY 10965 668 E Crooked Hill Rd, Pearl River, NY 10965 752 E Crooked Hill Rd, Pearl River, NY 10965 754 E Crooked Hill Rd, Pearl River, NY 10965 756 E Crooked Hill Rd, Pearl River, NY 10965 758 E Crooked Hill Rd, Pearl River, NY 10965 760 E Crooked Hill Rd. Pearl River, NY 10965 762 E Crooked Hill Rd, Pearl River, NY 10965 764 E Crooked Hill Rd, Pearl River, NY 10965 766 E Crooked Hill Rd, Pearl River, NY 10965 852 E Crooked Hill Rd, Pearl River, NY 10965 854 E Crooked Hill Rd, Pearl River, NY 10965 856 E Crooked Hill Rd, Pearl River, NY 10965

SWIS	PRINT KEY	NAME	ADDRESS
392489	68,12-3-22,/858	Danny Chin	858 E Crooked Hill Rd, Pearl River, NY 10965
392489	68.12-3-22./860	Mary E Finn	860 E Crooked Hill Rd, Pearl River, NY 10965
192489	68.12-3-22./862	Andrea Fusco	862 E Crooked Hill Rd. Pearl River, NY 10965
192489	68.12-3-22./864	Andrea O'Meara	864 E Crooked Hill Rd, Pearl River, NY 10965
192489	68.12-3-22./866	Dawn Pike	866 E Crooked Hill Rd, Pearl River, NY 10965
92489	68.12-3-23	G & M South Pearl Corp	171 W Park Ave, Pearl River, NY 10965
92489	68.12-3-24	283 NMR LLC	P.O. Box 662, Orangeburg, NY 10962
92489	68.12-3-25	275 N Middletown LLC	, 9 Perlman Dr Ste 215,Spring Valley, NY 10977
92489	68.12-3-26	247-249 N Middletown Rd LLC	169 Route 303, Valley Cottage, NY 10989
92489	68.12-3-27	247-249 N Middletown Rd LLC	169 Route 303, Valley Cottage, NY 10989
92489	68.12-3-28	Kieran Creighton	20 Charles St, Pearl River, NY 10965
92489	68.12-3-29	Kaith Kang	16 Charles St, Pearl River, NY 10965
92489	68.12-3-30	Michael Treacy	12 Charles St, Pearl River, NY 10965
92489	68.12-3-31	John Considine	8 Charles St, Pearl River, NY 10965
92489	68.12-3-32	Christina Hennessy	4 Charles St, Pearl River, NY 10965
92489	68.12-3-33	Lenora Dolan	7 Charles St, Pearl River, NY 10965
92489	68.12-3-34	Basil & Lorriane Siragusa	11 Charles St, Pearl River, NY 10965
32489	68.12-3-35	Juan Peralta	130 E Carroll St, Pearl River, NY 10965
92489	68.12-3-36	Denis M Collins	126 E Carroll St, Pearl River, NY 10965
)2489	68.12-3-37	Kelly Fernandez	118 E Carroll St, Pearl River, NY 10965
12489	68.12-3-51	Sharyn De Gregory	123 E Lewis Av, Pearl River, NY 10965
12489	68.12-3-52	Christopher Nubla	129 E Lewis Ave, Pearl River, NY 10965
12489	68.12-4-9	David Allen	132 E Lewis Ave, Pearl River, NY 10965
2489	68.12-4-10	Andrew Duggan	140 E Lewis Ave, Pearl River, NY 10965
2489	68.12-4-11	Daniel E Rogoski	146 E Lewis Ave, Pearl River, NY 10965
2489	68.12-4-12	Margaret Mulligan	154 E Lewis Av, Pearl River, NY 10965
2489	68.12-4-13	Avenir Syla	162 E Lewis Ave, Pearl River, NY 10965
2489	68.12-4-14	Nicholas Spadaccini	168 E Lewis Av, Pearl River, NY 10965
2489	68.12-4-15	Bruce S Fox	180 E Lewis Ave, Pearl River, NY 10965
2489	69.09-1-1	Michael Wright	P.O. Box 349, Ellenville, NY 12428
2489	69.09-1-38	Neil Greskiewicz	268 N Middletown Rd, Pearl River, NY 10965
2489	69.09-1-39	Messer & Susslin & Others	274 No Middletown Rd, Pearl River, NY 10965
2489	69.09-1-40	Martin Kuhn	56 Rolfe PI, Pearl River, NY 10965
2489	69.09-1-41	Optimal Care of Rockland LLC	103 Highview Rd, Suffern, NY 10901
2489	69.09-1-42	Michael R Strazza	286 No Middletown Rd, Pearl River, NY 10965

#### PAGE # 2



410 Rt. 22 Brewster, NY 10509 914 232 1640 914 232 1802 - Fax

**CHANGE ORDER** 

#### Architect/Owner:

Aric Gorton Superintendent of Parks, Recreation & Town of Orangetown

DATE 5/14/2024

#### PROJECT:

Franklin Street Park Basketball Court 95 South Franklin Street West Nyack, NY

QTY	UNIT	DESCRIPTION	PRICE	AMOUNT
1	LF	Repair approx 30LF of Exisitng Dmaged conrete curb at edge of court adjacent to tennis cout	\$3,500.00	\$3,500
2	LF	Furnish and Install 30 LF of concrete Curb which will replace exisitng eroding railroad ties at entracne of court. Curb to match dimensions of exisitng concrete curb at	\$5,000.00	\$5,000.00
Note: This Chang	e Order become	s part of and in conformance with the existing contract.		

WE AGREE hereby to make the change(s) specified above at this price \$ 8,500.00

> \$ **Previous Contract Amount** 160,000.00

> > 168,500.00

\$ Revised Contract Total

Eric Pugliese, President 5/14/2024 Your Name, Title

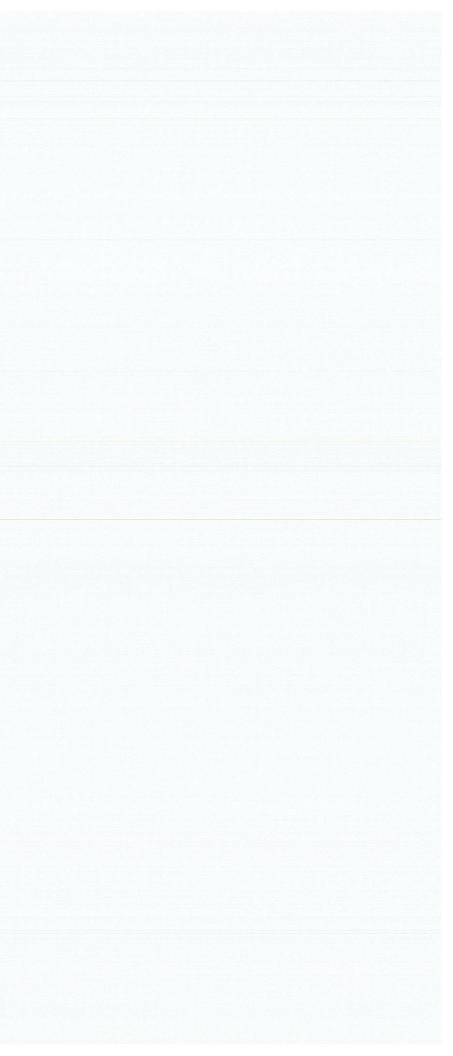
Date

Accepted - The above prices and specifications of this change order are satisfactory and are hereby accepted. All work to be performed under same terms and conditions as specified in original contract unless otherwise stipulated.

Signature

Date of Acceptance

TOWN OF ORANGETOWN SPECIAL USE PERMIT FOR USE OF TOWN PROPERTY/ITEMS PERMIT # 24-50-016	RECEIVED
EVENT NAME: Palisades Memorial Day Ceremony         John M. Perry Post No. 1044 of         John M. Perry Post No. 1044 of         APPLICANT NAME: David B. Mart, Finance Officer         John M. Perry Post No. 1044 of         The American Legion         TOWN         OBOX 311, Sparkill NY 10976         FAX # _None	APR 3 0 2024 N OF ORANGETOWN WAY DEPARTMENT
MAY PHONE #1 845-359-6481 (H) CELL # 845-703 100 MAY PHONE #1 845-359-6481 (H) CELL # 845-703 100 MAY OTHER Memorial Day Ceremony RACE/RUN/WALK OTHER MEMORIAL DAY CEREMONY RACE/RUN/WALK OTHER MEMORIAL DAY CEREMONY	RECEIVED
Sponsored by: Legion 691 Rt 340 (PO Box 311 = mailing address), Sparkill NY 10976 FO to 75 vehicles 1 or 2 fire trucks	MAY 0 8 2024 DWN OF ORANGETOWN IGHWAY DEPARTMENT
Estimated # of persons participating in event Person (s) responsible for restoring property to its original condition: Name-Address-Phone #: Person (s) responsible for restoring property to its original condition: Name-Address-Phone #:	• •
Signature of Applicant:	
Hold Harmins Agree Board requesting aid for event internet in the Letter of Request to Town Board requesting aid for event internet in the Letter of Request to Town Board requesting aid for event internet in the Letter of Request to Town Board requesting aid for event internet inte	
FOR HIGHWAY DEPARTMENT USE ONLY:         Noad Closure Permit: Y / O Received On:         Y         Y         Received On:         Y         Y         Received On:         Y         Y         Y         Y         Y         Y         Y         Y         Y         Y         Y         Y         Y         Y         Y         Y         Y	
NYSDOT Permit: Y/Q2 Received On:	
APPROVED:	~
FOR PARKS Game       FOR PARKS Game         Show Mobile: Y / O - Application Required:	
Police Detail: VN:	p**
APPROVED:Chief of Police ** Please return to the Highway Department to be placed on the Town Board Workshop Workshop Agenda Date: 52224 Approved On: TBR #:	





John M. Perry Post No. 1044 of The American Legion PO Box 311 Sparkill NY 10976



RECEIVED

Highway Department Town of Orangetown 119 Route 303 Orangeburg, NY 10962

APR 3 0 2024

#### TOWN OF ORANGETOWN HIGHWAY DEPARTMENT

April 30, 2024

Subject: Submittal of Memorial Day Road Closure and Special Use Permit Applications

Attachments:

- 1. Orangetown Road Closing Permit Application, for Sparkill Parade (1pg)
- 2. Orangetown Special Use Permit, for Palisades Ceremony (1pg)
- 3. Orangetown Special Use Permit, for Sparkill Parade & Ceremony (1pg)
- 4. Memorial Day Barricade Locations, for Palisades & Sparkill (1pg)
- 5. 2024 Certificate of Insurance, w/ Orangetown as additionally insured (1pg)
- 6. Rockland County Highway Department Road Closure Permit, approved 4/28/24 (5pgs)

#### Sir / Madam:

The John M. Perry Post No. 1044 of The American Legion will once again be holding our annual Memorial Day Ceremonies and Parade. We conduct a Memorial Day Ceremony in Palisades NY that starts at 9am, and a Memorial Day Parade followed by Ceremony in Sparkill that starts at 11:30am. Both of these are being held on Monday, May 27<sup>th</sup>, 2024.

Attached are the permit applications for these two events, along with a certificate of insurance and details regarding the parade route and barricades needed.

Besides approval of the applications, it is requested the Orangetown Town Board authorize assistance from the Highway, Parks and Police Departments to facilitate these two events, including road closures.

Please contact me at 845-709-1631 (cell) if you have any questions or concerns.

