

Donald Brenner, P.E., LL.B.

Attorney-At-Law • Professional Engineer

4 Independence Avenue, Tappan, New York 10983

Phone 845-359-2210

Fax 845-359-8070

April 15, 2024

Supervisor Teresa Kenny, Esq.
Members of the Town Board
Town of Orangetown
26 West Orangeburg Road
Orangeburg, New York 10962

TOWN OF ORANGETOWN
2024 APR 16 A 8:58
TOWN CLERK'S OFFICE

Re: Petition for Amendment to Zoning Ordinance
Western Hwy and Ellsworth Dr.
In the Hamlet of Blauvelt
Section 70.05, Block 1 and Lot(s) 14.1, 14.2, 17.1
Professional Services
24-1431D-5B(1)

Dear Supervisor Kenny and Members of the Town Board:

My clients Hegarty Homes, Inc. and Hudson Valley Nursery, Inc. are attempting to develop a parcel of land located at Western Hwy and Ellsworth Drive, Blauvelt, New York 10913 for uniform residential housing.

Accordingly, I enclose (1) a Petition for Amendment to the Zoning Ordinance of the Town of Orangetown from an "R-80 District to an "R-15" District.

The client respectfully requests that this matter be placed on the next Town Board Agenda for final consideration.

If you require additional information feel free to call me.

Very truly yours,



Donald Brenner

DB/hi

Enclosures

cc: Town Attorney
Town Clerk
Hagerty Homes, Inc.
Hudson Valley Nursery, Inc.

TOWN BOARD: TOWN OF ORANGETOWN
COUNTY OF ROCKLAND
STATE OF NEW YORK

TOWN OF ORANGETOWN
2021 JUN 19 A 9:58
TOWN CLERK'S OFFICE

-----X
IN THE MATTER OF THE
PETITION OF
HEGARTY HOMES, INC.
AND
HUDSON VALLEY NURSERY, INC.
AMENDMENT TO THE ZONING ORDINANCE
OF THE TOWN OF ORANGETOWN FROM AN
"R-80" DISTRICT TO AN "R-15" DISTRICT
-----X

PETITION

TO THE TOWN BOARD OF
THE TOWN OF ORANGETOWN

The undersigned petitioner respectfully petitions your Honorable Board as follows:

FIRST:

HEGARTY HOMES, INC. and HUDSON VALLEY NURSERY, INC., whose principal place of business is located at 75 Michael Roberts Court, Pearl River, NY 10965, are the owners of properties located at Western Highway and Ellsworth Drive in the hamlet of Blauvelt, more particularly bounded and described in Addendum "A" annexed hereto.

SECOND:

The properties described in Addendum "A" are known and designated on the Tax Map of the Town of Orangetown as:

<u>Section</u>	<u>Block</u>	<u>Lot</u>
70.05	1	14.1
70.05	1	14.2
70.05	1	17.1

THIRD:

Annexed hereto and marked Exhibit "A" is a copy of the Vicinity and Zoning Area Map; and Exhibit "B" is a copy of the Tax Lots which are the subject of the Petition and of the surrounding parcels.

FOURTH:

Annexed hereto and marked Addendum "B" is a list of names and addresses of all owners owning property within 500 feet of the properties which are the subject of this application as the same appears on the tax roll of the Town of Orangetown.

FIFTH:

That the properties which are the subject of this Petition comprise approximately 6.950 acres.

SIXTH:

Said properties are presently zoned R-80.

SEVENTH:

Pursuant to the Town Law of the State of New York, and the Zoning Ordinance of the Town of Orangetown, petitioners hereby request that the Zoning Ordinance be amended to place the aforesaid real property, as described and shown in Exhibit "B," in an R-15 Zoning

District which would allow the development of uniform residential housing under the requirements of that zone. (See Exhibit "C" and Exhibit "D")

EIGHTH:

That said proposed change would be compatible with the present and proposed uses of the adjoining and neighboring properties. Further, this would be the most practical way, economically and beneficially, in which the property could be utilized.

NINTH:

That said proposed use would be in the public interest of the residents of the Town of Orangetown in that:

- (a) the development of the property under an R-15 Zone would establish a substantial tax ratable for the Town of Orangetown;
- (b) the development of the property under an R-15 Zone would fill a need for the residents of the Town of Orangetown;
- (c) the development of the property under an R-15 Zone would be consistent with the general character of the immediate area surrounding the subject premises, which is principally residential.
- (d) the development of the parcel under an R-15 Zone would permit the developers to install needed water and sewer facilities to this area;
- (e) the granting of such relief as is sought in this Petition will be the most appropriate use of the subject parcel, and will promote the general health and welfare of the community, will preserve property values and will be beneficial to the owners.

TENTH:

That the parcel which is the subject of this Petition can best be developed under the proposed R-15 Zone.

ELEVENTH:

That the subject premises are not within 500 feet of any of the following:

(a) any county or state park or recreation area;

(b) any right-of-way of any county or state park or recreation area, expressway, or other limited access highway;

(c) any county or state owned land on which a public building or institution is situated.

WHEREFORE, petitioner respectfully prays that your Honorable Board take such steps and such action as may be necessary to grant the relief sought in this Petition.

Dated: April 12th, 2024

Respectfully submitted,

HEGARTY HOMES, INC.

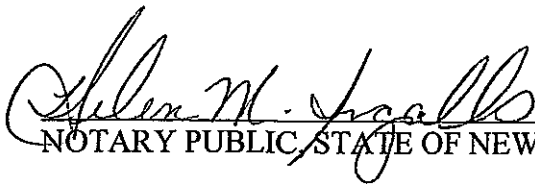
By: _____

HUDSON VALLEY NURSERY, INC.

By: _____

STATE OF NEW YORK)
) ss.:
COUNTY OF ROCKLAND)

On this 12th day of April in the year 2024, before me the undersigned, a notary public in and for said state, personally appeared **EDMUND LANE**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.


NOTARY PUBLIC, STATE OF NEW YORK

HELEN M. INGALLS NOTARY PUBLIC, STATE OF NEW YORK Registration No. 01IN6129380 Qualified in Rockland County Commission Expires June 20, 20 <u>25</u>
--

ADDENDUM "A"

ADDENDUM "A"

21916

Schedule "A"

Tax Lots 70.05-1-14.1, 70.05-1-14.2, 70.05-1-17.1

Overall Description

All that certain plot, piece or parcel of land, situate and being in Blauvelt, Town of Orangetown, Rockland County, New York, and being more particularly bounded and described as follows:

BEGINNING at a point the northeasterly corner of Lot #2 as shown on a subdivision plat entitled "Hudson Valley Estates," said plat having been filed in the Rockland County Clerk's Office as Map #7173, said point lying on the westerly line of North Western Highway, as widened as shown on said map, and running thence:

1. Along said westerly line of North Western Highway, as widened, S 10°43'22" E distant 10.97 feet; thence
2. Along the same, S 24°18'22" E distant 676.45 feet; thence
3. Along the westerly line of Old Western Highway, S 01°45'56" E distant 199.01 feet (200.37 feet per Filed Map #7173) to the southeast corner of the parcel herein described; thence
4. Along the northerly line of Lands n/f O'Rourke (Tax Lot 70.09-1-50), generally along a stone wall, N 83°24'47" W distant 184.69 feet to an iron pipe; thence
5. Along the northerly line of lands n/f Buckley (Tax Lot 70.09-1-37) generally along a stone wall, N 81°29'30" W distant 170.49 feet to an iron pin; thence
6. Along the terminus of a "tee" turnaround, the following three (3) courses and distances:
 - a. N 08°30'30" E distant 25.00 feet; thence
 - b. N 81°29'30" W distant 100.00 feet; thence
 - c. S 08°30'30" W distant 25.12 feet to a stone wall and the northerly line of lands n/f Fitzpatrick (Tax Lot 70.09-1-36); thence
7. Along the northerly line of said lands n/f Fitzpatrick, N 81°46'45" W distant 68.02 feet to the southwest corner of the parcel herein described; thence
8. Along the easterly line of lands n/f Corwick Realty Corp., (Tax Lot 70.05-1-17.2), N 07°27'33" E distant 389.82 feet (394.08 feet per Filed Map #7172); thence
9. Still along same, N 84°41'38" E distant 93.78 feet; thence
10. Still along same, N 24°18'22" W distant 440.21 feet to the southerly line of lands n/f Macy (Tax Lot 70.05-1-11); thence
11. Along the southerly line of said lands n/f Macy, and generally along a stone wall, S 81°19'54" E distant 272.02, to the point or place of BEGINNING.

Note that the bearings and distances along the southerly boundary of the property described herein for courses #4, #5, #6, and #7 have been adjusted from those shown on Filed Maps #7173 and #7172 in order to match the adjoining deeds for properties to the south and the description of Ellsworth Drive without overlap or gore.

ADDENDUM “B”

SWIS	PRINT KEY	NAME	ADDRESS
392489	70.05-1-12	Addolorata Rinaldi	10 Leber Rd,Blauvelt, NY 10913
392489	70.05-1-13	Jose L Bermudez	22 Leber Rd,Blauvelt, NY 10913
392489	70.05-1-14.1	Hegarty Homes LLC	75 Michael Roberts Dr,Pearl River, NY 10965
392489	70.05-1-14.2	Hudson Valley Nursery Inc	64 Central School Rd,Wantage, NJ 07641
392489	70.05-1-17.1	Hegarty Homes LLC	75 Michael Roberts Dr,Pearl River, NY 10965
392489	70.06-1-25	Salina N Nordstrom	3 Redbud Ln,Blauvelt, NY 10913
392489	70.06-1-26	Dennis Kieman	2 Redbud Ln,Blauvelt, NY 10983
392489	70.06-1-27	Thomas F Rooney	675 Western Hwy,Blauvelt, NY 10913
392489	70.06-1-28	Ronald Pastore	679 Western Hwy,Blauvelt, NY 10913
392489	70.06-1-29	Donald H Gabel Jr	683 Western Hwy,Blauvelt, NY 10913
392489	70.06-1-30	Michael Talone	693 Western Hwy,Blauvelt, NY 10913
392489	70.06-1-31	Alfredo Zaldivar	29 Leber Rd,Blauvelt, NY 10913
392489	70.06-1-32	Jarrod Esposito	37 Leber Rd,Blauvelt, NY 10913
392489	70.06-1-33	Patrick Mulvihill	1 Redbud Ln,Blauvelt, NY 10913
392489	70.06-1-34	C Scott Vanderhoef	51 Leber Rd,Blauvelt, NY 10913
392489	70.06-1-55	Qiong Li	36 Leber Rd,Blauvelt, NY 10913
392489	70.09-1-20	Lalu Varughese	27 Milton Grant Dr,Blauvelt, NY 10913
392489	70.09-1-21	James J Hayes Jr	30 Milton Grant Dr,Blauvelt, NY 10913
392489	70.09-1-33	Laurence DeCaro	19 Ellsworth Dr,Blauvelt, NY 10913
392489	70.09-1-34	Ronald J Harmon	25 Ellsworth Dr,Blauvelt, NY 10913
392489	70.09-1-35	Anton Usic	33 Ellsworth Dr,Blauvelt, NY 10913
392489	70.09-1-36	John C Fitzpatrick	35 Ellsworth Dr,Blauvelt, NY 10913
392489	70.09-1-37	Dennis Buckley	36 Ellsworth Dr,Blauvelt, NY 10913
392489	70.09-1-38	Thomas Shalvey	34 Ellsworth Dr,Blauvelt, NY 10913
392489	70.09-1-39	James J Mc Caffrey Jr	28 Ellsworth Dr,Blauvelt, NY 10913
392489	70.09-1-40	Joseph Kennedy	18 Ellsworth Dr,Blauvelt, NY 10913
392489	70.09-1-45	Frederick J Vero	79 Old Western Hwy,Blauvelt, NY 10913
392489	70.09-1-46	David Kosberg	81 Old Western Hwy,Blauvelt, NY 10913
392489	70.09-1-47	Steven Weiss	83 Old Western Hwy,Blauvelt, NY 10913
392489	70.09-1-48	Paul K Silva	89 Old Western Hwy,Blauvelt, NY 10913
392489	70.09-1-49	Michael Klomberg	91 Old Western Hwy,Blauvelt, NY 10913
392489	70.09-1-50	Christopher M O'Rourke	646 Gilbert Ave,Pearl River, NY 10965
392489	70.09-1-51	Town Of Orangetown	26 Oranburg Rd,Orangeburg, NY 10962
392489	70.09-1-52	Brian Segarra	102 Old Western Hwy,Blauvelt, NY 10913
392489	70.09-1-53	Josef Schmutzer	100 Old Western Hwy,Blauvelt, NY 10913
392489	70.09-1-54	Paul Kaczmarczyk	80 Old Western Hwy,Blauvelt, NY 10913
392489	70.09-1-65	Patrick O'Connor	668 Western Hwy,Blauvelt, NY 10913
392489	70.10-1-1	Jenna Isker	2 Shorn Dr,Blauvelt, NY 10983
392489	70.10-1-2	Howard Suckle	4 Shorn Dr,Blauvelt, NY 10913

EXHIBIT "A"

EXHIBIT "B"

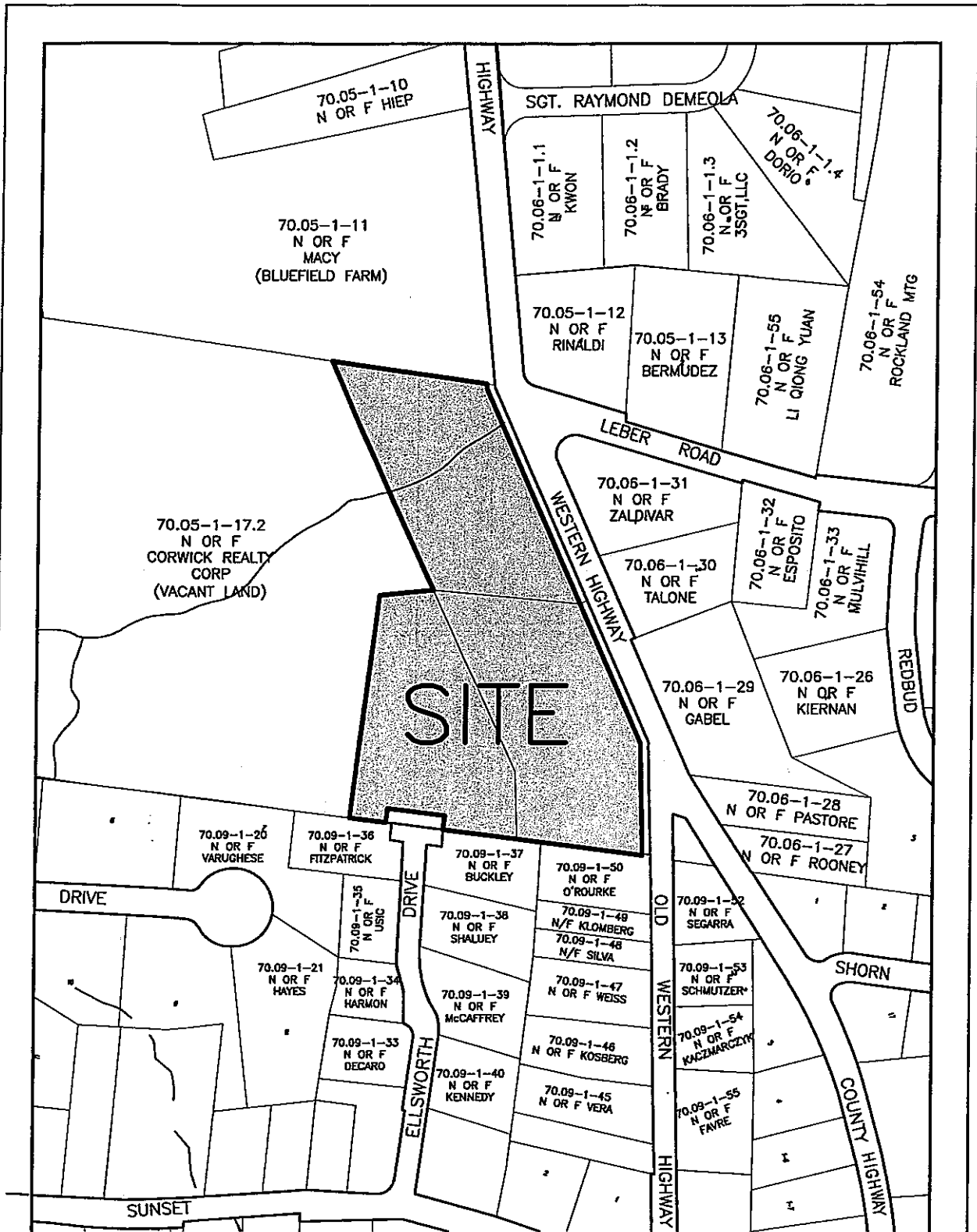


EXHIBIT "B"

MAP OF TAX LOT
FOR ZONE CHANGE

DESIGNED DB
 DRAWN LDW
 CHECKED JAC
 APPROVED JAG
 DATE
 04/03/24

SCALE
 1"=200'

JAY A. GREENWELL, PLS, LLC
 LAND SURVEYING - LAND PLANNING
 34 WAYNE AVENUE, SUFFERN, NEW YORK, 10901
 PHONE 845-337-0830 GREENWELLPLS@AOL.COM

PROJECT:
 HEGARTY HOMES, INC
 TOWN OF ORANGETOWN
 ROCKLAND COUNTY, NY

CLIENT:
 HUDSON VALLEY
 NURSERY INC
 &
 HEGARTY HOMES INC.



EXHIBIT "C"

ZONING

43 Attachment 13

Town of Orangetown
Table of General Bulk Regulations
(§ 2.12)
R-80 District
R-40 District
R-22 District
R-15 District

[Amended 9-27-2016 by L.L. No. 9-2016; 5-23-2017 by L.L. No. 6-2017]

1	2	3	4	5	6	7	8	9	10	11	12
District	Group	For Uses Listed Below	Maximum Floor Area Ratio	Minimum Lot Area (See Note 14) (square feet)	Minimum Lot Width (feet)	Minimum Street Frontage (See Note 5) (feet)	Required Front Yard (See Notes 6 and 7) (feet)	Required Side Yard (See Note 2) (feet)	Total Side Yard (feet)	Required Rear Yard (See Note 2) (feet)	Maximum Building Height* (See Note 7)
R-15	M	Single-family detached residences and uses in Group B	0.20	15,000	100	75	30	20	50	35	1 foot
	M1	Same as Group B	0.20	3 acres	200	150	60	40	80	50	1 foot
	N	Attached veteran housing and single-family attached residences for adults in buildings not more than 2 stories high**	0.20 (See Note 13)	See Note 13	100	75	30	30	75	35	8 inches
	O	All other uses allowed in R-15 (See Notes 3 and 13)	0.20	30,000	250	100	100	75	200	100	3 inches
	P	Police, fire, government buildings	None	None	None	50	100	100	200	100	None

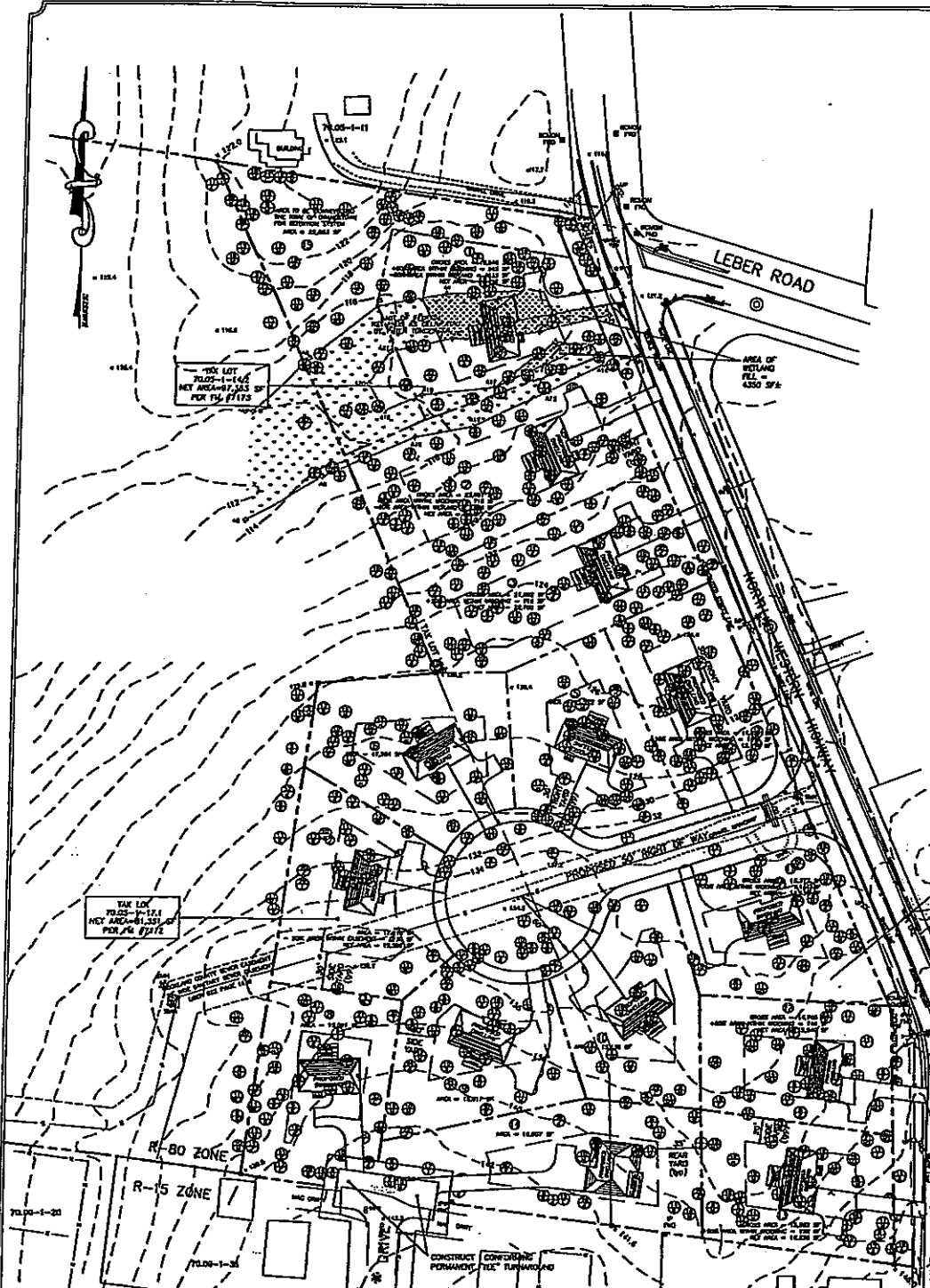
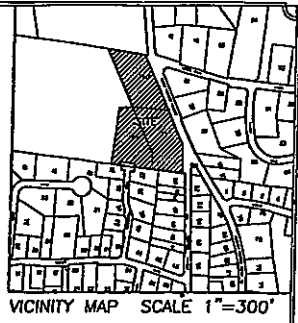
NOTES:

* Maximum height in feet and inches per foot from lot line.

** Not more than five dwelling units per acre for adult housing on a minimum of five acres.

*** The limitations of Note 13 shall not apply to attached veteran housing to the extent same impose limits or requirements relating to bedroom count or prior construction within 500 feet.

EXHIBIT "D"



PRICE LEGEND

1. SIZE IN INCHES BARRETT OR SHOWN AS DIMENSIONS
LETTER INDICATES TREE TYPE AND HEIGHT
BIDDING MARKED (L) (S) INDICATES TREE TYPE

A - ABE	K - KIPPC
B - BACH	L - LINC
BC - BEECH	M - MAPLE
C - CHERRY	N - NORWAY
D - DUM	O - OAK
E - ELM	P - PINE
F - FERN	Q - QUERCUS
G - GUM	R - REDWOOD
H - HICKORY	S - SYPHIRE
I - IRONWOOD	T - TULAR
J - JUNE	U - UNIDENTIFIED
K - KIPPC	V - VIBURNUM
L - LINC	W - WALNUT
M - MAPLE	X - XMAS
N - NORWAY	Y - YEW
O - OAK	Z - ZEBRA
P - PINE	
Q - QUERCUS	
R - REDWOOD	
S - SYPHIRE	
T - TULAR	
U - UNIDENTIFIED	
V - VIBURNUM	
W - WALNUT	
X - XMAS	
Y - YEW	
Z - ZEBRA	

LEGEND

--- 10 ---	CONTOUR
--- 11 ---	SPOT GRADE
--- 12 ---	5 FT CATCH BASIN/YIELD W/LET
--- 13 ---	DRAIN LINE
--- 14 ---	SEWAGE MANHOLE / PIP
--- 15 ---	EDGE OF PAVED/PT
--- 16 ---	CONCRETE CURB
--- 17 ---	GAS LINE / VALVE
--- 18 ---	WATER LINE / VALVE
--- 19 ---	UTILITY POLE
--- 20 ---	LIGHT POLE
--- 21 ---	OVERHEAD WIRE
--- 22 ---	UNDERGROUND ELECTRIC

GROUP	NO.	DATE	BY	FOR	REVISIONS
RECORDED	1000	100 FT	75 FT	30 FT	30 FT
					1 FOOT
					0.30

Exhibit "D"

DATE	REVISIONS	SUBDIVISION R-15 HUDSON VALLEY NURSERY INC & HEGARTY HOMES INC. TOWN OF ORANGETOWN ROCKLAND COUNTY, NEW YORK JAY A. GREENWELL, PLS, LLC LAND SURVEYING - LAND PLANNING 85 LAFAYETTE AVENUE, SUFFERN, NEW YORK, 10981	TAX LOT # (SEE ABOVE)
DESIGNED JAC	DRAWN JAC		AREA 280,722 SF
CHECKED JAC	APPROVED JAC	8.44 AC±	FILE 21916CONCP
		SCALE 1"=40'	DATE 3/23/24
			JOB NO. 21016

50 Park Place Suite 901, Newark, NJ 07102

PROJECT: Orangetown NY - Onyx Equities, LLC
1739 22-02023

DATE: 5/9/2024

SUBJECT: 64 Leber Road - Watercourse Diversion Permit

TRANSMITTAL ID: 00010

PURPOSE: For your use

VIA: Info Exchange

FROM

NAME	COMPANY	EMAIL	PHONE
John Kosko 50 Park Place Suite 901 Newark, NJ 07102	Dynamic Engineering Consultants PC	jkosko@dynamicec.com	Ext. 2503

TO

NAME	COMPANY	EMAIL	PHONE
Jane Slavin United States		jslavin@orangetown.com	
rmagrino@orangetown.com United States		rmagrino@orangetown.com	
kbettmann@orangetown.com United States		kbettmann@orangetown.com	
bpeters@orangetown.com		bpeters@orangetown.com	

REMARKS: Good Afternoon,

Hard copies of the Watercourse Diversion Permit Package went out the door today and will arrive to the Town tomorrow morning ahead of the May 21st Town Board Hearing. The link attached supplies PDF copies of the package as well.

Thank you,
John Kosko
 Design Engineer



Licensed Professional Engineers throughout the United States

50 Park Place | Suite 901 | Newark, New Jersey 07102
PH: (973) 755-7200 Ext. 2503

Transmittal

DATE: 5/9/2024
TRANSMITTAL ID: 00010

Additional office locations:

Florida (Delray Beach) - 100 NE 5th Ave | Suite B2 | Delray Beach, FL 33483 | PH: (561) 921-8570

Maryland (Annapolis) - 125 West Street | Annapolis, MD 21401 | PH: (410) 567-5000

New Jersey (Belmar) - 825 8th Avenue | Belmar, NJ 07719 | PH: (732) 974-0198

New Jersey (Chester) - 245 Main Street | Suite 110 | Chester, NJ 07930 | PH: (908) 879-9229

New Jersey (Lake Como) - 1904 Main Street | Lake Como, NJ 07719 | PH: (732) 974-0198

New Jersey (Marlton) - Five Greentree Centre | 525 Route 73 North | Suite 406 | Marlton, NJ 08053 | PH: (856) 334-2000

New Jersey (Toms River) - 40 Main Street | 3rd Floor | Toms River, NJ 08753 | PH: (732) 678-0000

Pennsylvania (Lehigh Valley) - 95 Highland Ave | Suite 170 | Bethlehem, PA 18017 | PH: (610) 598-4400

Pennsylvania (Newtown) - 826 Newtown Yardley Road | Suite 201 | Newtown, PA 18940 | PH: (267) 685-0276

Pennsylvania (Philadelphia) - 1515 Market Street | Suite 1920 | Philadelphia, PA 19102 | PH: (215) 253-4888

Texas (Austin) - 901 Mopac Expressway South | Barton Oaks Plaza One | Suite 300 | Austin, TX 78746 | PH: (512) 646-2646

Texas (Dallas) - 714 S. Greenville Avenue | Suite 100 | Allen, TX 75002 | PH: (972) 534-2100

Texas (Houston) - 6925 Portwest Drive | Suite 100 | Houston, TX 77024 | PH: (281) 789-6400

Please visit our websites:



Connect with us:



DESCRIPTION OF CONTENTS

QTY	DATED	TITLE	NOTES
1	5/9/2024	2024-05-09 - Attorney Watercourse Diversion Permit CL.pdf	
1	5/9/2024	2024-05-09 - Response Letter.pdf	
1	5/9/2024	2024-05-09 Watercourse Diversion Permit Package.pdf	

COPIES:

Zachary Kamm

(Dynamic Engineering Consultants PC)

Robert Freud

(Dynamic Engineering Consultants PC)

SMandelbaum@mgsllawyers.com

m
tramey@mgsllawyers.com

John Kosko

(Dynamic Engineering Consultants PC)



Stormwater Conveyance System Capacity Analysis

Project: Proposed Accessory Parking Lot

Job #: 1739-22-02023

Location: Town of Orangetown, NY

Design Storm: 100-year

Computed By: JSK

Checked By: ZK

Date: 5/9/2024

NOTES:

1) Design method used is Rational Method, unless otherwise noted.

2) Refer to Inlet Area Summary and Average Coefficient (C) Calculations Table for calculation of incremental areas and C values

PIPE SECTION		SUBCATCHMENT AREA	INCREMENTAL		CUMULATIVE	TIME OF CONCENTRATION			I	PEAK RUNOFF		PIPING INPUT			PIPING DATA		
FROM	TO	Area (Acres)	"C"	A x C Ac	A x C (acres)	Tc to Inlet (min)	Tc in Pipe (min.)	Final Tc (min)	(In/Hr)	Q to Inlet (CFS)	Q cum. for Pipe (CFS)	Dia. (In)	Length (Ft)	Man. "n"	Slope (ft/ft)	Pipe Capacity (cfs)	Pipe Velocity (fps)
DDW	POA-W	1.01	0.66	0.67	0.67	10.00	0.05	10.00	8.15	5.46	5.46	30	35.0	0.013	0.0230	62.20	12.68



Ditch Area Summary and Average Coefficient (C) Calculations

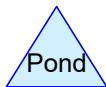
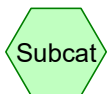
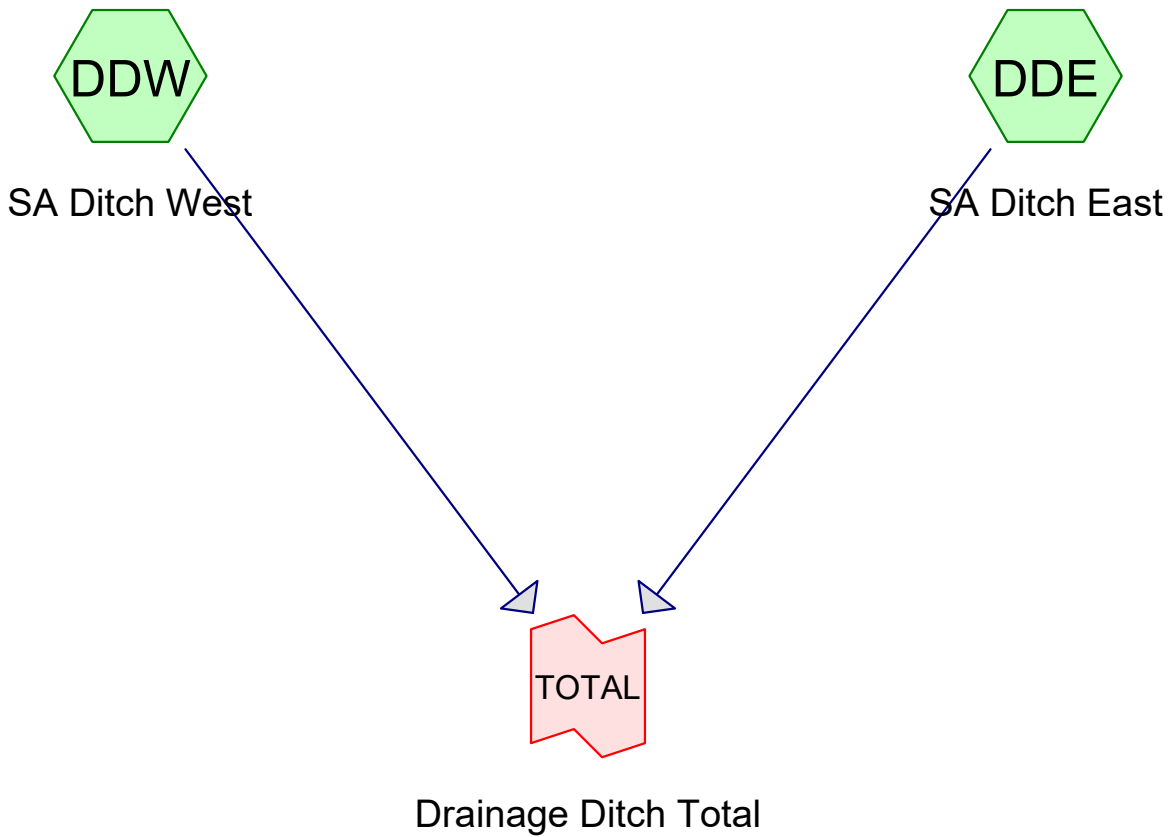
Project: Proposed Accessory Parking Lot
Job #: 1739-22-02023
Location: Town of Orangetown, NY

Computed By: JSK
Checked By: ZK
Date: 5/9/2024

Drainage Area	Impervious Area (sf)	Coefficient (C) Used	Open Space (SF)	Coefficient (C) Used	Average Coefficient (C) Used	Total Area (SF)	Total Area (acres)
Drainage Ditch West	0	0.96	43890	0.66	0.66	43890	1.01

Drainage Ditch West
(DDW)

Drainage Ditch East
(DDE)



2024-05 Existing Drainage Ditch Calculations

Prepared by Dynamic Engineering

HydroCAD® 10.20-5a s/n 08640 © 2023 HydroCAD Software Solutions LLC

Printed 5/9/2024

Page 2

Project Notes

Copied 9 events from NY-Orangetown 24-hr S1 storm

Copied 9 events from NY-Orangetown 24-hr S1 storm

Copied 9 events from NY-Orangetown 24-hr S1 storm

Copied 9 events from NY-Orangetown 24-hr S1 storm

Copied 9 events from NY-Orangetown 24-hr S1 storm

2024-05 Existing Drainage Ditch Calculations

Prepared by Dynamic Engineering

HydroCAD® 10.20-5a s/n 08640 © 2023 HydroCAD Software Solutions LLC

Printed 5/9/2024

Page 3

Rainfall Events Listing

Event#	Event Name	Storm Type	Curve	Mode	Duration (hours)	B/B	Depth (inches)	AMC
1	1-yr	NY-Orangetown 24-hr S1	1-yr	Default	24.00	1	2.79	2
2	10-yr	NY-Orangetown 24-hr S1	10-yr	Default	24.00	1	5.06	2
3	100-yr	NY-Orangetown 24-hr S1	100-yr	Default	24.00	1	8.97	2