Sincerely,

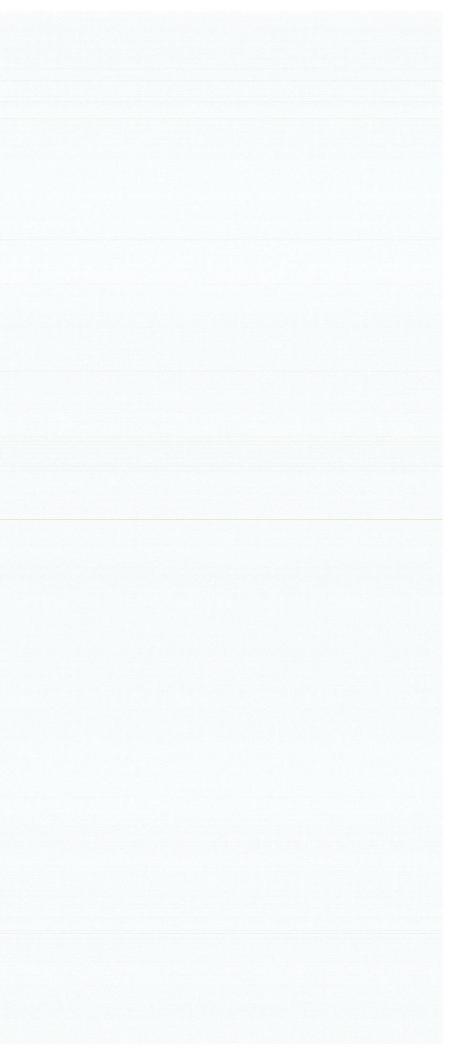
David B. Mart <sup>1</sup> Adjutant and Finance Officer John M. Perry Post 1044 of The American Legion personal cell = 845-709-1631 post email = johnmperry1044@gmail.com



davidmart2017@gmail.com Post: 845-365-4586 Home: 845-359-6481 Cell: 845-709-1631

David Mart Past Post Commander

P.O. Box 311 Sparkill, NY 10976 John M. Perry Post #1044 691 Rt. 340, Sparkill, NY 10976

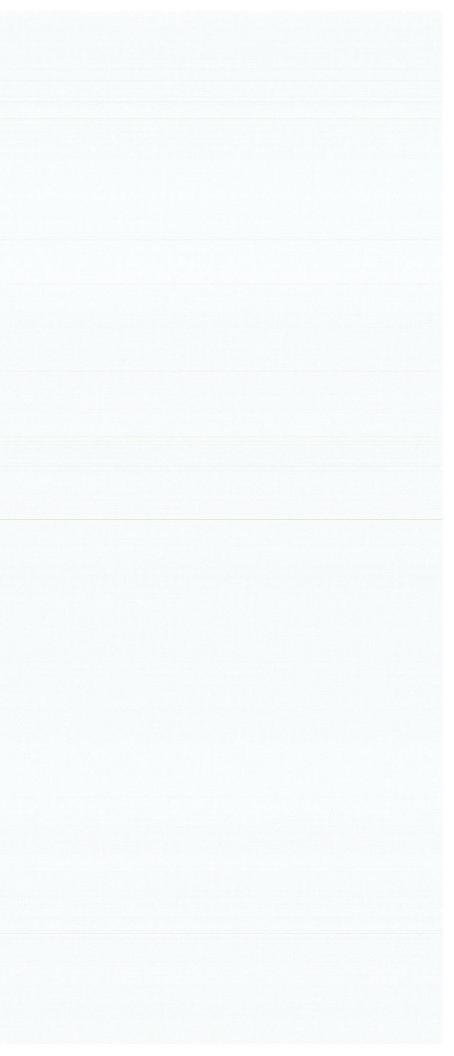


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	h & Associates, Inc.				E-MAIL	o, Ext): (631) 3	takachinsura	nco com	(A/C, No): (	031) 3	00-2739
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ACORD 25 (2016/03)

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#### **DEFENSE, INDEMNIFICATION AND HOLD HARMLESS AGREEMENT**

#### JOHN M. PERRY POST NO. 1044 OF THE AMERICAN LEGION, DEPARTMENT OF NEW

YORK, INC., with an address of 691 NY-340, SPARKILL NY 10976, in consideration and as a condition of a SPECIAL USE permit ("Permit Holder"), hereby agrees, covenants, promises, represents and pledges to defend, indemnify and save the Town of Orangetown ("Town"), Town of Orangetown Highway Department ("Highway") and Town employees harmless from and against any and all liability or responsibility of any type whatsoever, including, but not limited to, any and all actions, causes of action, suits, proceedings, judgments, damages, claims, and demands, in law or in equity, including an action, suit, proceeding or claim initiated by the Permit Holder (hereinafter referred to as "claims") that arise as part of or as a result or consequence of the activities, events or other activities authorized to be conducted by the Permit Holder ; and

the Permit Holder further agrees, covenants, promises, represents and pledges to fully reimburse, recompense, indemnify and/or compensate the Town, Highway and Town employees for all costs, expenses and fees, including reasonable attorney's fees, relating to, arising out of, or occurring in connection with any such claims; and

all of the foregoing as relating to, arising out of, or occurring in connection with the following IDESCRIBE PROJECT OR EVENTI: MAY 27<sup>TH</sup> 2024 MEMORIAL DAY PARADE & CEREMONIES.

Permit Holder agrees to provide certificate(s) of insurance in such amounts as the Town shall deem appropriate, which insurance shall name the Town as an additional insured and which insurance shall cover the requirements to defend, indemnify and hold the Town harmless as set forth herein.

(Entity Name: JOHN M. PERRY POST NO. 1044 OF THE AMERICAN LEGION, DEPT. OF NY, INC.)

By:

DAVID B. MART, FINANCE OFFICER

Sworn to before me this **J** M AL Notary Public TONIE ANN D'ANGELO NOTARY PUBLIC-STATE OF NEW YORK No. 01DA6327996 Qualified in Rockland County My Commission Expires 07-27-2027



# APR 3 0 2024

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TOWN OF ORANGETOWN HIGHWAY DEPARTMENT

## **ROCKLAND COUNTY HIGHWAY DEPARTMENT**

APPLICATION FOR PERMIT TO USE/CLOSE A COUNTY ROAD UNDER SECTION 104 OF THE HIGHWAY LAW

THIS IS A REQUEST FOR USE / 🖄 CLOSE A COUNTY ROAD (check that apply)

Name of Event: Palisades Memorial Day Ceremony

Date (s): Mon 5/27/24 Time (s): 8:30am to 10am No. of Participants: 50 to 100

Type of Event (check all that apply):

🗆 Filming 🗆 Parade or Procession 🛛 Assemblage 🗇 Festival 🗆 Other \_\_\_\_\_

Location	Municipality
(Specify Highways by Street Name and/or Route Number)	(Towns, Villages)
Closter Road (County Rt 4), between Oak Tree Road and Route 9W	Palisades, NY

Applicant Information:

John M. Perry Post No. 1044 of The American Legion

Applicant (individual, organization, group)

PO Box 311

Mailing Address

Sparkill, NY, 10976 City, State, Zip Code

johnmperry1044@gmail.com

Email Address

#### David B. Mart

Adjutant, Finance Officer & Past Post Commander

Authorized Representative (if different from Applicant)

845-359-6481 (home)

Telephone Number (including area code)

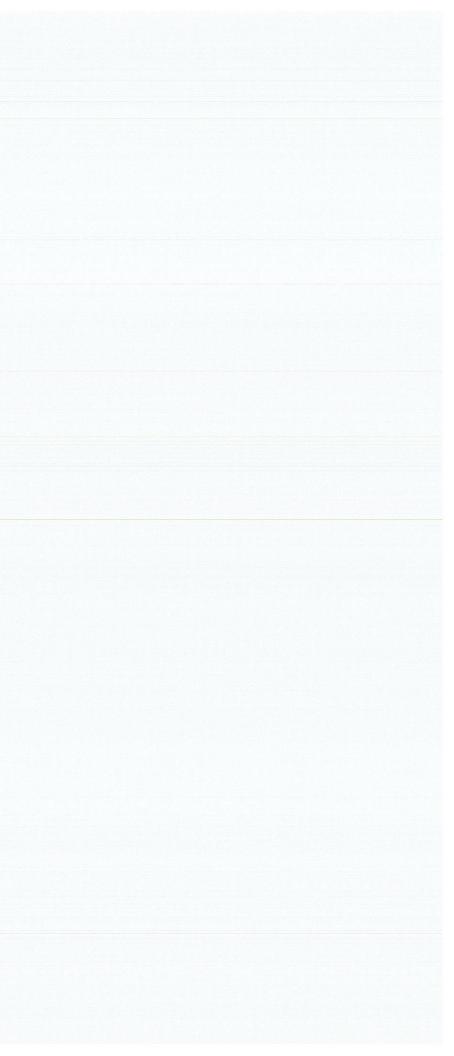
845-709-1631

Cell Phone Number (including area code)

davidmart2017@gmail.com

Email Address (if different from Applicant)

Page 1 of 3



#### RECEIVED

#### **ROCKLAND COUNTY HIGHWAY DEPARTMENT**

# APR 3 0 2024

TOWN OF ORANGETOWN APPLICATION FOR PERMIT TO USE/CLOSE A COUNTY ROAD HIGHWAY DEPARTMENT UNDER SECTION 104 OF THE HIGHWAY LAW

The following supporting information shall be submitted at the time of application:

- 1. Event Map, Event Brochure, or/and Event Application Form (Whichever available/applicable)
- 2. Operation and Safety Plan (the applicant assumes all responsibility for the set-up, conduct and break-down of the event)
  - Required Traffic Control Devices (e.g. temporary signs, cones, barricades, pavement markings, etc.) and Event Personnel (e.g. police officers, volunteers) for Event Temporary Signs, Cones, Pavement Markings: none required

Barricades: 1 at Closter Road / Oak Tree Rd. and 2 at Closter Road / Rt 9W

Event Personnel: Auxiliary Police Officers are provided by Town of Orangetown Orangetown

ACCEPTED

Detours (provide map of detour, show detour sign/police locations, etc.)

See attached Event Map. No detour signs required due to short duration of event.

 Pre-Event Public Notification (describe type of notification (e.g. mailings, brochure, press release) being provided to the public)
 None Required - short duration event that events a second provided to the public.

None Required - short duration event that occurs every year, known to local residents.

This portion of Closter Road does not experience much traffic.

 Coordination (describe coordination with local police/municipalities/emergency services/other entities)

Permit application is submitted & coordinated with Town of Orangetown.

Road closure / event details are provided to Orangetown Police Department.

Local fire department personnel are aware of and participate in the event.

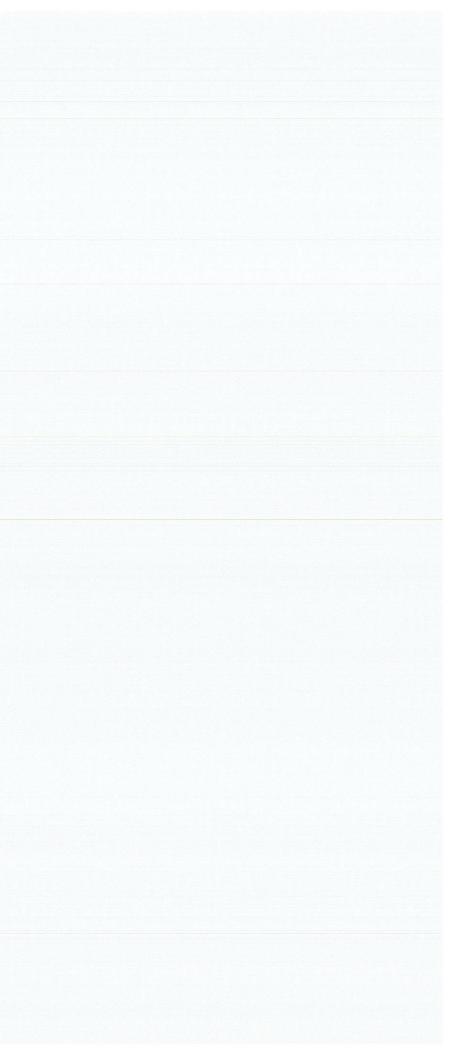
• Emergency Services (describe how emergency services will be provided during the event for event participants and spectators)

Event gathering is very small, no unique emergency services need to be arranged.

Fire Department personnel are p/o event if needed for assistance.

Orangetown Auxiliary Police can support if an emergency arises.

- Spectator Control (indicate any special measures are being taken to control spectators) No spectator control measures are required, only ~50 spectators plus Legion & FD participants.
- Event Support Vehicles (describe any vehicles used in the event)
   Typically two fire trucks participate, and block off access to Closter Road from Rt. 9W.



#### RECEIVED

### **ROCKLAND COUNTY HIGHWAY DEPARTMENT**

'APR 3 0 2024

TOWN OF ORANGETOWN APPLICATION FOR PERMIT TO USE/CLOSE A COUNTY ROAD HIGHWAY DEPARTMENT UNDER SECTION 104 OF THE HIGHWAY LAW

- 3. Insurance Certificates (must be in Applicant's name)
- 4. Application Fee (Please make check payable to Rockland County Commissioner of Finance)
  - Full Day \$500.00
  - Half Day \$250.00

No. of Days \_\_\_\_\_

Total Amount \$ N/A

The following information shall be submitted prior to the event date (except filming permit application):

1. Municipal Approvals (The applicant shall provide proof of approval from each municipality – Town, Village – through which the event passes indicating that the Municipality has no objection to the event taking place. This proof of approvals may be in the form of a letter, permit, resolution, email,

or other.) Letter request plus Road Closure permit and Special Use permit (x2) applications will be submitted to the Town of Orangetown Highway Department.

Acknowledgement: On behalf of the Applicant, I hereby request a road use/close permit, and do acknowledge and agree to the responsibilities of applicant and obligations set forth in this permit and warrant compliance therewith. The attached documents are also made a part hereof and attached hereto.

David B Mar

Applicant's Representative's Signature

April 24, 2024 Date

Application Received By:

RCHD Representative's Signature

RCHD Superintendent of Highways

Application Approved By:

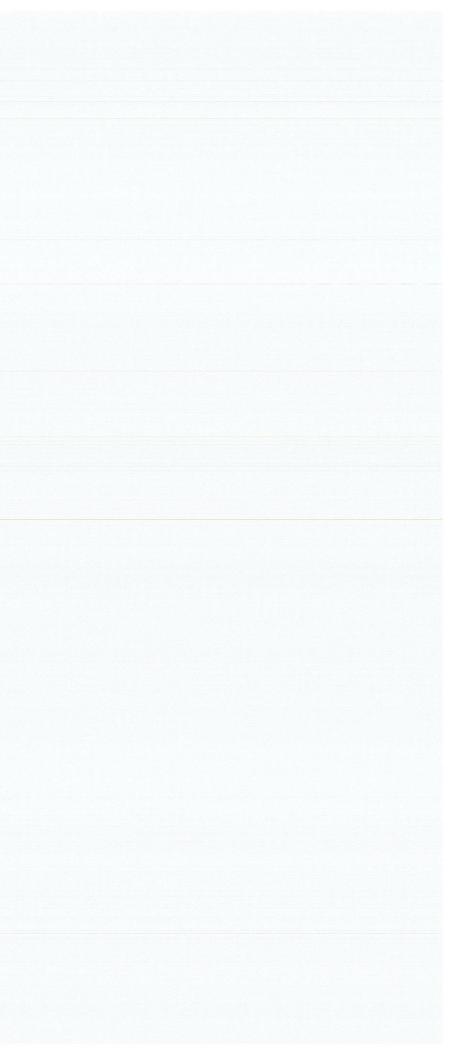
✓ APPROVED

<u>4/24/2024</u> Date

Date

The Rockland County Highway Department reserves the right to have the applicant immediately removed from the roadway and traffic restored at any time deemed necessary by the Rockland County Highway Department and/or the local law enforcement agency at such time the said permit will become null and void. Failure to abide may result in trespassing and civil penalties.

Page 3 of 3



#### RECEIVED

## Palisades Memorial Day Event Map

APR 3 0 2024

#### TOWN OF ORANGETOWN HIGHWAY DEPARTMENT

#### **Barricade Locations for Palisades:**

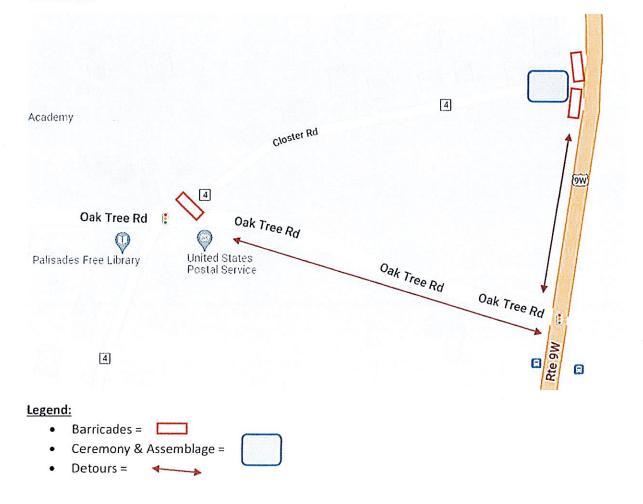
- 1 @ Closter Road & Oak Tree Road
- 2 @ Closter Road & Route 9W

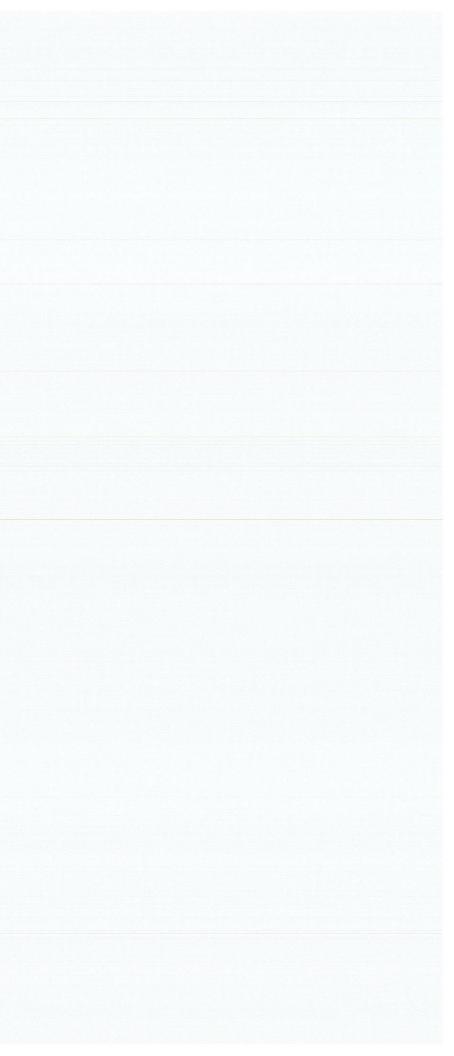
Total = 3 (for Palisades)

#### **Ceremony Location:**

- On Closter Road adjacent to intersection with Route 9W
- Fire Department personnel and trucks line up on Closter Road adjacent to Rt 9w barricades.
- Speaker lectern is set up immediately west of War Memorial triangle and participants gather nearby on Closter Rd.

Event Map:





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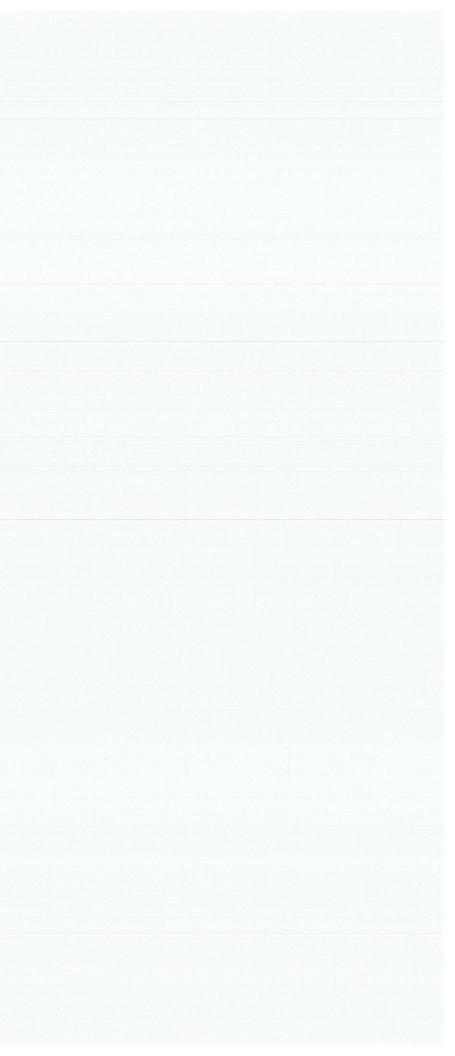
# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HO CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY TH BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), A REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.         IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy, certain policies may require an endorsement. A s this certificate does not confer rights to the terms and conditions of the policy, certain policies may require an endorsement. A s this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).         PRODUCER       CONTACT Takach & Associates, Inc.         Takach & Associates, Inc.       FROME.Ext).(631) 366-2774         112 Terry Road       MSURER A: NSURED         JOHN M. PERRY POST 1044 DBA THE AMERICAN LEGION POST #1044 & AUXILIARY OF POST 1044       MSURER A: NSURER A: NSURER E: US Liability Insurance Company NSURER B: NSURER A: NSURER F:         COVERAGES       CERTIFICATE NUMBER: THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED ABOVE FOR THE POI CONTACT MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HERKIN IS SUBJECT TO ALL EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.         INSURER C: NISS       COMMERCIAL GENERAL LIABILITY       EACH OCCUR       COMMERCIAL GENERAL LIABILITY         COMMERCIAL GENERAL LIABILITY       PO	IE POLICIE UTHORIZE be endorsed statement o 366-2739 NAIC # 25895
IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or the SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statistic certificate does not confer rights to the certificate holder in lieu of such endorsement(s).         PRODUCER       CONTACT       Takach & Associates, Inc.         Takach & Associates, Inc.       FAX. (AC. No. Ext). (631) 366-2774       FAX. (AC. No): (631)         112 Terry Road       Section Ext).       FAX. (AC. No. Ext). (631) 366-2774       FAX. (AC. No): (631)         Smithtown NY 11787       INSURER S: INSURER B :       INSURER B :       INSURER B :         JOHN M. PERRY POST 1044 DBA THE AMERICAN LEGION POST #1044 & AUXILIARY OF POST 1044       INSURER B :       INSURER C :       INSURER C :         SPARKILL NY 10976       INSURER D :       INSURER C :       INSURER D :       INSURER C :         THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED ABOVE FOR THE POLICIES D. NOTIVITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DO CUMENT WITH RESPECT TO CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL EXCLUSIONS AND CONDITIONS OF SUCH POLICIES, LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.       IMITS         NSR       TYPE OF INSURANCE       INSURER POLICY FEF       POLICY EXP       IMITS         NSR       TYPE OF INSURANCE       INSU	366-2739 366-2739 NAIC # 25895 LICY PERIOD
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ISCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required) pocial Event Date 05/27/2024 to 05/29/2024. Down of Orangetown is included as additional insured to the fullest extent permitted by law when required by a written executed con ubject to the policy terms and conditions.	ntract
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ERTIFICATE HOLDER TOWN OF ORANGETOWN CANCELLATION HIGHWAY DEPARTMENT Town of Orangetown Comparison Date Thereof, Notice Will be Delivered by the above described policies be cancelly The expiration date Thereof, Notice Will be delivered by the above described policies be cancelly The expiration date Thereof, Notice Will be delivered by the above described policies be cancelly The expiration date Thereof, Notice Will be delivered by the above described policies be cancelly The expiration date Thereof, Notice Will be delivered by the above described policies be cancelly The expiration date Thereof, Notice Will be delivered by the above described policies be cancelly The expiration date Thereof, Notice Will be delivered by the above described policies be cancelly The expiration date Thereof, Notice Will be delivered by the above described policies be cancelly The expiration date Thereof, Notice Will be delivered by the above described policies be cancelly The expiration date Thereof, Notice Will be delivered by the above described policies by the above described policies be cancelly the expiration date Thereof, Notice Will be delivered by the above described policies by the above described policies be cancelly the expiration date Thereof, Notice Will be delivered by the above described policies by the above described policie	

ACORD 25 (2016/03)

The ACORD name and logo are registered marks of ACORD



## Memorial Day – Palisades Ceremony and Sparkill Parade / Ceremony

#### **Barricade Locations for Palisades:**

• 1 @ Closter Road & Oak Tree Road

• 2 @ Closter Road & Route 9W

Total = 3 (for Palisades)

#### **Barricade Locations for Sparkill:**

- 1 @ Valentine Avenue (Rt. 340) & Ferdon Avenue
- 1 @ Valentine Avenue (Rt. 340) & William Street
- 1 @ Valentine Avenue & Union Street
- 1 @ Union Street & New Street
- 2 @ Main Street & Union Street
- 2 @ Main Street & Sparkill Avenue

Total = 8 (for Sparkill)

Grand Total = 11

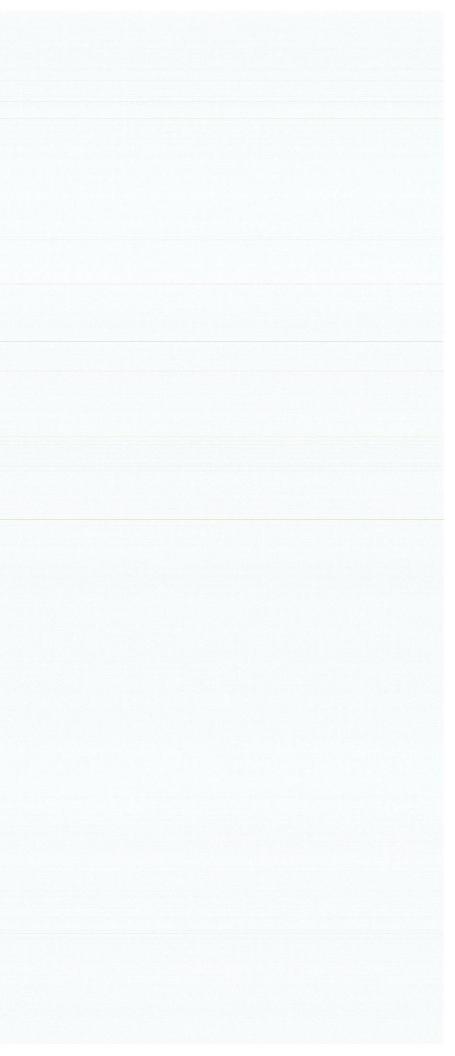
## Sparkill Parade Route:

- 11:15am Parade forms up at John Paulding Engine Co., 520 Route 340, Sparkill
- 11:30am Parade steps off from firehouse, proceeds north on Route 340.
- Parade proceeds north, passes Highland Ave, then passes Ferdon Ave/William St..
- Turns left onto Union Street, passes New St., then passes Paulding Place.
- Turns left onto Main St., terminates into Depot Square / Sparkill Memorial Park.
- 12 noon (NLT) parade is over.