2024-05 Existing Drainage Ditch Calculations

Prepared by Dynamic Engineering

HydroCAD® 10.20-5a s/n 08640 © 2023 HydroCAD Software Solutions LLC

Printed 5/9/2024

Page 4

Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
1.805	69	50-75% Grass cover, Fair, HSG B (DDE)
1.001	79	50-75% Grass cover, Fair, HSG C (DDW)
0.283	96	Gravel surface, HSG B (DDE)
0.523	96	Gravel surface, HSG C (DDW)
0.019	98	Rock Area, HSG B (DDE)
0.899	60	Woods, Fair, HSG B (DDE)
0.450	73	Woods, Fair, HSG C (DDW)

2024-05 Existing Drainage Ditch Calculations

Prepared by Dynamic Engineering

HydroCAD® 10.20-5a s/n 08640 © 2023 HydroCAD Software Solutions LLC

Printed 5/9/2024

Page 5

Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
3.006	HSG B	DDE
1.974	HSG C	DDW
0.000	HSG D	
0.000	Other	

2024-05 Existing Drainage Ditch Calculations

Prepared by Dynamic Engineering

HydroCAD® 10.20-5a s/n 08640 © 2023 HydroCAD Software Solutions LLC

Printed 5/9/2024

Page 6

Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	1.805	1.001	0.000	0.000	2.806	50-75% Grass cover, Fair	DDE, DDW
0.000	0.283	0.523	0.000	0.000	0.806	Gravel surface	DDE, DDW
0.000	0.019	0.000	0.000	0.000	0.019	Rock Area	DDE
0.000	0.899	0.450	0.000	0.000	1.348	Woods, Fair	DDE, DDW

Summary for Subcatchment DDE: SA Ditch East

Runoff = 2.02 cfs @ 11.99 hrs, Volume= 0.140 af, Depth> 0.56"
 Routed to Link TOTAL : Drainage Ditch Total

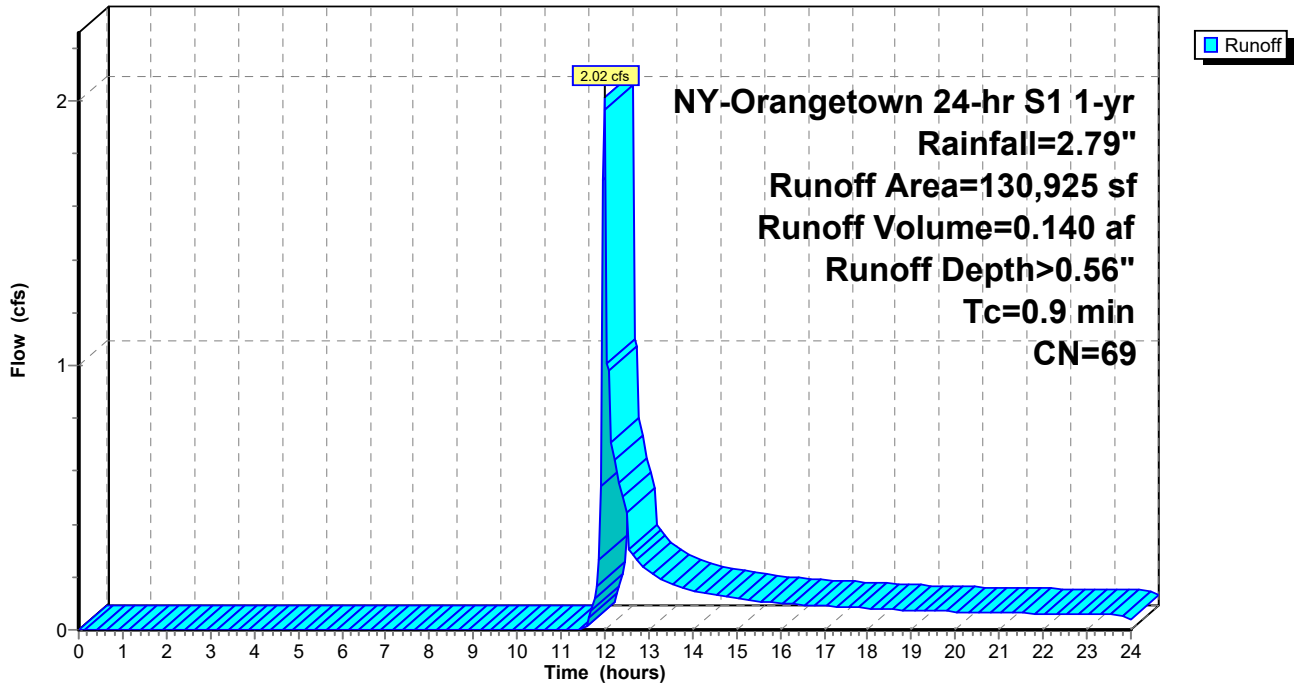
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 NY-Orangetown 24-hr S1 1-yr Rainfall=2.79"

Area (sf)	CN	Description
78,620	69	50-75% Grass cover, Fair, HSG B
12,325	96	Gravel surface, HSG B
39,140	60	Woods, Fair, HSG B
* 840	98	Rock Area, HSG B
130,925	69	Weighted Average
130,085		99.36% Pervious Area
840		0.64% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.9					Direct Entry, TC DDE

Subcatchment DDE: SA Ditch East

Hydrograph



Hydrograph for Subcatchment DDE: SA Ditch East

Time (hours)	Precip. (inches)	Excess (inches)	Runoff (cfs)	Time (hours)	Precip. (inches)	Excess (inches)	Runoff (cfs)
0.00	0.00	0.00	0.00	13.00	2.04	0.23	0.22
0.25	0.01	0.00	0.00	13.25	2.08	0.25	0.19
0.50	0.02	0.00	0.00	13.50	2.12	0.26	0.18
0.75	0.03	0.00	0.00	13.75	2.16	0.28	0.16
1.00	0.04	0.00	0.00	14.00	2.19	0.29	0.15
1.25	0.05	0.00	0.00	14.25	2.22	0.30	0.14
1.50	0.06	0.00	0.00	14.50	2.25	0.31	0.13
1.75	0.07	0.00	0.00	14.75	2.28	0.32	0.12
2.00	0.08	0.00	0.00	15.00	2.30	0.33	0.12
2.25	0.09	0.00	0.00	15.25	2.32	0.34	0.11
2.50	0.10	0.00	0.00	15.50	2.34	0.35	0.11
2.75	0.11	0.00	0.00	15.75	2.36	0.36	0.11
3.00	0.12	0.00	0.00	16.00	2.38	0.37	0.10
3.25	0.13	0.00	0.00	16.25	2.40	0.38	0.10
3.50	0.14	0.00	0.00	16.50	2.42	0.39	0.10
3.75	0.15	0.00	0.00	16.75	2.44	0.39	0.09
4.00	0.17	0.00	0.00	17.00	2.46	0.40	0.09
4.25	0.18	0.00	0.00	17.25	2.47	0.41	0.09
4.50	0.19	0.00	0.00	17.50	2.49	0.42	0.09
4.75	0.20	0.00	0.00	17.75	2.50	0.42	0.08
5.00	0.22	0.00	0.00	18.00	2.52	0.43	0.08
5.25	0.23	0.00	0.00	18.25	2.53	0.44	0.08
5.50	0.24	0.00	0.00	18.50	2.55	0.44	0.08
5.75	0.26	0.00	0.00	18.75	2.56	0.45	0.08
6.00	0.27	0.00	0.00	19.00	2.57	0.45	0.08
6.25	0.29	0.00	0.00	19.25	2.59	0.46	0.07
6.50	0.30	0.00	0.00	19.50	2.60	0.47	0.07
6.75	0.32	0.00	0.00	19.75	2.61	0.47	0.07
7.00	0.34	0.00	0.00	20.00	2.62	0.48	0.07
7.25	0.35	0.00	0.00	20.25	2.64	0.48	0.07
7.50	0.37	0.00	0.00	20.50	2.65	0.49	0.07
7.75	0.39	0.00	0.00	20.75	2.66	0.50	0.07
8.00	0.41	0.00	0.00	21.00	2.67	0.50	0.07
8.25	0.43	0.00	0.00	21.25	2.68	0.51	0.06
8.50	0.45	0.00	0.00	21.50	2.69	0.51	0.06
8.75	0.47	0.00	0.00	21.75	2.70	0.52	0.06
9.00	0.49	0.00	0.00	22.00	2.71	0.52	0.06
9.25	0.52	0.00	0.00	22.25	2.72	0.53	0.06
9.50	0.54	0.00	0.00	22.50	2.73	0.53	0.06
9.75	0.57	0.00	0.00	22.75	2.74	0.54	0.06
10.00	0.60	0.00	0.00	23.00	2.75	0.54	0.06
10.25	0.63	0.00	0.00	23.25	2.76	0.55	0.06
10.50	0.67	0.00	0.00	23.50	2.77	0.55	0.06
10.75	0.71	0.00	0.00	23.75	2.78	0.56	0.06
11.00	0.76	0.00	0.00	24.00	2.79	0.56	0.04
11.25	0.82	0.00	0.00				
11.50	0.89	0.00	0.00				
11.75	1.03	0.00	0.12				
12.00	1.53	0.08	1.97				
12.25	1.78	0.14	0.59				
12.50	1.92	0.19	0.45				
12.75	1.98	0.21	0.25				

Summary for Subcatchment DDW: SA Ditch West

Runoff = 3.62 cfs @ 11.98 hrs, Volume= 0.200 af, Depth> 1.22"
 Routed to Link TOTAL : Drainage Ditch Total

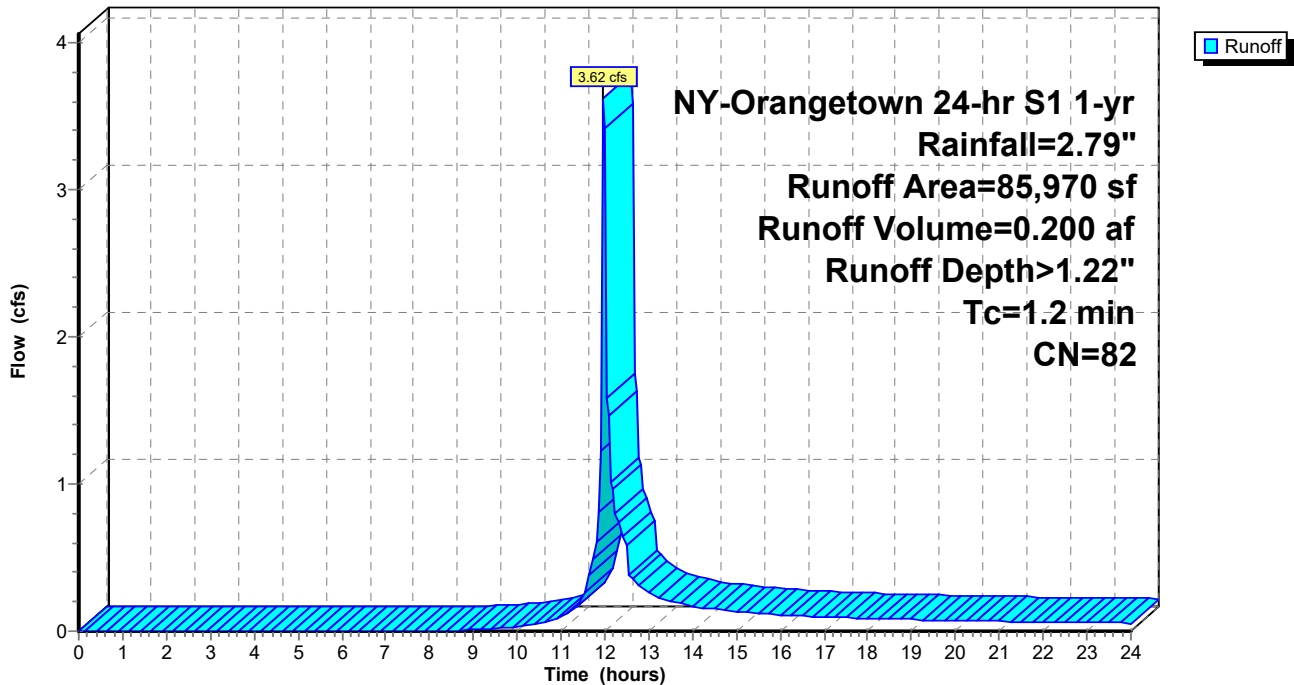
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 NY-Orangetown 24-hr S1 1-yr Rainfall=2.79"

Area (sf)	CN	Description
43,590	79	50-75% Grass cover, Fair, HSG C
22,795	96	Gravel surface, HSG C
19,585	73	Woods, Fair, HSG C
85,970	82	Weighted Average
85,970		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.2					Direct Entry, TC DDW

Subcatchment DDW: SA Ditch West

Hydrograph



Hydrograph for Subcatchment DDW: SA Ditch West

Time (hours)	Precip. (inches)	Excess (inches)	Runoff (cfs)	Time (hours)	Precip. (inches)	Excess (inches)	Runoff (cfs)
0.00	0.00	0.00	0.00	13.00	2.04	0.67	0.27
0.25	0.01	0.00	0.00	13.25	2.08	0.71	0.23
0.50	0.02	0.00	0.00	13.50	2.12	0.73	0.21
0.75	0.03	0.00	0.00	13.75	2.16	0.76	0.18
1.00	0.04	0.00	0.00	14.00	2.19	0.78	0.17
1.25	0.05	0.00	0.00	14.25	2.22	0.80	0.16
1.50	0.06	0.00	0.00	14.50	2.25	0.82	0.15
1.75	0.07	0.00	0.00	14.75	2.28	0.84	0.14
2.00	0.08	0.00	0.00	15.00	2.30	0.85	0.13
2.25	0.09	0.00	0.00	15.25	2.32	0.87	0.13
2.50	0.10	0.00	0.00	15.50	2.34	0.89	0.12
2.75	0.11	0.00	0.00	15.75	2.36	0.90	0.11
3.00	0.12	0.00	0.00	16.00	2.38	0.91	0.11
3.25	0.13	0.00	0.00	16.25	2.40	0.93	0.11
3.50	0.14	0.00	0.00	16.50	2.42	0.94	0.10
3.75	0.15	0.00	0.00	16.75	2.44	0.95	0.10
4.00	0.17	0.00	0.00	17.00	2.46	0.97	0.10
4.25	0.18	0.00	0.00	17.25	2.47	0.98	0.09
4.50	0.19	0.00	0.00	17.50	2.49	0.99	0.09
4.75	0.20	0.00	0.00	17.75	2.50	1.00	0.09
5.00	0.22	0.00	0.00	18.00	2.52	1.01	0.09
5.25	0.23	0.00	0.00	18.25	2.53	1.02	0.08
5.50	0.24	0.00	0.00	18.50	2.55	1.03	0.08
5.75	0.26	0.00	0.00	18.75	2.56	1.04	0.08
6.00	0.27	0.00	0.00	19.00	2.57	1.05	0.08
6.25	0.29	0.00	0.00	19.25	2.59	1.06	0.08
6.50	0.30	0.00	0.00	19.50	2.60	1.07	0.07
6.75	0.32	0.00	0.00	19.75	2.61	1.08	0.07
7.00	0.34	0.00	0.00	20.00	2.62	1.09	0.07
7.25	0.35	0.00	0.00	20.25	2.64	1.10	0.07
7.50	0.37	0.00	0.00	20.50	2.65	1.11	0.07
7.75	0.39	0.00	0.00	20.75	2.66	1.12	0.07
8.00	0.41	0.00	0.00	21.00	2.67	1.12	0.07
8.25	0.43	0.00	0.00	21.25	2.68	1.13	0.07
8.50	0.45	0.00	0.00	21.50	2.69	1.14	0.06
8.75	0.47	0.00	0.00	21.75	2.70	1.15	0.06
9.00	0.49	0.00	0.01	22.00	2.71	1.16	0.06
9.25	0.52	0.00	0.01	22.25	2.72	1.16	0.06
9.50	0.54	0.00	0.02	22.50	2.73	1.17	0.06
9.75	0.57	0.01	0.03	22.75	2.74	1.18	0.06
10.00	0.60	0.01	0.03	23.00	2.75	1.19	0.06
10.25	0.63	0.02	0.04	23.25	2.76	1.19	0.06
10.50	0.67	0.02	0.05	23.50	2.77	1.20	0.06
10.75	0.71	0.03	0.07	23.75	2.78	1.21	0.06
11.00	0.76	0.04	0.09	24.00	2.79	1.22	0.05
11.25	0.82	0.06	0.13				
11.50	0.89	0.08	0.21				
11.75	1.03	0.13	0.54				
12.00	1.53	0.36	3.42				
12.25	1.78	0.51	0.80				
12.50	1.92	0.59	0.58				
12.75	1.98	0.64	0.31				

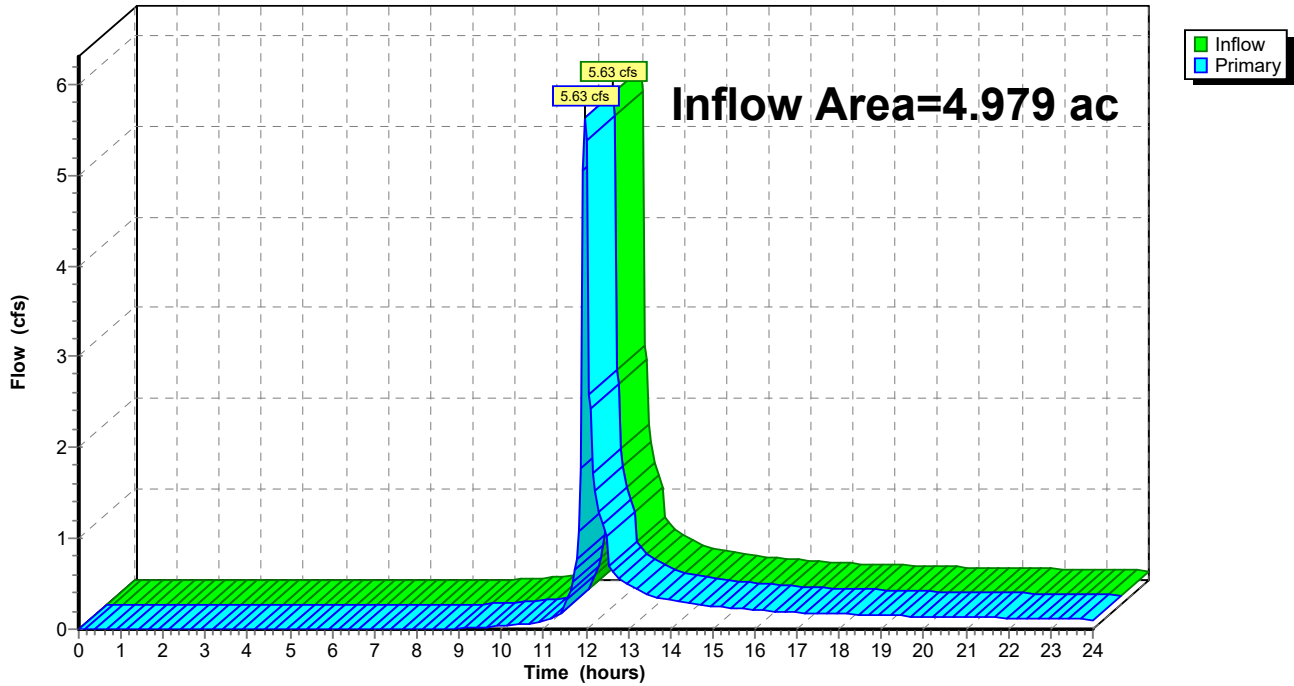
Summary for Link TOTAL: Drainage Ditch Total

Inflow Area = 4.979 ac, 0.39% Impervious, Inflow Depth > 0.82" for 1-yr event
Inflow = 5.63 cfs @ 11.98 hrs, Volume= 0.340 af
Primary = 5.63 cfs @ 11.98 hrs, Volume= 0.340 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link TOTAL: Drainage Ditch Total

Hydrograph



Hydrograph for Link TOTAL: Drainage Ditch Total

Time (hours)	Inflow (cfs)	Elevation (feet)	Primary (cfs)	Time (hours)	Inflow (cfs)	Elevation (feet)	Primary (cfs)
0.00	0.00	0.00	0.00	13.00	0.49	0.00	0.49
0.25	0.00	0.00	0.00	13.25	0.42	0.00	0.42
0.50	0.00	0.00	0.00	13.50	0.38	0.00	0.38
0.75	0.00	0.00	0.00	13.75	0.34	0.00	0.34
1.00	0.00	0.00	0.00	14.00	0.32	0.00	0.32
1.25	0.00	0.00	0.00	14.25	0.30	0.00	0.30
1.50	0.00	0.00	0.00	14.50	0.28	0.00	0.28
1.75	0.00	0.00	0.00	14.75	0.26	0.00	0.26
2.00	0.00	0.00	0.00	15.00	0.25	0.00	0.25
2.25	0.00	0.00	0.00	15.25	0.24	0.00	0.24
2.50	0.00	0.00	0.00	15.50	0.23	0.00	0.23
2.75	0.00	0.00	0.00	15.75	0.22	0.00	0.22
3.00	0.00	0.00	0.00	16.00	0.21	0.00	0.21
3.25	0.00	0.00	0.00	16.25	0.20	0.00	0.20
3.50	0.00	0.00	0.00	16.50	0.20	0.00	0.20
3.75	0.00	0.00	0.00	16.75	0.19	0.00	0.19
4.00	0.00	0.00	0.00	17.00	0.19	0.00	0.19
4.25	0.00	0.00	0.00	17.25	0.18	0.00	0.18
4.50	0.00	0.00	0.00	17.50	0.18	0.00	0.18
4.75	0.00	0.00	0.00	17.75	0.17	0.00	0.17
5.00	0.00	0.00	0.00	18.00	0.17	0.00	0.17
5.25	0.00	0.00	0.00	18.25	0.16	0.00	0.16
5.50	0.00	0.00	0.00	18.50	0.16	0.00	0.16
5.75	0.00	0.00	0.00	18.75	0.16	0.00	0.16
6.00	0.00	0.00	0.00	19.00	0.15	0.00	0.15
6.25	0.00	0.00	0.00	19.25	0.15	0.00	0.15
6.50	0.00	0.00	0.00	19.50	0.15	0.00	0.15
6.75	0.00	0.00	0.00	19.75	0.14	0.00	0.14
7.00	0.00	0.00	0.00	20.00	0.14	0.00	0.14
7.25	0.00	0.00	0.00	20.25	0.14	0.00	0.14
7.50	0.00	0.00	0.00	20.50	0.14	0.00	0.14
7.75	0.00	0.00	0.00	20.75	0.13	0.00	0.13
8.00	0.00	0.00	0.00	21.00	0.13	0.00	0.13
8.25	0.00	0.00	0.00	21.25	0.13	0.00	0.13
8.50	0.00	0.00	0.00	21.50	0.13	0.00	0.13
8.75	0.00	0.00	0.00	21.75	0.13	0.00	0.13
9.00	0.01	0.00	0.01	22.00	0.12	0.00	0.12
9.25	0.01	0.00	0.01	22.25	0.12	0.00	0.12
9.50	0.02	0.00	0.02	22.50	0.12	0.00	0.12
9.75	0.03	0.00	0.03	22.75	0.12	0.00	0.12
10.00	0.03	0.00	0.03	23.00	0.12	0.00	0.12
10.25	0.04	0.00	0.04	23.25	0.12	0.00	0.12
10.50	0.05	0.00	0.05	23.50	0.11	0.00	0.11
10.75	0.07	0.00	0.07	23.75	0.11	0.00	0.11
11.00	0.09	0.00	0.09	24.00	0.09	0.00	0.09
11.25	0.13	0.00	0.13				
11.50	0.21	0.00	0.21				
11.75	0.66	0.00	0.66				
12.00	5.39	0.00	5.39				
12.25	1.40	0.00	1.40				
12.50	1.03	0.00	1.03				
12.75	0.57	0.00	0.57				

Summary for Subcatchment DDE: SA Ditch East

Runoff = 8.02 cfs @ 11.97 hrs, Volume= 0.501 af, Depth> 2.00"
 Routed to Link TOTAL : Drainage Ditch Total

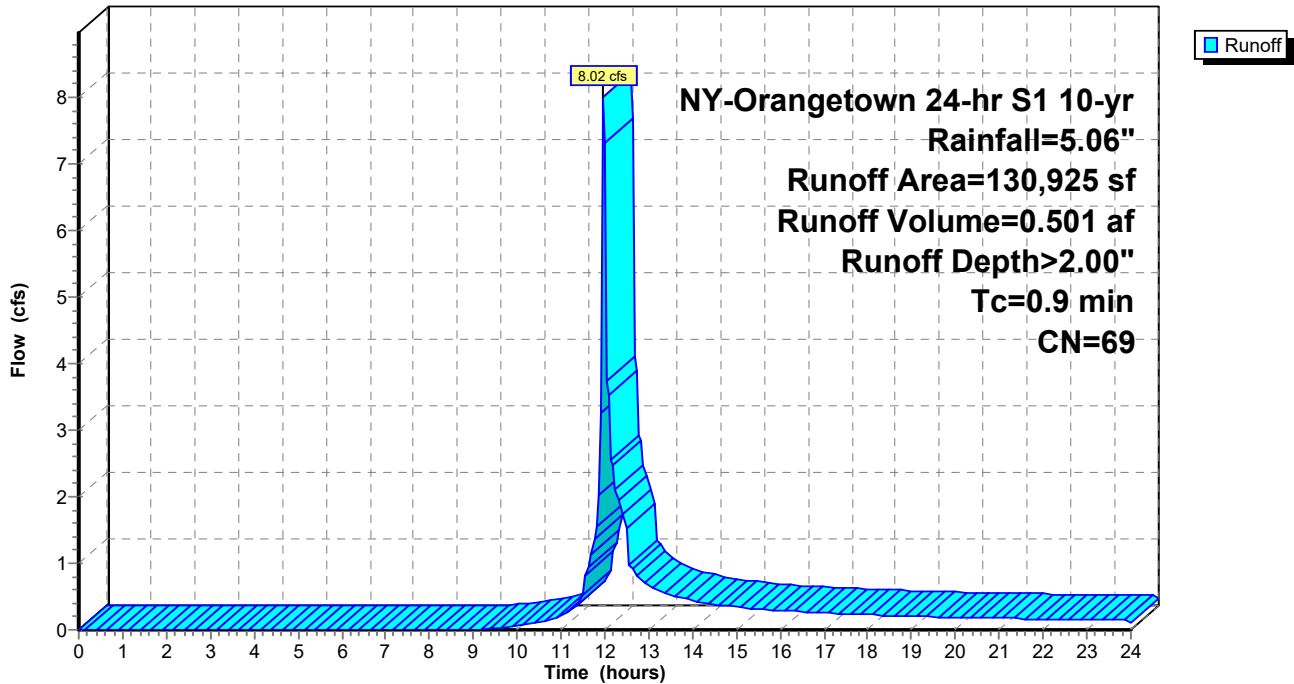
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 NY-Orangetown 24-hr S1 10-yr Rainfall=5.06"

Area (sf)	CN	Description
78,620	69	50-75% Grass cover, Fair, HSG B
12,325	96	Gravel surface, HSG B
39,140	60	Woods, Fair, HSG B
* 840	98	Rock Area, HSG B
130,925	69	Weighted Average
130,085		99.36% Pervious Area
840		0.64% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.9					Direct Entry, TC DDE

Subcatchment DDE: SA Ditch East

Hydrograph



Hydrograph for Subcatchment DDE: SA Ditch East

Time (hours)	Precip. (inches)	Excess (inches)	Runoff (cfs)	Time (hours)	Precip. (inches)	Excess (inches)	Runoff (cfs)
0.00	0.00	0.00	0.00	13.00	3.68	1.06	0.69
0.25	0.02	0.00	0.00	13.25	3.76	1.12	0.59
0.50	0.03	0.00	0.00	13.50	3.84	1.16	0.53
0.75	0.05	0.00	0.00	13.75	3.90	1.20	0.48
1.00	0.07	0.00	0.00	14.00	3.96	1.24	0.45
1.25	0.09	0.00	0.00	14.25	4.01	1.28	0.41
1.50	0.11	0.00	0.00	14.50	4.06	1.31	0.39
1.75	0.12	0.00	0.00	14.75	4.11	1.34	0.37
2.00	0.14	0.00	0.00	15.00	4.16	1.37	0.35
2.25	0.16	0.00	0.00	15.25	4.20	1.40	0.33
2.50	0.18	0.00	0.00	15.50	4.24	1.42	0.32
2.75	0.20	0.00	0.00	15.75	4.28	1.45	0.30
3.00	0.22	0.00	0.00	16.00	4.31	1.47	0.29
3.25	0.24	0.00	0.00	16.25	4.35	1.50	0.28
3.50	0.26	0.00	0.00	16.50	4.38	1.52	0.27
3.75	0.29	0.00	0.00	16.75	4.41	1.54	0.26
4.00	0.31	0.00	0.00	17.00	4.44	1.56	0.26
4.25	0.33	0.00	0.00	17.25	4.47	1.58	0.25
4.50	0.35	0.00	0.00	17.50	4.50	1.60	0.24
4.75	0.38	0.00	0.00	17.75	4.53	1.62	0.23
5.00	0.40	0.00	0.00	18.00	4.56	1.64	0.23
5.25	0.43	0.00	0.00	18.25	4.58	1.66	0.22
5.50	0.45	0.00	0.00	18.50	4.61	1.68	0.22
5.75	0.48	0.00	0.00	18.75	4.64	1.70	0.21
6.00	0.50	0.00	0.00	19.00	4.66	1.71	0.21
6.25	0.53	0.00	0.00	19.25	4.68	1.73	0.20
6.50	0.56	0.00	0.00	19.50	4.71	1.75	0.20
6.75	0.59	0.00	0.00	19.75	4.73	1.76	0.19
7.00	0.62	0.00	0.00	20.00	4.75	1.78	0.19
7.25	0.65	0.00	0.00	20.25	4.77	1.80	0.19
7.50	0.68	0.00	0.00	20.50	4.80	1.81	0.18
7.75	0.72	0.00	0.00	20.75	4.82	1.83	0.18
8.00	0.75	0.00	0.00	21.00	4.84	1.84	0.18
8.25	0.79	0.00	0.00	21.25	4.86	1.85	0.17
8.50	0.83	0.00	0.00	21.50	4.88	1.87	0.17
8.75	0.87	0.00	0.00	21.75	4.90	1.88	0.17
9.00	0.91	0.00	0.00	22.00	4.92	1.90	0.17
9.25	0.95	0.00	0.01	22.25	4.94	1.91	0.16
9.50	1.00	0.00	0.03	22.50	4.95	1.92	0.16
9.75	1.05	0.01	0.04	22.75	4.97	1.94	0.16
10.00	1.11	0.01	0.06	23.00	4.99	1.95	0.16
10.25	1.17	0.02	0.08	23.25	5.01	1.96	0.16
10.50	1.23	0.02	0.11	23.50	5.03	1.98	0.15
10.75	1.31	0.03	0.15	23.75	5.04	1.99	0.15
11.00	1.40	0.05	0.21	24.00	5.06	2.00	0.12
11.25	1.50	0.07	0.30				
11.50	1.63	0.10	0.52				
11.75	1.91	0.19	1.36				
12.00	2.74	0.54	7.31				
12.25	3.20	0.78	2.10				
12.50	3.46	0.93	1.52				
12.75	3.58	1.00	0.80				

Summary for Subcatchment DDW: SA Ditch West

Runoff = 8.58 cfs @ 11.97 hrs, Volume= 0.515 af, Depth> 3.13"
 Routed to Link TOTAL : Drainage Ditch Total

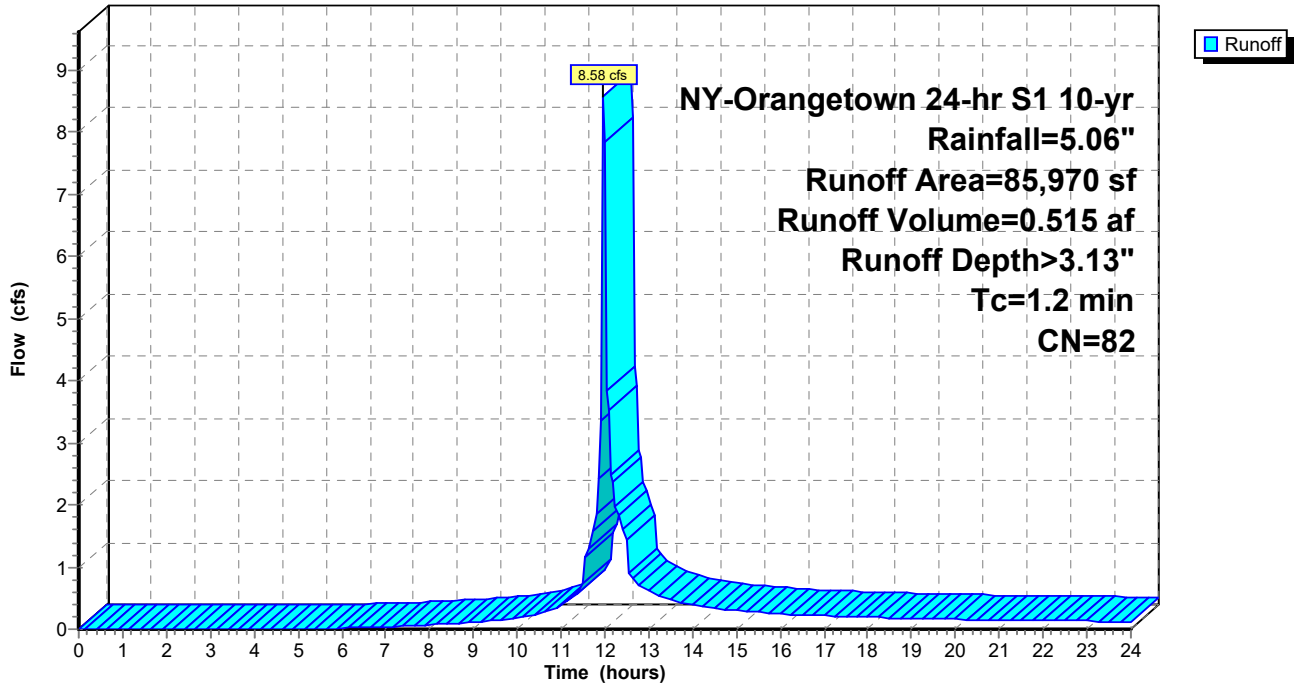
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 NY-Orangetown 24-hr S1 10-yr Rainfall=5.06"

Area (sf)	CN	Description
43,590	79	50-75% Grass cover, Fair, HSG C
22,795	96	Gravel surface, HSG C
19,585	73	Woods, Fair, HSG C
85,970	82	Weighted Average
85,970		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.2					Direct Entry, TC DDW