## RECEIVED

APR 3 0 2024

TOWN OF ORANGETOWN HIGHWAY DEPARTMENT



#### TOWN OF ORANGETOWN

SPECIAL USE PERMIT FOR USE OF TOWN PROPERTY/ITEMS

PERMIT # 24-SID-015 RECEIVED
EVENT NAME: Sparkill Memorial Day Parade & Ceremony John M. Perry Post No. 1044 of The American Legion ADDRESS: PO Box 311, Sparkill NY 10976 REC. Date 250, 6101 (U) PO Box 311, Sparkill NY 10976 REC. Date 250, 6101 (U) PO Box 311, Sparkill NY 10976 PO Box 311, Sparkill
ADDRESS: PO Box 311, Sparkill NY 10976 PHONE #: 845-359-6481 (H) CELL # 845-709-1631 FAX # None
3 PHONE # 845-359-6481 (H) CELL # 845-709-1631 FAX # NONE
MAN OTHER AND THE PARADE XX RACE/RUN/WALK OTHER OTHER
MAX PHONE #: 845-359-6481 (H) CELL # 845-709-1631 FAX # NONE MAX PHONE #: 845-359-6481 (H) CELL # 845-709-1631 FAX # NONE Orangetown Police CHECK ONE: PARADE XX RACE/RUN/WALK OTHER Orangetown Police CHECK ONE: PARADE XX RACE/RUN/WALK OTHER The above event will be held on MON May 27th from 11:30 to 12:30 RAIN DATE: NONE Derede Start: 520 Dt 240 Sparkill Darada End / Corremonus Denot Square Sparkill
John M. Perry Post No. 1044 of The American
Sponsored by: Legion       Telephone #: 845-365-4586         Address:       691 Rt 340 (PO Box 311 = mailing address), Sparkill NY 10976
Address:       691 Rt 340 (PO Box 311 = mailing address), Sparkill NY 10976       Highway DEPARTMENT         Estimated # of persons participating in event:       150 to 200       vehicles       1 or 2 fire trucks
Person (s) responsible for restoring property to its original condition: Name-Address-Phone #:
David B. Mart, 81 McKenna St., Blauvelt NY 10913, 845-709-1631 (C)
Signature of Applicant: Martin
GENERAL INFORMATION REQUIRED: (HIGHWAY/PARKS/POLICE) Hold Harmless Agreement Rod on: 5/1/29 Letter of Request to Town Board requesting aid for event - Received On: 4/36/24
Certificate of Insurance – Received On: 430 29
FOR HIGHWAY DEPARTMENT USE ONLY:
Road Closure Permit: ON - Received On:43024
Rockland County Highway Dept. Permit: Y 🔊 Received On:
NYSDOT Permit: Y / Received On:
Route/Map/Parking Plan: () N - Received On: 473024
RFS #:
APPROVED: JUNI 51.27 DATE: Superintendent of Highways MD B/1/24
FOR PARKS & RECREATION DEPARTMENT USE ONLY:
Show Mobile: Y / Application Required:Fee Paid – Amount/Check #
Port-o-Sans: Y/0Other:
APPROVED: DATE: DATE: DATE:
FOR POLICE DEPARTMENT USE ONLY:
Police Detail //N:Items:Items:
APPROVED:
** Please return to the Highway Department to be placed on the Town Board Workshop **
Workshop Agenda Date: <u>52124</u> Approved On: TBR #:

## JAMES J. DEAN

Superintendent of Highways Roadmaster IV

Orangetown Representative: R.C. Soil and Water Conservation Dist.-Chairman Stormwater Consortium of Rockland County Rockland County Water Quality Committee

RECEIVED

APR 3 0 2024

## TOWN OF ORANGETOWN HIGHWAY DEPARTMENT

## ROAD CLOSING PERMIT APPLICATION Section 139 Highway Law

TOWN OF ORANGETOWN HIGHWAY DEPARTMENT

NAME	David B. Mart, Adjutant & Finance Officer	_DATE	4/30/2024
------	---	-------	-----------

COMPANY John M. Perry Post No. 1044 of The American Legion

ADDRESS P.O. Box 311, Sparkill NY 10913

TELEPHONE personal cell = 845-709-1631, Legion Post = 845-365-4586

### (INCLUDE 24 HOUR EMERGENCY NUMBERS)

ABOVE MENTIONED PARTY REQUESTS PERMISSION TO CLOSE:

Start: John Paulding Firehouse, 520 Route 340, Sparkill. End: Depot Square, Sparkill (Address number and name of road)

Parade Route: Route 340 north, left onto Union St., left on Main St., end in Depot Square. (Intersecting streets and/or description of exact location)

REASON FOR CLOSING Memorial Day Parade

DATE OF CLOSING <u>Monday May 27th, 2024</u> TIME ROAD WILL BE CLOSED <u>11:30am to 12noon, roads closed as parade progresses</u> WILL ROAD BE OPEN TO LOCAL TRAFFIC? <u>Not during parade</u> WILL ROAD BE OPEN TO EMERGENCY VEHICLES? Yes, if necessary

PLEASE PROVIDE A DETAILED MAP AND DESCRIPTION OF DETOUR IF TRAVEL WILL BE RESTRICTED.

PRELIMINARY APPROVAL

JAMES J. DEAN

DATE 5.2.24

# SUPERINTENDENT OF HIGHWAYS

This permit application will be forwarded to the Rockland County Superintendent of Highways. County of Rockland. 23 New Hempstead Road. New City. NY, 10956. You will receive written confirmation from that office.

8-13-02bjd

HAMLETS: PEARL RIVER + BLAUVELT + ORANGEBURG + TAPPAN + SPARKILL + PALISADES + UPPER GRANDVIEW + SPARKILL + SPARKILL



CLEAN STREETS = CLEAN STREAMS

# HIGHWAY DEPARTMENT TOWN OF ORANGETOWN

119 Route 303 • Orangeburg, NY 10962 (845) 359-6500 • Fax (845) 359-6062 E-Mail - highwaydept@orangetown.com

Affiliations: RECEIVED American Public Works Association NY Metro Chapter NYS Association of Town Superintendents of Highways Hwy. Superintendents' Association of Rockland County



**Highway Department** 

Town of Orangetown

Orangeburg, NY 10962

119 Route 303

John M. Perry Post No. 1044 of The American Legion PO Box 311 Sparkill NY 10976



RECEIVED

APR 3 0 2024

TOWN OF ORANGETOWN HIGHWAY DEPARTMENT

April 30, 2024

Subject: Submittal of Memorial Day Road Closure and Special Use Permit Applications

Attachments:

- 1. Orangetown Road Closing Permit Application, for Sparkill Parade (1pg)
- 2. Orangetown Special Use Permit, for Palisades Ceremony (1pg)
- 3. Orangetown Special Use Permit, for Sparkill Parade & Ceremony (1pg)
- 4. Memorial Day Barricade Locations, for Palisades & Sparkill (1pg)
- 5. 2024 Certificate of Insurance, w/ Orangetown as additionally insured (1pg)
- 6. Rockland County Highway Department Road Closure Permit, approved 4/28/24 (5pgs)

Sir / Madam:

The John M. Perry Post No. 1044 of The American Legion will once again be holding our annual Memorial Day Ceremonies and Parade. We conduct a Memorial Day Ceremony in Palisades NY that starts at 9am, and a Memorial Day Parade followed by Ceremony in Sparkill that starts at 11:30am. Both of these are being held on Monday, May 27<sup>th</sup>, 2024.

Attached are the permit applications for these two events, along with a certificate of insurance and details regarding the parade route and barricades needed.

Besides approval of the applications, it is requested the Orangetown Town Board authorize assistance from the Highway, Parks and Police Departments to facilitate these two events, including road closures.

Please contact me at 845-709-1631 (cell) if you have any questions or concerns.

Sincerely,

David B. Mart <sup>4</sup> Adjutant and Finance Officer John M. Perry Post 1044 of The American Legion personal cell = 845-709-1631 post email = johnmperry1044@gmail.com



davidmart2017@gmail.com Post: 845-365-4586 Home: 845-359-6481 Cell: 845-709-1631

David Mart Past Post Commander

P.O. Box 311 Sparkill, NY 10976 John M. Perry Post #1044 691 Rt. 340, Sparkill, NY 10976

AC		ER	TIF	ICATE OF LIA	BILI	TY INS	URAN	CE		(MM/DD/YYYY)
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	ach & Associates, Inc.				A/C, N	<sub>o, Ext):</sub> (631) 3			: (631) 3	866-2739
	Terry Road				E-MAIL ADDRE	<sub>ss:</sub> csr4@	takachinsur	ance.com		
Smi	thtown NY 11787				- 14 - C	IN	SURER(S) AFFO	RDING COVERAGE		NAIC #
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	OWNED SCHEDULED									
	AUTOS ONLY AUTOS HIRED NON-OWNED							BODILY INJURY (Per accident) PROPERTY DAMAGE	\$	
	AUTOS ONLY AUTOS ONLY							(Per accident)	\$	
								EACH OCCURRENCE	\$	
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	DED RETENTION \$							PER OTH-	3	
	AND EMPLOYERS' LIABILITY							E.L. EACH ACCIDENT	\$	·····
	OFFICER/MEMBER EXCLUDED?	N/A						E.L. DISEASE - EA EMPLOYEE		
	(Mandatory in NH) If yes, describe under							E.L. DISEASE - POLICY LIMIT	1000	
E	SPECIAL EVENTS LIABILITY	X		SE 1108943		05/27/2024	05/29/2024	Limit: \$1,000,000		r:\$2,000,000
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DESC	RIPTION OF OPERATIONS / LOCATIONS / VEHIC	LES	ACOR	D 101, Additional Remarks Sched	lule, may	be attached if n	ore space is req	uired)		
Sne	cial Event Date 05/27/2024 to 05/29/	2024.						IAPR 3 (		
	n of Orangetown is included as add			sured to the fullest exter	nt perm	nitted by law	when reau			tract
	ject to the policy terms and condition									
								TOWN OF ORA	NERI	14/34×
								HIGHWAY DEP	ANTRAD	8
CEF	TIFICATE HOLDER				CANC	ELLATION	· · · · · · · · · · · · · · · · · · ·			
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	Town of Orangetown				1.			ESCRIBED POLICIES BE		
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					10,000,000					
	Orangetown, NY 10962				AUTHOR	RIZED REPRESE	NTATIVE	Send Taked		<sr></sr>
	-				8		-	Jano lavor		
	1									
					1	© 1	988-2015 AC	ORD CORPORATION.	All righ	ts reserved.

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## Memorial Day - Palisades Ceremony and Sparkill Parade / Ceremony

#### **Barricade Locations for Palisades:**

- 1 @ Closter Road & Oak Tree Road
- 2 @ Closter Road & Route 9W

Total = 3 (for Palisades)

PECEIVED

APR 3 0 2024

TOWN OF ORANGETOWN HIGHWAY DEPARTMENT

#### **Barricade Locations for Sparkill:**

- 1 @ Valentine Avenue (Rt. 340) & Ferdon Avenue
- 1 @ Valentine Avenue (Rt. 340) & William Street
- 1 @ Valentine Avenue & Union Street
- 1 @ Union Street & New Street
- 2 @ Main Street & Union Street
- 2 @ Main Street & Sparkill Avenue

Total = 8 (for Sparkill)

Grand Total = 11

#### Sparkill Parade Route:

- 11:15am Parade forms up at John Paulding Engine Co., 520 Route 340, Sparkill
- 11:30am Parade steps off from firehouse, proceeds north on Route 340.
- Parade proceeds north, passes Highland Ave, then passes Ferdon Ave/William St..
- Turns left onto Union Street, passes New St., then passes Paulding Place.
- Turns left onto Main St., terminates into Depot Square / Sparkill Memorial Park.
- 12 noon (NLT) parade is over.

#### **DEFENSE, INDEMNIFICATION AND HOLD HARMLESS AGREEMENT**

#### JOHN M. PERRY POST NO. 1044 OF THE AMERICAN LEGION, DEPARTMENT OF NEW

YORK, INC., with an address of 691 NY-340, SPARKILL NY 10976, in consideration and as a condition of a SPECIAL USE permit ("Permit Holder"), hereby agrees, covenants, promises, represents and pledges to defend, indemnify and save the Town of Orangetown ("Town"), Town of Orangetown Highway Department ("Highway") and Town employees harmless from and against any and all liability or responsibility of any type whatsoever, including, but not limited to, any and all actions, causes of action, suits, proceedings, judgments, damages, claims, and demands, in law or in equity, including an action, suit, proceeding or claim initiated by the Permit Holder (hereinafter referred to as "claims") that arise as part of or as a result or consequence of the activities, events or other activities authorized to be conducted by the Permit Holder ; and

the Permit Holder further agrees, covenants, promises, represents and pledges to fully reimburse, recompense, indemnify and/or compensate the Town, Highway and Town employees for all costs, expenses and fees, including reasonable attorney's fees, relating to, arising out of, or occurring in connection with any such claims; and

all of the foregoing as relating to, arising out of, or occurring in connection with the following [DESCRIBE PROJECT OR EVENT]: MAY 27<sup>TH</sup> 2024 MEMORIAL DAY PARADE & CEREMONIES.

Permit Holder agrees to provide certificate(s) of insurance in such amounts as the Town shall deem appropriate, which insurance shall name the Town as an additional insured and which insurance shall cover the requirements to defend, indemnify and hold the Town harmless as set forth herein.

(Entity Name: JOHN M. PERRY POST NO. 1044 OF THE AMERICAN LEGION, DEPT. OF NY, INC.)