Subcatchment DDW: SA Ditch West

Hydrograph



Hydrograph for Subcatchment DDW: SA Ditch West

Time (hours)	Precip. (inches)	Excess (inches)	Runoff (cfs)	Time (hours)	Precip. (inches)	Excess (inches)	Runoff (cfs)
0.00	0.00	0.00	0.00	13.00	3.68	1.93	0.61
0.25	0.02	0.00	0.00	13.25	3.76	2.00	0.52
0.50	0.03	0.00	0.00	13.50	3.84	2.06	0.47
0.75	0.05	0.00	0.00	13.75	3.90	2.12	0.42
1.00	0.07	0.00	0.00	14.00	3.96	2.17	0.39
1.25	0.09	0.00	0.00	14.25	4.01	2.22	0.36
1.50	0.11	0.00	0.00	14.50	4.06	2.26	0.34
1.75	0.12	0.00	0.00	14.75	4.11	2.30	0.31
2.00	0.14	0.00	0.00	15.00	4.16	2.34	0.30
2.25	0.16	0.00	0.00	15.25	4.20	2.37	0.28
2.50	0.18	0.00	0.00	15.50	4.24	2.41	0.27
2.75	0.20	0.00	0.00	15.75	4.28	2.44	0.26
3.00	0.22	0.00	0.00	16.00	4.31	2.47	0.25
3.25	0.24	0.00	0.00	16.25	4.35	2.50	0.24
3.50	0.26	0.00	0.00	16.50	4.38	2.53	0.23
3.75	0.29	0.00	0.00	16.75	4.41	2.56	0.22
4.00	0.31	0.00	0.00	17.00	4.44	2.59	0.21
4.25	0.33	0.00	0.00	17.25	4.47	2.61	0.21
4.50	0.35	0.00	0.00	17.50	4.50	2.64	0.20
4.75	0.38	0.00	0.00	17.75	4.53	2.66	0.19
5.00	0.40	0.00	0.00	18.00	4.56	2.69	0.19
5.25	0.43	0.00	0.00	18.25	4.58	2.71	0.18
5.50	0.45	0.00	0.00	18.50	4.61	2.73	0.18
5.75	0.48	0.00	0.01	18.75	4.64	2.76	0.17
6.00	0.50	0.00	0.01	19.00	4.66	2.78	0.17
6.25	0.53	0.00	0.02	19.25	4.68	2.80	0.17
6.50	0.56	0.01	0.02	19.50	4.71	2.82	0.16
6.75	0.59	0.01	0.03	19.75	4.73	2.84	0.16
7.00	0.62	0.01	0.04	20.00	4.75	2.86	0.16
7.25	0.65	0.02	0.04	20.25	4.77	2.88	0.15
7.50	0.68	0.02	0.05	20.50	4.80	2.90	0.15
7.75	0.72	0.03	0.06	20.75	4.82	2.92	0.15
8.00	0.75	0.04	0.07	21.00	4.84	2.93	0.15
8.25	0.79	0.05	0.08	21.25	4.86	2.95	0.14
8.50	0.83	0.06	0.09	21.50	4.88	2.97	0.14
8.75	0.87	0.07	0.10	21.75	4.90	2.99	0.14
9.00	0.91	0.08	0.11	22.00	4.92	3.00	0.14
9.25	0.95	0.10	0.13	22.25	4.94	3.02	0.13
9.50	1.00	0.11	0.14	22.50	4.95	3.04	0.13
9.75	1.05	0.13	0.16	22.75	4.97	3.05	0.13
10.00	1.11	0.16	0.19	23.00	4.99	3.07	0.13
10.25	1.17	0.18	0.22	23.25	5.01	3.09	0.13
10.50	1.23	0.21	0.25	23.50	5.03	3.10	0.12
10.75	1.31	0.25	0.31	23.75	5.04	3.12	0.12
11.00	1.40	0.29	0.37	24.00	5.06	3.13	0.10
11.25	1.50	0.34	0.49				
11.50	1.63	0.42	0.73				
11.75	1.91	0.59	1.72				
12.00	2.74	1.18	7.83				
12.25	3.20	1.54	1.98				
12.50	3.46	1.75	1.43				
12.75	3.58	1.85	0.72				

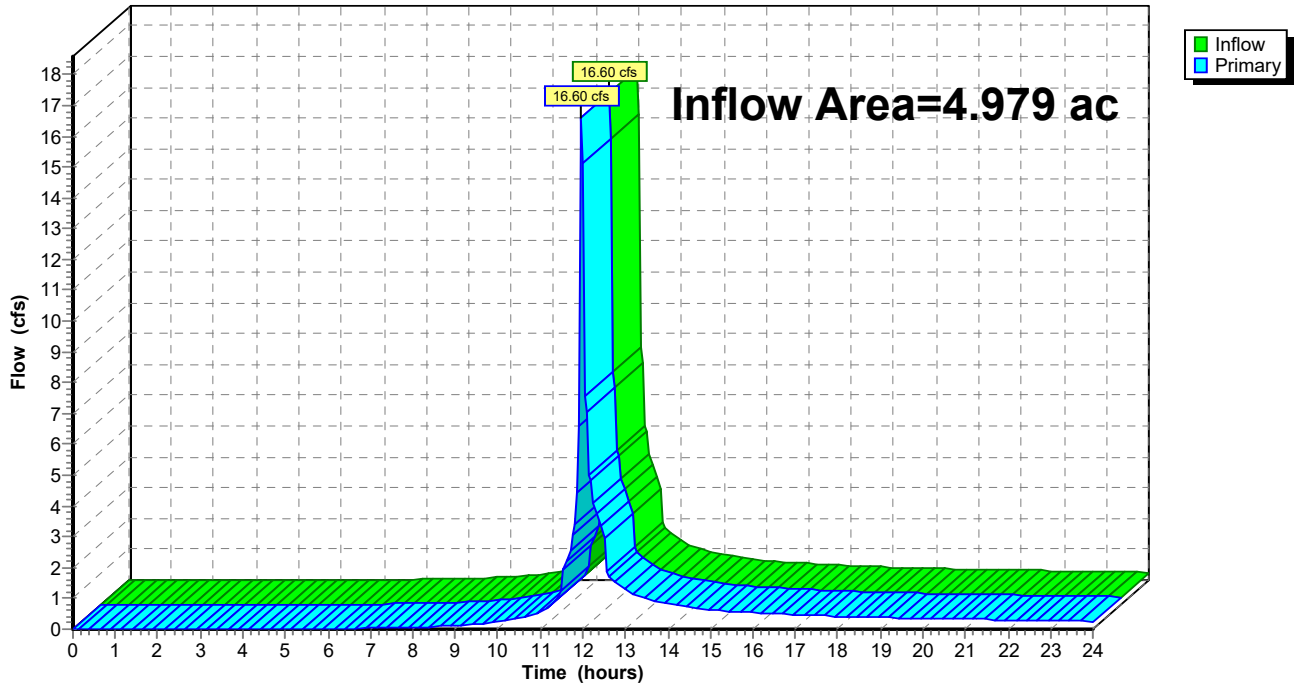
Summary for Link TOTAL: Drainage Ditch Total

Inflow Area = 4.979 ac, 0.39% Impervious, Inflow Depth > 2.45" for 10-yr event
Inflow = 16.60 cfs @ 11.97 hrs, Volume= 1.016 af
Primary = 16.60 cfs @ 11.97 hrs, Volume= 1.016 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link TOTAL: Drainage Ditch Total

Hydrograph



Hydrograph for Link TOTAL: Drainage Ditch Total

Time (hours)	Inflow (cfs)	Elevation (feet)	Primary (cfs)	Time (hours)	Inflow (cfs)	Elevation (feet)	Primary (cfs)
0.00	0.00	0.00	0.00	13.00	1.30	0.00	1.30
0.25	0.00	0.00	0.00	13.25	1.11	0.00	1.11
0.50	0.00	0.00	0.00	13.50	1.00	0.00	1.00
0.75	0.00	0.00	0.00	13.75	0.90	0.00	0.90
1.00	0.00	0.00	0.00	14.00	0.84	0.00	0.84
1.25	0.00	0.00	0.00	14.25	0.77	0.00	0.77
1.50	0.00	0.00	0.00	14.50	0.73	0.00	0.73
1.75	0.00	0.00	0.00	14.75	0.68	0.00	0.68
2.00	0.00	0.00	0.00	15.00	0.65	0.00	0.65
2.25	0.00	0.00	0.00	15.25	0.61	0.00	0.61
2.50	0.00	0.00	0.00	15.50	0.59	0.00	0.59
2.75	0.00	0.00	0.00	15.75	0.56	0.00	0.56
3.00	0.00	0.00	0.00	16.00	0.54	0.00	0.54
3.25	0.00	0.00	0.00	16.25	0.52	0.00	0.52
3.50	0.00	0.00	0.00	16.50	0.50	0.00	0.50
3.75	0.00	0.00	0.00	16.75	0.48	0.00	0.48
4.00	0.00	0.00	0.00	17.00	0.47	0.00	0.47
4.25	0.00	0.00	0.00	17.25	0.45	0.00	0.45
4.50	0.00	0.00	0.00	17.50	0.44	0.00	0.44
4.75	0.00	0.00	0.00	17.75	0.43	0.00	0.43
5.00	0.00	0.00	0.00	18.00	0.42	0.00	0.42
5.25	0.00	0.00	0.00	18.25	0.41	0.00	0.41
5.50	0.00	0.00	0.00	18.50	0.40	0.00	0.40
5.75	0.01	0.00	0.01	18.75	0.39	0.00	0.39
6.00	0.01	0.00	0.01	19.00	0.38	0.00	0.38
6.25	0.02	0.00	0.02	19.25	0.37	0.00	0.37
6.50	0.02	0.00	0.02	19.50	0.36	0.00	0.36
6.75	0.03	0.00	0.03	19.75	0.35	0.00	0.35
7.00	0.04	0.00	0.04	20.00	0.35	0.00	0.35
7.25	0.04	0.00	0.04	20.25	0.34	0.00	0.34
7.50	0.05	0.00	0.05	20.50	0.34	0.00	0.34
7.75	0.06	0.00	0.06	20.75	0.33	0.00	0.33
8.00	0.07	0.00	0.07	21.00	0.32	0.00	0.32
8.25	0.08	0.00	0.08	21.25	0.32	0.00	0.32
8.50	0.09	0.00	0.09	21.50	0.31	0.00	0.31
8.75	0.10	0.00	0.10	21.75	0.31	0.00	0.31
9.00	0.11	0.00	0.11	22.00	0.30	0.00	0.30
9.25	0.14	0.00	0.14	22.25	0.30	0.00	0.30
9.50	0.17	0.00	0.17	22.50	0.29	0.00	0.29
9.75	0.20	0.00	0.20	22.75	0.29	0.00	0.29
10.00	0.25	0.00	0.25	23.00	0.28	0.00	0.28
10.25	0.30	0.00	0.30	23.25	0.28	0.00	0.28
10.50	0.36	0.00	0.36	23.50	0.28	0.00	0.28
10.75	0.46	0.00	0.46	23.75	0.27	0.00	0.27
11.00	0.58	0.00	0.58	24.00	0.22	0.00	0.22
11.25	0.79	0.00	0.79				
11.50	1.25	0.00	1.25				
11.75	3.08	0.00	3.08				
12.00	15.14	0.00	15.14				
12.25	4.08	0.00	4.08				
12.50	2.94	0.00	2.94				
12.75	1.52	0.00	1.52				

Summary for Subcatchment DDE: SA Ditch East

Runoff = 19.22 cfs @ 11.97 hrs, Volume= 1.299 af, Depth> 5.19"
 Routed to Link TOTAL : Drainage Ditch Total

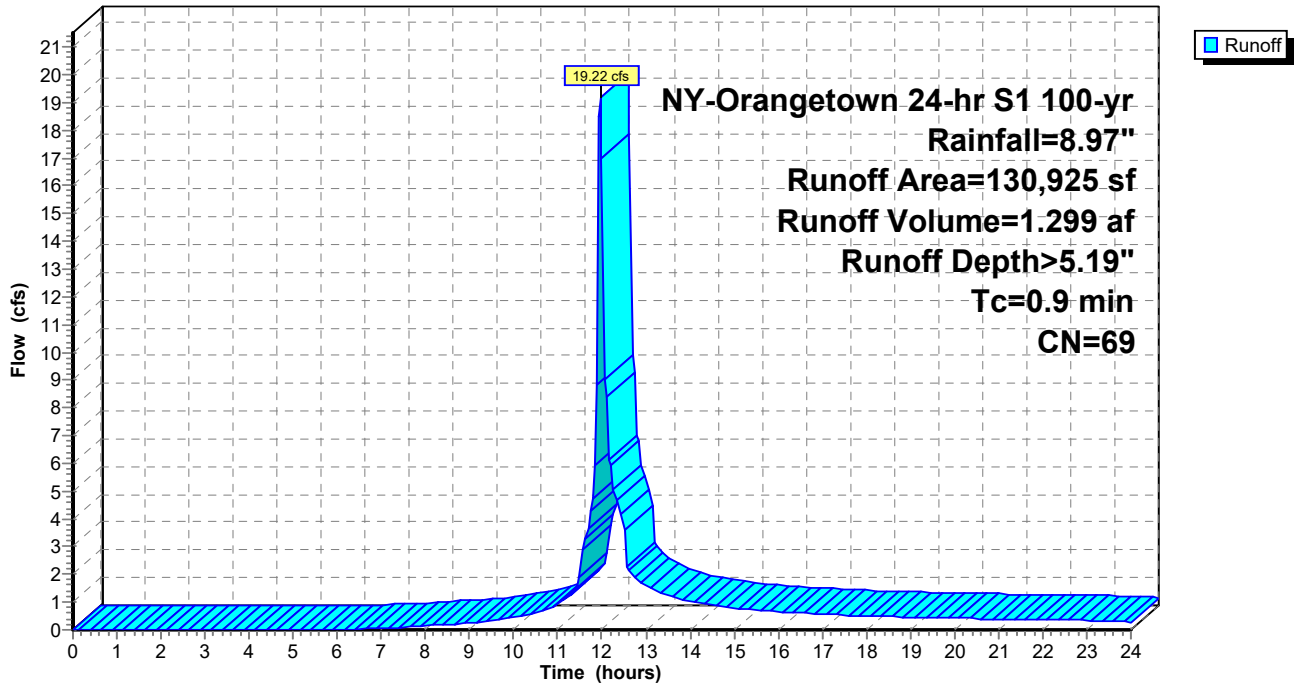
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 NY-Orangetown 24-hr S1 100-yr Rainfall=8.97"

Area (sf)	CN	Description
78,620	69	50-75% Grass cover, Fair, HSG B
12,325	96	Gravel surface, HSG B
39,140	60	Woods, Fair, HSG B
* 840	98	Rock Area, HSG B
130,925	69	Weighted Average
130,085		99.36% Pervious Area
840		0.64% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
0.9					Direct Entry, TC DDE

Subcatchment DDE: SA Ditch East

Hydrograph



Hydrograph for Subcatchment DDE: SA Ditch East

Time (hours)	Precip. (inches)	Excess (inches)	Runoff (cfs)	Time (hours)	Precip. (inches)	Excess (inches)	Runoff (cfs)
0.00	0.00	0.00	0.00	13.00	6.46	3.07	1.59
0.25	0.03	0.00	0.00	13.25	6.61	3.19	1.36
0.50	0.06	0.00	0.00	13.50	6.74	3.30	1.23
0.75	0.10	0.00	0.00	13.75	6.85	3.39	1.10
1.00	0.13	0.00	0.00	14.00	6.96	3.48	1.02
1.25	0.16	0.00	0.00	14.25	7.06	3.56	0.94
1.50	0.20	0.00	0.00	14.50	7.15	3.64	0.89
1.75	0.23	0.00	0.00	14.75	7.23	3.71	0.83
2.00	0.26	0.00	0.00	15.00	7.32	3.77	0.79
2.25	0.30	0.00	0.00	15.25	7.39	3.84	0.75
2.50	0.34	0.00	0.00	15.50	7.46	3.90	0.72
2.75	0.37	0.00	0.00	15.75	7.53	3.96	0.68
3.00	0.41	0.00	0.00	16.00	7.60	4.01	0.66
3.25	0.45	0.00	0.00	16.25	7.66	4.06	0.63
3.50	0.49	0.00	0.00	16.50	7.72	4.11	0.61
3.75	0.53	0.00	0.00	16.75	7.78	4.16	0.59
4.00	0.57	0.00	0.00	17.00	7.84	4.21	0.57
4.25	0.61	0.00	0.00	17.25	7.89	4.26	0.55
4.50	0.65	0.00	0.00	17.50	7.95	4.30	0.54
4.75	0.69	0.00	0.00	17.75	8.00	4.35	0.52
5.00	0.74	0.00	0.00	18.00	8.05	4.39	0.51
5.25	0.78	0.00	0.00	18.25	8.10	4.43	0.50
5.50	0.83	0.00	0.00	18.50	8.14	4.47	0.48
5.75	0.88	0.00	0.00	18.75	8.19	4.51	0.47
6.00	0.93	0.00	0.01	19.00	8.23	4.55	0.46
6.25	0.98	0.00	0.02	19.25	8.28	4.59	0.45
6.50	1.03	0.00	0.03	19.50	8.32	4.62	0.44
6.75	1.08	0.01	0.05	19.75	8.36	4.66	0.43
7.00	1.14	0.01	0.07	20.00	8.40	4.70	0.43
7.25	1.19	0.02	0.08	20.25	8.44	4.73	0.42
7.50	1.25	0.03	0.10	20.50	8.48	4.76	0.41
7.75	1.31	0.04	0.12	20.75	8.52	4.80	0.40
8.00	1.38	0.05	0.14	21.00	8.56	4.83	0.39
8.25	1.45	0.06	0.17	21.25	8.60	4.86	0.39
8.50	1.51	0.07	0.19	21.50	8.63	4.89	0.38
8.75	1.59	0.09	0.22	21.75	8.67	4.93	0.37
9.00	1.66	0.11	0.26	22.00	8.71	4.96	0.37
9.25	1.75	0.13	0.29	22.25	8.74	4.99	0.36
9.50	1.83	0.16	0.34	22.50	8.78	5.02	0.36
9.75	1.92	0.19	0.39	22.75	8.81	5.04	0.35
10.00	2.02	0.23	0.45	23.00	8.84	5.07	0.35
10.25	2.13	0.27	0.53	23.25	8.87	5.10	0.34
10.50	2.25	0.31	0.62	23.50	8.91	5.13	0.34
10.75	2.39	0.37	0.75	23.75	8.94	5.16	0.33
11.00	2.54	0.44	0.91	24.00	8.97	5.19	0.25
11.25	2.72	0.53	1.21				
11.50	2.95	0.64	1.89				
11.75	3.45	0.93	4.30				
12.00	4.81	1.82	17.00				
12.25	5.59	2.40	5.05				
12.50	6.06	2.76	3.61				
12.75	6.28	2.93	1.86				

Summary for Subcatchment DDW: SA Ditch West

Runoff = 16.20 cfs @ 11.97 hrs, Volume= 1.116 af, Depth> 6.78"
 Routed to Link TOTAL : Drainage Ditch Total

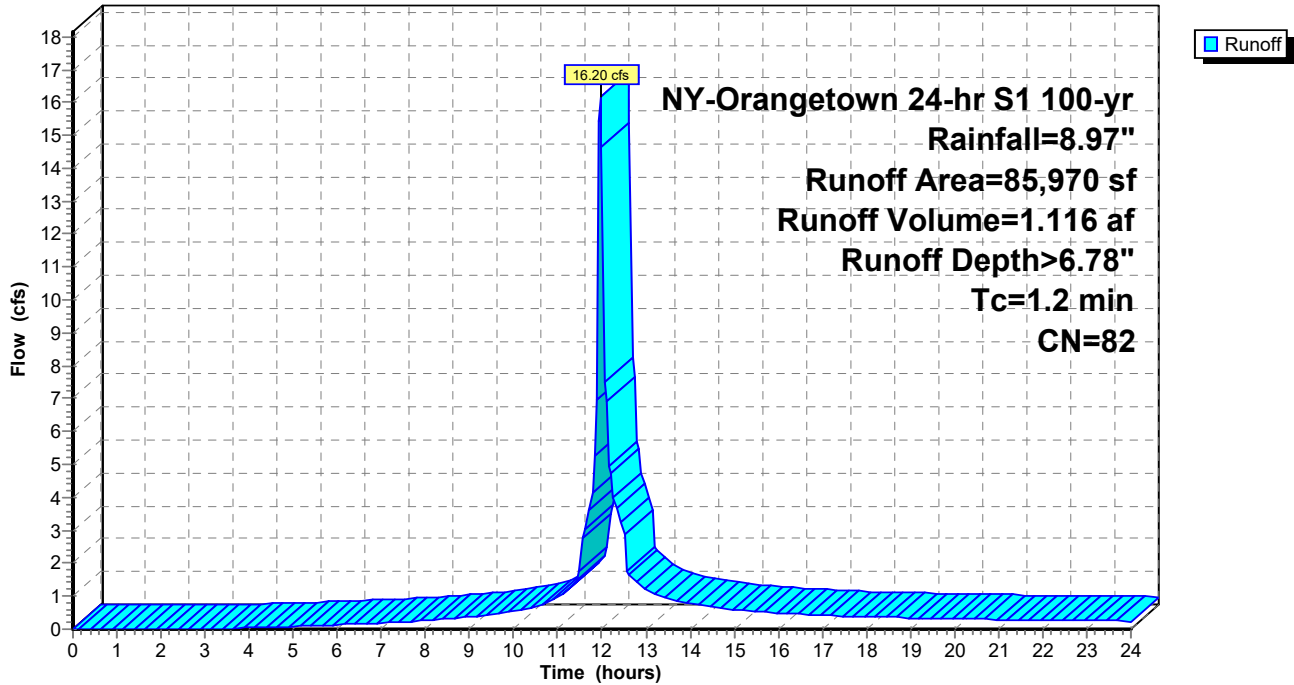
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 NY-Orangetown 24-hr S1 100-yr Rainfall=8.97"

Area (sf)	CN	Description
43,590	79	50-75% Grass cover, Fair, HSG C
22,795	96	Gravel surface, HSG C
19,585	73	Woods, Fair, HSG C
85,970	82	Weighted Average
85,970		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.2					Direct Entry, TC DDW

Subcatchment DDW: SA Ditch West

Hydrograph



Hydrograph for Subcatchment DDW: SA Ditch West

Time (hours)	Precip. (inches)	Excess (inches)	Runoff (cfs)	Time (hours)	Precip. (inches)	Excess (inches)	Runoff (cfs)
0.00	0.00	0.00	0.00	13.00	6.46	4.41	1.21
0.25	0.03	0.00	0.00	13.25	6.61	4.55	1.03
0.50	0.06	0.00	0.00	13.50	6.74	4.67	0.93
0.75	0.10	0.00	0.00	13.75	6.85	4.78	0.83
1.00	0.13	0.00	0.00	14.00	6.96	4.88	0.77
1.25	0.16	0.00	0.00	14.25	7.06	4.97	0.71
1.50	0.20	0.00	0.00	14.50	7.15	5.06	0.66
1.75	0.23	0.00	0.00	14.75	7.23	5.14	0.62
2.00	0.26	0.00	0.00	15.00	7.32	5.21	0.59
2.25	0.30	0.00	0.00	15.25	7.39	5.28	0.56
2.50	0.34	0.00	0.00	15.50	7.46	5.35	0.53
2.75	0.37	0.00	0.00	15.75	7.53	5.42	0.51
3.00	0.41	0.00	0.00	16.00	7.60	5.48	0.49
3.25	0.45	0.00	0.00	16.25	7.66	5.54	0.47
3.50	0.49	0.00	0.01	16.50	7.72	5.60	0.45
3.75	0.53	0.00	0.02	16.75	7.78	5.65	0.43
4.00	0.57	0.01	0.03	17.00	7.84	5.71	0.42
4.25	0.61	0.01	0.05	17.25	7.89	5.76	0.41
4.50	0.65	0.02	0.06	17.50	7.95	5.81	0.40
4.75	0.69	0.03	0.07	17.75	8.00	5.86	0.38
5.00	0.74	0.04	0.08	18.00	8.05	5.90	0.37
5.25	0.78	0.05	0.09	18.25	8.10	5.95	0.36
5.50	0.83	0.06	0.10	18.50	8.14	6.00	0.36
5.75	0.88	0.07	0.12	18.75	8.19	6.04	0.35
6.00	0.93	0.09	0.13	19.00	8.23	6.08	0.34
6.25	0.98	0.11	0.14	19.25	8.28	6.12	0.33
6.50	1.03	0.13	0.16	19.50	8.32	6.16	0.32
6.75	1.08	0.15	0.17	19.75	8.36	6.20	0.32
7.00	1.14	0.17	0.19	20.00	8.40	6.24	0.31
7.25	1.19	0.19	0.21	20.25	8.44	6.28	0.30
7.50	1.25	0.22	0.22	20.50	8.48	6.32	0.30
7.75	1.31	0.25	0.24	20.75	8.52	6.36	0.29
8.00	1.38	0.28	0.26	21.00	8.56	6.39	0.29
8.25	1.45	0.32	0.29	21.25	8.60	6.43	0.28
8.50	1.51	0.35	0.31	21.50	8.63	6.46	0.28
8.75	1.59	0.39	0.34	21.75	8.67	6.50	0.27
9.00	1.66	0.44	0.37	22.00	8.71	6.53	0.27
9.25	1.75	0.49	0.40	22.25	8.74	6.57	0.26
9.50	1.83	0.54	0.44	22.50	8.78	6.60	0.26
9.75	1.92	0.60	0.49	22.75	8.81	6.63	0.25
10.00	2.02	0.66	0.54	23.00	8.84	6.66	0.25
10.25	2.13	0.74	0.61	23.25	8.87	6.69	0.25
10.50	2.25	0.82	0.69	23.50	8.91	6.72	0.24
10.75	2.39	0.92	0.81	23.75	8.94	6.76	0.24
11.00	2.54	1.03	0.95	24.00	8.97	6.79	0.20
11.25	2.72	1.16	1.22				
11.50	2.95	1.34	1.75				
11.75	3.45	1.74	3.91				
12.00	4.81	2.91	14.62				
12.25	5.59	3.62	3.99				
12.50	6.06	4.04	2.88				
12.75	6.28	4.25	1.43				

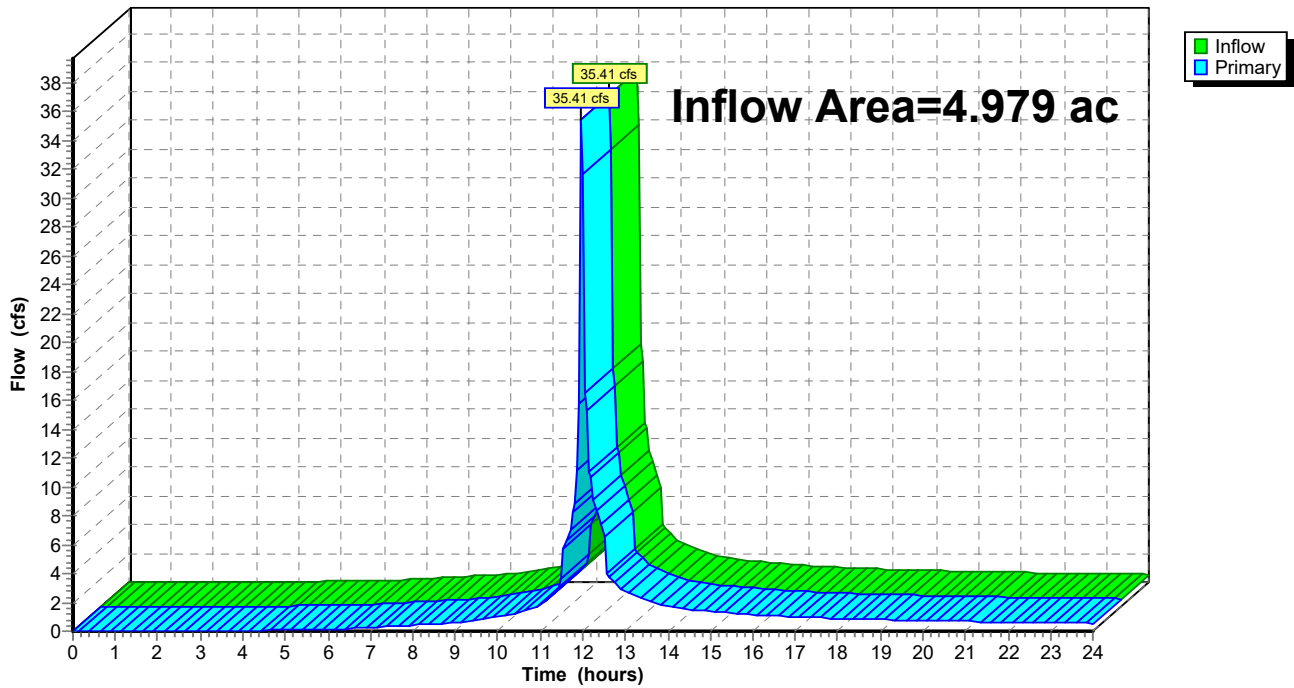
Summary for Link TOTAL: Drainage Ditch Total

Inflow Area = 4.979 ac, 0.39% Impervious, Inflow Depth > 5.82" for 100-yr event
Inflow = 35.41 cfs @ 11.97 hrs, Volume= 2.415 af
Primary = 35.41 cfs @ 11.97 hrs, Volume= 2.415 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link TOTAL: Drainage Ditch Total

Hydrograph



2024-05 Existing Drainage Ditch Calculation NY-Orangetown 24-hr S1 100-yr Rainfall=8.97"

Prepared by Dynamic Engineering

Printed 5/9/2024

HydroCAD® 10.20-5a s/n 08640 © 2023 HydroCAD Software Solutions LLC

Page 24

Hydrograph for Link TOTAL: Drainage Ditch Total

Time (hours)	Inflow (cfs)	Elevation (feet)	Primary (cfs)	Time (hours)	Inflow (cfs)	Elevation (feet)	Primary (cfs)
0.00	0.00	0.00	0.00	13.00	2.80	0.00	2.80
0.25	0.00	0.00	0.00	13.25	2.39	0.00	2.39
0.50	0.00	0.00	0.00	13.50	2.16	0.00	2.16
0.75	0.00	0.00	0.00	13.75	1.93	0.00	1.93
1.00	0.00	0.00	0.00	14.00	1.79	0.00	1.79
1.25	0.00	0.00	0.00	14.25	1.65	0.00	1.65
1.50	0.00	0.00	0.00	14.50	1.55	0.00	1.55
1.75	0.00	0.00	0.00	14.75	1.45	0.00	1.45
2.00	0.00	0.00	0.00	15.00	1.38	0.00	1.38
2.25	0.00	0.00	0.00	15.25	1.30	0.00	1.30
2.50	0.00	0.00	0.00	15.50	1.25	0.00	1.25
2.75	0.00	0.00	0.00	15.75	1.19	0.00	1.19
3.00	0.00	0.00	0.00	16.00	1.15	0.00	1.15
3.25	0.00	0.00	0.00	16.25	1.10	0.00	1.10
3.50	0.01	0.00	0.01	16.50	1.06	0.00	1.06
3.75	0.02	0.00	0.02	16.75	1.02	0.00	1.02
4.00	0.03	0.00	0.03	17.00	0.99	0.00	0.99
4.25	0.05	0.00	0.05	17.25	0.96	0.00	0.96
4.50	0.06	0.00	0.06	17.50	0.94	0.00	0.94
4.75	0.07	0.00	0.07	17.75	0.91	0.00	0.91
5.00	0.08	0.00	0.08	18.00	0.88	0.00	0.88
5.25	0.09	0.00	0.09	18.25	0.86	0.00	0.86
5.50	0.10	0.00	0.10	18.50	0.84	0.00	0.84
5.75	0.12	0.00	0.12	18.75	0.82	0.00	0.82
6.00	0.14	0.00	0.14	19.00	0.80	0.00	0.80
6.25	0.16	0.00	0.16	19.25	0.78	0.00	0.78
6.50	0.19	0.00	0.19	19.50	0.77	0.00	0.77
6.75	0.22	0.00	0.22	19.75	0.75	0.00	0.75
7.00	0.25	0.00	0.25	20.00	0.74	0.00	0.74
7.25	0.29	0.00	0.29	20.25	0.72	0.00	0.72
7.50	0.32	0.00	0.32	20.50	0.71	0.00	0.71
7.75	0.36	0.00	0.36	20.75	0.69	0.00	0.69
8.00	0.40	0.00	0.40	21.00	0.68	0.00	0.68
8.25	0.45	0.00	0.45	21.25	0.67	0.00	0.67
8.50	0.50	0.00	0.50	21.50	0.66	0.00	0.66
8.75	0.56	0.00	0.56	21.75	0.65	0.00	0.65
9.00	0.62	0.00	0.62	22.00	0.64	0.00	0.64
9.25	0.70	0.00	0.70	22.25	0.63	0.00	0.63
9.50	0.78	0.00	0.78	22.50	0.62	0.00	0.62
9.75	0.88	0.00	0.88	22.75	0.61	0.00	0.61
10.00	0.99	0.00	0.99	23.00	0.60	0.00	0.60
10.25	1.14	0.00	1.14	23.25	0.59	0.00	0.59
10.50	1.31	0.00	1.31	23.50	0.58	0.00	0.58
10.75	1.56	0.00	1.56	23.75	0.57	0.00	0.57
11.00	1.87	0.00	1.87	24.00	0.45	0.00	0.45
11.25	2.42	0.00	2.42				
11.50	3.65	0.00	3.65				
11.75	8.20	0.00	8.20				
12.00	31.62	0.00	31.62				
12.25	9.04	0.00	9.04				
12.50	6.49	0.00	6.49				
12.75	3.29	0.00	3.29				

McCULLOUGH, GOLDBERGER & STAUDT, LLP

Attorneys at Law

1311 Mamaroneck Ave., Suite 340, White Plains, NY 10605

TEL (914) 949-6400 FAX (914) 949-2510

mcculloughgoldberger.com

SETH M. MANDELBAUM

Managing Partner

smandelbaum@mgslawyers.com

May 9, 2024

Honorable Supervisor Teresa Kenny
and Members of the Town Board
Town of Orangetown
26 West Orangeburg Road
Orangeburg, NY 10962

Re: Onyx Management Group, LLC
Watercourse Diversion Permit Request
64 & 140 Leber Road, Blauvelt, New York

Dear Hon. Supervisor Kenny & Members of the Town Board:

This firm represents Onyx Management Group, LLC.¹ (the “Applicant”), the manager of the properties identified as Section 70.06, Block 1, Lot 50.4 (“64 Leber”)² and Section 70.06, Block 1, Lot 47 (“140 Leber”)³ on the Town of Orangetown Tax Map and commonly known as 64 and 140 Leber Road (collectively, the “Property”). The 64 Leber Property is located within the LO “Laboratory Office” and R-40 “Low Density Residential” Zoning Districts, and the 140 Leber Property is within the R-40 District. The Property is part of the larger Hudson Crossing development owned by the Applicant, previously known as Bradley Corporate Park.

The Applicant is specifically proposing to lease a section of the Property to Rivian, LLC for use as an accessory 633-space parking area for the vehicles that are pre-ordered by customers and are awaiting preparation and customer pickup at Rivian’s nearby facility at 800 Bradley Hill Road, which was approved by the Planning Board in April 2023. *See* PB # 23-13. The Property is currently an unimproved vacant lot, and as part of the site development, the Applicant proposes to construct a new paved parking area, together with appropriate striping, curbing, directional arrows and traffic signage, two 30-foot access driveways, significant additional landscaping, and related improvements. The Applicant also proposes to merge the contiguous 64 and 140 Leber properties to create one 13-acre parcel. The Applicant is currently before the Planning Board in connection with its request for Site Plan Approval to permit the 64 Leber property for use as an accessory parking lot. Following two public hearings, at its March 27, 2024 meeting the Planning Board granted Preliminary Site Plan and Resubdivision Approvals and also adopted a Negative Declaration under SEQRA, concluding that the proposed action will not have any significant adverse environmental impacts.

¹ Onyx Management Group, LLC has been authorized by the owners of the property, to manage the properties, including leasing the properties and applying for any necessary permits and land use approvals. Therefore, Onyx Management Group, LLC is the Applicant for the Watercourse Diversion Permit application.


² Owned by PG-OE 64 Leber Road Owner LLC

³ Owned by PG-OE 140 Leber Road Owner LLC

The Town of Orangetown Department of Environmental Management and Engineering (“DEME”) has determined that the proposed improvements to the stormwater management and drainage systems at the Property require a Watercourse Diversion Permit from this Board. The Applicant filed a Watercourse Diversion Permit request on March 28, 2024 and, in response to a request from DEME for additional information, submitted a supplemental Watercourse Diversion Permit Narrative and Watercourse Permit Exhibition Package prepared by Dynamic Engineering on April 19, 2024. DEME has reviewed the Applicant’s Watercourse Diversion Permit request (including the supplemental information) and provided additional comments in a memorandum dated May 2, 2024. Enclosed for your review is a letter prepared by Dynamic Engineering responding to the DEME comments therein. It is respectfully submitted that all remaining DEME comments have been addressed and the Watercourse Diversion Permit should be granted.

Per my discussion with the Town Attorney, kindly place this matter on the May 21, 2024 Town Board agenda for consideration of the Applicant’s request for a Watercourse Diversion Permit. If you have any questions or require additional information, please do not hesitate to contact our office.

Very truly yours,



Seth M. Mandelbaum

SMM:tsr

Enc.

cc: Robert Magrino, Esq., Town Attorney
Rick Pakola, Esq., Deputy Town Attorney
Jane Slavin, RA, Director O.B.Z.P.A.E.
Bruce Peters, P.E., D.E.M.E
Onyx Management Group, LLC
Dynamic Engineering

May 9, 2024
Via FedEx

Town of Orangetown Town Board
26 West Orangeburg Road,
Orangeburg, NY 10962

Attn: Honorable Supervisor Kenny
and Members of the Town Board

**RE: Onyx Equities, LLC
Watercourse Diversion Permit Request
Accessory Parking Lot Plan
Parcel 70.06-1-50.4 & 47
64 & 140 Leber Road, Blauvelt
Town of Orangetown
Rockland County, NY
DEC# 1739 22-02023**

Dear Hon. Supervisor Kenny and Members of the Town Board,

On behalf of our client, Onyx Equities, LLC, enclosed please find the following items consulting our Town Board submission for a Watercourse Diversion Permit for the above referenced project:

Enclosed please find the following items constituting our re-submission regarding the above-referenced project:

- Three (3) signed copies of the Watercourse Diversion Permit Narrative and Supplemental Responses prepared by our office dated April 19, 2024, last revised May 9, 2024;
- Three (3) copies of the Watercourse Diversion Permit Exhibit Package prepared by our office dated April 19, 2024, last revised May 9, 2024; and
- Three (3) signed copies of the Watercourse Diversion Permit Request prepared by McCullough, Goldberger & Staudt, LLP dated May 9, 2024.

Below are sequential responses to the comment letters prepared by the Borough Professionals:

Memorandum prepared by Eamon Reilly, P.E. Commissioner of the Department of Environmental Management and Engineering dated May 2, 2024:

1. The cover letter to the Town Board should include the words "Watercourse Diversion Permit Request" (most likely in the "RE:" portion of the top of the letter.)

This cover letter, along with the cover letter prepared by McCullough, Goldberger & Staudt, LLP, have been revised to include "Watercourse Diversion Permit Request" in the "RE:" shown above.

2. Page 3 of 10- Watercourse Diversion Permit-Last paragraph of section - wording (or similar) shall be added as follows " ... The proposed development plans to demolish, fill and cover the existing watercourse, **including all of the existing watercourse piping.** "

The narrative has been updated to include the wording regarding the demolition of all existing stormwater piping.

3. Page 3 of 10-Existing Conditions- paragraphs 4 & 5 appear to be mixed up in what they are describing. Specially, paragraph 4 begins by referencing the east portion of the site but describes the piping (30" CPP) which is on the west side of the site. The same holds true for paragraph 5.

The Existing Conditions Section, paragraphs 4 and 5, have been updated to reflect the existing eastern and western piping on the Overall Existing Conditions Exhibit (Sheet 1). The eastern piping has been updated to be a 24" RCP at 183 feet in length and the western piping to be a 30" RCP at 35 feet in length per the original survey.

4. Page 3 of 10-Existing Conditions -Paragraph 5 makes no mention of the "existing pipes" (as depicted on the Overall Existing Conditions Exhibit - sheet 1.) The number of pipes, sizes, lengths and material(s) for these existing pipes shall be listed in this paragraph.

Paragraph 5 has been updated to reflect the existing pipe and its characteristics located on the western portion of the site as depicted on the Overall Existing Conditions Exhibit (Sheet 1).

5. Pages 6 of 10 thru 8 of 10 - Site Photos - The location and direction of the photos presented shall be added to the Overall Existing Conditions Exhibit - sheet 1.

A Site Photo Location Plan has been provided as a part of the "Watercourse Diversion Exhibit Package" where each of the photo's location and direction have been depicted.

6. Overall Existing Conditions Exhibit - sheet 1 - The number, sizes, inverts, lengths and material(s) of the piping shown at the east end of site shall be shown and labeled on this sheet.

The Overall Existing Conditions Exhibit (Sheet 1) has been updated to show all existing pipes and their characteristics, which include their number, size, inverts, lengths, and material, on both the eastern and western portions of the site.

7. Overall Existing Conditions Exhibit - sheet 1 - Label property line between lots 50.4 & 47 and label each lot.

Lots 50.4 and 47 have been labeled with their respective parcel data as well as the property line, labeled as "Property Boundary Line" on the Overall Existing Conditions Exhibit (Sheet 1).

WATERCOURSE DIVERSION PERMIT

The project site is located at 64 & 140 Leber Road, Town of Orangetown, Rockland County, New York and is classified as Section 70.06, Block 1, Lots 50.4 & 47. The existing conditions of the tract have been verified by the ALTA/NSPS Land Title Survey as prepared by Control Point Associates, Inc. dated January 21, 2021, last revised September 20, 2022.

The Overall Existing Conditions sheet (Sheet 1 – Exhibit Set) illustrates two (2) drainage ditches, defined below as a watercourse, which collect and discharge overland flow on the eastern and western portions of the site.

A watercourse is defined per Town of Orangetown Code, Chapter 30D, Article II, Section 6 (Sediment and Erosion Control and Stormwater Management, Stormwater Control, Definitions):

As any permanent or intermittent natural or artificial stream, river, creek, ditch, channel canal, conduit, culvert, drain, waterway gully or ravine, in and including any area adjacent thereto, in which water normally flows per.

The Overall Site Plan (Sheet 3 – Preliminary and Final Site Plan (Rev.2)) and Drainage and Utility Plans (Sheets 11-13 – Preliminary and Final Site Plan (Rev. 2)) illustrates that the development proposes an accessory parking lot of 633 spaces with an underground infiltration system to mitigate the newly created impervious surfaces. The proposed development plans to demolish, fill and cover the existing watercourse, including all of the existing watercourse piping. 100% of new impervious surfaces will be captured, routed to, and treated (by NYSDEC approved stormwater management practices) proposed on site. The modification to the existing drainage pattern triggers the required Watercourse Diversion Permit from the Town of Orangetown Town Board.

EXISTING CONDITIONS

Currently the parcel is undeveloped consisting of woodlands, brushlands and gravel/dirt paths. In the parcel's undeveloped state, an existing watercourse is located in the center of Lot 50.4.

Existing topography of the site is heavily influenced by the existing berm, at about 20' of height, at the southern portion of the site grading towards the northern portion of the site. The northern portion of the site continues with a heavy slope towards the existing warehouse building. There is an additional soil mound along the eastern portion of the property in the residentially zoned district approximately 20' in height.

The existing watercourse is separated by a highpoint located within the center of the site. Areas both east and west of the highpoint are collected by earthen drainage ditches, piping and conveyed to a discharge point.

At the eastern portion of the site, existing grading promotes overland flow to the earthen drainage ditch where a 24" Reinforced Concrete Pipe, 183 feet in length, exists. Based on the existing inverts, the 24" RCP is pitched from east (Invert 125.2) to west (Invert 124.1) which does not follow the topography of the eastern drainage ditch. Due to the invert elevations, this pipe does not convey or collect any runoff.

A ditch on the western portion of the site first collects stormwater runoff before being conveyed through a 30" Reinforced Concrete Pipe, 35 feet in length connecting to the earthen ditch at the western side of Lot 50.4. The remainder of the contributing area to the western ditch is collected via overland flow and drains westbound before being uncontrollably discharged to the western portion of the site.

A Stormwater Conveyance System Capacity Analysis has been included within the Watercourse Diversion Permit Exhibit Package. The purpose was to calculate and analyze the capacity existing pipes on site for a 100-year storm event and their contributory areas depicted on the Existing Ditch Inlet Area Map (Sheet 3). The 100-year storm event was analyzed to match the proposed stormwater system design which utilized the 100-year storm event.

It was determined that the western 30" RCP has enough capacity to convey the contributory drainage area to the western existing watercourse, but the pipe velocity exceeds acceptable rates, and the discharge may cause soil erosion and has potential to adversely affect downstream areas.

Additionally, the eastern 24" RCP was analyzed, however as noted above, this pipe does not follow the existing topography of the eastern drainage ditch, nor convey or collect any stormwater runoff.

EXISTING DRAINAGE CALCULATIONS

The site has been evaluated using the TR-55 'Urban Hydrology for Small Watersheds' standards with the following drainage areas for the existing drainage ditches on site.

Drainage Ditch West: The contributory area of the drainage ditch includes areas of woodlands, brushlands, gravel and grasslands on the south and southwest portion of the parcel.

Drainage Ditch East: This area consists of areas of woodlands, brushlands, gravel and grasslands on the south and southeast portion of the parcel.

AERIAL IMAGES

Per the satellite captures of Google Earth, the subject watercourse discussed in this narrative was dug between the approximate dates of June 2010 and April 2016 while the site still remaining undeveloped. See the images below captured from Google Earth.

June 2010



March 2015



April 2016



SITE PHOTOS

A site visit was conducted on February 7th, 2024, and photos of the existing ditch on the western and eastern portions of the lot are depicted below. A photo location map has also been supplied as a part of the submission for the Watercourse Diversion Permit which includes the location and direction of each of photo.

PHOTO #1

Looking Southwest



PHOTO #2

Looking Southeast



PHOTO #3
Looking Southwest



PHOTO #4
Looking Southeast



PHOTO #5
Looking Southeast



PROPOSED CONDITIONS

The proposed project will include the construction of 633 parking spaces as well as other respective site improvements such as lighting, landscaping, grading, drainage, and fire protection services.

To offset set any adverse impacts to the addition of impervious areas, a NYSDEC SMP I-4 Underground Infiltration Basin has been designed and developed in conformance with the current New York State Stormwater Management Design Manual as a means of mitigation for increased impervious surfaces and of the existing watercourse on site.

PROPOSED DRAINAGE CALCULATIONS

The site has been evaluated using the TR-55 'Urban Hydrology for Small Watersheds' standards with the following drainage areas for the existing drainage ditches on site.

Study Area UG Basin: This area consists of the entire parking area and landscaped islands. Stormwater runoff generated from this area is collected by multiple on-site inlets and conveyed to a proposed infiltration basin. Runoff collected and discharged will be conveyed to the existing conveyance system to the north.

Study Area North Undetained: This drainage area consists of the proposed driveways, open space and wooded areas around the perimeter disturb as a part of the proposed development. Collected runoff will drain to the existing conveyance system to the north.

Study Area West Undetained: This drainage area consists of the proposed driveways, open space and wooded areas around the perimeter disturb as a part of the proposed development. Collected runoff will drain to the existing conveyance system to the west.

The I-4 Underground Infiltration System collects overland flow from areas surrounding the site and conveys all contributing areas to hydrodynamic separators which pre-treat 100% of the Water Quality storm event. Stormwater runoff then enters the underground infiltration system, 6 rows of stone embedded 36" perforated

pipe, which has been sized to infiltrate the entire WQv and attenuate flows of the 1-, 10- and 100-year storm events through an outlet control structure.

All calculations regarding the design and compliance of the NYSDEC SMP I-4 Underground Infiltration System can be found within the Stormwater Pollution Prevention Plan last submitted to the Town of Orangetown on February 16, 2024.

WATERCOURSE DIVERSION IMPACTS

The existing watercourse and the post-development conditions have both been analyzed in a HydroCAD model and the following table has been made to illustrate the pre- and post-development impacts.

Existing Drainage Ditch Runoff Rates (CFS)			
Design Storm	Eastern Drainage Ditch Runoff Rates (cfs)	Western Drainage Ditch Runoff Rates (cfs)	Combined Runoff Rates (cfs)
1-Year (CPv)	2.02	3.62	5.63
10-Year (Qp)	8.02	8.58	16.60
100-Year (Qf)	19.22	16.20	35.41

PEAK FLOW ATTENUATION RESULTS:

Existing Drainage Ditch vs. Proposed Stormwater System Runoff Rates (CFS)			
Design Storm	Existing Drainage Ditch Runoff Rates (cfs)	Proposed Stormwater System Runoff Rates (cfs)	Difference (cfs)
1-Year (CPv)	5.63	0.00	-5.63
10-Year (Qp)	16.60	0.99	-15.61
100-Year (Qf)	35.41	21.41	-14.00

Please note: Existing drainage ditch runoff rates are combined values from the western and eastern ditches

As illustrated in the table above, the proposed NYSDEC SMP I-4 Underground Infiltration System significantly attenuates and reduces the discharge rates of the 1-, 10- and 100-year storm events.

CONCLUSION

The proposed development has been designed in accordance with all local and state stormwater design requirements and fully satisfies the NYSDEC Unified Stormwater Design Criteria for Water Quality Volume (WQv), Runoff Reduction Volume (RRv), Channel Protection Volume (CPv, 1-year storm event), Overbank Flood (Qp, 10-year storm event), and Extreme Storm (Qf, 100-year storm event).

The proposed stormwater management facilities have been designed to capture and treat 100% of newly created impervious surfaces, which fully encompass the existing contributory area to the drainage ditches/ watercourses.

Therefore, the proposed development does not pose any negative impacts and properly manages and reduces stormwater runoff from the site for all design storms.

Should you have any questions, comments or require additional information, please do not hesitate to contact the undersigned.

Sincerely,

Dynamic Engineering Consultants, PC

A handwritten signature in black ink, appearing to read 'Z. A. Kamm', followed by a horizontal line.

Zachary A. Kamm, PE
Senior Project Manager

McCULLOUGH, GOLDBERGER & STAUDT, LLP

Attorneys at Law

1311 Mamaroneck Ave., Suite 340, White Plains, NY 10605

TEL (914) 949-6400 FAX (914) 949-2510

mcculloughgoldberger.com

SETH M. MANDELBAUM

Managing Partner

smandelbaum@mgsllawyers.com

March 28, 2024

Honorable Supervisor Teresa Kenny
and Members of the Town Board
Town of Orangetown
26 West Orangeburg Road
Orangeburg, NY 10962

Re: Onyx Management Group, LLC
Watercourse Diversion Permit
64 & 140 Leber Road, Blauvelt, New York

Dear Hon. Supervisor Kenny & Members of the Town Board:

This firm represents Onyx Management Group, LLC.¹ (the “Applicant”), the manager of the properties identified as Section 70.06, Block 1, Lot 50.4 (“64 Leber”)² and Section 70.06, Block 1, Lot 47 (“140 Leber”)³ on the Town of Orangetown Tax Map and commonly known as 64 and 140 Leber Road (collectively, the “Property”). The 64 Leber Property is located within the LO “Laboratory Office” and R-40 “Low Density Residential” Zoning Districts, and the 140 Leber Property is within the R-40 District. The Property is part of the larger Hudson Crossing development owned by the Applicant, which was previously known as Bradley Corporate Park.

The Applicant is specifically proposing to lease a section of the Property to Rivian, LLC for use as an accessory 633-space parking area for the vehicles that are pre-ordered by customers and are awaiting preparation and customer pickup at Rivian’s nearby facility at 800 Bradley Hill Road, which was approved in April 2023. *See* PB # 23-13. The Property is currently an unimproved vacant lot, and as part of the site development, the Applicant proposes to construct a new paved parking area, together with appropriate striping, curbing, directional arrows and traffic signage, two 30-foot access driveways, significant additional landscaping, and related improvements. The Applicant also proposes to merge the contiguous 64 and 140 Leber properties to create one 13-acre parcel. The Applicant is currently before the Planning Board in connection with its request for Site Plan Approval to permit the 64 Leber property for use as an accessory parking lot. Following two public hearings, at its March 27, 2024 meeting the Planning Board granted Preliminary Site Plan and Resubdivision Approvals and also adopted a

¹ Onyx Management Group, LLC has been authorized by the owners of the property, to manage the properties, including leasing the properties and applying for any necessary permits and land use approvals. Therefore, Onyx Management Group, LLC is the Applicant for the Site Plan and Resubdivision applications.

² Owned by PG-OE 64 Leber Road Owner LLC

³ Owned by PG-OE 140 Leber Road Owner LLC

Negative Declaration under SEQRA, declaring that the proposed action will not have any significant adverse effects on the environment.

As described more fully in the enclosed letter prepared by Dynamic Engineering, dated March 28, 2024, the Applicant also proposes improvements to the stormwater management and drainage systems at the Property. The Department of Environmental Management and Engineering of the Town of Orangetown (“DEME”) has determined that the Applicant’s proposal requires a Watercourse Diversion Permit from this Board.⁴ Enclosed for your review is a check for the required fee, as well as a letter prepared by Dynamic Engineering and two copies of the complete Site Plan drawings.

We respectfully request that this matter be placed on the next available Town Board agenda for consideration of the Applicant’s request for a Watercourse Diversion Permit. If you have any questions or require additional information, please do not hesitate to contact our office.

Very truly yours,



Seth M. Mandelbaum

SMM:tsr

cc: Robert Magrino, Esq., Town Attorney
Rick Pakola, Esq., Deputy Town Attorney
Jane Slavin, RA, Director O.B.Z.P.A.E.
Onyx Management Group, LLC

⁴ A Watercourse Diversion Permit is required for applications to “fill, block, dam, bridge or divert any stream or watercourse” within the Town of Orangetown. Chapter 41, Watercourse Diversion and Pollution, does not define the terms “stream” or “watercourse.” DEME has required the Applicant to obtain a Watercourse Diversion Permit due to the proposed diversion of an existing drainage ditch on the Property. This drainage ditch does not carry flow to or from any stream or regulated waterbody. A picture of the drainage ditch is enclosed with the letter prepared by Dynamic Engineering.



Dynamic Engineering Consultants, PC
50 Park Place, Suite 901
Newark, NJ 07102
T. 973-755-7200

March 28, 2024
Via FedEx

Town of Orangetown Town Board
26 West Orangeburg Road
Orangeburg, NY 10962

Attn: Honorable Supervisor Kenny
and Members of the Town Board

**RE: Onyx Equities, LLC
Accessory Parking Lot Plan
Parcel 70.06-1-50.4 & 47
64 & 140 Leber Road, Blauvelt
Town of Orangetown
Rockland County, NY
DEC# 1739 22-02023**

Dear Hon. Supervisor Kenny & Members of the Town Board,

On behalf of our client, Onyx Equities, LLC, enclosed please find the following items consulting our Town Board submission for the above referenced project:

- Two (2) signed and sealed copies of the Preliminary and Final Site Plan prepared by our office, dated October 2, 2023, last revised February 16, 2024; and
- One (1) copy of the project narrative summary prepared by McCullough, Goldberger & Staudt, LLP.

We are proposing the development of 633 accessory parking spaces with associated site amenities, which includes robust stormwater management facilities. Our stormwater design fully satisfies all Local and State stormwater requirements. Town professional staff identified the need for a Watercourse Diversion Permit pursuant to Chapter 41 of Town Code at the January 10, 2024 Project Review Committee (PRC) Meeting and the Planning Board confirmed the requirement at the January 24, 2024 Planning Board Meeting. There is a small "drainage ditch" pictured below that is the reason for the permit. The applicant respectfully requests to be placed on the next Town Board agenda.

Should you have any questions, comments or require additional information, please do not hesitate to contact the undersigned.

Sincerely,

Dynamic Engineering Consultants, PC

Zachary A. Kamm, PE
Senior Project Manager

Enclosures

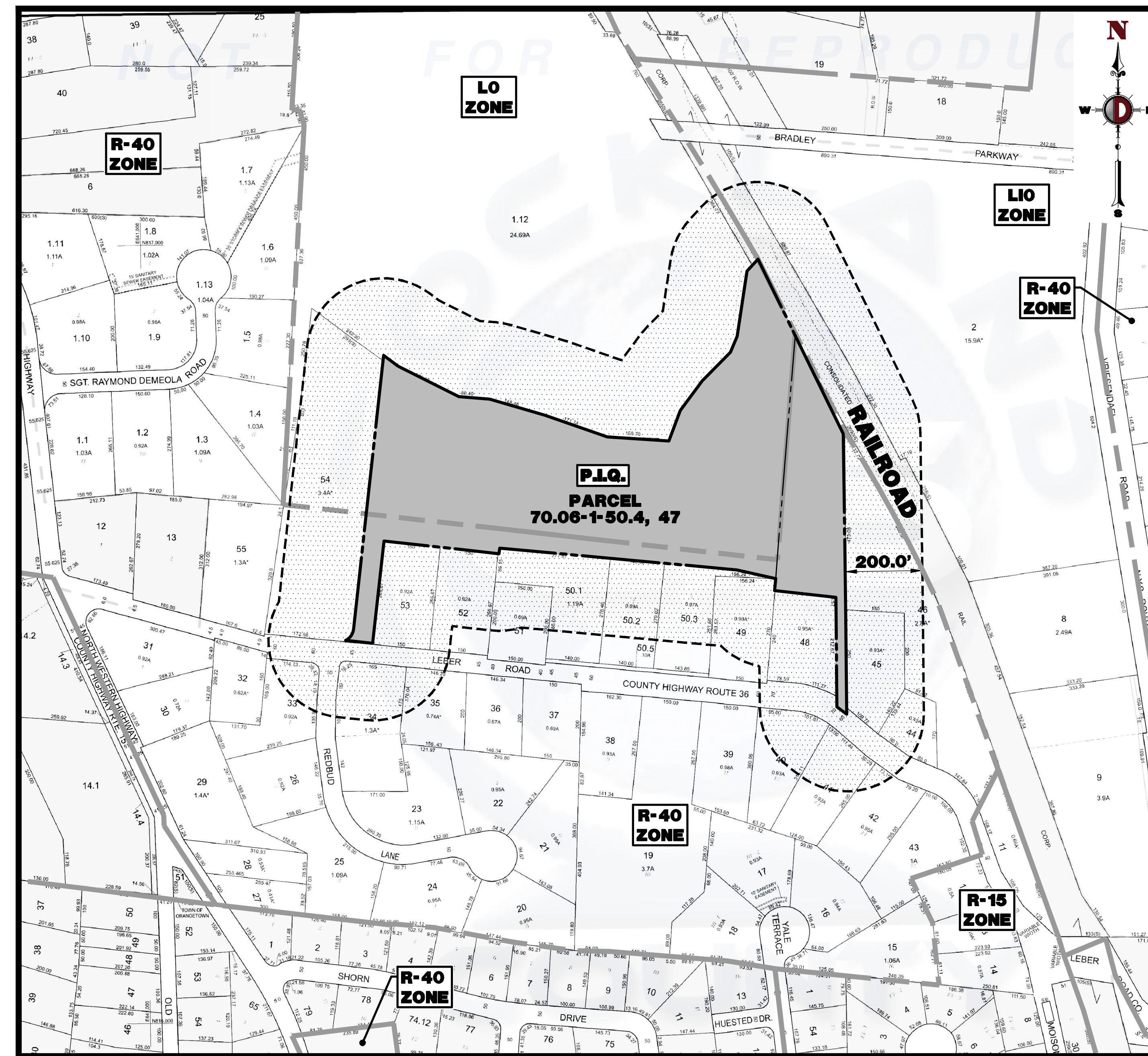
www.dynamiccec.com



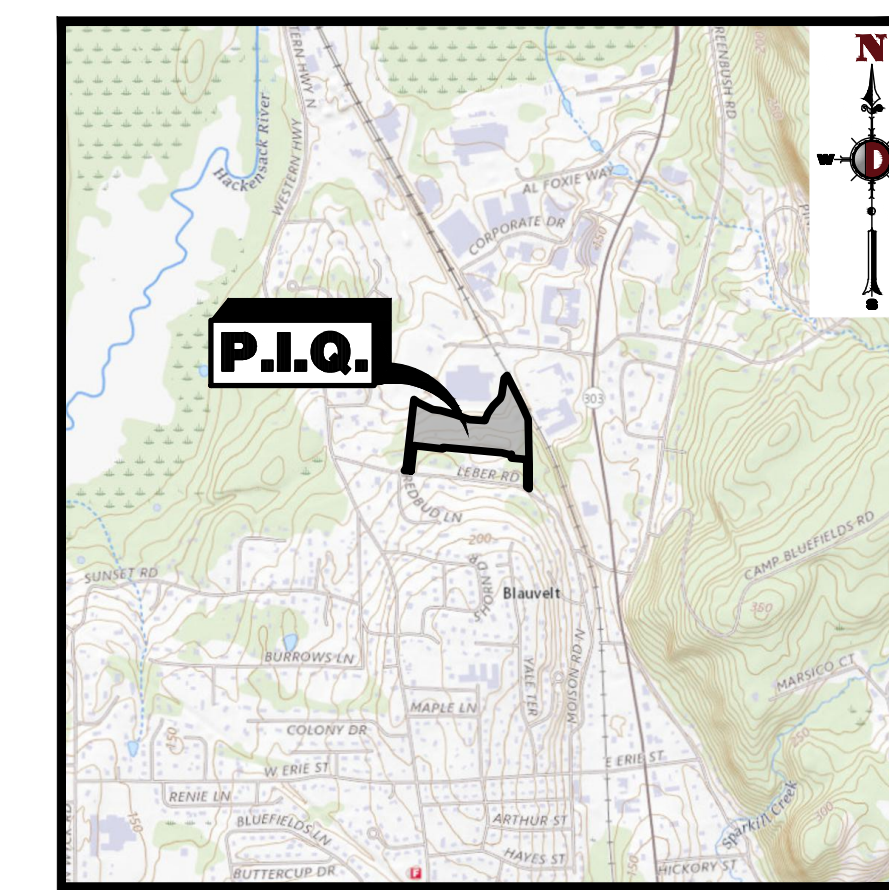
PRELIMINARY AND FINAL SITE PLAN

FOR ONYX EQUITIES, LLC PROPOSED ACCESSORY PARKING LOT

PARCEL 70.06-1-50.4 & 47; TAX MAP SHEET #70.06 - LATEST REV. DATED 06-16-1992
64 & 140 LEBER ROAD,
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

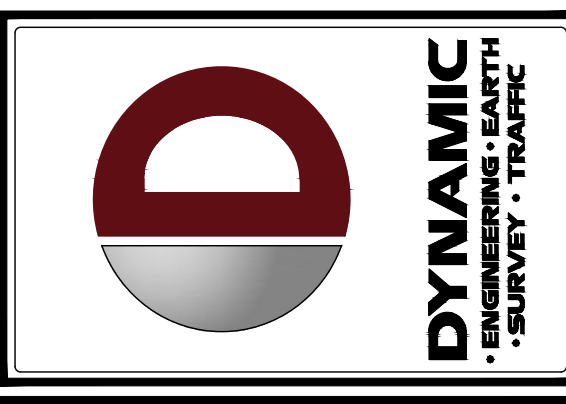


AREA MAP
1" = 200'



KEY MAP
1" = 2000'

DRAWING INDEX	
COVER SHEET	1 of 28
AERIAL MAP	2 of 28
OVERALL SITE PLAN	3 of 28
SITE PLAN 'A' - 'B'	4 - 5 of 28
DEMOLITION PLAN 'A' - 'B'	6 - 7 of 28
OVERALL GRADING PLAN	8 of 28
GRADING PLAN 'A' - 'B'	9 - 10 of 28
OVERALL DRAINAGE AND UTILITY PLAN	11 of 28
DRAINAGE AND UTILITY PLAN 'A' - 'B'	12 - 13 of 28
STREAM PROFILES	14 - 15 of 28
LANDSCAPE PLAN 'A' - 'B'	16 - 17 of 28
LIGHTING PLAN 'A' - 'B'	18 - 19 of 28
SOIL EROSION AND SEDIMENT CONTROL PLAN 'A' - 'B'	20 - 21 of 28
SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	22 of 28
CONSTRUCTION DETAILS	23 - 26 of 28
VEHICLE CIRCULATION PLAN (CAR CARRIER TRAILER)	27 of 28
VEHICLE CIRCULATION PLAN (TRUCK)	28 of 28



REV.	DATE	COMMENTS
1	10/02/2023	REV. PER PLANNING BOARD SUBMISSION

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION.