By:

DAVID B. MART. FINANCE OFFICER

Sworn to before me this **1**<sup>5T</sup> day of m 5 20~ Notary Pu ANN D'ANGELO NOTARY PUBLIC-STATE OF NEW YORK No. 01DA6327996 Qualified in Rockland County

My Commission Expires 07-27-2027

	APR TOWN C	6 9 2024 F ORANGI AN DEPAR	APPLICANT NAME: JOHN J. MASTANDREA
RECEIVED	MAY 14 2024	TOWN OF ORANGETOWN HIGHWAY DEPARTMENT	ADDRESS: DB CARA DETUR, NANUEL, NY 10954 PHONE #: CELL # 845-821.42D2 FAX # CHECK ONE: PARADE RACE/RUN/WALK OTHER UNA Test FILE The above event will be held on MHY 30,2004 from 60.00 to 2400 RAIN DATE: A bus Location of event: INIKE PARE, NEKE LAND. OP ANGEBURG, NY Sponsored by: VUA 3.33 Telephone #: 845-821.4202 Address: PO-BOX 243 NEW CELL, NY 10955 Estimated # of persons participating in event: 125 vehicles 25.30
			Person (s) responsible for restoring property to its original condition: Name-Address-Phone #: JEHNJMASTANELLA 28 CARA DE NANGET-NY 845821-4202 Signature of Applicant Hubble Date: 5/9/2024 GENERAL INFORMATION REQUIRED: (HIGHWAY/PARKS/POLICE) Hold Harmuss Agreement: 5/15/24 Letter of Request to Town Board requesting aid for event - Received On: 4/9/24 Certificate of Insurance - Received On: 5/6/24
			FOR HIGHWAY DEPARTMENT USE ONLY:         Road Closure Permit: Y         Received On: X         Rockland County Highway Dept. Permit: Y         NYSDOT Permit: Y         NYSDOT Permit: Y         Received On: X         Route/Map/Parking Plan: Y         NY Received On: X         Received On: X         Reseived On: X         Route/Map/Parking Plan: Y         SARRICADES Y         NY CONES: Y         N TRASH BARRELS: Y         N OTHER: 500 qallon tank         AppRoved: Superintendent of Highways         NO 5         Fee Paid – Amount/Check #         Other:
			APPROVED:



# Vietnam Veterans of America

Chapter 333 P.O. Box 243 New City, New York 10956

RECEIVED



# APR 0 9 2024

TOWN OF ORANGETOWN HIGHWAY DEPARTMENT

April 26<sup>th</sup>, 2024

Town of Orangetown

c/o Highway Department

am John J. Mastandrea and I am one of the representatives of the Clausland Mountain Watchfire. I hereby request the use of a minimum capacity five-hundred-gallon tank. The tank should include a pump, hose and nozzle as per the requirements of the Town of Orangetown, Bureau of Fire Prevention. The tank will be used during the burning of the Watchfire which will commence at 2330 hours on May 29<sup>th</sup>, 2024 until approximately 0200 hours on May 31<sup>st</sup>, 2024.

Thanking you in advance for your consideration, I remain;

John J. Mastandrea

asto Cell: 1-845-821-4202

Clausland Mountain Watchfire Vietnam Veterans of America Chapter 333

A	Ć	ORD	С	ER	TIF	FICATE OF LIA	BILI	TY INSU	JRANC	E		(MM/DD/YYYY) 2/28/2024
C	ERT	IFICATE DOES NO	OT AFFIRMATIVE	ELY O	R NE	NFORMATION ONLY AND GATIVELY AMEND, EXTE ES NOT CONSTITUTE A C RTIFICATE HOLDER.	ND OR	ALTER THE (	COVERAGE	AFFORDED BY THE PO	LICIES	6
H	SUE	BROGATION IS W	AIVED, subject to	the the	term	ONAL INSURED, the polic s and conditions of the po icate holder in lieu of suc	olicy, ce	rtain policies				
PRO	DUCE	R					CONTA NAME:	CT Ellen Gug	gemos or Pan	ig Yang		
Bro	wn &	Brown Insurance S	ervices, Inc.				PHONE (A/C, No	(612) 3	33-3323	FAX (A/C, No	):	
901	Mar	quette Ave				NV 0 0 0001	E-MAIL ADDRE	Eller Our	gemos@bbro			
Sui	te 18	00			M	AY 06 2024			SURER(S) AFFOI	RDING COVERAGE		NAIC #
Min	neap	olis				MN 55402	INSURE	Dhiledala		Insurance Company		18058
NSI	IRED			TOW	VN (	OF OBANGETOWN	INSURE	RB: Tokio Ma	rine Holdings,	Inc.		58633
		Vietnam Vet	erans of America	HIG	HW	AY DEPARTMENT	INSURE	RC:				
		Chapters an	d State Councils			South Part Part Parties 107	INSURE	Security States				
		8719 Colesv	ille Rd., Suite 100				INSURE					
		Silver Spring	1			MD 20910	INSURE					
со	VER	AGES	CER	TIFIC	ATE	NUMBER: 24-25				<b>REVISION NUMBER:</b>		
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Α						PHPK2661220		03/01/2024	03/01/2025	PERSONAL & ADV INJURY	-	00,000
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	If yes	ndatory in NH) s, describe under								E.L. DISEASE - EA EMPLOYEE		
	DES	CRIPTION OF OPERATI	ONS below							E.L. DISEASE - POLICY LIMIT	\$	
						101, Additional Remarks Schedule, liability policy where required				cy terms and condiitons.		
CE	RTIF	ICATE HOLDER					CANC	ELLATION				
		Town of Oral	ngetown				SHO THE	ULD ANY OF T	ATE THEREOF	SCRIBED POLICIES BE CA F, NOTICE WILL BE DELIVE Y PROVISIONS.		D BEFORE
			s and Recreation									
		81 Hunt Roa					AUTHOR	RIZED REPRESEN	ITATIVE			
		Orangetown				NY 10962			an			
									1			
AC	ORD	25 (2016/03)			The	ACORD name and logo a	re regis			ACORD CORPORATION	I. All rig	hts reserved

AGENCY CUSTOMER ID: \_\_\_\_00480352

LOC #:



## ADDITIONAL REMARKS SCHEDULE

AGENCY		NAMED INSURED
Brown & Brown Insurance Services, Inc.		Vietnam Veterans of America
POLICY NUMBER		
CARRIER	NAIC CODE	
		EFFECTIVE DATE:
ADDITIONAL REMARKS		
THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORI		
FORM NUMBER: 25 FORM TITLE: Certificate of Liability	y Insurance: No	tes
General Liability Coverage Part: Special Raising Events Endorsement - PI-SE-001 (07/18)		
This insurance applies to bodily injury, property damage, and personal and exceptions: Parades sponsored by the Insured Shooting activities Fireworks Carnivals and fairs with mechanical rides sponsored by the Insured Hip-Hop or Rap concerts Events including contact sports Dedeescences of the the key of	d advertising inj	ury arising out of all of your special events with the following
Rodeos sponsored by the Insured Political Rallies Any event with greater than 2,500 people at any one time (including othe Any event with liquor provided by the Insured if a license is required for s	erwise acceptab	le events)
** If Special Event falls under the exclusion provisions outlined above, it m		itten and specifically scheduled on the policy.,
Fund Raising Events Endorsement PI-MANU-1 (09/j06)		
This insurance applies to bodily injury, property damage, and personal and	d advertising inj	ury arising out of all of your find raising events including:
Parades sponsored by the insured is amended to read:		
Coordinator (of a Parade) sponsored by the Insured		
		,

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Page of

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#### HOLD HARMLESS AGREEMENT BETWEEN THE VIETNAM VETERANS OF AMERICA, CHAPTER #333, INC. AND THE TOWN OF ORANGETOWN

AGREEMENT made this 8<sup>th</sup> day of MAY, 2024, by and between the VIETNAM VETERANS OF AMERICA, CHAPTER #333, INC., organized and existing under the laws of the State of New York, with offices at 17 SANDSTONE TRAIL, NEW CITY, NEW YORK 10956 (hereinafter referred to as "VVA #333"), and the TOWN OF ORANGETOWN, a municipal corporation, having its offices at 26 Orangeburg Road, Orangeburg New York (hereinafter referred to as "TOWN");

WHEREAS, in furtherance of its mission and goals, VVA #333 wishes to hold and/or sponsor a Watchfire display, honoring and commemorating service members who are in service abroad and the troops who did not return from battle, to be burned at the property of the TOWN located at NIKE PARK, Nike Lane, Orangeburg, New York (at the old Radar Area) on Wednesday, May 29, 2024 at approximately 11:30 p.m. through Friday, May 31, 2024 until the fire is put out; and

WHEREAS, in accordance with the provisions of the Town Code, and related regulations, VVA #333 has made application for an Outdoor Burning Permit, permitting a Watchfire (open burn) display; and

WHEREAS, as a condition for an Outdoor Burning Permit of this type, the applicant VVA #333 agrees to all conditions of the Outdoor Burning Permit issued by the Bureau of Fire Prevention; and understands that the Town of Orangetown Code Enforcement Official or Orangeburg Volunteer Fire Department or their representative may extinguish or cause to be extinguished any open fire for which a burn permit has been issued if, in their professional opinion, such fire is in violation of the conditions of the Permit, is creating a public nuisance, is endangering or is likely to endanger any person's health or property or if the burning is being conducted in an unsafe manner; and

WHEREAS, as a condition for an Outdoor Burning Permit, the applicant VVA #333 has agreed to make notification to ROCKLAND COUNTY FIRE CONTROL (44 Control) before starting and upon completion by calling <u>845-364-88888</u>.

WHEREAS, as a condition for an Outdoor Burning Permit of this type, the applicant VVA #333 is required by the TOWN to meet certain minimum insurance and indemnification requirements naming the TOWN, as the permitting agency, as an additional insured thereon,

Page 1 of 3

#### NOW, THEREFORE, IT IS AGREED AS FOLLOWS:

1. Subject to VVA #333's compliance with all other requirements of law relating to the issuance of an Open Burning Permit by the Bureau of Fire Prevention, the TOWN agrees to the issuance of an Outdoor Burning Permit to VVA #333 in connection with its Watchfires display to be burned at NIKE PARK property located at Nike Lane, Orangeburg, New York on Wednesday, May 29, 2024 through Friday, May 31, 2024 until the fire is completely out.

2. VVA #333 agrees that its' activities under the Outdoor Burning Permit will be performed in a lawful, prudent and safe manner, in accordance with all federal, state or local laws or regulations, as may apply.

3. In connection with the contemplated Watchfires display, VVA #333 further agrees, to the fullest extent permitted by law, to indemnify and hold the TOWN, it officers, employees and invitees harmless from any damage, liability or cost (including reasonable attorneys' fees and cost of defense) to the extent caused by the acts, errors or omissions by it, its officers, employees, agents, consultants or others acting for, or on behalf of, it, which indemnification shall include and extend to the actions of any subcontractors or outside consultant utilized by VVA #333.

4. VVA #333 further agrees that as a material condition of the Permit's issuance, and before the subject Permit shall become effective, it shall deliver to the TOWN certificates or other evidence of insurance coverage of the following types and in the following minimum amounts:

- a. General Liability Insurance in a minimum amount of One Million and 00/100 (\$1,000,000.00) Dollars combined single limit with Two Million and 00/100 (\$2,000,000.00) Dollars excess of One Million and 00/100 (\$1,000,000.00) Dollars; and aggregate of Three Million and 00/100 (\$3,000,000.00) Dollars;
- b. with Umbrella Liability per occurrence of Six Million and 00/100 (\$6,000,000.00) Dollars;
- c. Such insurance shall name the TOWN OF ORANGETOWN, 26 Orangeburg Road, Orangeburg, New York 10962, as an additional named insured thereon;
- d. Shall further provide that such policies of insurance shall not be cancelled or discontinued except on a minimum of twenty (20) days' notice to the TOWN; and
- e. Proof of such insurance in a form acceptable to the Town shall be delivered to the Bureau of Fire Prevention and the Town Attorney's Office before any services or other activities under this Permit shall commence.

TAO/das 5/6/2024 9:31 AM

5. In the event VVA #333 shall use the services of any independent contractor or subcontractor, VVA #333 shall require, and deliver to the TOWN, proof of insurance from such contractor or subcontractor, in the same forms, and with the same minimum coverage limits, as set forth above in paragraph 4, expressly naming the TOWN as an additional insured thereon.

6. By executing this Agreement, the individual signing on behalf of VVA #333 represents that he/she has the lawful authority to do so, and to bind VVA #333 in the manner provided in this Agreement.

IN WITNESS WHEREOF, the VIETNAM VETERANS OF AMERICA, CHAPTER #333, INC. and the TOWN OF ORANGETOWN have executed this Agreement the day and year first above written.

Date: MAY 6, 2024

Date: MAY <u>8</u>, 2024

TOWN OF ORANGETOWN

VIETNAM VETERANS OF AMERICA CHARTER #333 John Mastandrea

Title: President, VVA #333

Print Name: Teresa M. Kenny Title: Supervisor

Acknowledgements

SS.

SS.

Bν

STATE OF NEW YORK )
COUNTY OF ROCKLAND )

On the 6<sup>th</sup> day of May, 2024, before me, the undersigned, a notary public in and for the State, personally appeared John Mastandrea personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s) or the person upon behalf of which the individual(s) acted, executed the instrument.

Notary Public

STATE OF NEW YORK

)

DENISE A. SULLIVAN Notary Public, State of New York No. 02SU6054901 Qualified in Rockland County Commission Expires February 12, 20

COUNTY OF ROCKLAND )

On the <u>State</u>, personally appeared TERESA M. KENNY, SUPERVISOR, TOWN OF ORANGETOWN, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s) or the person upon behalf of which the individual(s) acted, executed the instrument.