PROJECT: ONYX EQUITIES, LLC
Proposed Accessory Parking Lot
64 AND 140 LEBER ROAD
TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK

PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF ESCALATED ESCALATORS OF ANY PERSON
PREPARING TO INSURE THE STATE'S SURFACE WATERWAYS IN ANY STATE

811
Dig what's below
Call before you dig

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:
WWW.CALL811.COM

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

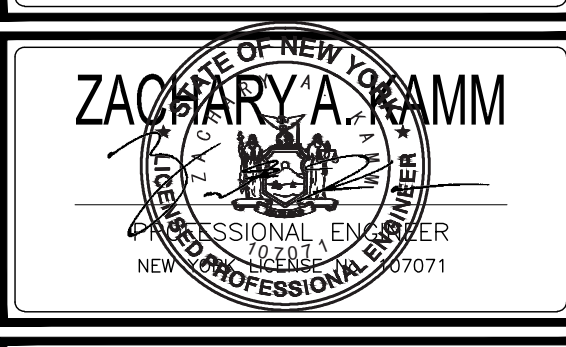
50 Park Place
Suite 901
Newark, NJ 07102
T: 973.755.7200

Offices conveniently located at:

LAKE COHO, NEW JERSEY • T. 757.41.0998
CHESTER, NEW JERSEY • T. 908.997.0000
MORRISTOWN, NEW JERSEY • T. 908.334.2000
NEWARK, NEW JERSEY • T. 973.755.7200
TOWNSHIP OF BERGEN, NEW JERSEY • T. 201.261.8470
NEWTON, PENNSYLVANIA • T. 717.853.0270
PROFESSORIAL PRINCIPAL OFFICE • T. 717.853.0488
BETHLEHEM, PENNSYLVANIA • T. 610.688.4400
ALLEN TOWNSHIP • T. 610.261.2100
HOUSTON TEXAS • T. 281.789.6400
AZLEN, TEXAS • T. 817.446.0466
DEERBACH, TEXAS • T. 817.501.8100
ANNAPOLIS, MARYLAND • T. 410.567.5000

www.dynamiccec.com

ROBERT P. FREUD
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 88623



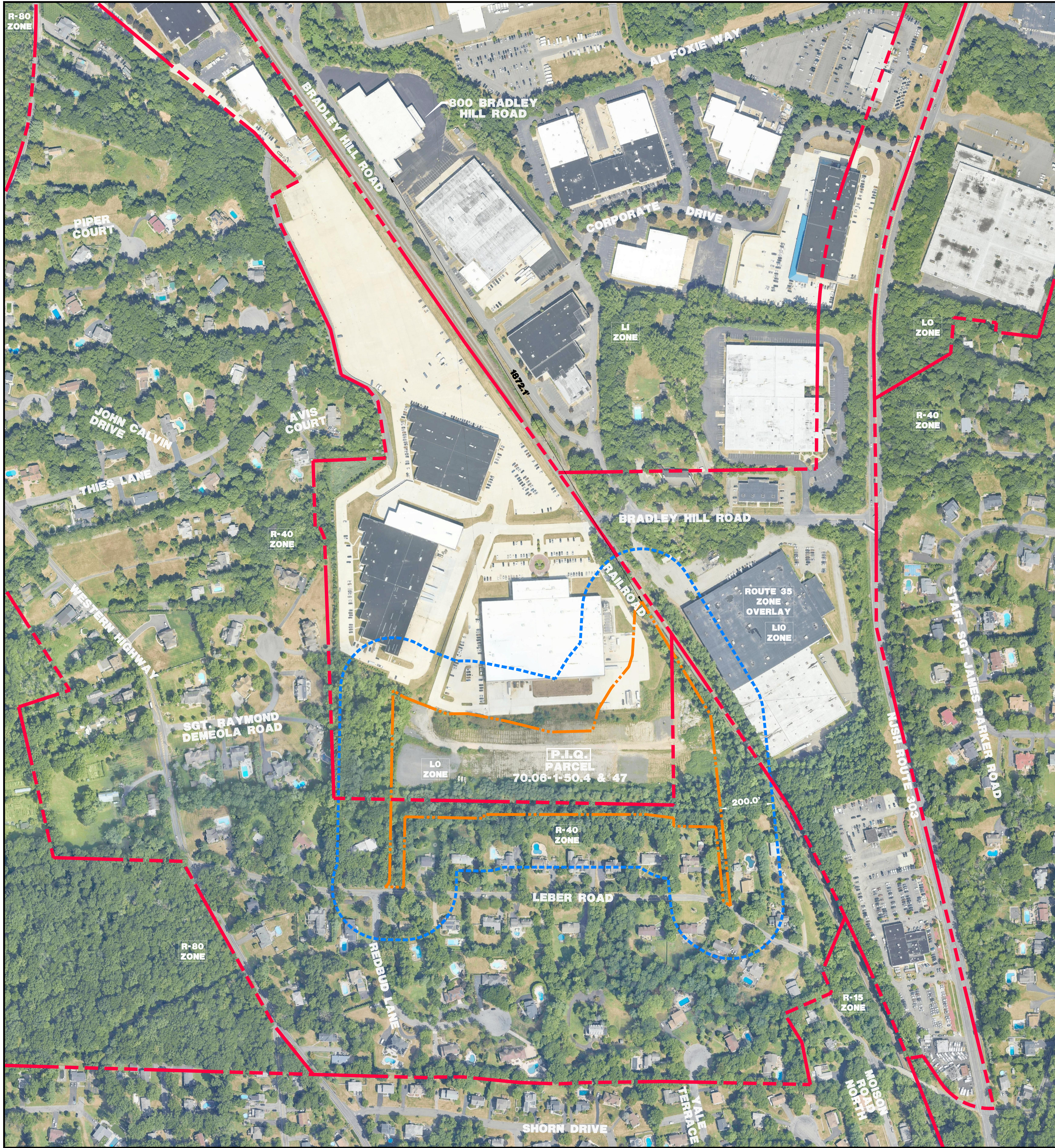
TITLE:
COVER SHEET

SCALE(S) AS SHOWN: 10/02/2023
PROJECT NO: 1739-22-02023

SHEET NO: **1** Rev. #:

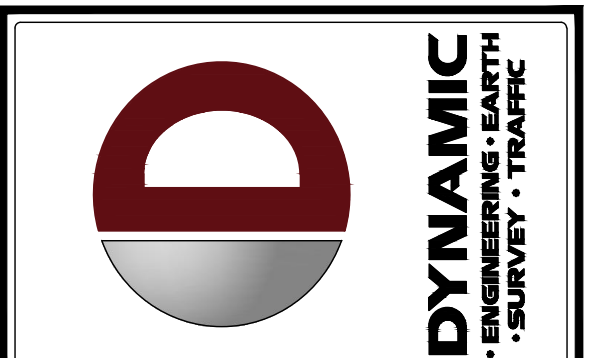
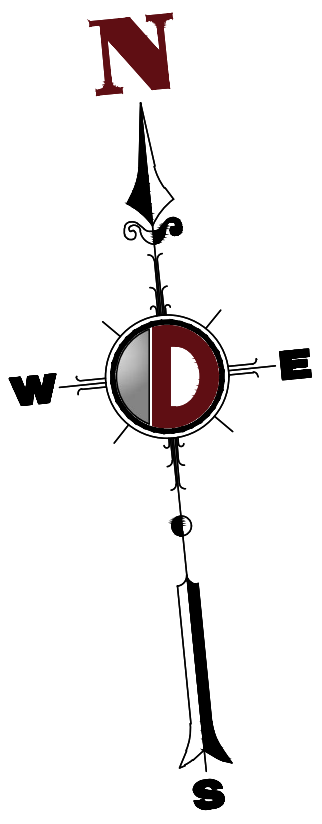
PREPARED BY
DYNAMIC ENGINEERING CONSULTANTS, P.C.
50 PARK PLACE - SUITE 901
NEWARK, NJ 07102
WWW.DYNAMICCEC.COM

Plotfile: 02/14/24 - 405_PN_Pc_1sheet.dwg
File: P:\DCEPC\PROJECTS\1739 Onyx Equities, LLC\22-02023 Orangetown NY\02\Site Plans\0173922023SK1.dwg -> 01 COVER SHEET



PlotNo: 02/14/24 - 408 PN - Pk - sheets
 File: P:\AEC\PROJECTS\1739 Onyx Equities, LLC\24-02023 Aerial Map\1739 Onyx Equities, LLC\24-02023 Aerial Map.dwg, ----- 02 AERIAL MAP

COPYRIGHT © 2024 - DYNAMIC ENGINEERING CONSULTANTS, PC - ALL RIGHTS RESERVED



REV.	DATE	COMMENTS
1	10/27/2024	REV. FOR PLANNING BOARD SUBMISSION

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION.
 DRAWN BY: [] CHECKED BY: [] DESIGNED BY: []
 PROJECT: **ONYX EQUITIES, LLC**
Proposed Accessory Parking Lot
 64 AND 470 LEBER ROAD
 TOWN OF DRANGETOWN, ROCKLAND COUNTY, NEW YORK

PROTECT YOURSELF
 ALL STATES REQUIRE NOTIFICATION OF EXAGGERATED, EXCESSIVE, OR ANY PERSON
 PROMISING TO OBTAIN THE SERVICE WITHOUT A BUY STATE
811
 Call before you dig
 FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:
 WWW.CALL811.COM

DYNAMIC ENGINEERING
 LAND DEVELOPMENT CONSULTING • PERMITTING
 GEOTECHNICAL • ENVIRONMENTAL
 TRAFFIC • SURVEY • PLANNING & ZONING

50 Park Place
 Suite 901
 Newark, NJ 07102
 T: 973.755.7200
 Offices conveniently located at:
 LAKE COHO, NEW JERSEY • T. 757.914.0919
 CHESTER, NEW JERSEY • T. 763.687.0200
 HARTFORD, NEW JERSEY • T. 908.324.2200
 NEWARK, NEW JERSEY • T. 973.755.7200
 ZIONSBURG, NEW JERSEY • T. 973.755.7200
 NEWTON, PENNSYLVANIA • T. 717.463.0276
 PHILADELPHIA, PENNSYLVANIA • T. 215.252.0488
 BETHLEHEM, PENNSYLVANIA • T. 610.684.4400
 ALLEN, TEXAS • T. 972.252.2200
 HOUSTON, TEXAS • T. 281.789.6400
 AUSTIN, TEXAS • T. 512.445.0488
 DEER BEACH, FLORIDA • T. 904.551.8000
 ANNAPOLIS, MARYLAND • T. 410.562.5000
 www.dynamicce.com

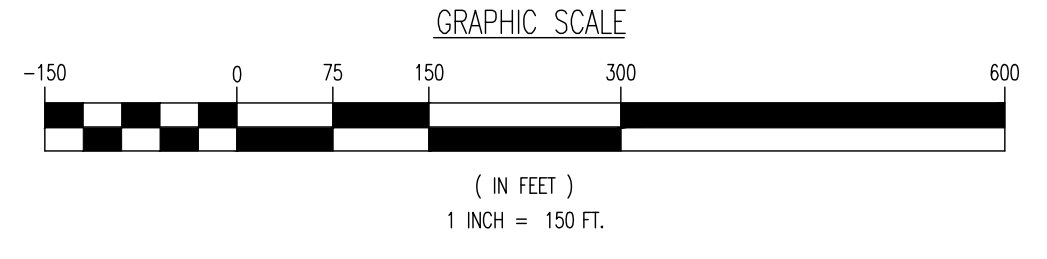
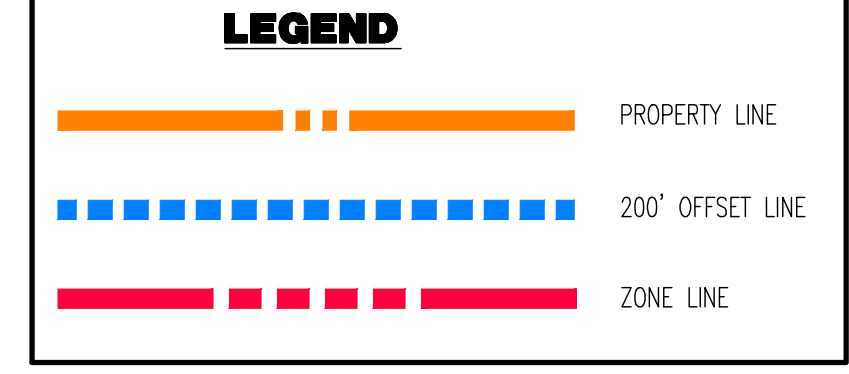
ROBERT P. FREUD
 PROFESSIONAL ENGINEER
 NEW YORK LICENSE NO. 88623



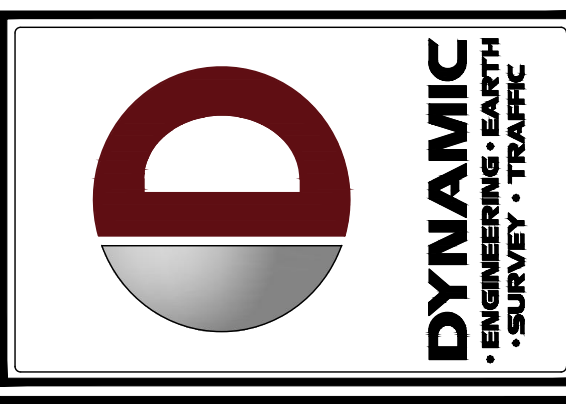
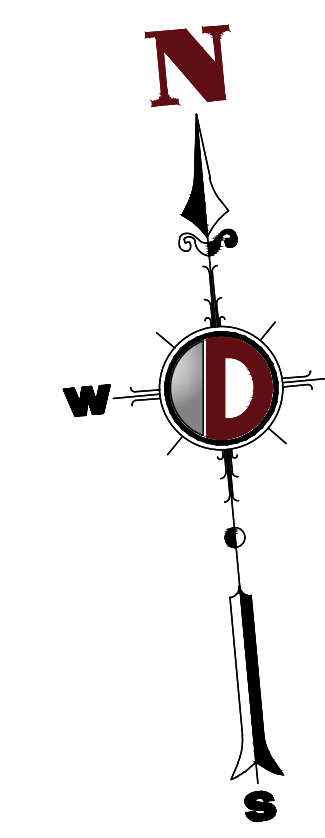
TITLE:
AERIAL MAP

SCALE: (H) 1"=150' (V) 1"=150 FT.
 DATE: 10/02/2023
 PROJECT No: 1739-22-02023

SHEET No: **2** Rev. #: 1
 OF 28



THE AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED ON IMAGERY PREPARED BY DIGITAL GLOBE, GEO EYE AND USDA FARM SERVICE AGENCY. THIS IMAGERY WAS PROVIDED BY GOOGLE MAPS ON 07/18/22. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.



REV.	DATE	COMMENTS
1	10/27/2023	REV. PER PLANNING BOARD SUBMISSION

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: **ONIX EQUITIES, LLC**
Proposed Accessory Parking Lot
140 LEIBER ROAD
TOWN OF DRANETOWN, ROCKLAND COUNTY, NEW YORK

PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF ESCALATED ESCALATORS OR ANY PERSON
PREPARING TO INSURE THE SHIP'S SAFETY NETWORK IN ANY STATE

811
Call before you dig
King's Highway 108
Newark, NJ 07102

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:
WWW.CALL811.COM

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING
GEO-TECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

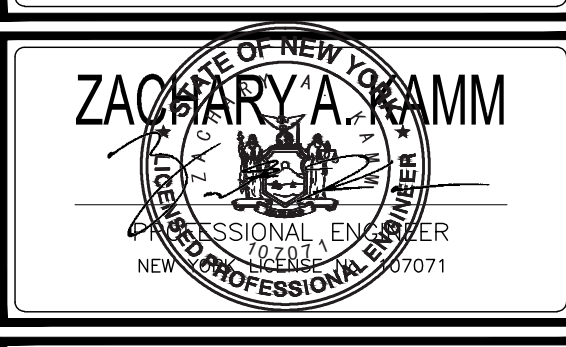
50 Park Place
Suite 901
Newark, NJ 07102
T: 973.755.7200

Offices conveniently located at:

- LAKE COHO, NEW JERSEY • T. 732.419.8999
- CHESTER, NEW JERSEY • T. 732.949.9229
- MARLTON, NEW JERSEY • T. 856.334.2525
- NEWARK, NEW JERSEY • T. 973.755.7200
- ZION BORO, NEW JERSEY • T. 732.949.9229
- NEWTON, PENNSYLVANIA • T. 717.463.0276
- PHILADELPHIA, PENNSYLVANIA • T. 215.253.8888
- BETHLEHEM, PENNSYLVANIA • T. 610.688.4420
- ALLEN TOWNSHIP, PENNSYLVANIA • T. 610.688.4420
- HOUSTON, TEXAS • T. 281.399.6400
- ASPEN, TEXAS • T. 325.446.5046
- DEERBACH, TEXAS • T. 361.675.8100
- ANNAPOLIS, MARYLAND • T. 410.567.5000

www.dynamiceng.com

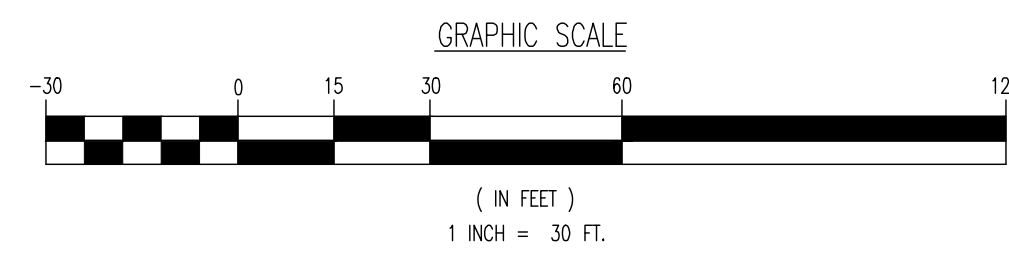
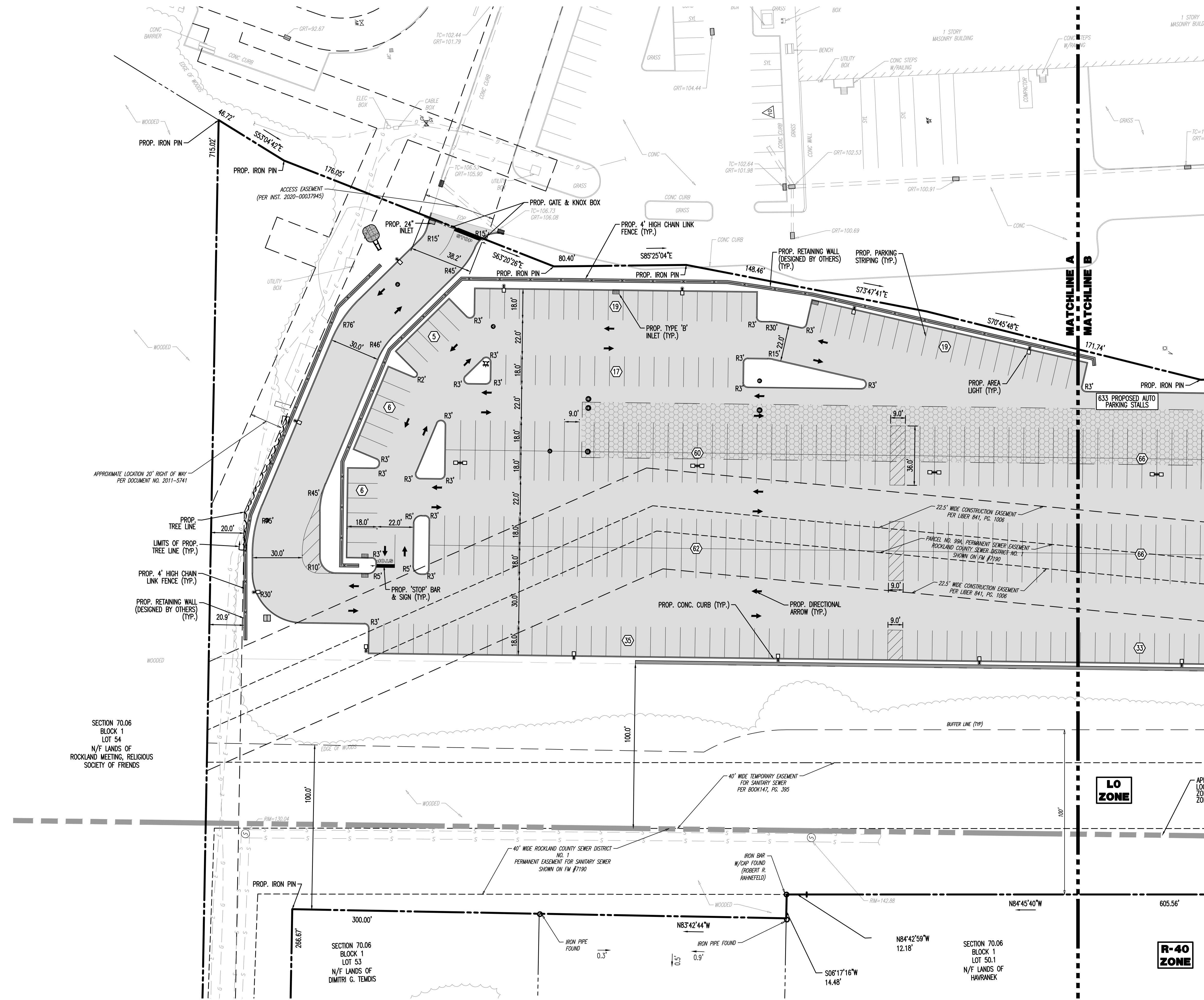
ROBERT P. FREUD
PROFESSIONAL ENGINEER
NEW YORK LICENSE No. 88623



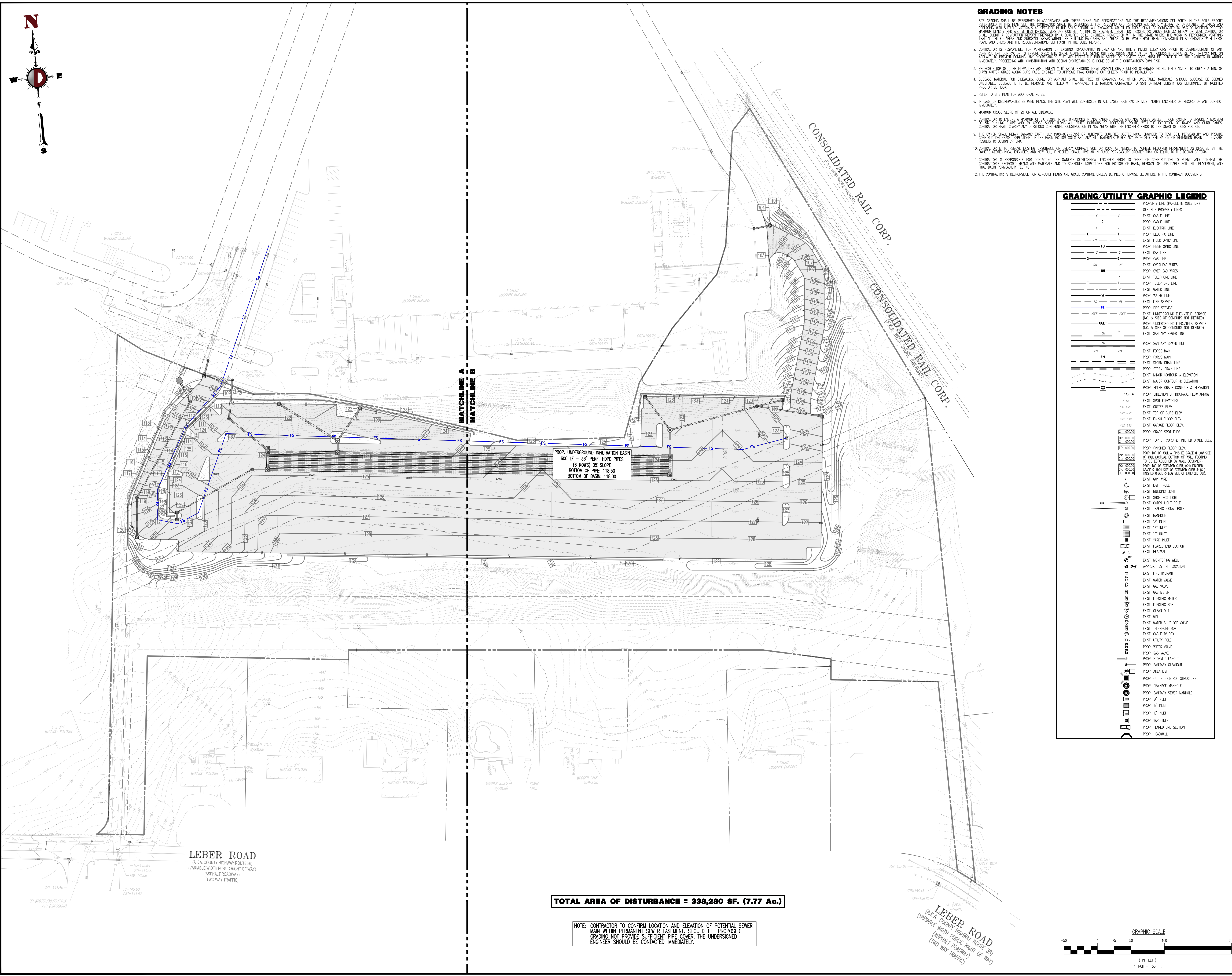
TITLE:
SITE PLAN 'A'

SCALE: (H) 1"=30'
(V) 1"=30'
DATE: 10/02/2023
PROJECT No: 1739-22-02023

SHEET No: **4** of 28
Rev. #:



Project: 02/14/24 - 408 PN, Dr. sheets
 File: P:\DEPC PROJECTS\1739 Onyx Equities, LLC\22-02023\SSG.dwg, ----> 04 SITE PLAN 'A'
 Copyright © 2024 - DYNAMIC ENGINEERING CONSULTANTS, PC - ALL RIGHTS RESERVED



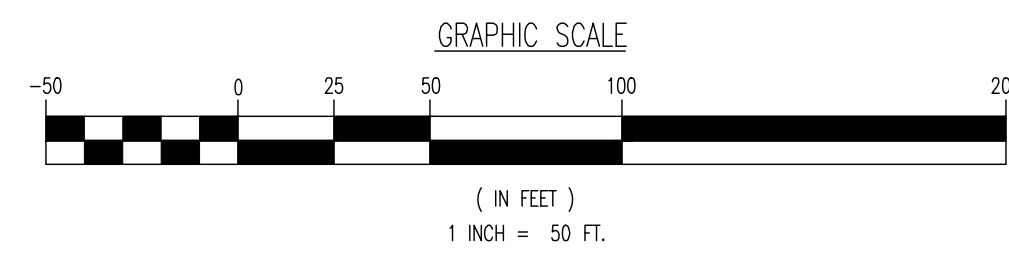
- ### GRADING NOTES
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM D1557. THE CONTRACTOR SHALL SUBMIT A COMPACTION REPORT TO THE ENGINEER PRIOR TO THE BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING FOOTPRINT AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL CURBS, GUTTERS, CURBS AND 1.0% ON ALL CONCRETE SURFACES AND 1.17% MIN. ON ASPHALT TO PREVENT POOLING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS SOLELY AT THE CONTRACTOR'S OWN RISK.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MIN. OF 0.75% GUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
 - SUBGRADE MATERIAL FOR SIDEWALKS, CURBS, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBGRADE BE DEEMED UNSUITABLE, SUBGRADE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL, COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
 - REFER TO SITE PLAN FOR ADDITIONAL NOTES.
 - IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERCEDE IN ALL CASES. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD OF ANY CONFLICT IMMEDIATELY.
 - MAXIMUM GROSS SLOPE OF 2% ON ALL SIDEWALKS.
 - CONTRACTOR TO DISBURSE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS IN ADA PARKING SPACES AND ADA ACCESSIBLE AREAS. CONTRACTOR TO ENSURE A MAXIMUM OF 1% MAXIMUM SLOPE AND 2% GROSS SLOPE ALONG ALL OTHER PORTIONS OF ACCESSIBLE ROUTE WITH THE EXCEPTION OF RAMPS AND CURB RAMPS. CONTRACTOR SHALL CLARIFY ANY QUESTIONS CONCERNING CONSTRUCTION IN ADA AREAS WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
 - THE OWNER SHALL RETAIN DYNAMIC EARTH, LLC (008-879-7095) OR ALTERNATE QUALIFIED GEOTECHNICAL ENGINEER TO TEST SOIL PERMEABILITY AND PROVIDE CONSTRUCTION PHASE INSPECTIONS OF THE BASIN BOTTOM SIDES AND ANY FILL MATERIALS WITHIN ANY PROPOSED INFILTRATION OR RETENTION BASIN TO COMPARE RESULTS TO DESIGN CRITERIA.
 - CONTRACTOR IS TO REMOVE EXISTING UNSUITABLE OR OVERLY COMPACT SOIL OR ROCK AS NEEDED TO ACHIEVE REQUIRED PERMEABILITY AS DIRECTED BY THE OWNER'S GEOTECHNICAL ENGINEER, AND NEW FILL, IF NEEDED, SHALL HAVE AN IN PLACE PERMEABILITY GREATER THAN OR EQUAL TO THE DESIGN CRITERIA.
 - CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO ONSET OF CONSTRUCTION TO SUBMIT AND CONFIRM THE CONTRACTOR'S PROPOSED MEANS AND MATERIALS AND TO SCHEDULE INSPECTIONS FOR BOTTOM OF BASIN, REMOVAL OF UNSUITABLE SOIL, FILL PLACEMENT, AND FINAL BASIN PERMEABILITY TESTING.
 - THE CONTRACTOR IS RESPONSIBLE FOR AS-BUILT PLANS AND GRADE CONTROL, UNLESS DEFINED OTHERWISE ELSEWHERE IN THE CONTRACT DOCUMENTS.

GRADING/UTILITY GRAPHIC LEGEND

	PROPERTY LINE (PARCEL IN QUESTION)
	OFF-SITE PROPERTY LINES
	EXIST. CABLE LINE
	PROP. CABLE LINE
	EXIST. ELECTRIC LINE
	PROP. ELECTRIC LINE
	EXIST. FIBER OPTIC LINE
	PROP. FIBER OPTIC LINE
	EXIST. GAS LINE
	PROP. GAS LINE
	EXIST. OVERHEAD WIRES
	PROP. OVERHEAD WIRES
	EXIST. TELEPHONE LINE
	PROP. TELEPHONE LINE
	EXIST. WATER LINE
	PROP. WATER LINE
	EXIST. FIRE SERVICE
	PROP. FIRE SERVICE
	EXIST. UNDERDRAIN ELEC./TELE. SERVICE (NO. & SIZE OF CONDUCTS NOT DEFINED)
	PROP. UNDERDRAIN ELEC./TELE. SERVICE (NO. & SIZE OF CONDUCTS NOT DEFINED)
	EXIST. SANITARY SEWER LINE
	PROP. SANITARY SEWER LINE
	EXIST. FORCE MAIN
	PROP. FORCE MAIN
	EXIST. STORM DRAIN LINE
	PROP. STORM DRAIN LINE
	EXIST. MINOR CONTOUR & ELEVATION
	EXIST. MAJOR CONTOUR & ELEVATION
	PROP. FINISH GRADE CONTOUR & ELEVATION
	PROP. DIRECTION OF DRAINAGE FLOW ARROW
	EXIST. SPOT ELEVATIONS
	EXIST. GUTTER ELEV.
	EXIST. TOP OF CURB ELEV.
	EXIST. FINISH FLOOR ELEV.
	EXIST. GARAGE FLOOR ELEV.
	EXIST. PROP. GRADE SPOT ELEV.
	EXIST. PROP. TOP OF CURB & FINISHED GRADE ELEV.
	EXIST. FINISHED FLOOR ELEV.
	EXIST. PROP. TOP OF WALL & FINISHED GRADE & LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	EXIST. PROP. TOP OF EXTENDED CURB (OR FINISHED) GRADE & HIGH SIDE OF EXTENDED CURB & LOW SIDE OF EXTENDED CURB
	EXIST. CLAY WIRE
	EXIST. LIGHT POLE
	EXIST. BUILDING LIGHT
	EXIST. STREET LIGHT POLE
	EXIST. TRAFFIC SIGNAL POLE
	EXIST. MANHOLE
	EXIST. 'A' INLET
	EXIST. 'B' INLET
	EXIST. 'C' INLET
	EXIST. 'D' INLET
	EXIST. 'E' INLET
	EXIST. FLARED END SECTION
	EXIST. HEADWALL
	EXIST. MONITORING WELL
	APPROX. TEST PIT LOCATION
	EXIST. FIRE HYDRANT
	EXIST. WATER VALVE
	EXIST. GAS VALVE
	EXIST. GAS METER
	EXIST. ELECTRIC METER
	EXIST. ELECTRIC BOX
	EXIST. CLEAN OUT
	EXIST. WELL
	EXIST. WATER SHUT OFF VALVE
	EXIST. TELEPHONE BOX
	EXIST. CABLE TV BOX
	EXIST. UTILITY POLE
	PROP. WATER VALVE
	PROP. GAS VALVE
	PROP. STORM CLEANOUT
	PROP. SANITARY CLEANOUT
	PROP. AREA LIGHT
	PROP. OUTLET CONTROL STRUCTURE
	PROP. DRAINAGE MANHOLE
	PROP. SANITARY SEWER MANHOLE
	PROP. 'A' INLET
	PROP. 'B' INLET
	PROP. 'C' INLET
	PROP. 'D' INLET
	PROP. 'E' INLET
	PROP. YARD INLET
	PROP. FLARED END SECTION
	PROP. HEADWALL

TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)

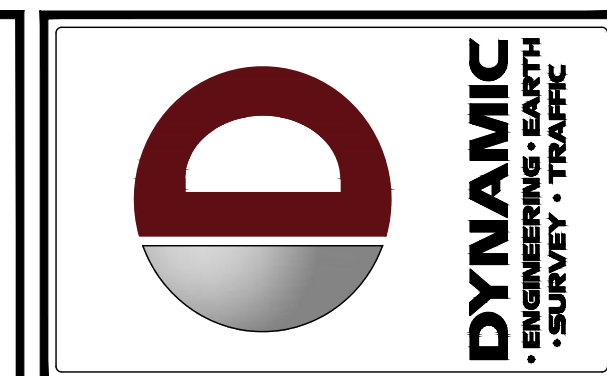
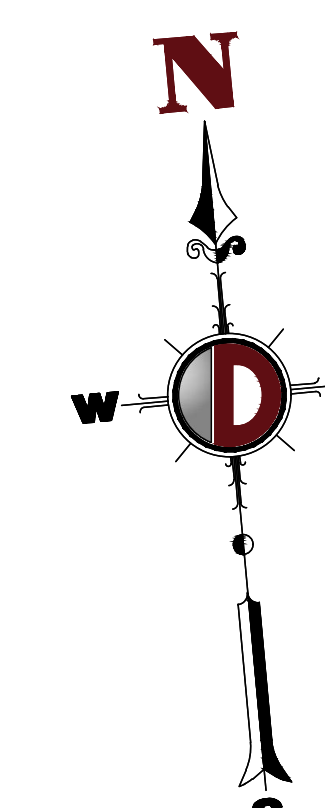
NOTE: CONTRACTOR TO CONFIRM LOCATION AND ELEVATION OF POTENTIAL SEWER MAIN WITHIN PERMANENT SEWER EASEMENT. SHOULD THE PROPOSED GRADING NOT PROVIDE SUFFICIENT PIPE COVER, THE UNDERSIGNED ENGINEER SHOULD BE CONTACTED IMMEDIATELY.



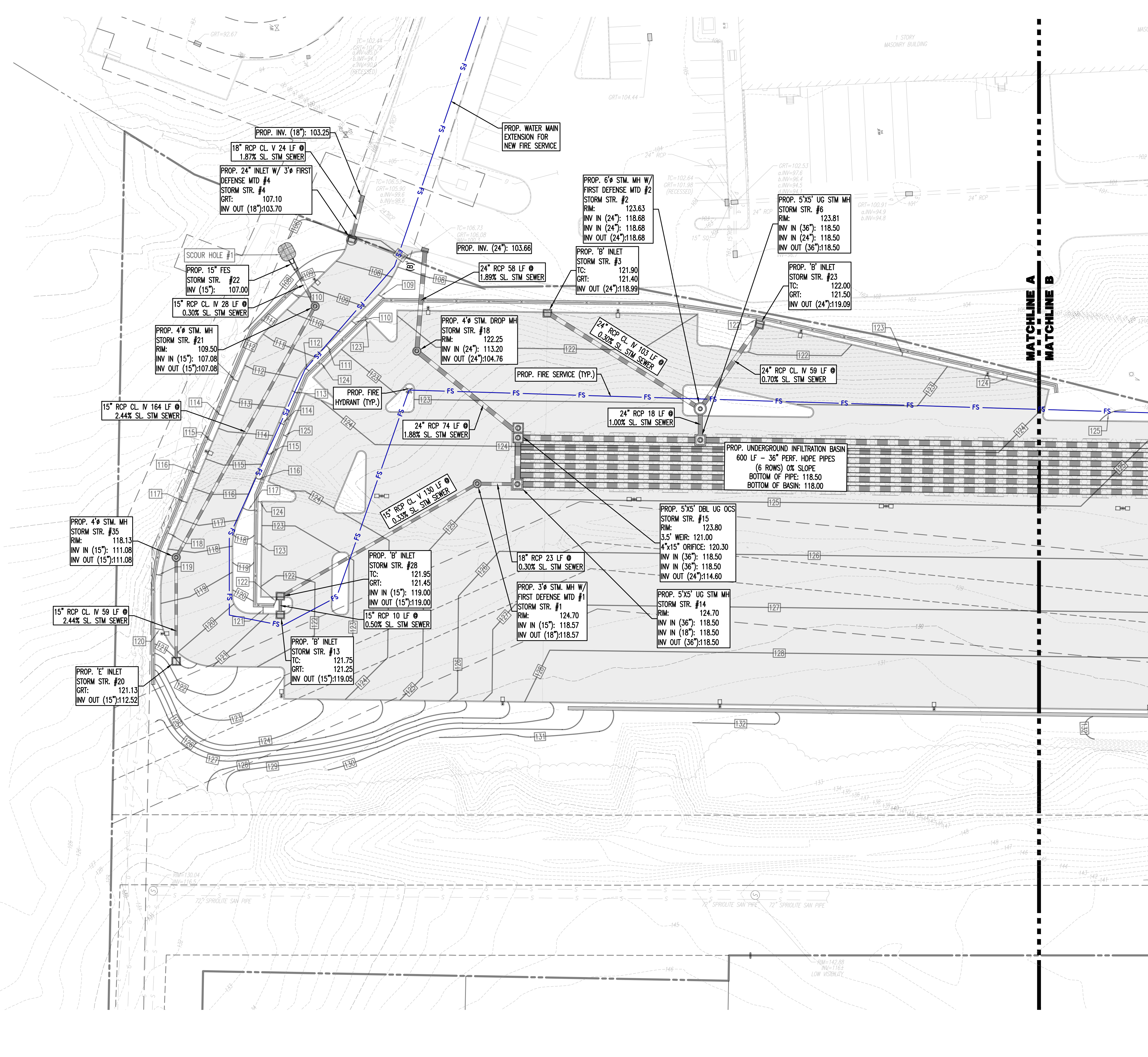
DYNAMIC ENGINEERING CONSULTANTS, PC
SURVEY • TRAFFIC • PLANNING

<p>THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION.</p>	<p>PROTECT YOURSELF ALL STATES REQUIRE NOTIFICATION OF EXISTING RECORDS OR ANY PERSON PROPRIETARY TO SECURE THE SHOWN SURFACE WORKS IN ANY STATE.</p> <p>FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM</p>
<p>FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM</p>	<p>DYNAMIC ENGINEERING LAND DEVELOPMENT CONSULTING • PERMITTING GEOTECHNICAL • ENVIRONMENTAL TRAFFIC • SURVEY • PLANNING & ZONING</p>
<p>50 Park Place Suite 901 Newark, NJ 07102 T: 973.755.7200</p> <p>Offices conveniently located at:</p> <p>LAKE CO., N.J. • 1.753.14.8989 CHESTER N.J. • 1.753.94.9229 NEWARK N.J. • 1.973.755.7200 PHILADELPHIA, PA. • 1.215.261.8888 HARRISBURG, PA. • 1.717.633.2276 PITTSBURGH, PA. • 1.724.261.8888 ALLEN TWP., PA. • 1.724.261.8888 HOUSTON, TEXAS • 1.281.389.4400 ASHEVILLE, NC • 1.828.445.5444 DELRAN, NJ • 1.856.551.8850 ANNAPOLIS, MD • 1.410.562.5000</p> <p>www.dynamiccc.com</p>	
<p>ROBERT P. FREUD PROFESSIONAL ENGINEER NEW YORK LICENSE NO. 88623</p>	
<p>ZACHARY A. HAMM PROFESSIONAL ENGINEER NEW YORK LICENSE NO. 207071</p>	
<p>TITLE: OVERALL DRAINAGE AND UTILITY PLAN</p>	
<p>SCALE: (H) 1"=50' (V) 1"=10' DATE: 10/02/2023 PROJECT No: 1739-22-02023</p>	
<p>SHEET No: 11 Rev. #:</p>	

Plotfile: 02/14/24 - 408 PL - Dr. sheets
 File: P:\PROJECTS\1739 Ony Equities, LLC\22-02023\11.dwg -> 11 OVERALL DRAINAGE AND UTILITY PLAN
 COPYRIGHT © 2024 - DYNAMIC ENGINEERING CONSULTANTS, PC - ALL RIGHTS RESERVED



REV.	DATE	COMMENTS
1	10/27/2023	REV. PER PLANNING BOARD SUBMISSION



EXISTING UTILITY NOTES

EXISTING WATER SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING WATER SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING WATER SERVICE LINE AND CAP AT MAIN IN S.O.M. IN ACCORDANCE WITH THE LOCAL WATER COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL WATER COMPANY PRIOR TO COMPLETION. IF THE EXISTING WATER SERVICE CAN NOT BE UTILIZED, THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL WATER COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

EXISTING GAS SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING GAS SERVICE CONNECTION IF FEASIBLE. OTHERWISE REMOVE EXISTING GAS SERVICE LINE AND CAP AT MAIN IN S.O.M. IN ACCORDANCE WITH THE LOCAL GAS COMPANY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL GAS COMPANY PRIOR TO COMPLETION. IF THE EXISTING GAS SERVICE CAN NOT BE UTILIZED, THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL GAS COMPANY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

SANITARY SEWER SERVICE NOTE: CONTRACTOR TO LOCATE AND UTILIZE EXISTING SEWER SERVICE CONNECTION IF OF ADEQUATE SIZE AND INTEGRITY AND ACCEPTABLE TO LOCAL SEWER AUTHORITY. OTHERWISE CONTRACTOR TO REMOVE EXISTING SEWER SERVICE LINE AND CAP AT MAIN IN S.O.M. IN ACCORDANCE WITH THE LOCAL SEWER AUTHORITY REQUIREMENTS. TERMINATION AT THE MAIN MUST BE APPROVED BY THE LOCAL SEWER AUTHORITY PRIOR TO COMPLETION. IF EXISTING SEWER SERVICE CAN NOT BE UTILIZED THEN THE NEW SERVICE IS TO BE COORDINATED AND VERIFIED FOR LOCATION WITH THE LOCAL SEWER AUTHORITY. CONTRACTOR SHALL OBTAIN ALL REQUIRED STREET OPENING PERMITS FOR REMOVAL OF EXISTING SERVICE AND INSTALLATION OF NEW SERVICE.

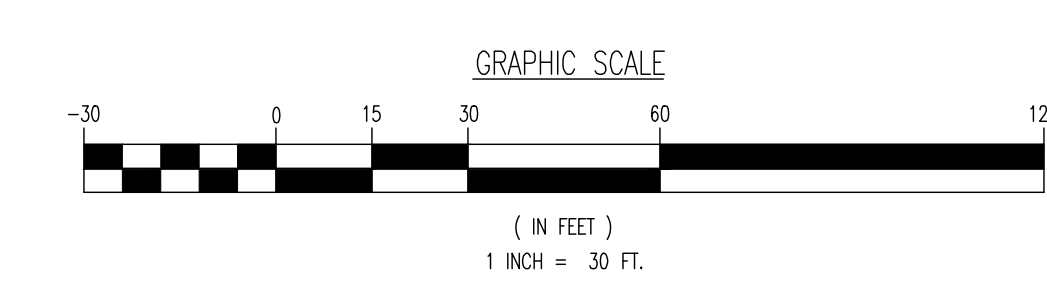
UTILITY NOTES

- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT POINT OF CONNECTION AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK-OUT THEIR UTILITIES.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
- WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTORS PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
- ALL WATER MAIN SHALL BE CEMENT-LINED, CLASS 52 DUCTILE IRON PIPE, UNLESS OTHERWISE DESIGNATED.
- THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICES SHALL BE 1 INCH.
- ALL SANITARY SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 18 FEET HORIZONTALLY. IF SUCH SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER MAIN AT LEAST 18 INCHES BELOW THE WATER MAIN OR SUCH OTHER SEPARATION AS APPROVED BY THE APPROVING AUTHORITY. WHERE APPROPRIATE CROSSING SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, THE LENGTH OF ENCASED SEWER SHALL BE AS FAR FROM THE WATER MAIN AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL STRUCTURAL SUPPORT FOR SEWER LATERALS.
- ALL SANITARY SEWER MAINS SHALL BE 304-316 PVC PIPE MATERIAL UNLESS OTHERWISE DESIGNATED. SEWER PIPES INSTALLED WITH LESS THAN 3 FEET COVER, GREATER THAN 20 FEET COVER OR WITHIN 18 INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. ALL DUCTILE IRON SEWER PIPE SHALL BE CEMENT-LINED, CLASS 52 PIPE, CONSTRUCTED WITH SENDER COAT, OR APPROVED EQUAL.
- WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10\"/>

GRADING/UTILITY GRAPHIC LEGEND

	PROPERTY LINE (PARCEL IN QUESTION)
	OFF-SITE PROPERTY LINES
	EXIST. CABLE LINE
	EXIST. ELECTRIC LINE
	EXIST. FIBER OPTIC LINE
	EXIST. GAS LINE
	EXIST. OVERHEAD WIRES
	EXIST. TELEPHONE LINE
	EXIST. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
	EXIST. WATER LINE
	EXIST. FIRE SERVICE
	EXIST. SANITARY SEWER LINE
	EXIST. FORCE MAIN
	EXIST. STORM DRAIN LINE
	EXIST. MINOR CONTOUR & ELEVATION
	EXIST. MAJOR CONTOUR & ELEVATION
	EXIST. MONITORING WELL
	EXIST. SPOT ELEVATIONS
	EXIST. GUTTER ELEV.
	EXIST. TOP OF CURB ELEV.
	EXIST. FINISH FLOOR ELEV.
	EXIST. GARAGE FLOOR ELEV.
	EXIST. FIRE HYDRANT
	EXIST. WATER VALVE
	EXIST. GAS VALVE
	EXIST. GAS METER
	EXIST. ELECTRIC METER
	EXIST. ELECTRIC BOX
	EXIST. CLEAN OUT
	EXIST. WELL
	EXIST. WATER SHUT OFF VALVE
	EXIST. TELEPHONE BOX
	EXIST. CABLE TV BOX
	EXIST. UTILITY POLE
	EXIST. CUT WIRE
	EXIST. LIGHT POLE
	EXIST. BUILDING LIGHT
	EXIST. SHOE BOX LIGHT
	EXIST. COBRA LIGHT POLE
	EXIST. TRAFFIC SIGNAL POLE
	EXIST. MANHOLE
	EXIST. 'A' INLET
	EXIST. 'B' INLET
	EXIST. 'C' INLET
	EXIST. 'Y' INLET
	EXIST. FLARED END SECTION
	EXIST. HEADWALL
	PROP. CABLE LINE
	PROP. FIBER OPTIC LINE
	PROP. GAS LINE
	PROP. OVERHEAD WIRES
	PROP. TELEPHONE LINE
	PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)
	PROP. WATER LINE
	PROP. FIRE SERVICE
	PROP. SANITARY SEWER LINE
	PROP. FORCE MAIN
	PROP. STORM DRAIN LINE
	PROP. FINISH GRADE CONTOUR & ELEVATION
	APPROX. TEST PIT LOCATION
	PROP. GRADE SPOT ELEV.
	PROP. TOP OF CURB & FINISHED GRADE ELEV.
	PROP. FINISHED FLOOR ELEV.
	PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
	PROP. TOP OF EXTENDED CURB (to) FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB & (to) FINISHED GRADE @ LOW SIDE OF EXTENDED CURB
	PROP. DIRECTION OF DRAINAGE FLOW ARROW
	PROP. WATER VALVE
	PROP. GAS VALVE
	PROP. STORM CLEANOUT
	PROP. SANITARY CLEANOUT
	PROP. AREA LIGHT
	PROP. OUTLET CONTROL STRUCTURE
	PROP. DRAINAGE MANHOLE
	PROP. SANITARY SEWER MANHOLE
	PROP. 'A' INLET
	PROP. 'B' INLET
	PROP. 'C' INLET
	PROP. 'Y' INLET
	PROP. FLARED END SECTION
	PROP. HEADWALL

TOTAL AREA OF DISTURBANCE = 336,280 SF. (7.77 Ac.)



Plotfile: 02/14/24 - 408 PL - Dr. sheets
 File: P:\AEC\PROJECTS\1739 Onyx Equities, LLC\23-02023 Onyx\Site Plans\1739-02023 Drainage and Utility Plan 'A'
 Copyright © 2024 - DYNAMIC ENGINEERING CONSULTANTS, PC - ALL RIGHTS RESERVED

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

ONX EQUITIES, LLC
 Proposed Accessory Parking Lot
 50 Park Place, Suite 901
 Newark, NJ 07102
 T: 973.755.7200

PROTECT YOURSELF
 ALL STATES REQUIRE NOTIFICATION OF EXCAVATED, EXPOSED, OR ANY OTHER WORKING TO VERIFY THE DEPTHS OF UTILITIES. CALL 811.

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

DYNAMIC ENGINEERING
 LAND DEVELOPMENT CONSULTING • PERMITTING
 GEOTECHNICAL • ENVIRONMENTAL
 TRAFFIC • SURVEY • PLANNING & ZONING

50 Park Place
 Suite 901
 Newark, NJ 07102
 T: 973.755.7200

Offices conveniently located at:

LAKE COOK, IL • NEW JERSEY • 1.753.41.6998
 CHESTER, NJ • 1.908.979.0209
 MARLBOROUGH, MA • 1.508.334.2500
 NEWARK, NJ • 1.973.755.7200
 PHOENIX, AZ • 1.602.955.8888
 PITTSBURGH, PA • 1.724.937.8888
 RICHMOND, VA • 1.804.646.4000
 WASHINGTON, DC • 1.202.398.4000
 WASHINGTON, DC • 1.202.398.4000
 WASHINGTON, DC • 1.202.398.4000

www.dynamicce.com

ROBERT P. FREUD
 PROFESSIONAL ENGINEER
 NEW YORK LICENSE NO. 88623

ZACHARY A. HAMM
 PROFESSIONAL ENGINEER
 NEW YORK LICENSE NO. 87071

TITLE:
DRAINAGE AND UTILITY PLAN 'A'

SCALE: (H) 1"=30'
 (V) 1"=10'

DATE: 10/02/2023

PROJECT NO: 1739-22-02023

SHEET NO: 12 OF 28

Rev. #:

REV.	DATE	COMMENTS
1	10/27/2023	REV. PER PLANNING BOARD SUBMISSION

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DESIGNED BY: KMG
CHECKED BY: JAG
DATE: _____

PROJECT: **ONYX EQUITIES, LLC**
Proposed Accessory Parking Lot
E4 AND 140 LEBER ROAD
TOWN OF DRANETOWN, ROCKLAND COUNTY, NEW YORK

PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EDUCATED RESIDENTS OF ANY PERSON PROPRIETARY TO SECURE THE SAFEST SERVICE NETWORK IN ANY STATE

811
Call before you dig

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

50 Park Place
Suite 901
Newark, NJ 07102
T: 973.755.7200

Offices conveniently located at:
LAKE COHO, NEW JERSEY • T. 732.944.0999
CHESTER, NEW JERSEY • T. 908.969.9999
MARTON, NEW JERSEY • T. 908.334.3333
NEWARK, NEW JERSEY • T. 973.252.2222
TOWNSHIP OF NEW JERSEY • T. 732.944.0999
NEWTON, PENNSYLVANIA • T. 717.653.6276
PHILADELPHIA, PENNSYLVANIA • T. 215.253.4888
BETHLEHEM, PENNSYLVANIA • T. 610.688.4420
ALLEN, TEXAS • T. 972.254.2525
HOUSTON, TEXAS • T. 281.789.4420
AUSTIN, TEXAS • T. 512.445.5445
DEER BEACH, TEXAS • T. 961.951.8150
ANNAPOLIS, MARYLAND • T. 410.567.5000

www.dynamiccc.com

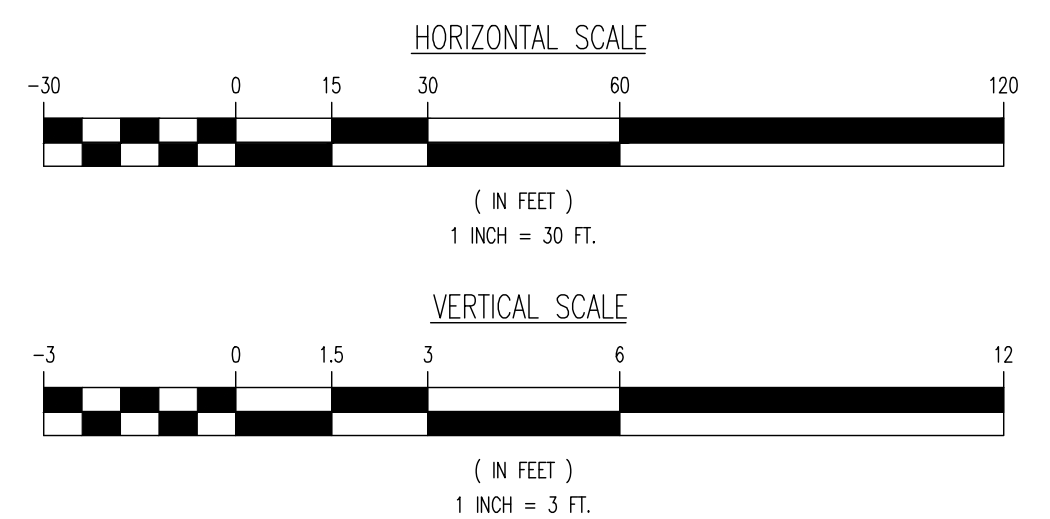
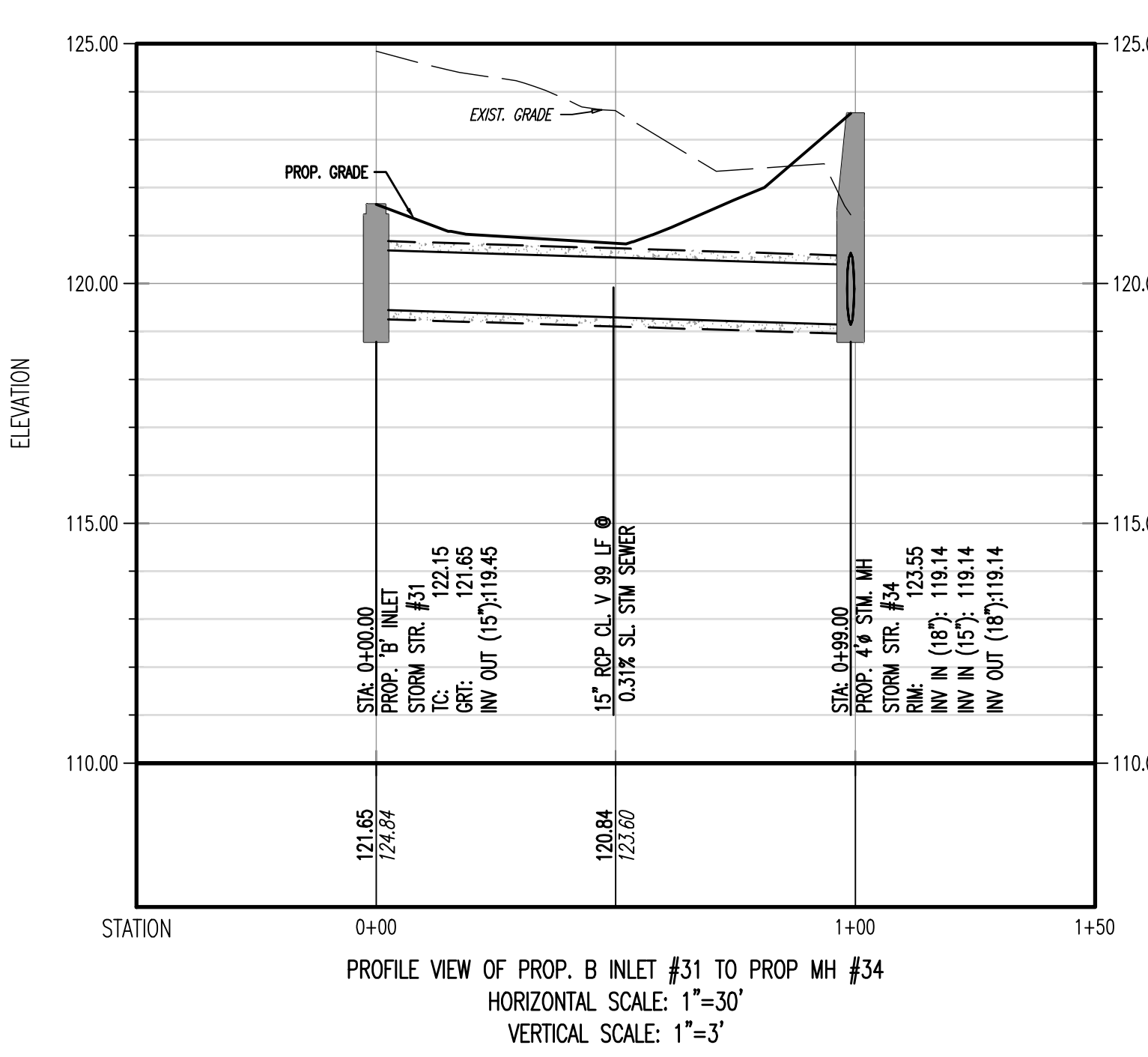
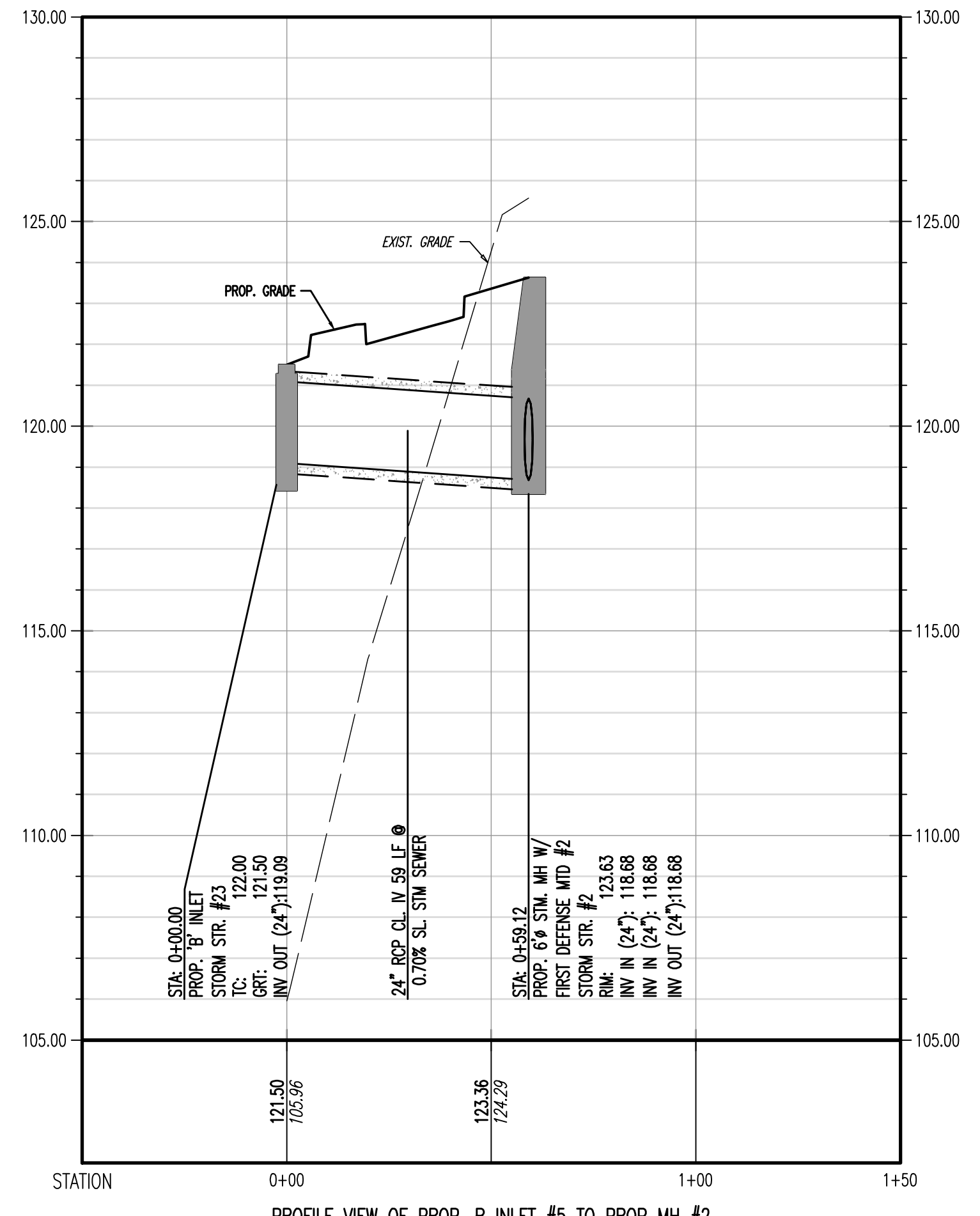
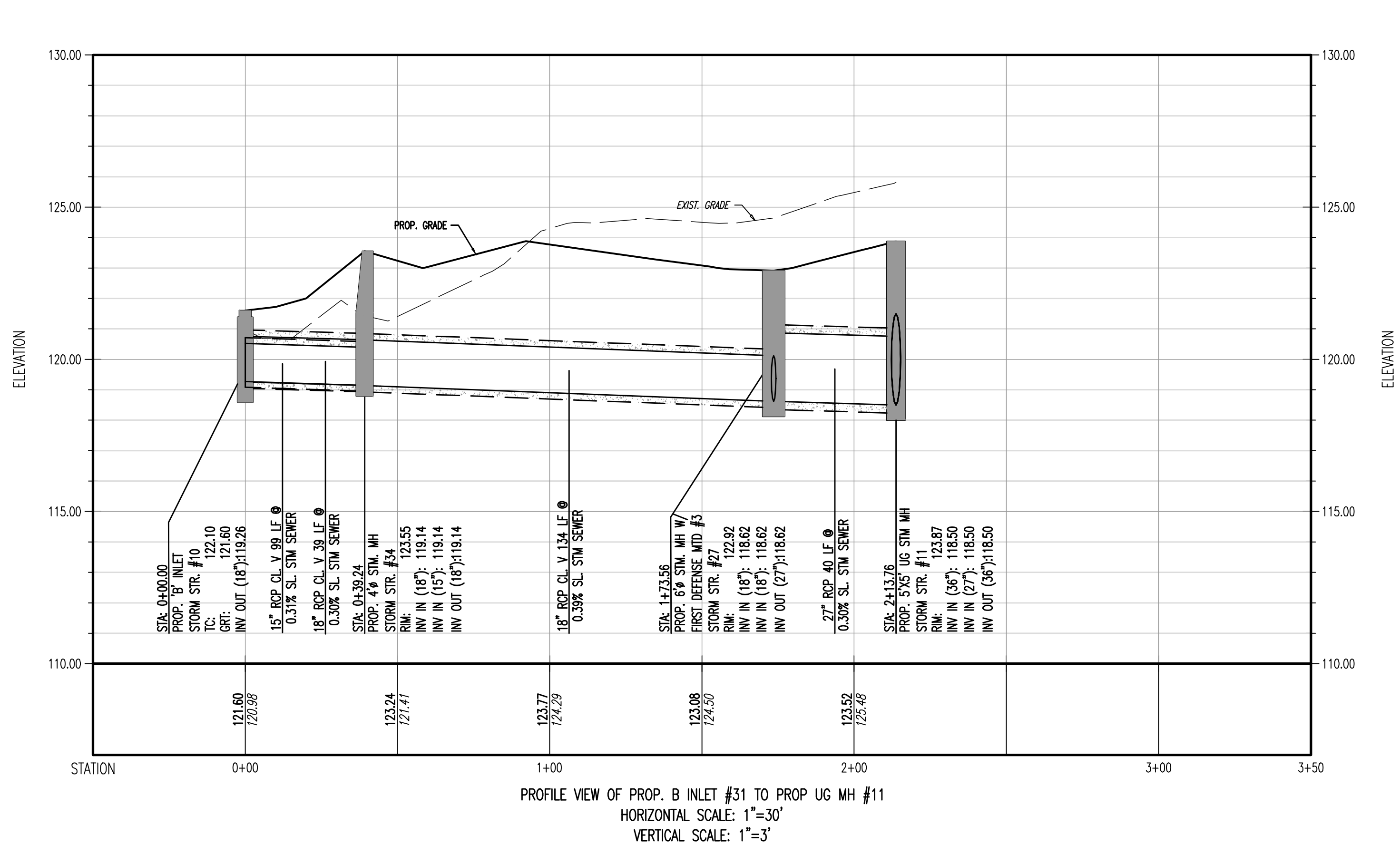
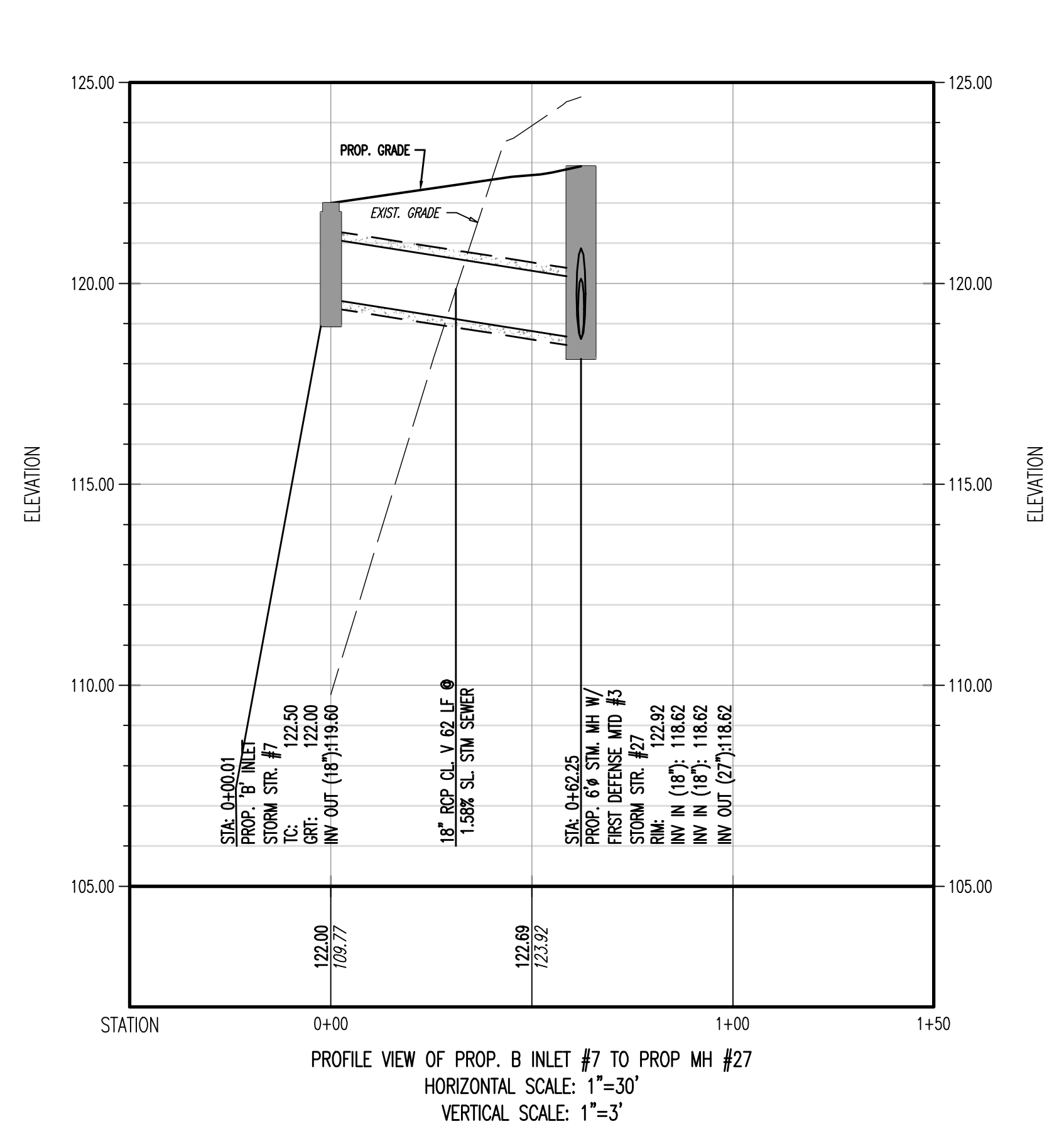
ROBERT P. FREUD
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 88623

ZACHARY A. KAMM
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 207071

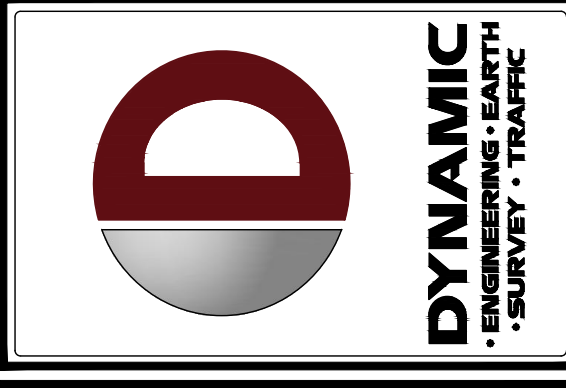
TITLE:
STORM PROFILES

SCALE: AS SHOWN
DATE: 10/02/2023
PROJECT NO: 1739-22-02023

SHEET NO: **15** OF 28
REV. #:



THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY



PLANTING NOTES

- 1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING... 3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY... 4. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES... 5. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR... 6. REPLACEMENT PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY... 7. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD... 8. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1... 9. PLANTING STOCK AS PROVIDED BY THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS... 10. PLANTS SHALL BE PLANTED IMMEDIATELY UPON DELIVERY... 11. PLANTS SHALL BE PLANTED WITH WIRE OR ROPE AT ANY TIME SO AS TO MAINTAIN A PROPER RELATIONSHIP TO THE GROUND SURFACE... 12. ALL PLANTS SHALL BE PLANTED WITH A 1/4" LAYER OF HUMUS RANDED ON TOP OF PREPARED SOIL... 13. ALL AREAS TO BE PLANTED SHALL RECEIVE THE WRITTEN APPROVAL OF THE MUNICIPAL ENGINEER OR LANDSCAPE ARCHITECT... 14. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES... 15. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES... 16. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES... 17. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES... 18. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES... 19. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES...

Table with 2 columns: TYPE (TREES, PLANTS, LAWN) and DATE (3/15 TO 12/15, 3/15 TO 6/15, 9/15 TO 12/1)

- FURTHERMORE, THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON... ACER RUBRUM, BETULA PUMILA, PRUNUS AMER. VARIETIES, QUERCUS VARIETIES, LIQUIDAMBAR STYRACIFLUA, ZELKOVIA VARIETIES, PLATANUS ACERIFOLIA

ANY PLANTING INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE THE WRITTEN APPROVAL OF THE MUNICIPAL ENGINEER OR LANDSCAPE ARCHITECT...

PLANTING SPECIFICATIONS

- 1. SCOPE OF WORK: THIS WORK SHALL CONSIST OF PERFORMING, CLEANING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE... 2. MATERIALS: A. GENERAL - ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS... B. TOPSOIL - 100% ORGANIC, FREE FROM DISEASE AND INSECTS... 3. FERTILIZER AND SOIL CONDITIONERS: A. ORGANIC FERTILIZER - SHALL BE PROCESSED SLOWER SLUDGE WITH ANNUAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID... B. ORGANIC FERTILIZER AND SOIL CONDITIONER... 4. GENERAL WORK PROCEDURES: A. LANDSCAPE WORK SHALL COMMENCE AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE... 5. MEETINGS: A. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING... 6. TOPSOILING: A. CONTRACTOR TO PROVIDE A 4" THICK TOPSOIL LAYER... B. CONTRACTOR TO PROVIDE A 4" UNWEIGHTED THICKNESS TOPSOIL... 7. SOIL CONDITIONING: A. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR... B. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR... 12. CLEANUP: A. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR... B. CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR...

ERNST CONSERVATION SEEDS NATIVE STEEP SLOPE MIX W/ ANNUAL RYEGRASS (ERNMX-181):

Table with 3 columns: BOTANICAL NAME, COMMON NAME, and SEEDING RATE (LB PER ACRE, OR 1.5 LB PER 1,000 SQ FT)

SEEDING RATE: 60 LB PER ACRE, OR 1.5 LB PER 1,000 SQ FT. EROSION CONTROL AND RE-VEGETATION.

TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)

SEE SHEET 22 OF 28 FOR LANDSCAPE PLAN DETAILS

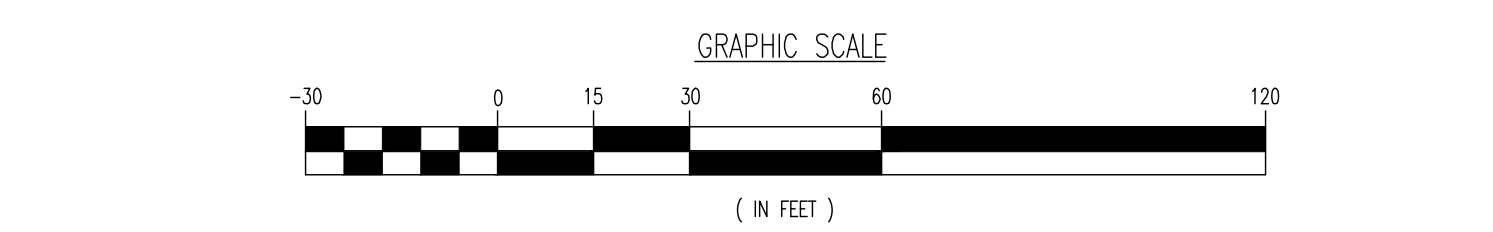


Table with 4 columns: NO., DATE, REV., COMMENTS. Row 1: 1, 02/27/24, REV. PER PLANNING BOARD SUBMISSION, COMMENTS.

PROJECT: ONYX EQUITIES, LLC. PROPOSED ACCESSORY PARKING LOT. TOWN OF DRANGETOWN, ROCKLAND COUNTY, NEW YORK.