Notary Public

Page 3 of 3

ALLISON B. KARDON Notary Public, State of New York No. 01KA6330552 Qualified in Rockland County Commission Expires 09/14/20

## Application for Showmobile Use



# Showmobile Requirements

Applications must be submitted to the Parks & Recreation Office no later than 8 weeks prior to your event in order to be placed on a Town Board agenda.

*There are two pages to this application.* Please read and understand all items listed on page 1 (this page) and upload your certificate of insurance.

Click "next" to advance to page 2 and fill out all requested information.

Upload Certificate of Town of Orangetown.pdf Insurance\*

428.63KB

#### Before completing the Showmobile Request Form, please be aware of the following:

+ The total area needed for the Showmobile is a space 50 feet in length, 15 feet in width and 25 feet in height.

+ Showmobile stage measures 28 feet long x 14 feet 7 inches deep x 25 feet high when open. One set of stairs is available with hand railings. (Please note that this measurement does not include the trailer hitch or the tow vehicle).

+ The lights require a 110 volt, 20 amp circuit to plug into within 150 feet of the right front side of the Showmobile. Additional electrical equipment must be plugged into a separate circuit.

+ The Showmobile must be parked in a relatively level space. The placement of the Showmobile is at the discretion of the Orangetown Parks & Recreation staff. Although every effort will be made to meet requests, this equipment does not go off road, over curbing, on uneven ground or over rough terrain.

+ The area must be free of obstructions such as overhanging tree limbs, electrical wires, etc.

+ The tow vehicle must remain with the Showmobile for the duration of the event.

+ In the event of winds in excess of 30 MPH, the stage canopy must be closed.

+ The Town seal is not to be covered and no nails, staples, tacks or tape may be used to attach any items to the Showmobile)

+ The organization will receive an emailed invoice after their event is complete. Payment is expected no later than 14 days after receipt of invoice.

+ A member of the organization renting the unit must be on site at time of arrival for proper set up as well as time of departure to assure all event tasks have been completed (i.e. removal of equipment)

+ Any changes/cancellations (unless otherwise agreed upon) to the event must be made 24 hours in advance by contacting Aric Gorton at agorton@orangetown.com.

#### Additional Requirements:

+ Certificate of insurance required. Must name the Town of Orangetown as additionally insured.

+ Rental Costs: \$500.00 plus labor.

# Showmobile Application

## **Event Information**

Event Informatio	2n	
Event/Festival Name <sup>*</sup>	Arts in the Park	
Event Location Name <sup>*</sup>	Central Avenue Field	
Event Address *	Street Address 58 East Central Avenue Address Line 2 (set up parallel to the Firehouse) City Pearl River Postal / Zip Code 10965-2554	State / Province / Region NY Country US
Setup Date & Time*	5/31/2024 07:00:00 PM	
Take-Down Date & Time *	6/1/2024 05:00:00 PM	
Stair Arrangement *	<ul> <li>Right side of stage</li> <li>Left side of stage</li> <li>Front of stage</li> <li>Not Sure</li> </ul>	
Set-up Info <sup>*</sup>	Please describe in detail what the stage will be used please list it here so long as all the information above This will be used for a variety of performan orchestra, band, etc). The rain date is Sum	ces throughout the day (chorus,
Placement*	<ul> <li>Pavement</li> <li>Grass/Field</li> <li>Other</li> </ul>	
Applicant Inform	nation	
Applicant's Name *	Kathleenann Cool	
Organization Name*	Pearl River School District	
Organization Address <sup>*</sup>	135 West Crooked Hill Road	
Organization City *	Pearl River	
Organization State *	New York	
Phone (w) *	845-620-4815	
Phone (c) *	845-826-4792	

Email\*

Date

coolk@pearlriver.org

Signature \*



The Permit Holder agrees that it shall be liable and responsible for any property damage to the Showmobile as a result of the Permit Holder's use thereof, and agrees to defend, save, indemnify and hold harmless the Town, and all of its agents, officials, officers, servants and employees, by reason of any claim, suit, action or causes of action, lawsuit or legal proceeding arising out of the Permit Holder's use of the Showmobile, and shall execute a hold harmless agreement to that effect as a condition of the issuance of a permit. The Permit Holder shall procure and maintain general liability insurance and name the Town as an additional insured thereunder, in an amount as shall protect the Town from claims for bodily/personal injury, including accidental death, and from claims for property damage, which may arise from the Permit Holder's use of the Showmobile, and as part of the agreement to defend, indemnify and hold the Town harmless as set forth herein.

By checking this box and submitting this form, I acknowledge I have read, understand, accept, and agree to the above terms and conditions.

\* I accept the terms and conditions

5/3/2024 08:57:48 AM



# **CERTIFICATE OF LIABILITY INSURANCE**

DATE (MM/DD/YYYY) 04/30/2024

THIS CERTIFICATE IS ISSUED AS A	MAT	ER (	OF INFORMATION ONLY	AND	CONFERS N	IO RIGHTS I	JPON THE CERTIFICAT	e hol	DER. THIS
CERTIFICATE DOES NOT AFFIRMAT BELOW. THIS CERTIFICATE OF IN REPRESENTATIVE OR PRODUCER, A	IVEL` SURA	Y OR NCE	NEGATIVELY AMEND, DOES NOT CONSTITUT	EXTEN	ID OR ALTE	ER THE CO	VERAGE AFFORDED B	Y THE	POLICIES
IMPORTANT: If the certificate holder If SUBROGATION IS WAIVED, subjec	is an	ADD	ITIONAL INSURED, the p						
this certificate does not confer rights	to the	cert	ficate holder in lieu of su	CONTAC					
PRODUCER NEW YORK SCHOOLS INSURANCE REC	ססטי			NAME: PHONE	<b>,</b> 1		FAX		
333 Earle Ovington Blvd.	JPRU	CAL		(A/C, No E-MAIL	, Ext):		(A/C, No):		
Uniondale NY,11553				ADDRES					
					NL		DING COVERAGE Surance Reciprocal		NAIC # 34843
INSURED				INSURE		K SCHOOIS IN			54645
Pearl River UFSD			INSURE						
135 West Crooked Hill Road				INSURE					
Pearl River, NY 10965				INSURE					
			INSURE						
COVERAGES CERTIFICATE NUMBER:							REVISION NUMBER:		
THIS IS TO CERTIFY THAT THE POLICIE INDICATED. NOTWITHSTANDING ANY R CERTIFICATE MAY BE ISSUED OR MAY EXCLUSIONS AND CONDITIONS OF SUCH	EQUIR PERT	EMEI AIN,	NT, TERM OR CONDITION THE INSURANCE AFFORDE	OF ANY ED BY	CONTRACT	OR OTHER D	OCUMENT WITH RESPEC	от то	WHICH THIS
INSR TYPE OF INSURANCE	ADDL	SUBR WVD			POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMIT	s	
A COMMERCIAL GENERAL LIABILITY	X	WVD	SSP PR 001		07/01/2023	07/01/2024	EACH OCCURRENCE	\$1,00	0,000
X CLAIMS-MADE X OCCUR							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$1,00	0,000
							MED EXP (Any one person)	\$10,0	00
							PERSONAL & ADV INJURY	\$1,00	0,000
GEN'L AGGREGATE LIMIT APPLIES PER:							GENERAL AGGREGATE	UNLIN	
POLICY PRO- JECT LOC							PRODUCTS - COMP/OP AGG	\$1,00	0,000
X OTHER:							COMBINED SINGLE LIMIT	\$	
							(Ea accident)	•	
ANY AUTO							BODILY INJURY (Per person) BODILY INJURY (Per accident)	\$	
AUTOS ONLY AUTOS HIRED NON-OWNED							PROPERTY DAMAGE	\$ \$	
AUTOS ONLY AUTOS ONLY							(Per accident)	Ψ	
A UMBRELLA LIAB X OCCUR			ECL PR 001		07/01/2023	07/01/2024	EACH OCCURRENCE	\$20,0	00,000
X EXCESS LIAB CLAIMS-MADE							AGGREGATE	\$40,0	00,000
DED RETENTION \$								\$	
WORKERS COMPENSATION AND EMPLOYERS' LIABILITY							PER OTH- STATUTE ER		
ANYPROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBEREXCLUDED?	N/A						E.L. EACH ACCIDENT	\$	
(Mandatory in NH)							E.L. DISEASE - EA EMPLOYEE	\$	
If yes, describe under DESCRIPTION OF OPERATIONS below							E.L. DISEASE - POLICY LIMIT	\$	
		0000							
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHIC Certificate Holder is an Additional Insured a								lities fo	or the rental
of Showmobile on 6/1/2024 with a rain date	on 6/	2/202	24.						
CERTIFICATE HOLDER				CANC	ELLATION				
Town of Orangetown Town Hall									
26 Orangeburg Road Orangeburg, NY 10962				THE	EXPIRATION	I DATE THE	ESCRIBED POLICIES BE C/ REOF, NOTICE WILL E Y PROVISIONS.		
				AUTHOR	RIZED REPRESE		- 1		
						-14	Jupe		
					© 19	88-2015 AC	ORD CORPORATION.	All ria	hts reserved.

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#### The New York Schools Insurance Reciprocal 223 Earle Ovington Blud, Suite 005 a Uniondole, NY, 11553 2624 a 1 800 ISNYSIB a (516) 227 2255 a Eavy (516) 227

#### 333 Earle Ovington Blvd., Suite 905 • Uniondale, NY, 11553-3624 • 1-800-ISNYSIR • (516) 227 3355 • Fax: (516) 227-2352

Named Insured		Endorsement Number		
Pearl River UFSD		11		
Policy Number	Policy Period	Effective Date of Endorsement		
SSP PR 001	07/01/2023 - 07/01/2024	04/29/2024		
Issued by (Name of Insurance Company)				
New York Schools Insu	rance Reciprocal			

## THIS ENDORSEMENT CHANGES THIS POLICY. PLEASE READ IT CAREFULLY

In consideration of no additional premium, it is hereby understood and agreed that the policy is amended as follows:

Form CG 2026 04 13 has been added to include the following as an Additional Insured:

Town of Orangetown Town Hall 26 Orangeburg Road, Orangeburg, NY 10962

All other terms and conditions to remain the same

Tayul

Authorized Representative

	NN	TOWN OF ORANGETOWN SPECIAL USE PERMIT FOR USE OF TOWN PROPERTY/ITEMS PERMIT # 24-SP-014	RECEIVED
2024	3ETO TMFN	EVENT NAME:       St. John Henry Newman - parish Eucharistic Procession         APPLICANT NAME:       Fr, Thomas Kunnel	MAY 1 4 2024
23	FRANC	APPLICANT NAME: Fr, Thomas Kunnel	
APR	OF O AV D	ADDRESS: 120 Kings Highway / Tappan, NY 10983	Orangetown Police Department
	HIGHWAY L	PHONE #: 845-359-1230 CELL # 845-608-9358 FAX #	-
	2 I	CHECK ONE: PARADE RACE/RUN/WALK OTHER Eucharistic procession	- MAY 17 2024
		The above event will be held on OG OC COLY from 9:50 to 10:30 RAIN DATE: None	TOWN OF ORANGETOWN
		Location of event: Kings Highway / Washington St / Conklin Ave/ Tappan, NY 10983	HIGHWAY DEPARTMENT
		Sponsored by: <u>Piermont Knights of Columbus</u> Telephone #: 845-304-8849	_
		Address: 411 Washington St/Tappan, NY 10983	
		Estimated # of persons participating in event:	_
		Person (s) responsible for restoring property to its original condition: Name-Address-Phone #:	
		Ernest Rispoli - 411 Washington St / Tappan , NY 10983 -845-304-8849	_
		Signature of Applicant and Date: 5/7/24	
		GENERAL INFORMATION REQUIRED: (HIGHWAY/PARKS/POLICE) Hold Harmless Agreement: 517124 Letter of Request to Town Board requesting aid for event - Received On: 412324	
		Certificate of Insurance - Received On: 572	
		FOR HIGHWAY DEPARTMENT USE ONLY:	•
		Road George Permit (Y) N-Received On: 42324	_
		Rockland County Highway Dept. Permit N - Received On:	_
		NYSDOT Permit: Y / N - Received On: N/A	-
		1-1-211	
			-
		APPROVED:	-
		Superintendent of Highways MB 5667	_
		Show Mobile: Y / 🚱- Application Required:Fee Paid – Amount/Check #	_
		Port-o-Sans: Y/	-
		APPROVED: DATE: DATE: DATE:	_
		FOR POLICE DEPARTMENT USE ONLY:	
		Police Detail N:	_
		APPROVED:	-
		** Please return to the Highway Department to be placed on the Town Board Workshop **	_
		Workshop Agenda Date: 52124 Approved On: TBR #:	

MECEIVED

### **DEFENSE, INDEMNIFICATION AND HOLD HARMLESS AGREEMENT**

The <u>Parish of St. John Henry</u>, with an address of <u>120 Kings Hwy Tappen Ny</u>, in consideration and as a condition of a <u>Special USE</u> permit ("Permit Holder"), hereby agrees, covenants, promises, represents and pledges to defend, indemnify and save the Town of Orangetown ("Town"), Town of Orangetown Highway Department ("Highway") and Town employees harmless from and against any and all liability or responsibility of any type whatsoever, including, but not limited to, any and all actions, causes of action, suits, proceedings, judgments, damages, claims, and demands, in law or in equity, including an action, suit, proceeding or claim initiated by the Permit Holder (hereinafter referred to as "claims") that arise as part of or as a result or consequence of the activities, events or other activities authorized to be conducted by the Permit Holder ; and

the Permit Holder further agrees, covenants, promises, represents and pledges to fully reimburse, recompense, indemnify and/or compensate the Town, Highway and Town employees for all costs, expenses and fees, including reasonable attorney's fees, relating to, arising out of, or occurring in connection with any such claims; and

all of the foregoing as relating to, arising out of, or occurring in connection with the following [DESCRIBE PROJECT OR EVENT]: <u>Encharistic procession in the streets of Tappan</u>.

Permit Holder agrees to provide certificate(s) of insurance in such amounts as the Town shall deem appropriate, which insurance shall name the Town as an additional insured and which insurance shall cover the requirements to defend, indemnify and hold the Town harmless as set forth herein.

(Entity Name:)

By: to Church Kung C-D Sworn to before me this 6th day LISA A. DENTE NOTARY PUBLIC, STATE OF NEW YORK Registration No. 01DE6210595 **Qualified in Westchester County** Commission Expires August 24, 20

		Cer	tifica	ate of (	Coverage	Da	<b>te:</b> 5/7/2024
Certificate Holder Archdiocese of New York 1011 First Avenue New York, NY 10022			This Certificate is issued as a matter of information only and confers no rights upon the holder of this certificate. This certificate does not amend, extend or alter the coverage afforded below.				
			Company Affording Coverage THE CATHOLIC MUTUAL RELIEF SOCIETY OF AMERICA			EF	
Covered Location St John Newman-St. John the Baptist-Our Lady of the Sacred Heart 120 Kings Highway Tappan, NY 10983				RECEIVED         10843 OLD MILL RD OMAHA, NE 68154           MAY         0         7         2024			
Covera	ages		T	OWN OF OR	ANGETOWN		
indic: certif	ated, notwithstanding a	ny requirement, term nay pertain, the cover	ve been or cond age affo	GHWAY DE issued to the lition of any o rded describ	PARTMENT certificate holder na contract or other do ed herein is subject paid claims.	amed above for the certicument with respect to v to all the terms, exclusio	which this
	Type of Coverage	Certificate Number	Cover	age Effective Date	Coverage Expiration Date	Limits	
	Property					Real & Personal Property	
	Froperty					· · · · ·	
	D. General Liability					Each Occurrence	1,000,000
						General Aggregate	2,000,000
	× Occurrence	8870	0/1/202	כר	0/1/2024	Products-Comp/OP Agg	1,000,000
	Claims Made	8869	9/1/2023	23	9/1/2024	Personal & Adv Injury	
-						Fire Damage (Any one fire)	
						Med Exp (Any one person)	
	Excess Liability					Each Occurrence	
1						Annual Aggregrate	
	Other					Each Occurrence	
						Claims Made	
					×	Annual Aggregrate	
						Limit/Coverage	
					1		
Description of Operations/Locations/Vehicles/Special Items (the following language supersedes any other language in this endorsement or the Certificate in conflict with this language) Coverage only extends to claims resulting from St. John Newman Parish's Eucharistic religious procession on June 2, 2024. Coverage does not extend to claims resulting from improper maintenance or upkeep of the Town of Orangetown's streets, sidewalks, bridges and facilities.							
Holder of Certificate Cancellation							
Additional Protected Person(s) Town of Orangetown 26 Orangeburg Road Orangeburg, NY 10962			Should any of the above described coverages be cancelled before the expiration date thereof, the issuing company will endeavor to mail 30 days written notice to the holder of certificate named to the left, but failure to mail such notice shall impose no obligation or liability of any kind upon the company, its agents or representatives.				
0041040337				·····			

Į,

### ENDORSEMENT

#### (TO BE ATTACHED TO CERTIFICATE)

Effective Date of Endorsement 6/2/2024	Charge	Credit		
Cancellation Date of Endorsement 6/3/2024				
Certificate Holder Archdiocese of New York 1011 First Avenue New York, NY 10022				
Location St John Newman-St. John the Baptist-Our Lady of the Sacred Heart 120 Kings Highway Tappan, NY 10983				

Certificate No. 8869 of The Catholic Mutual Relief Society of America is amended as follows:

#### SECTION II - ADDITIONAL PROTECTED PERSON(S)

It is understood and agreed that Section II - Liability (only with respect to Coverage D - General Liability), is amended to include as an *Additional Protected Person(s)* the organization(s) shown in the schedule below.

#### Schedule - ADDITIONAL PROTECTED PERSON(S)

### Town of Orangetown 26 Orangeburg Road Orangeburg, NY 10962

Remarks:

Coverage only extends to claims resulting from St. John Newman Parish's Eucharistic religious procession on June 2, 2024. Coverage does not extend to claims resulting from improper maintenance or upkeep of the Town of Orangetown's streets, sidewalks, bridges and facilities.

However, the following limitations apply to coverage:

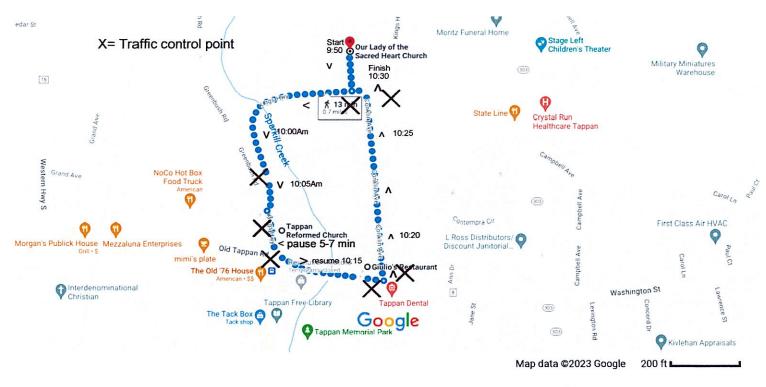
- 1. The maximum limits of coverage provided by Catholic Mutual Relief Society of America to the Additional Protected Person(s) named in this endorsement shall not exceed the coverage dollar amount specifically required by contract or agreement and agreed to by the Protected Person(s). In the absence of specific coverage limits within a referenced contract or agreement, the limits of liability afforded to the Additional Protected Person(s) must be listed on a separate Certificate of Coverage form attached to this endorsement. All limits of liability extended by this endorsement are inclusive of both Section II Coverage D and Section VII coverages (if applicable).
- 2. Unless specifically agreed to by contract or agreement, the coverage extended to the *Additional Protected Person(s)* by this endorsement is excess and non-contributory over any other available coverage or insurance.
- This endorsement does not apply to any Occurrence outside the specific date(s) of a facility use agreement or terms of a lease.

- This endorsement does not extend coverage to the Additional Protected Person(s) for Occurrences which cannot be attributed to primary acts or omissions of the Protected Person(s).
- 5. Provided that a premises is utilized by the *Protected Person(s)* in a manner consistent with its intended purpose and in accordance with the applicable contract, agreement, or lease, this endorsement does not extend coverage to the *Additional Protected Person(s)* for premises defects or other *Occurrences* which could not be discovered by the *Protected Person(s)* with reasonable diligence.
- The limited coverage afforded to the Additional Protected Person(s) by this endorsement only applies to the extent permissible by law and shall not apply to non-delegable duties unless specifically agreed to by contract or agreement.

This extension of coverage shall not enlarge the scope of coverage provided to the *Certificate Holder* under this Certificate nor increase the limit of liability thereunder. Unless otherwise agreed by contract or agreement, coverage extended under this endorsement to the *Additional Protected Person(s)* will not precede the effective date of this endorsement or extend beyond the cancellation date.

## Google Maps Tappan, NY 10983 to Our Lady of the Sacred Heart Church, 120 Kings Hwy, Tappan, NY 10983

21 to 20 minutes with short stop at green and waiking two mph intersections : 1.left - parking lot and kings highway 2. straight- kings highway and greenbush 3. left Kings highway/ Old tappan Road - Washington Ave (traffic Light)



No detour required. The orangetown police will provide a temporary traffic stoppage of under five minutes for the safety of approximate 50 persons to walk on Washington St from Main St to Conklin Ave. Emergency vehicle access will be available at all times.

RECEIVED

### APR 23 2024

TOWN OF ORANGETOWN HIGHWAY DEPARTMENT

## **JAMES J. DEAN**

Superintendent of Highways Roadmaster IV

Orangetown Representative: R.C. Soil and Water Conservation Dist.-Chairman Stormwater Consortium of Rockland County Rockland County Water Quality Committee

RECEIVED

# APR 23 2024

TOWN OF ORANGETOWN

HIGHWAY DEPARTMENT

## ROAD USE PERMIT APPLICATION Section 139 Highway Law

NAME Fr Thomas Kunnel	DATE	04/25/2024
COMPANY St John Henry Newman Parish		·····
ADDRESS 120 Kings Highway / Tappan, NY 10983		
TELEPHONE 845-359-1230		
(INCLUDE 24 HOUR EMERGENCY N	UMBER	S)
ABOVE MENTIONED PARTY REQUESTS PERMISSION TO		
Kings Highway / Washington St / Conklin Ave/ Tappan, NY 1098	33	
(Address number and name of road)		
Kings Highway and Washington St. // Washington St. and Conklin Ave// Con (See map attached)	nklin Ave an	d Kings Highway
(Intersecting streets and/or description of exact location)		
REASON FOR USE Eucharistic procession - walk		
TIME ROAD WILL BE USED 9:50 AM	DATE	None
WILL ROAD BE OPEN TO LOCAL TRAFFIC? After 10:30 A	m	
WILL ROAD BE OPEN TO EMERGENCY VEHICLES? Yes		
PLEASE PROVIDE A DETAILED MAP AND DESCRIPTION TRAVEL WILL BE RESTRICTED.	N OF DE	TOUR IF
PRELIMINARY APPROVAL JAMES J. DEAN JAMES J. DEAN SUPERINTENDENT OF HIGHWAY	_DATE_	

This permit application will be forwarded to the Rockland County Superintendent of Highways, County of Rockland, 23 New Hempstead Road, New City, NY, 10956. You will receive written confirmation from that office, 8-13-02bjd

HAMLETS: PEARL RIVER · BLAUVELT · ORANGEBURG · TAPPAN · SPARKILL · PALISADES · UPPER GRANDVIEW · SOUTH NYACK



CLEAN STREETS -- CLEAN STREAMS

# HIGHWAY DEPARTMENT TOWN OF ORANGETOWN

119 Route 303 • Orangeburg, NY 10962 (845) 359-6500 • Fax (845) 359-6062 E-Mail – <u>highwaydept@orangetown.com</u>

### Affiliations:

American Public Works Association NY Metro Chapter NYS Association of Town Superintendents of Highways Hwy. Superintendents' Association of Rockland County





## Parish of St. John Henry Newman 120 Kings Highway, Tappan, NY 10983 www.stjohnnewman.org

### RECEIVED

04/23/2024

## APR 23 2024

TOWN OF ORANGETOWN HIGHWAY DEPARTMENT

To: Town of Orangetown Board

Town of Orangetown Highway

Town of Orangetown Police

County of Rockland Highway

Re: Request for permit for procession - if needed

The Parish of St. John henry Newman (Our lady of the Sacred Heart and St. Johns) is holding a Eucharistic Procession on June 2<sup>rd</sup> beginning at 9:50 and ending at 10:30. The procession will consist of around fifty persons. It will depart from the Parking lot of OLSH and travel west along Kings Highway to the intersection of Washington street; There turning east until Conklin Avenue; Then, turning north and crossing Kings highway back to the parking lot of OLSH. It is estimated that the time on each section of roadway will be no more than ten of fifteen minutes.

There will be no vehicles in the procession, and all coordination and safety will be provided by volunteers.

We respectfully request the assistance of all appropriate offices including the Orangetown Police, Highway and EMT.