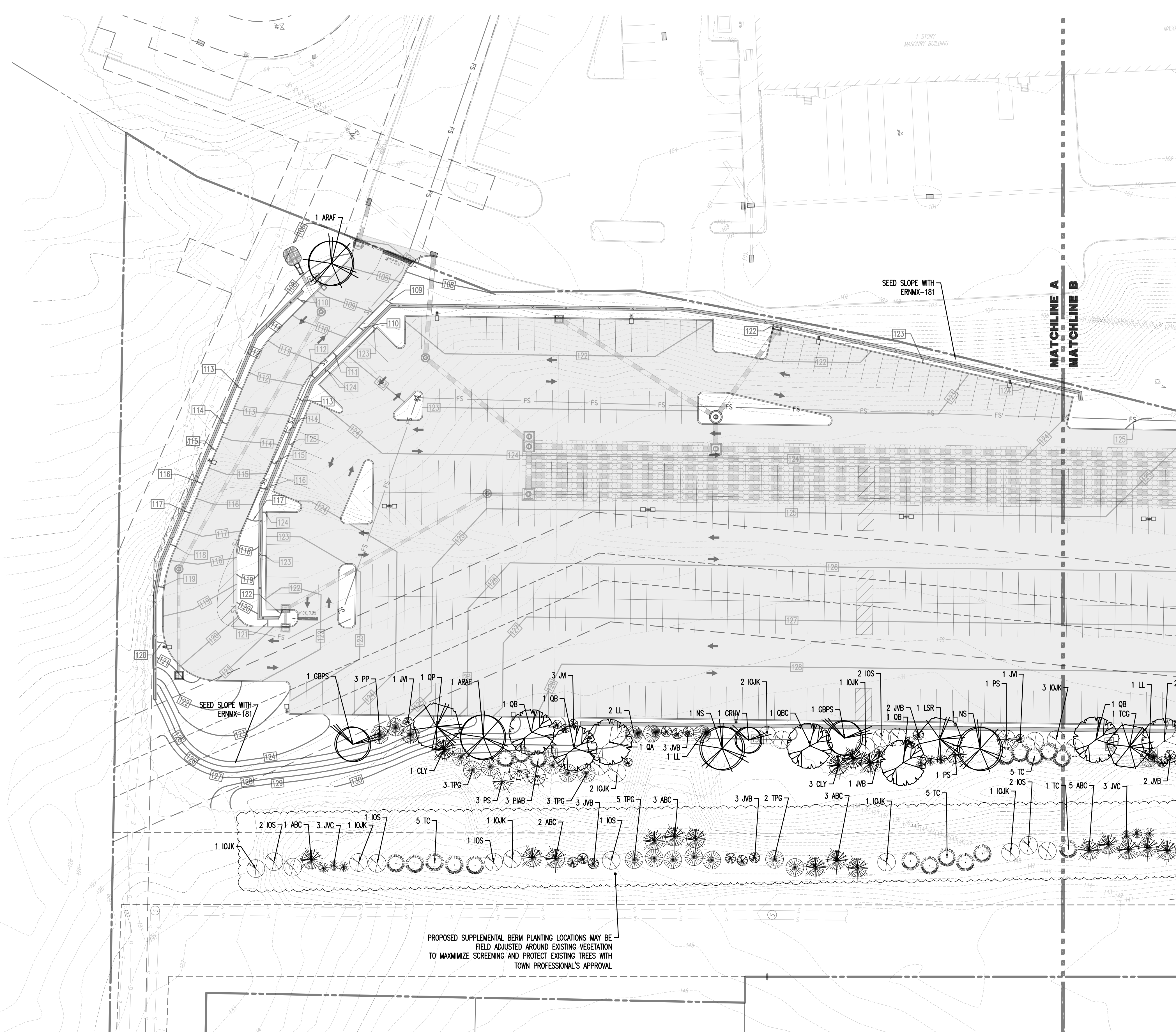
811 logo and text: FOR STATE SPECIFIC DIAL PHONE NUMBERS VISIT WWW.CALL811.COM

DYNAMIC ENGINEERING logo and contact information: 50 Park Place, Suite 901, Newark, NJ 07102, T: 973.755.7200

ROBERT P. FREUD logo and contact information: PROFESSIONAL ENGINEER, NEW YORK LICENSE NO. 88623

ZACHARY M. HAMM logo and contact information: PROFESSIONAL ENGINEER, NEW YORK LICENSE NO. 130771

LANDSCAPE PLAN 'A' title block. Includes title, scale (1"=30'), date (10/02/2023), project number (1739-22-02023), sheet number (16 of 28), and revision number (1).



PROPOSED SUPPLEMENTAL BERM PLANTING LOCATIONS MAY BE FIELD ADJUSTED AROUND EXISTING VEGETATION TO MAXIMIZE SCREENING AND PROTECT EXISTING TREES WITH TOWN PROFESSIONAL'S APPROVAL

LANDSCAPE SCHEDULE

Table with 6 columns: ABBR, QTY, BOTANICAL NAME, COMMON NAME, SIZE, REMARKS. Lists various tree and shrub species and quantities.

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

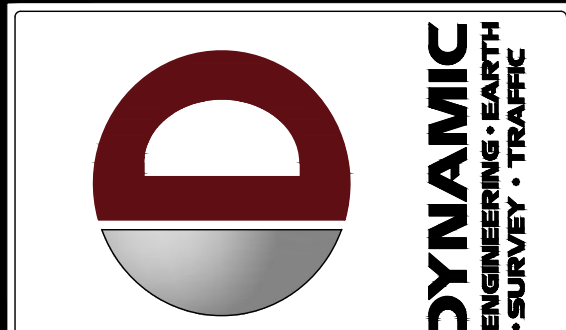


Table with columns: NO., DATE, REV., COMMENTS. Contains revision history for the plan.

PLANTING NOTES

- 1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT... 3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY... 4. CONTRACTOR SHALL REMOVE ANY SOIL OR DRAINAGE CONDITIONS... 5. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR... 6. AS FAR AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY... 7. QUALITY AND SIZE OF PLANTS... 8. QUALITY AND SIZE OF PLANTS... 9. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS... 10. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS... 11. NO PLANT, EXCEPT GROUND COVER, SHALL BE PLANTED... 12. ALL PLANTS PLANTED AND STAKED... 13. ALL PLANTED TREES SHALL BE PROTECTED... 14. EACH TREE AND SHRUB SHALL BE PLANTED... 15. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED... 16. ALL PLANTING SHALL BE COMPLETED... 17. ALL PLANTING SHALL BE COMPLETED... 18. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY... 19. ALL DISTURBED AREAS SHALL BE TREATED WITH TOPSOIL SEED SOIL STABILIZATION METHOD.

- PLANTS: 3/15 TO 12/15; LAWN: 9/15 TO 6/15. FURTHERMORE, THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON... AFTER RUBRUM, BETA VARIETIES, SHADERS VARIETIES, CRATAEGUS VARIETIES, VIBURNUM, LIQUIDAMBAR STRYCHALIA, LINDERA, PLATANUS AEROLIA, PEARL VARIETIES, PRUNUS VARIETIES, PYRUS VARIETIES, QUERCUS VARIETIES, SALIX VARIETIES, SORBUS VARIETIES, TAXUS VARIETIES, YUCCA VARIETIES.

PLANTING SPECIFICATIONS

- 1. SCOPE OF WORK: THIS WORK SHALL CONSIST OF PERFORMING, CLEANING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE... 2. MATERIALS: ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS... 3. PREPARATION AND SOIL CORRECTION: ORGANIC FERTILIZER SHALL BE PROCESSED... 4. GENERAL WORK PROCEDURES: LANDSCAPE WORK SHALL COMMENCE AS SOON AS PORTIONS OF THE SITE ARE AVAILABLE... 5. WEEDING: BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING... 6. TOPSOIL: CONTRACTOR TO PROVIDE A 4" THICK TOPSOIL LAYER... 7. SOIL CORRECTION: CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 4"... 8. PLANTING: PLANTS SHALL BE PLANTED TO A DEPTH OF 4"... 9. GROUND COVER: ALL GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF HANNUS... 10. FINISH GRADING: ALL LAWN AND PLANTING AREAS SHALL BE GRADDED TO A SMOOTH... 11. GUARANTEE: CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR... 12. CLEANUP: UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE...

ERNST CONSERVATION SEEDS

NATIVE STEEP SLOPE MIX W/ ANNUAL RYEGRASS (ERNX-181):

Table with columns: BOTANICAL NAME, COMMON NAME. Lists various plant species and their common names.

SEEDING RATE: 50 LB PER ACRE, OR 1.5 LB PER 1,000 SQ FT EROSION CONTROL AND RE-VEGETATION

TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)

SEE SHEET 22 OF 28 FOR LANDSCAPE PLAN DETAILS

GRAPHIC SCALE: 1" = 30'

DATE: 10/02/2023

PROJECT No: 1739-22-02023

SHEET No: 17

Project information: ONYX EQUITIES, LLC, PROPOSED ACCESSORY PARKING LOT, TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK.

811 logo and contact information for utility services.

DYNAMIC ENGINEERING logo and contact information.

50 Park Place Suite 901 Newark, NJ 07102. Contact: t: 973.755.7200.

ROBERT P. FREUD, PROFESSIONAL ENGINEER, NEW YORK LICENSE No. 88623.

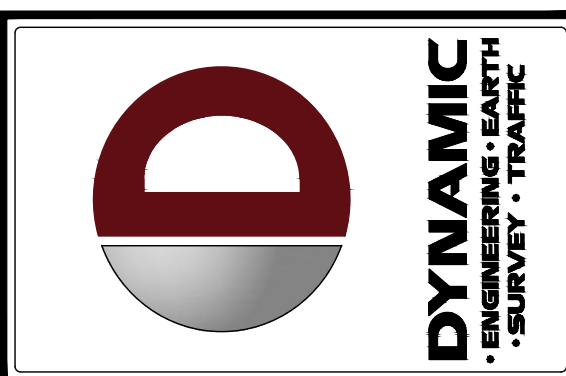
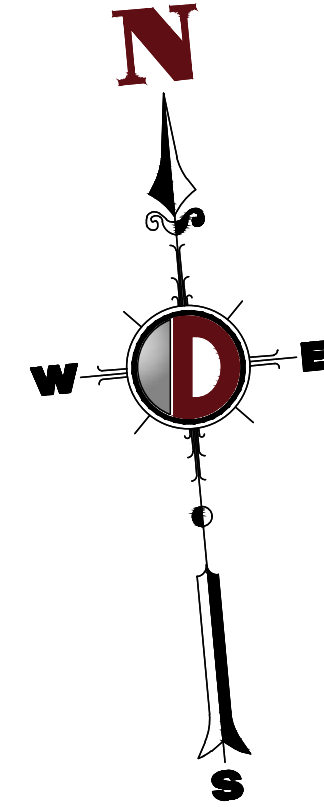
ZACHARY A. HAMM, PROFESSIONAL LANDSCAPE ARCHITECT, NEW YORK LICENSE No. 07071.

TITLE: LANDSCAPE PLAN 'B'

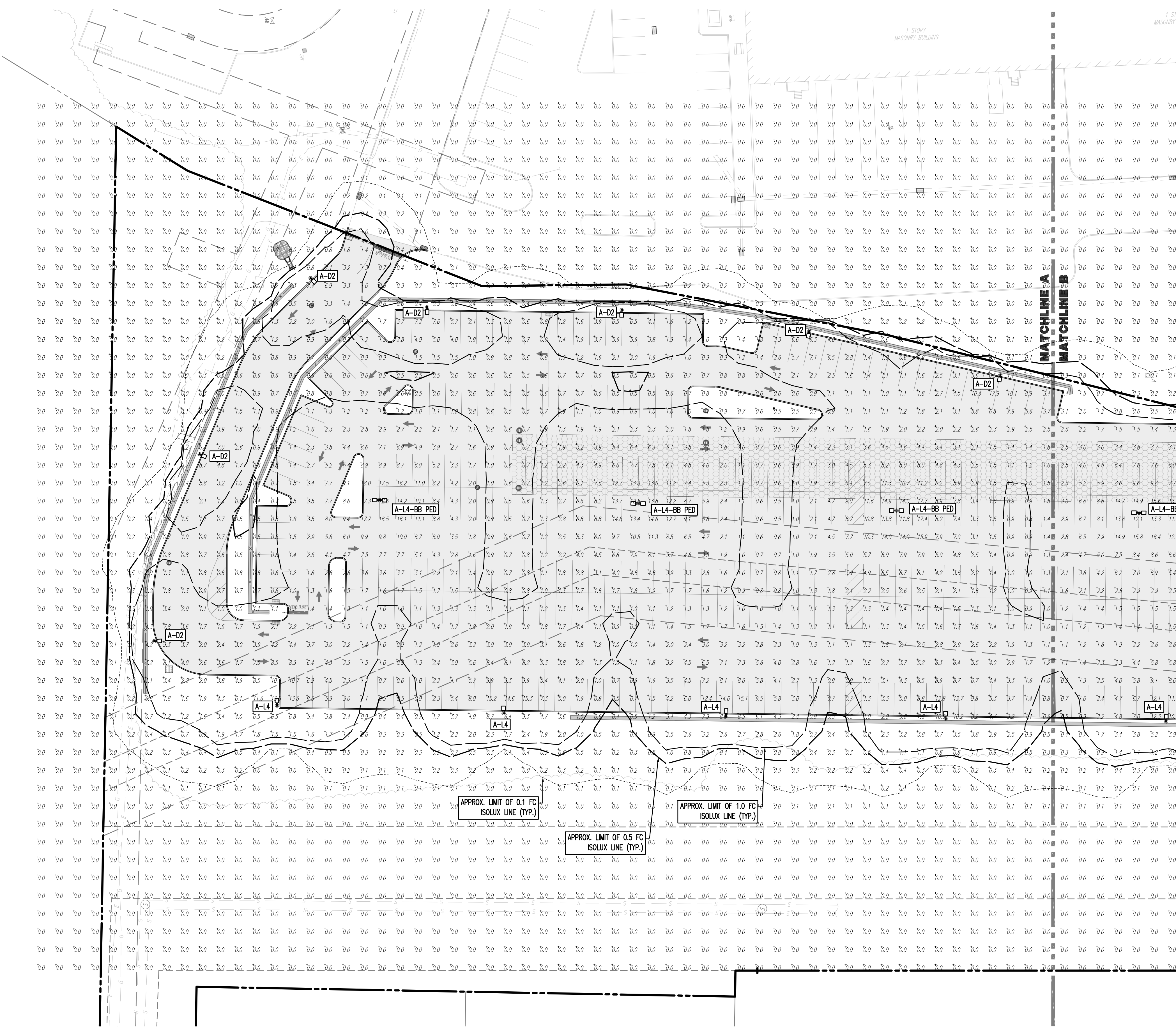
Scale: 1" = 30', Date: 10/02/2023, Project No: 1739-22-02023, Sheet No: 17 of 28.



Vertical text on the left margin: Plot No: 02/14/24 - 410 PN, Pk. sheets, File: P:\PROJECTS\1739 Ony Equities, LLC\22-02023\Competition NY Ony\Site Plans\1739-22-02023\SL.dwg, 17 LANDSCAPE PLAN 'B'



REV.	DATE	COMMENTS
1	10/27/2023	REV. PER PLANNING BOARD SUBMISSION



GENERAL NOTES

1. THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
2. ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
3. CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND CURB/RAIL POSTS.
4. ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
5. REFER TO ARCHITECTURAL PLANS FOR SITE WIRING DIAGRAM.
6. THIS PLAN IS PREPARED SPECIFICALLY TO ANALYZE THE LIGHTING LEVELS GENERATED BY THE PROPOSED ON-SITE LIGHTING ONLY. EXISTING LIGHT FIXTURES BEYOND THE EXTENTS OF THIS DEVELOPMENT/PROPERTY ARE NOT MODELLED IN THIS DESIGN, AND MAY ALTER ACTUAL LIGHT LEVELS AT THE PROPERTY LINES.

LIGHTING LUMINAIRE SCHEDULE									
SYMBOL	QUANTITY	LABEL	WATTAGE	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	MANUFACTURER	DESCRIPTION	IES FILE
☐	12	A-02	24	20	SINGLE	1.000	GE LIGHTING	AREA LIGHT	EA.POS.10M130.WITHELS-FAL-NIL-BLOCK.HI
☐	8	A-14	263	20'	SINGLE	1.000	GE LIGHTING	AREA LIGHT	EA.POS.14M230.WITHELS-FAL-FBI-BLOCK.HI
☐	8	A-14-BB PED	263	20'	BACK-TO-BACK	1.000	GE LIGHTING	BACK-TO-BACK AREA LIGHT	EA.POS.14M230.WITHELS-FAL-FBI-BLOCK.HI

ISO CURVES ARE MAINTAINED AND SHOWN AT 0.5 AND 0.1 FC.
 (FM) - FLUSH MOUNT FOUNDATION (PED) - PEDESTAL FOUNDATION
 THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

STATISTICAL AREA SUMMARY						
LABEL	AVERAGE	MINIMUM	MAXIMUM	AVG./MIN.	MAX./MIN.	DESCRIPTION
PAVEMENT	3.91	44.1	0.5	7.82	86.20	LIGHT LEVELS IN PAVEMENT

Plotfile: 02/14/24 - 4111_PN_01c.dwg
 File: P:\PROJECTS\PROJECTS\1739 Onx Equities_LLC\23-02023 Onpatown NY\02\Site Plans\1739-22-02023SI.dwg
 Date: 10/27/2023 10:18:18 AM
 User: JACOB

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: ONYX EQUITIES, LLC
 PROPOSED ACCESSORY PARKING LOT
 64 AND 66 LEBER ROAD
 TOWN OF DRANETOWN, ROCKLAND COUNTY, NEW YORK

PROTECT YOURSELF
 ALL STATES REQUIRE NOTIFICATION OF ENGINEERS, ARCHITECTS, OR ANY PERSON PREPARING TO OBTAIN THE SERVICE OF AN ENGINEER OR ARCHITECT IN ANY STATE

811
 Call before you dig
 For state specific direct phone numbers visit: www.call811.com

DYNAMIC ENGINEERING
 LAND DEVELOPMENT CONSULTING • PERMITTING
 GEOTECHNICAL • ENVIRONMENTAL
 TRAFFIC • SURVEY • PLANNING & ZONING

50 Park Place
 Suite 901
 Newark, NJ 07102
 T: 973.755.7200

Offices conveniently located at:
 LAKE COOK, NEW JERSEY • T: 763.44.8888
 CHESTER, NEW JERSEY • T: 908.999.9999
 HARTFORD, CONNECTICUT • T: 860.233.2222
 NEWARK, NEW JERSEY • T: 973.755.7200
 PHILADELPHIA, PENNSYLVANIA • T: 215.261.2612
 PITTSBURGH, PENNSYLVANIA • T: 412.281.2812
 RICHMOND, VIRGINIA • T: 804.271.2712
 WASHINGTON, DC • T: 202.462.4622
 WASHINGTON STATE • T: 206.462.4622
 WISCONSIN • T: 262.462.4622

www.dynamiceng.com

ROBERT P. FREUD
 PROFESSIONAL ENGINEER
 NEW YORK LICENSE NO. 88623

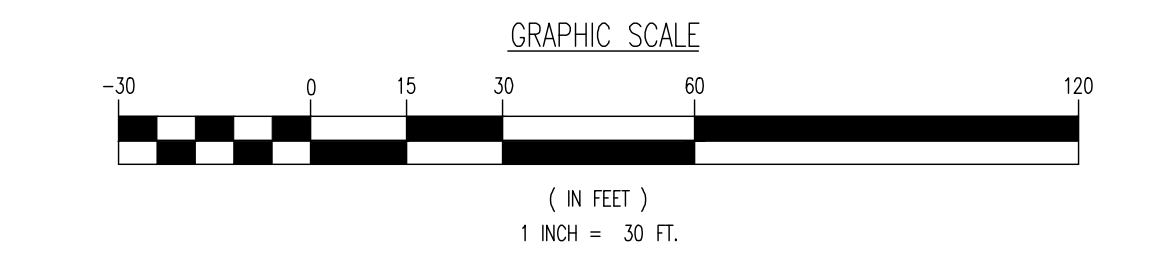


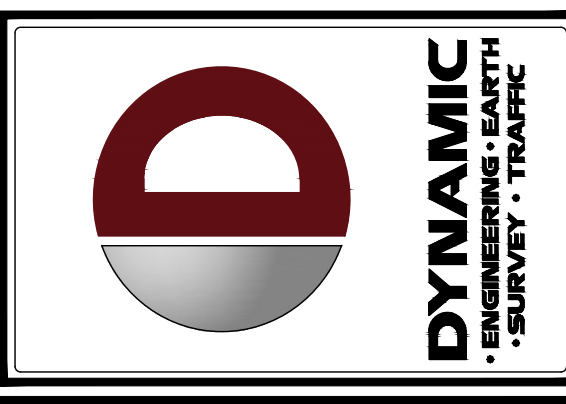
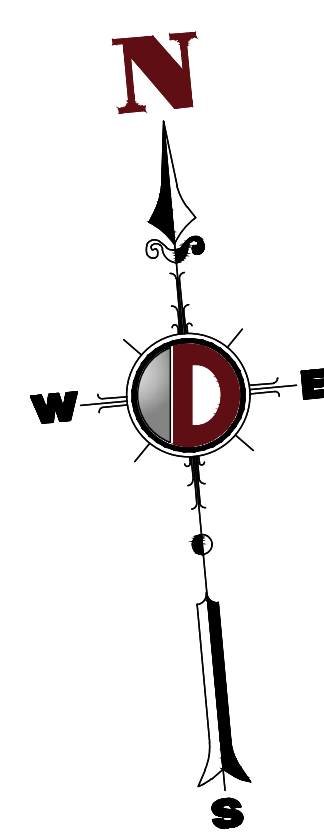
TITLE:
LIGHTING PLAN
 'A'

SCALE: (H) 1"=30'
 DATE: 10/27/2023
 PROJECT No: 1739-22-02023

SHEET No: **18** Rev. #:
 OF 28

SEE SHEET 24 OF 28 FOR LIGHTING PLAN DETAILS





REV.	DATE	DESCRIPTION
1	10/27/2024	REV. PER PLANNING BOARD SUBMISSION

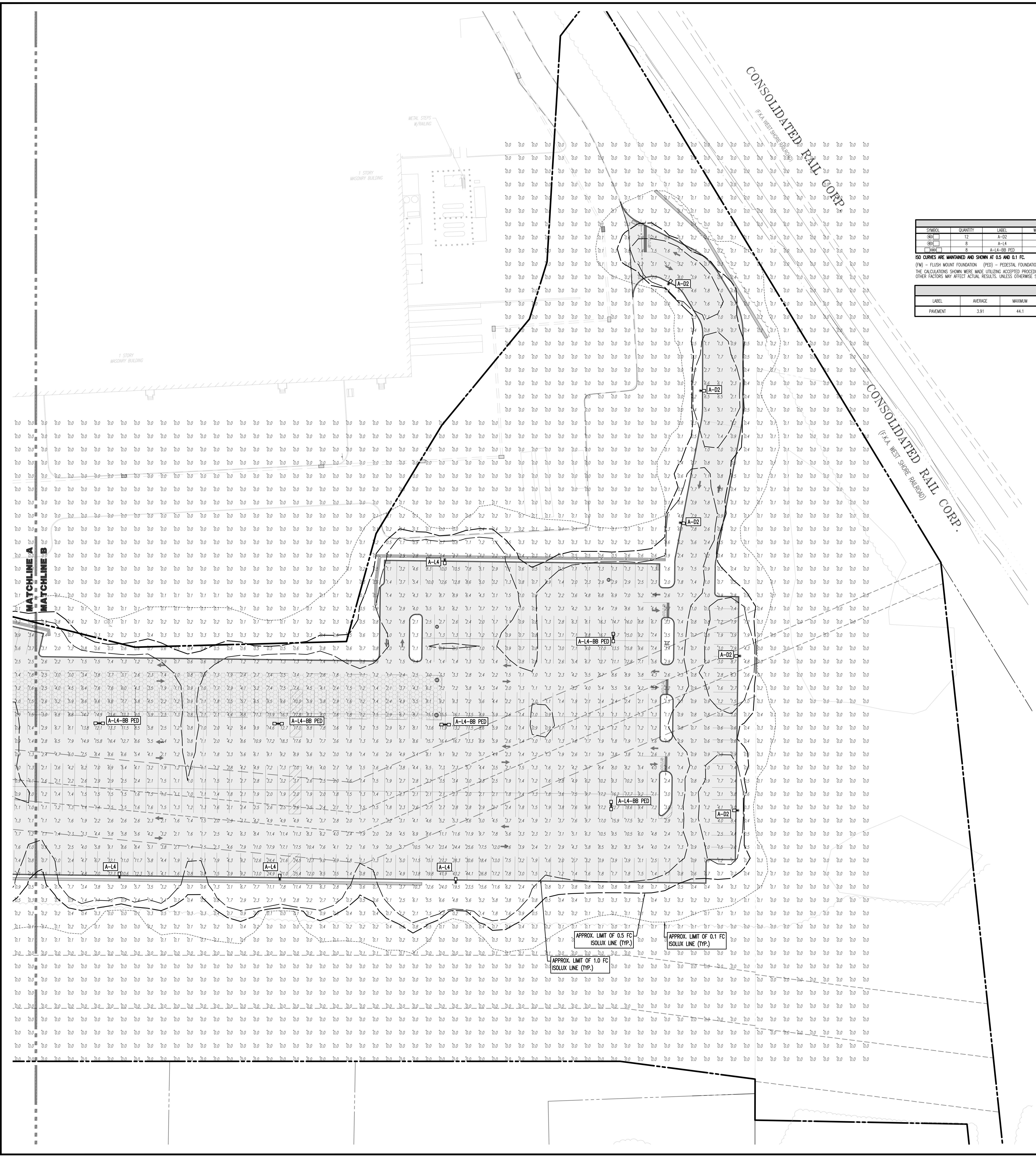
SYMBOL	QUANTITY	LABEL	VOLTAGE	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	MANUFACTURER	DESCRIPTION	EST. FEE
REL	12	A-10	74	20'	SINGLE	1.000	GE LIGHTING	AREA LIGHT	EALP03_144730_WITNELS-EAL-10B-Block
REL	8	A-14	263	20'	SINGLE	1.000	GE LIGHTING	AREA LIGHT	EALP03_144730_WITNELS-EAL-14B-Block
REL	8	A-14-BB PED	263	20'	BACK-TO-BACK	1.000	GE LIGHTING	BACK-TO-BACK AREA LIGHT	EALP03_144730_WITNELS-EAL-14B-Block

ISO CURVES ARE MAINTAINED AND SHOWN AT 0.5 AND 0.1 FC.
 (FM) - FLUSH MOUNT FOUNDATION (PEP) - PEDESTAL FOUNDATION
 THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEGRADATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

LABEL	AVERAGE	MAXIMUM	MINIMUM	AVG./MIN.	MAX./MIN.	DESCRIPTION
PAVEMENT	3.91	44.1	0.5	7.82	88.20	LIGHT LEVELS IN PAVEMENT

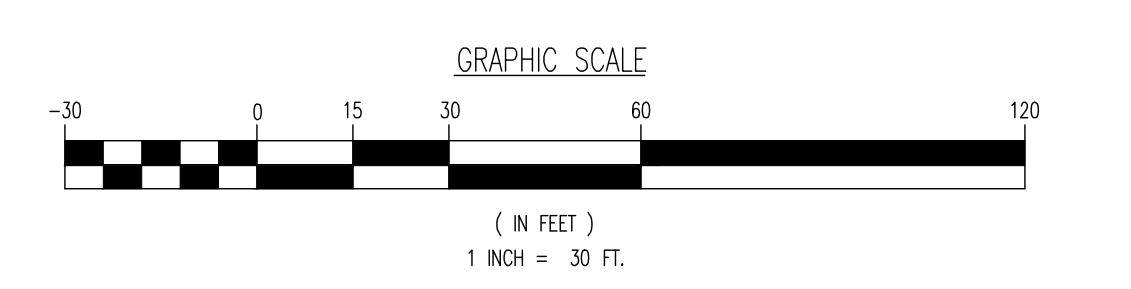
GENERAL NOTES

- THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FUTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
- CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUYWIRE POSTS.
- ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
- REFER TO ARCHITECTURAL PLANS FOR SITE WIRING DIAGRAM.
- THIS PLAN IS PREPARED SPECIFICALLY TO ANALYZE THE LIGHTING LEVELS GENERATED BY THE PROPOSED ON-SITE LIGHTING ONLY. EXISTING LIGHT FIXTURES BEYOND THE EXTENTS OF THIS DEVELOPMENT/PROPERTY ARE NOT MODELLED IN THIS DESIGN, AND MAY ALTER ACTUAL LIGHT LEVELS AT THE PROPERTY LINES.



APPROX. LIMIT OF 0.5 FC ISOLUX LINE (TYP.)
 APPROX. LIMIT OF 0.1 FC ISOLUX LINE (TYP.)
 APPROX. LIMIT OF 1.0 FC ISOLUX LINE (TYP.)

SEE SHEET 24 OF 28 FOR LIGHTING PLAN DETAILS



THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION.

OWNED BY: UNY EQUITIES, LLC
 PROJECT: Proposed Accessory Parking Lot
 64 AND 140 LEBER ROAD
 TOWN OF DRANGETOWN, ROCKLAND COUNTY, NEW YORK

PROTECT YOURSELF
 ALL STATES REQUIRE NOTIFICATION OF EXISTING RECORDS OR ANY PERSON PREPARING TO DIGURE THE SITE. CALL 811 BEFORE YOU DIG.

811
 Call before you dig

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

DYNAMIC ENGINEERING
 LAND DEVELOPMENT CONSULTING • PERMITTING
 GEOTECHNICAL & ENVIRONMENTAL
 TRAFFIC • SURVEY • PLANNING & ZONING

50 Park Place
 Suite 901
 Newark, NJ 07102
 T: 973.755.7200

Offices conveniently located at:
 LAKE COOK, NEW JERSEY • 1.757.4499
 CHESTER, NEW JERSEY • 1.908.9929
 HARTFORD, NEW JERSEY • 863.344.2000
 NEWARK, NEW JERSEY • 1.973.252.2200
 TOWNSHIP, NEW JERSEY • 1.732.847.8470
 NEWTON, PENNSYLVANIA • 1.717.453.0270
 PHOENIX, PENNSYLVANIA • 1.717.333.4488
 BETHLEHEM, PENNSYLVANIA • 1.412.688.4400
 ALLEN, TEXAS • 1.972.242.2100
 HOUSTON, TEXAS • 1.281.389.4400
 AUSTIN, TEXAS • 1.512.443.5400
 DEER BEACH, FLORIDA • 1.863.851.8500
 ANNAPOLIS, MARYLAND • 1.410.567.5000

www.dynamiccc.com

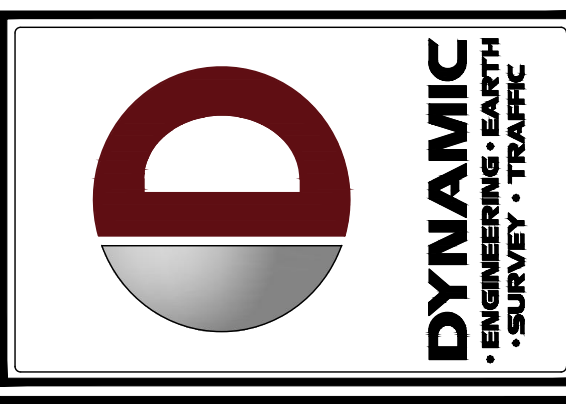
ROBERT P. FREUD
 PROFESSIONAL ENGINEER
 NEW YORK LICENSE No. 88623

ZACHARY A. HAMM
 PROFESSIONAL ENGINEER
 NEW YORK LICENSE No. 137071

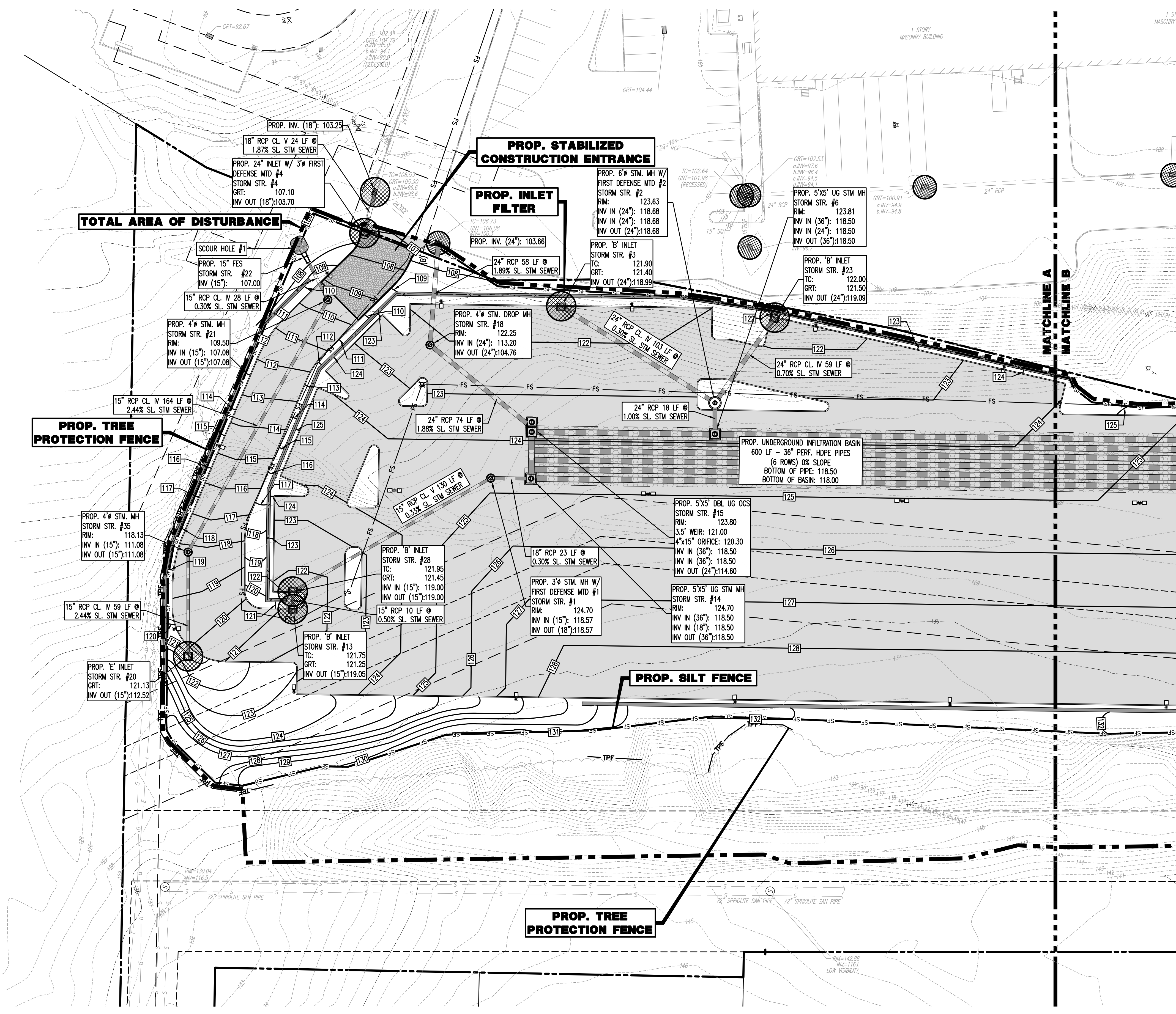
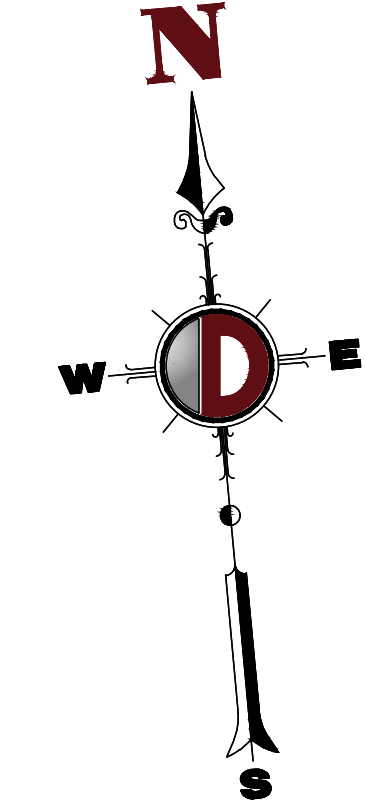
TITLE:
LIGHTING PLAN 'B'

SCALE: (H) 1"=30'
 DATE: 10/02/2023
 PROJECT No: 1739-22-02023

SHEET No: **19**
 OF 28
 Rev. #:



REV.	DATE	COMMENTS
1	10/27/2024	REV. PER PLANNING BOARD SUBMISSION



THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: **ONIX EQUITIES, LLC**
Proposed Accessory Parking Lot
 140 LEBER ROAD
 TOWN OF DRANGETOWN, ROCKLAND COUNTY, NEW YORK

PROTECT YOURSELF
 ALL STATES REQUIRE NOTIFICATION OF EXCAVATES, LESSEES OR ANY PERSON
 WORKING TO DIGURE THE GROUND SURFACE UNLESS IN ANY STATE

811
 Call before you dig
 King John's Below

FOR STATE SPECIFIC DIAL ONE PHONE NUMBERS VISIT:
 WWW.CALL811.COM

DYNAMIC ENGINEERING
 LAND DEVELOPMENT CONSULTING • PERMITTING
 GEOTECHNICAL • ENVIRONMENTAL
 TRAFFIC • SURVEY • PLANNING & ZONING

50 Park Place
 Suite 901
 Newark, NJ 07102
 T: 973.755.7200

Offices conveniently located at:
 LAKE COHO, NEW JERSEY • T 763.416.898
 CHESTER, NEW JERSEY • T 908.947.0229
 HARTFORD, NEW JERSEY • T 908.324.2000
 NEWARK, NEW JERSEY • T 973.252.2222
 ZIONSBURG, NEW JERSEY • T 973.252.8470
 NEWTON, PENNSYLVANIA • T 717.463.0276
 PHILADELPHIA, PENNSYLVANIA • T 215.252.4488
 BETHLEHEM, PENNSYLVANIA • T 610.688.4420
 ALLEN TOWN, PENNSYLVANIA • T 610.252.2200
 HOUSTON, TEXAS • T 281.389.4400
 AUSTIN, TEXAS • T 512.445.0446
 DUBLIN, IRELAND • T 353.852.8850
 ANNAPOLIS, MARYLAND • T 410.562.5000

www.dynamicce.com

ROBERT P. FREUD
 PROFESSIONAL ENGINEER
 NEW YORK LICENSE NO. 88623

ZACHARY A. HAMM
 PROFESSIONAL ENGINEER
 NEW YORK LICENSE NO. 107071

TITLE:
SOIL EROSION AND SEDIMENT CONTROL PLAN 'A'

SCALE: (H) 1"=30'
 (V) 1"=10'
 DATE: 10/02/2023
 PROJECT No: 1739-22-02023
 SHEET No: **20** Rev. #:

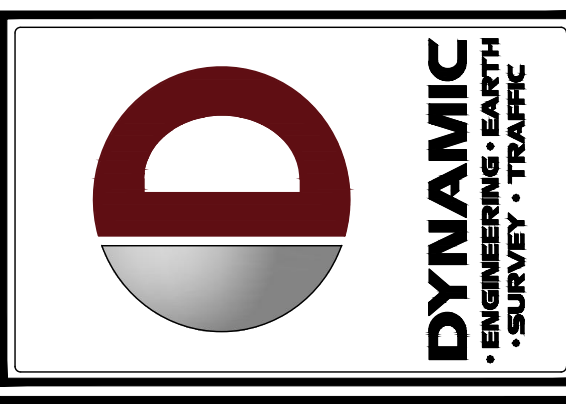
SEE SHEET 22 OF 28 FOR SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS

TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)

EROSION CONTROL LEGEND

- PROPOSED LIMIT OF DISTURBANCE LINE
- - - - - PROPOSED SILT FENCE LINE
- - - - - PROPOSED TREE PROTECTION FENCE LINE
- PROPOSED INLET FILTER
- PROPOSED HYABALE SEDIMENT BARRIER

GRAPHIC SCALE
 0 15 30 60 120
 (IN FEET)
 1 INCH = 30 FT.