Our contact and coordinator for this event is Ernest Rispoli: 845-304-8849 ernris@gmail.com

Yours truly, CO

Fr. Thomas Kunnel

Pastor St. John Henry Newman

Our Lady of the Sacred Heart Church 120 Kings Highway Tappan, NY 10983 845-359-1230 secretary@stjohnnewman.org



St. John the Baptist Church 895 Piermont Avenue Piermont, NY 10968 845-359-0078 admin@stjohnnewman.org RECEIVED



MAY 06 2024

ROCKLAND COUNTY HIGHWAY DEPARTMENT

TOWN OF ORANGETOWN APPLICATION FOR PERMIT TO USE/CLOSE A COUNTY ROAD HIGHWAY DEPARTMENT UNDER SECTION 104 OF THE HIGHWAY LAW

 THIS IS A REQUEST FOR USE / CLOSE A COUNTY ROAD (check that apply)

 Name of Event: St John Henry Newman Parish Eucharistic Procession

 Date (s): 6/2/2024

 Time (s): 9:50-10:25

 No. of Participants: +/- 50

Type of Event (check all that apply):

Location	Municipality
(Specify Highways by Street Name and/or Route Number)	(Towns, Villages)
Kings Highway	Tappan
Washington St.	Tappan
Conklin Ave.	Tappan

Applicant Information:

# St. John H. Newman Parish

Applicant (individual, organization, group)

Mailing Address

120 Kings Highway

City, State, Zip Code

Tappan, NY 10983

Email Address

# Ernest Rispoli

Authorized Representative (if different from Applicant)

845-304-8849

Telephone Number (including area code)

Same

Cell Phone Number (including area code)

# ernris@gmail.com

Email Address (if different from Applicant)

Page 1 of 3

# **ROCKLAND COUNTY HIGHWAY DEPARTMENT**

# APPLICATION FOR PERMIT TO USE/CLOSE A COUNTY ROAD UNDER SECTION 104 OF THE HIGHWAY LAW

The following supporting information shall be submitted at the time of application:

- 1. Event Map, Event Brochure, or/and Event Application Form (Whichever available/applicable)
- Operation and Safety Plan (the applicant assumes all responsibility for the set-up, conduct and break-down of the event)
  - Required Traffic Control Devices (e.g. temporary signs, cones, barricades, pavement markings, etc.) and Event Personnel (e.g. police officers, volunteers) for Event Signs: - Procession direction, detour

Personnel: Traffic - line of march coordinators; Police auxiliary ; Knights of Columbus Vol. Cleanuip

# ACCEPTED

Detours (provide map of detour, show detour sign/police locations, etc.)

See attached route map. No debor regimed. The anapolice will provide a temporary taille stoppage of ander the minutes for the safety of approximate 50 persons to wait on Wastington SI from Main SI to Contin Ave. Emergency vehicle access will be

- Pre-Event Public Notification (describe type of notification (e.g. mailings, brochure, press release) being provided to the public)
   Pulpit announcements ; Parish Bulletins; Flyers handed out at masses
- Coordination (describe coordination with local police/municipalities/emergency services/other entities)

Coordinators : Ernest Rispoli - Piermont Knights of Columbus

Capt. Michael Shannon - Police

Thomas Quinn- Tappan Fire Association

 Emergency Services (describe how emergency services will be provided during the event for event participants and spectators)

Glenn Albin / Pete Roimisher South Orangetown EMS

- Spectator Control (indicate any special measures are being taken to control spectators)
   Procession / Line of March coordinators
- Event Support Vehicles (describe any vehicles used in the event)

There will be transporters before and after event to bring non walkers to specified locations. No vehicles in the procession

# **ROCKLAND COUNTY HIGHWAY DEPARTMENT**

# APPLICATION FOR PERMIT TO USE/CLOSE A COUNTY ROAD UNDER SECTION 104 OF THE HIGHWAY LAW

- 3. Insurance Certificates (must be in Applicant's name)
- 4. Application Fee (Please make check payable to Rockland County Commissioner of Finance)
  - Full Day \$500.00
  - Half Day \$250.00
     No. of Days

Total Amount \$\_\_\_\_\_

The following information shall be submitted prior to the event date (except filming permit application):

 Municipal Approvals (The applicant shall provide proof of approval from each municipality – Town, Village – through which the event passes indicating that the Municipality has no objection to the event taking place. This proof of approvals may be in the form of a letter, permit, resolution, email, or other.)

Acknowledgement: On behalf of the Applicant, I hereby request a road use/close permit, and do acknowledge and agree to the responsibilities of applicant and obligations set forth in this permit and warrant compliance therewith. The attached documents are also made a part hereof and attached hereto.

Applicant's Representative's Signature

Application Received By:

RCHD Representative's Signature

Application/Approved By:

**RCHD Superintendent of Highways** 

The Rockland County Highway Department reserves the right to have the applicant immediately removed from the roadway and traffic restored at any time deemed necessary by the Rockland County Highway Department and/or the local law enforcement agency at such time the said permit will become null and void. Failure to abide may result in trespassing and civil penalties.

✓ APPROVED

04/23/ 2024 Date

Dat

Date

Page 3 of 3

## Application for Showmobile Use



# Showmobile Requirements

Applications must be submitted to the Parks & Recreation Office no later than 8 weeks prior to your event in order to be placed on a Town Board agenda.

*There are two pages to this application.* Please read and understand all items listed on page 1 (this page) and upload your certificate of insurance.

Click "next" to advance to page 2 and fill out all requested information.

Upload Certificate of coi for town.pdf Insurance\*

108.88KB

#### Before completing the Showmobile Request Form, please be aware of the following:

+ The total area needed for the Showmobile is a space 50 feet in length, 15 feet in width and 25 feet in height.

+ Showmobile stage measures 28 feet long x 14 feet 7 inches deep x 25 feet high when open. One set of stairs is available with hand railings. (Please note that this measurement does not include the trailer hitch or the tow vehicle).

+ The lights require a 110 volt, 20 amp circuit to plug into within 150 feet of the right front side of the Showmobile. Additional electrical equipment must be plugged into a separate circuit.

+ The Showmobile must be parked in a relatively level space. The placement of the Showmobile is at the discretion of the Orangetown Parks & Recreation staff. Although every effort will be made to meet requests, this equipment does not go off road, over curbing, on uneven ground or over rough terrain.

+ The area must be free of obstructions such as overhanging tree limbs, electrical wires, etc.

+ The tow vehicle must remain with the Showmobile for the duration of the event.

+ In the event of winds in excess of 30 MPH, the stage canopy must be closed.

+ The Town seal is not to be covered and no nails, staples, tacks or tape may be used to attach any items to the Showmobile)

+ The organization will receive an emailed invoice after their event is complete. Payment is expected no later than 14 days after receipt of invoice.

+ A member of the organization renting the unit must be on site at time of arrival for proper set up as well as time of departure to assure all event tasks have been completed (i.e. removal of equipment)

+ Any changes/cancellations (unless otherwise agreed upon) to the event must be made 24 hours in advance by contacting Aric Gorton at agorton@orangetown.com.

#### Additional Requirements:

+ Certificate of insurance required. Must name the Town of Orangetown as additionally insured.

+ Rental Costs: \$500.00 plus labor.

# Showmobile Application

## **Event Information**

Event Information	on			
Event/Festival Name *	Blue Hill Golf Course Centennial Celebrat	ion		
Event Location Name *	Blue Hill Golf Course			
Event Address *	Street Address 285 Blue Hill Road Address Line 2 City Pearl River Postal / Zip Code 10965	State / Province / Region NY Country USA		
Setup Date & Time *	7/19/2024 08:00:00 AM			
Take-Down Date & Time <sup>*</sup>	7/20/2024 08:00:00 AM			
Stair Arrangement *	<ul> <li>Right side of stage</li> <li>Left side of stage</li> <li>Front of stage</li> <li>Not Sure</li> </ul>			
Set-up Info <sup>*</sup>	Please describe in detail what the stage will be used for and how you intend to set it up. If you have a rain date, please list it here so long as all the information above is the same. This will be setup in Lot C at the golf course			
Placement*	lacement*   Pavement  Grass/Field  Other  Other			
Applicant Inform	nation			
Applicant's Name *	Michelle Worob			
Organization Name*	Blue Hill Centennial Committee			
Organization Address *	285 Blue Hill Rd			
Organization City *	Pearl River			
Organization State *	NY			
Phone (w) *	8457352094			
Phone (c) *	9142618250			
Email *	bluehillcentennial@gmail.com			

Signature \*

Michelle Word

The Permit Holder agrees that it shall be liable and responsible for any property damage to the Showmobile as a result of the Permit Holder's use thereof, and agrees to defend, save, indemnify and hold harmless the Town, and all of its agents, officials, officers, servants and employees, by reason of any claim, suit, action or causes of action, lawsuit or legal proceeding arising out of the Permit Holder's use of the Showmobile, and shall execute a hold harmless agreement to that effect as a condition of the issuance of a permit. The Permit Holder shall procure and maintain general liability insurance and name the Town as an additional insured thereunder, in an amount as shall protect the Town from claims for bodily/personal injury, including accidental death, and from claims for property damage, which may arise from the Permit Holder's use of the Showmobile, and as part of the agreement to defend, indemnify and hold the Town harmless as set forth herein.

By checking this box and submitting this form, I acknowledge I have read, understand, accept, and agree to the above terms and conditions.

\* I accept the terms and conditions

Date 5/9/2024 06:41:50 PM

## **Portable Toilet Request Form**



The Town of Orangetown accepts requests for portable toilets from not-for-profit groups for their events and programs. Applications must be submitted 8 weeks prior to the event. In case of any changes, the organization must contact Mark Albert at malbert@orangetown.com no later than 48 hours prior to the event.

## **Event Information**

Event Name*	Blue Hill Golf Course Centennial Celebration		
Event Location Name <sup>*</sup>	Blue Hill Golf Course		
Event Address *	Street Address         285 Blue Hill Rd         Address Line 2         City       State / Province / Region         Pearl River       NY         Postal / Zip Code       Country         10965       USA		
Event Start Date* 7/19/2024 06:00:00 AM			
Event End Date *			
Set-up Info <sup>*</sup>	Please describe the exact location the units should be placed on the event site This event will be held in Lot C as a tailgate celebration for the Centennial		
Number of regular 8 units required *			
Number of ADA units required *	2		
Total Number of units required *	10		
Applicant Inform	ation		
Applicant First     Michelle       Name*     Worob       Name*     Worob			
Organization Name*	Blue Hill Centennial Committee		
Organization Not For Profit?*	<ul><li>Yes</li><li>No</li></ul>		

Organization	Street Address			
Address *	285 Blue Hill Rd			
	Address Line 2			
	City	State / Province / Region		
	Pearl River	NY		
	Postal / Zip Code	Country		
	10965	USA		
Phone (w) *	845 735 2094			
Phone (c) *	9142618250			
Email *	bluehillcentennial@gmail.com			
Certificate of	coi for town.pdf	108.88KB		
Insurance *	Certificate must list the Town of Orangetown as additional Insured			
Signature *	The Permit Holder agrees that it shall be liable and responsible for any property damage to the Showmobile as a result of the Permit Holder's use thereof, and agrees to defend, save, indemnify and hold harmless the Town, and all of its agents, officials, officers, servants and employees, by reason of any claim, suit, action or causes of action, lawsuit or legal proceeding arising out of the Permit Holder's use of the Showmobile, and shall execute a hold harmless agreement to that effect as a condition of the issuance of a permit. The Permit Holder shall procure and maintain general liability insurance and name the Town as an additional insured thereunder, in an amount as shall protect the Town from claims for bodily/personal injury, including accidental death, and from claims for property damage, which may arise from the Permit Holder's use of the Showmobile, and as part of the agreement to defend, indemnify and hold the Town harmless as set forth herein.			
	Michelle Word			

### **Town of Orangetown**

DATE: May 21, 2024

### WARRANT

Warrant Reference	Warrant #		Amount	
Approved for payment in the amount of				
	051524	\$	285,669.49 utilities	
	052124	\$	746,902.17	
		\$	1,032,571.66	

The above listed claims are approved and ordered paid from the appropriations indicated.

APPROVAL FOR PAYMENT

AUDITING BOARD

**Councilman Gerald Bottari** 

**Councilman Paul Valentine** 

**Councilman Daniel Sullivan** 

**Councilman Brian Donohue** 

Supervisor Teresa M. Kenny

### TOWN OF ORANGETOWN FINANCE OFFICE MEMORANDUM

TO: THE TOWN BOARD
FROM: JEFF BENCIK, *DIRECTOR OF FINANCE*SUBJECT: AUDIT MEMO
DATE: 05/16/24
CC: DEPARTMENT HEADS



The audit for the Town Board Meeting of 05/21/2024 consists of 2 warrants for a total of \$1,032,571.66.

The first warrant was for \$285,669 and was for utilities.

The second warrant had 139 vouchers for \$746,902 and had the following items of interest.

- 1. CANDLE (p10) \$12,500 for substance abuse programs.
- 2. Capasso & Sons (p11) \$90,817 for recycling.
- 3. Collier's Engineering & Design (p12) \$5,945 for Villa drive survey.
- 4. Cotter, Michael (p13) \$6,325 for title searches.
- 5. Crown Castle Fiber (p13) \$6,748 for connectivity.
- 6. Fleet Pump Services (p15) \$9,850 for sewer equipment.
- 7. Fred Devens Construction (p17) \$308,759 for Tier IV pump station repairs.
- 8. Global Montello (p31) \$43,293 for fuel.
- 9. Goosetown Enterprises (p19) \$12,754 for Police leases.
- 10. JP Morgan Equipment Finance (p21) \$53,838 for energy performance contract.
- 11. Kuehne Chemical Co. (p22) \$7,427 for sewer chemicals.
- 12. RCSWMA (p35) \$11,019 for solid waste removal.
- 13. S & L Plumbing & Heating (p36) \$43,628 for new town hall HVAC.
- 14. Sport-Tech Acrylics (p37) \$24,700 for crack repairs at in-line rink.
- 15. WW Grainger (p48) \$6,439 for sewer equipment.

Please feel free to contact me with any questions or comments.

Jeffrey W. Bencik, CFA 845-359-5100 x2204