REV.	DATE	COMMENTS
1	10/27/2024	REV. PER PLANNING BOARD SUBMISSION

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: ONYX EQUIITIES, LLC
Proposed Accessory Parking Lot
EA AND LAD LEBER ROAD
TOWN OF DRANGETOWN, ROCKLAND COUNTY, NEW YORK

PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF ESCALATED, ESCALATED, OR ANY PERSON
PROHIBITING TO OBTAIN THE BEST SERVICE AVAILABLE IN ANY STATE

811
Call before you dig
King's Highway 108
Newark, NJ 07102
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

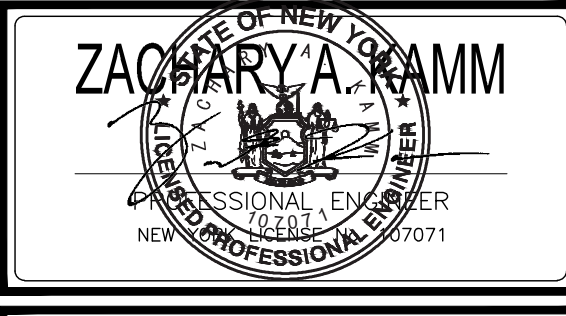
DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

50 Park Place
Suite 901
Newark, NJ 07102
T: 973.755.7200

Offices conveniently located at:
LAKE COHO, NEW JERSEY • T. 732.416.9999
CHESTER, NEW JERSEY • T. 908.497.9999
MARTON, NEW JERSEY • T. 908.334.2000
NEWARK, NEW JERSEY • T. 973.755.7200
DUNELAND, NEW JERSEY • T. 908.497.9999
NEWTON, PENNSYLVANIA • T. 717.463.0276
PHILADELPHIA, PENNSYLVANIA • T. 215.233.4488
BETHLEHEM, PENNSYLVANIA • T. 412.399.4400
ALLEN, TEXAS • T. 972.342.2100
HOUSTON, TEXAS • T. 281.399.4400
AUSTIN, TEXAS • T. 512.443.0446
DUBLIN, IRELAND • T. 353.857.8500
ANNAPOLIS, MARYLAND • T. 410.502.5000

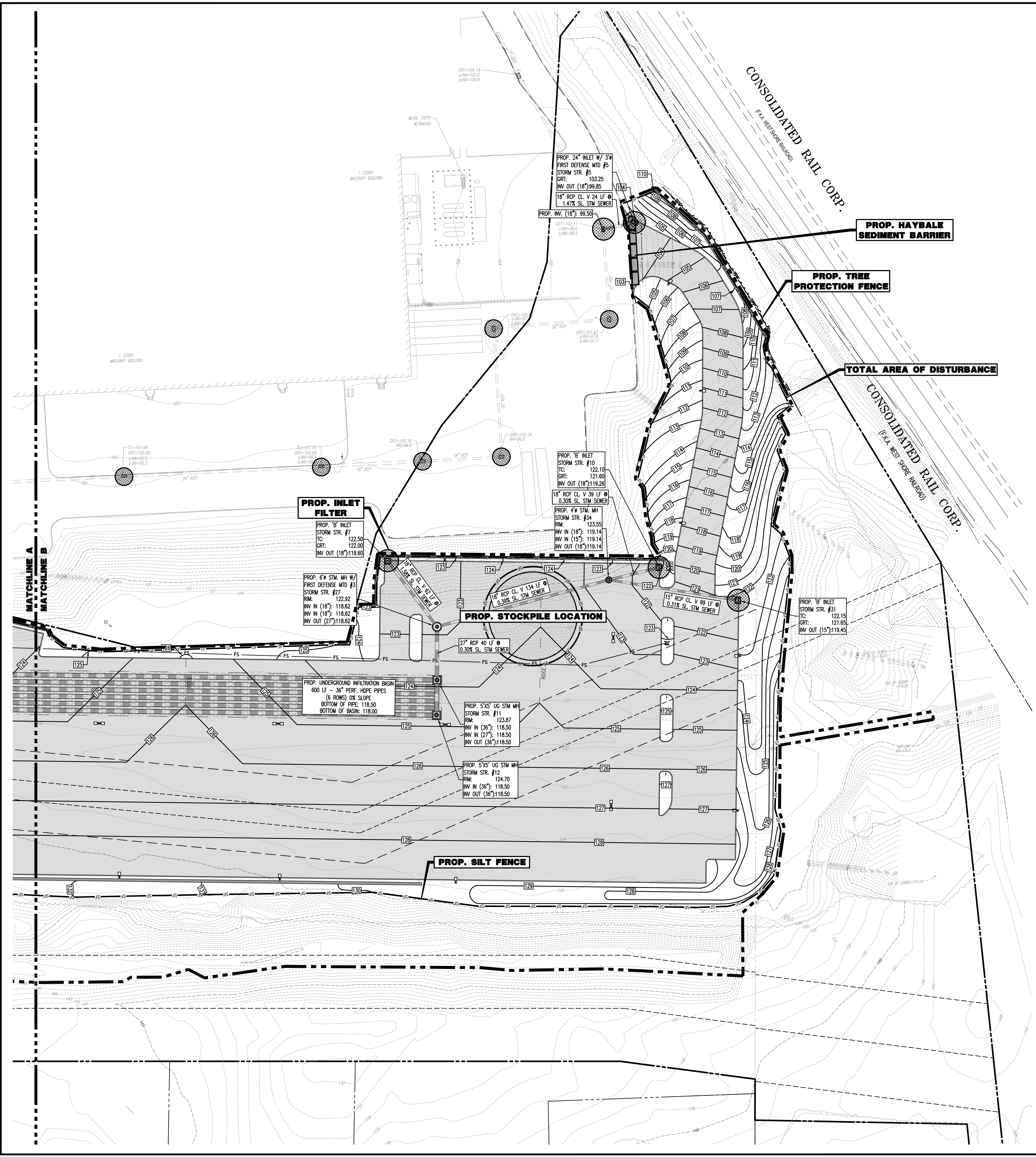
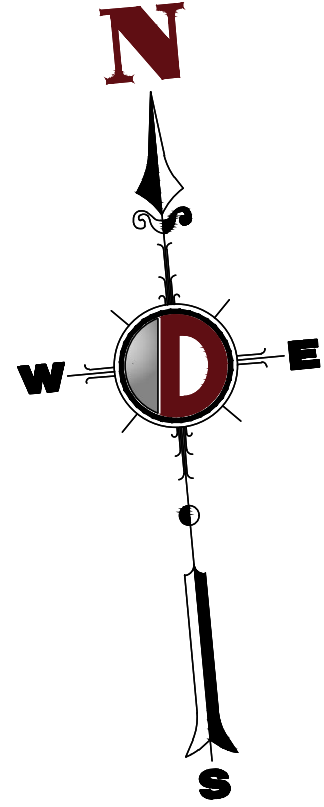
www.dynamiccc.com

ROBERT P. FREUD
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 88623



TITLE: **SOIL EROSION AND SEDIMENT CONTROL PLAN 'B'**

SCALE: (H) 1"=30'
(V) 1"=30'
DATE: 10/02/2023
PROJECT No: 1739-22-02023
SHEET No: **21** Rev. #:



SEE SHEET 22 OF 28 FOR SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS

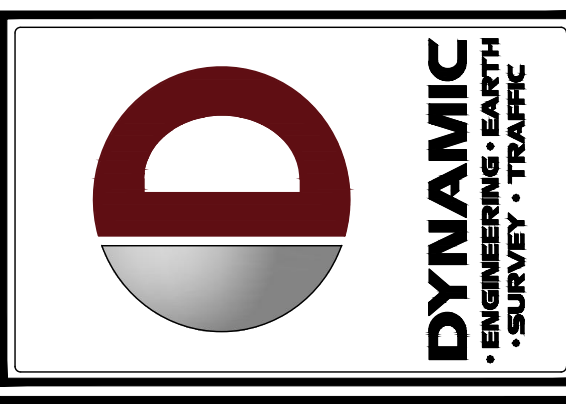
TOTAL AREA OF DISTURBANCE = 338,280 SF. (7.77 Ac.)

EROSION CONTROL LEGEND

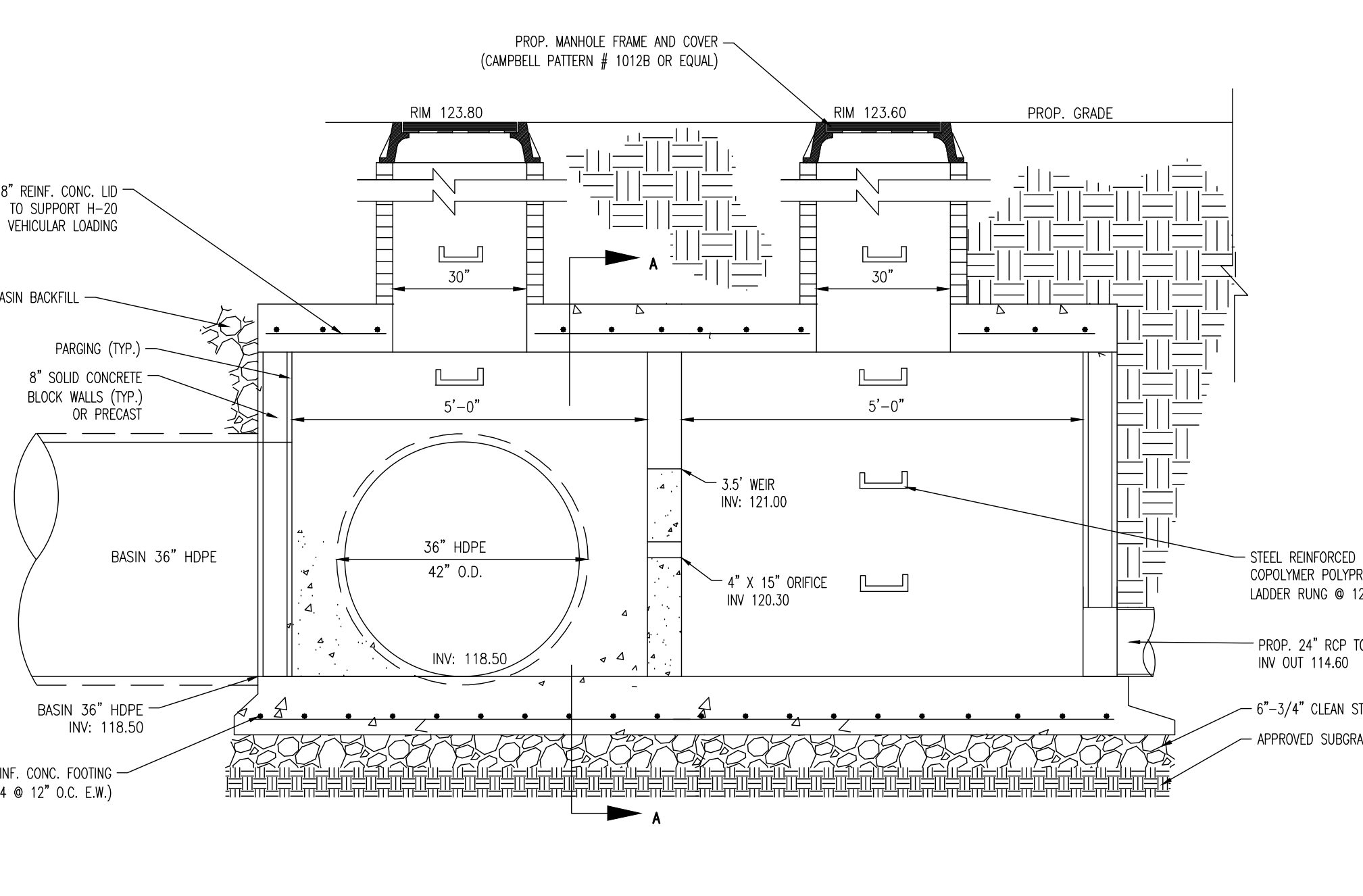
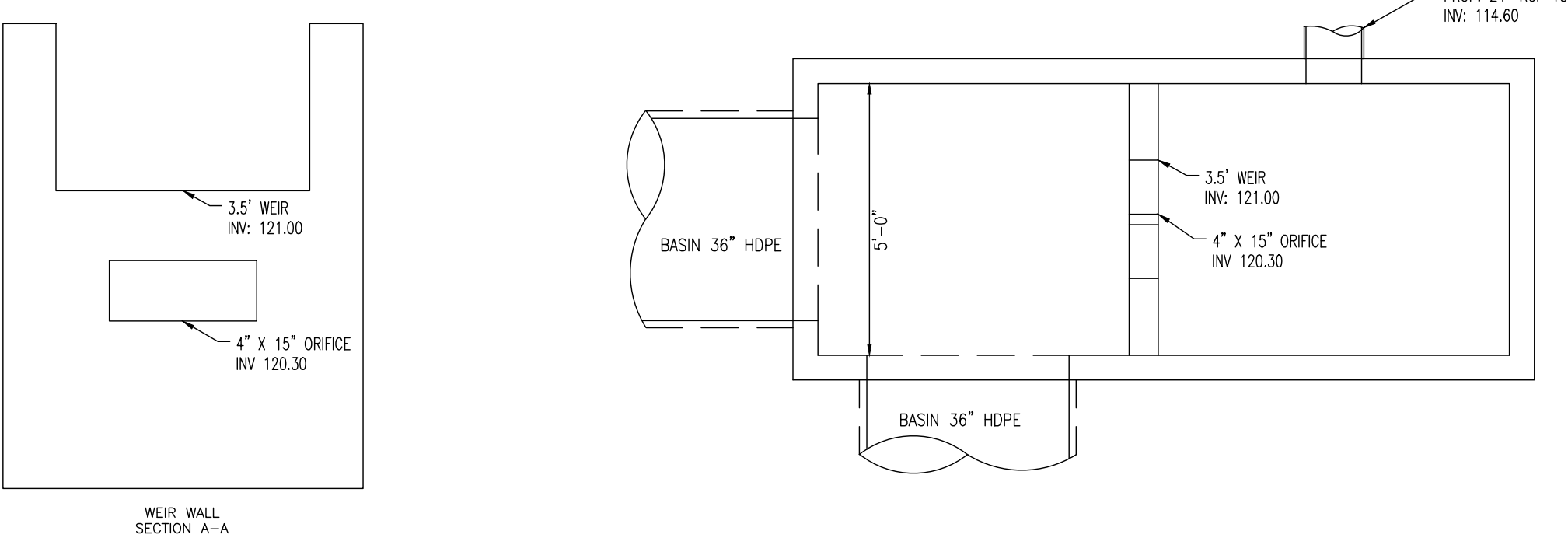
- PROP. LIMIT OF DISTURBANCE LINE
- PROP. SILT FENCE LINE
- PROP. TREE PROTECTION FENCE LINE
- PROP. INLET FILTER
- PROP. HAYBALE SEDIMENT BARRIER

GRAPHIC SCALE
0 15 30 60 120
1 INCH = 30 FEET

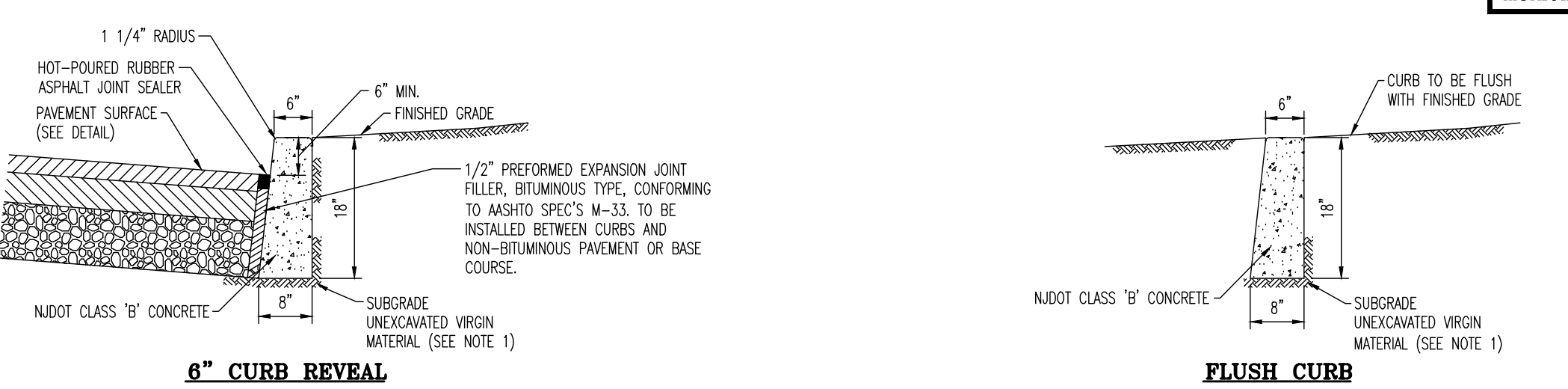
Plotfile: 02/14/24 - 412_PN_Rev_0000.dwg
File: P:\PROJECTS\1739 Onyx Equities, LLC\22-02023\Comptown NY\02\Site Plans\1739-22-02023-SE.dwg
21 SOIL EROSION AND SEDIMENT CONTROL PLAN 'B'



NO.	DATE	REVISION	BY	CHK	APP
1.	10/27/2024	REV. PER PLANNING BOARD SUBMISSION			

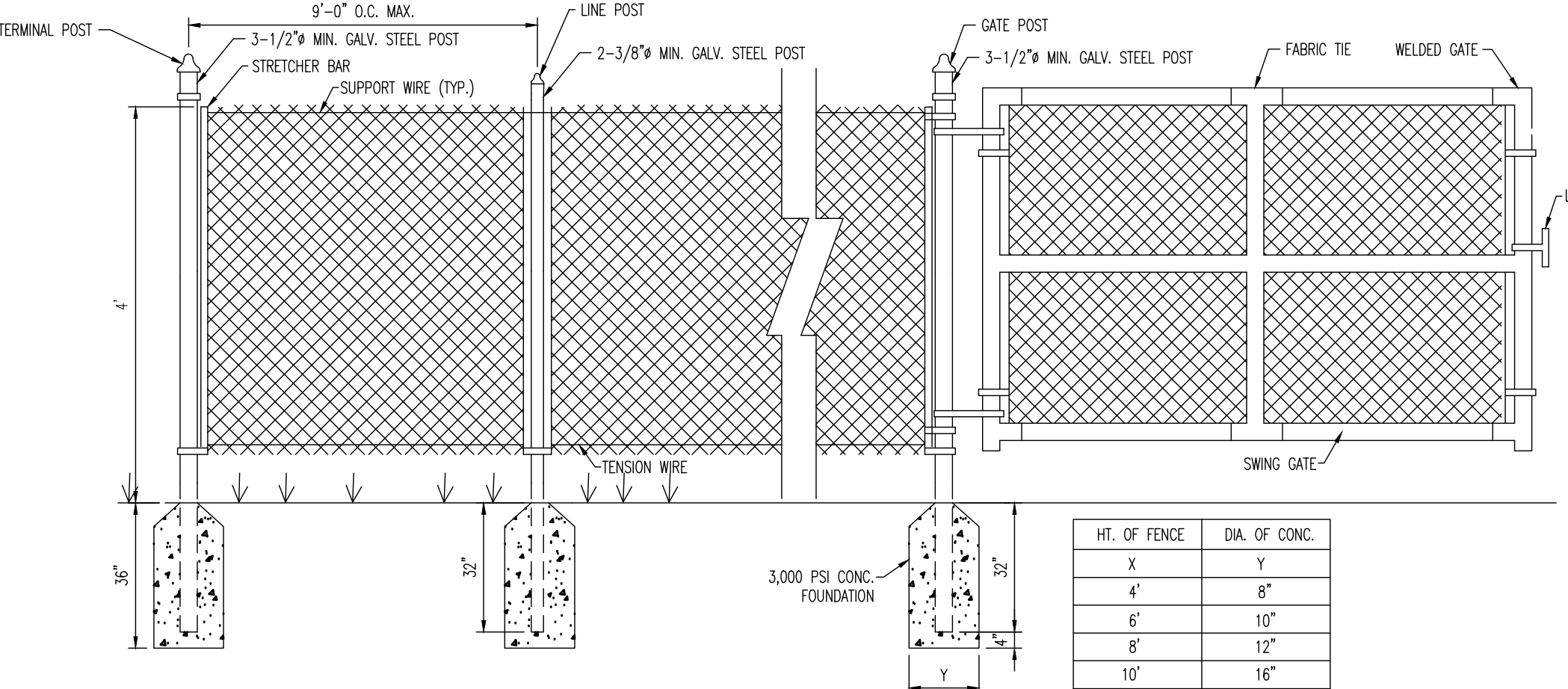


**OUTLET STRUCTURE DETAIL (OCS)
STORM STRUCTURE #25**
NOT TO SCALE

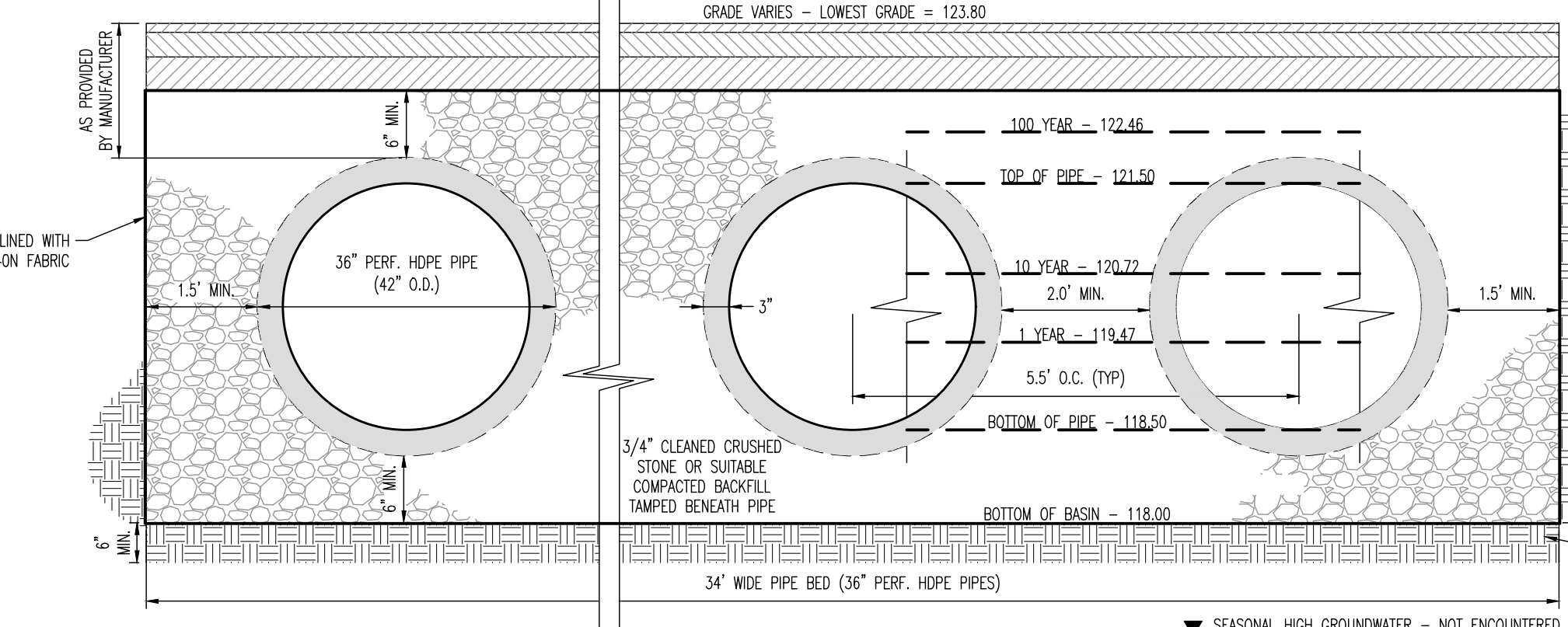


- NOTES:**
- ANY EXCAVATION BELOW DESIRED GRADE DUE TO OVER EXCAVATION OR WET SOIL CONDITIONS SHALL BE BACKFILLED WITH 3/4\"/>

CONCRETE CURB DETAIL
NOT TO SCALE

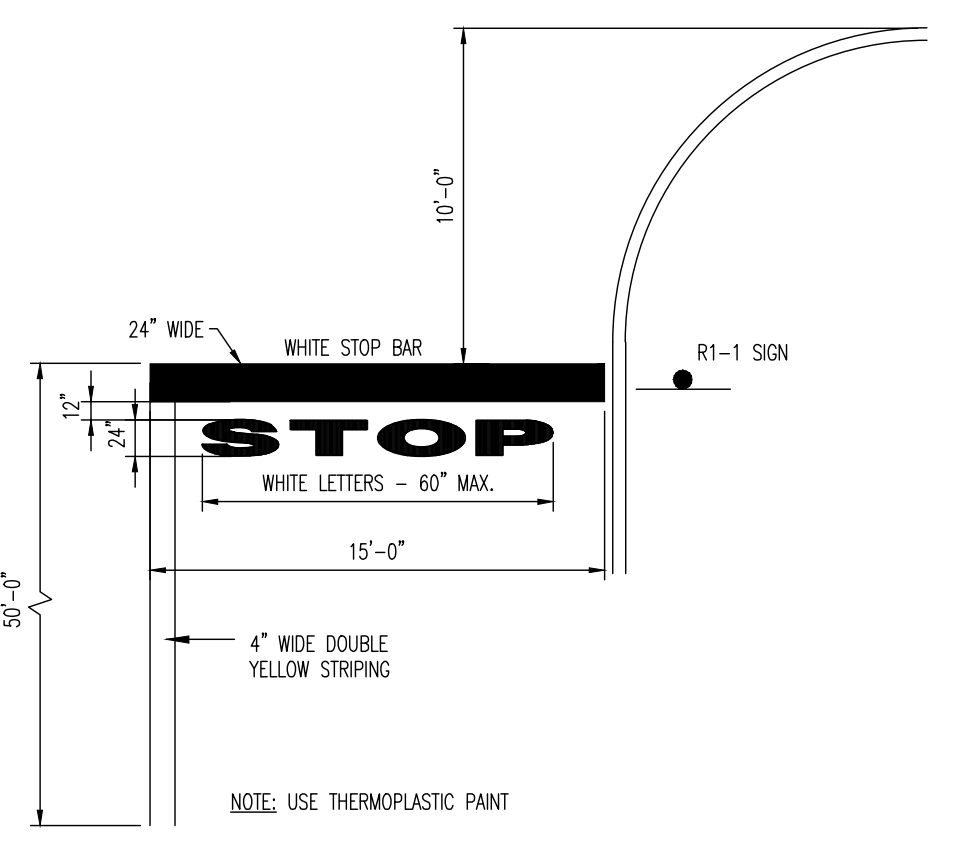


CHAIN LINK FENCE W/GATE DETAIL
NOT TO SCALE

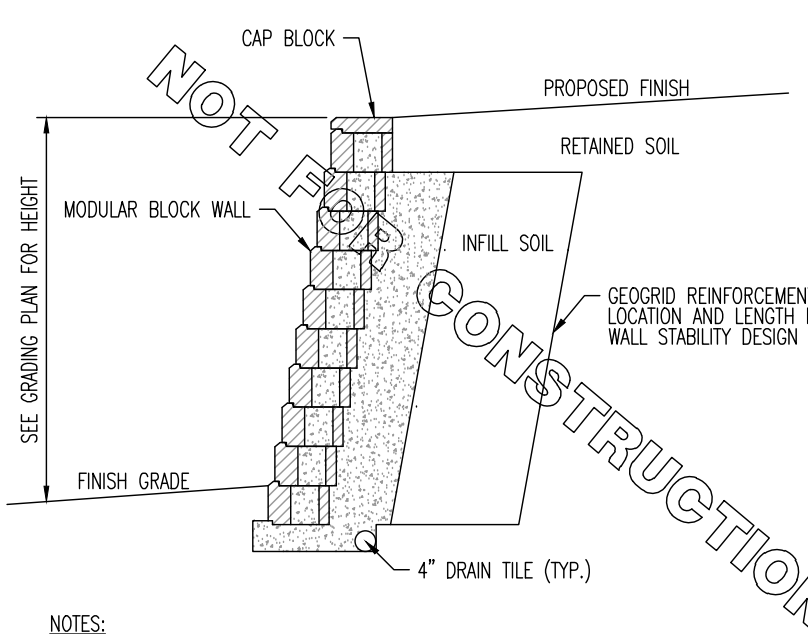


- NOTES:**
- BASIN CONSTRUCTION MUST NOT OVER COMPACT OR SMASH SOILS BELOW BASIN BOTTOM.
 - OWNER SHALL CONTACT AND ENGAGE DYNAMIC EARTH, LLC TO TEST SOIL PERMEABILITY AND PROVIDE CONSTRUCTION PHASE INSPECTIONS OF THE BASIN BOTTOM SOILS AND FILL MATERIALS WITHIN ANY PROPOSED INFILTRATION OR RETENTION BASIN TO COMPARE RESULTS TO DESIGN CRITERIA. CONTRACTOR SHALL CONTACT DYNAMIC EARTH AT (908) 879-7095 (WWW.DYNAMIC-EARTH.COM) AT ONSET OF PROJECT TO CONFIRM REQUIREMENTS AND COORDINATE INSPECTIONS.
 - TOPSOIL AND UNSUITABLE MATERIALS (INCLUDING ANY SOILS WITH INSUFFICIENT PERMEABILITY) ARE TO BE STRIPPED FROM BASIN BOTTOM AREA AND REPLACED WITH SUITABLE MATERIAL PROVIDING PERMEABILITY RATES MEETING THE DESIGN CRITERIA. CONTRACTOR SHALL SUBMIT PROPOSED REPLACEMENT MATERIAL TESTS AND ITS CORRESPONDING PERMEABILITY RATE FOR APPROVAL. BY ONSET OF CONSTRUCTION, PERMEABILITY TESTS TO THE TEST PIT AND/OR SOIL BERING RECORDS AND STEADY STATE MANHOLES REPORT TO CONFIRM THE DEPTH OF INFILTRATION.

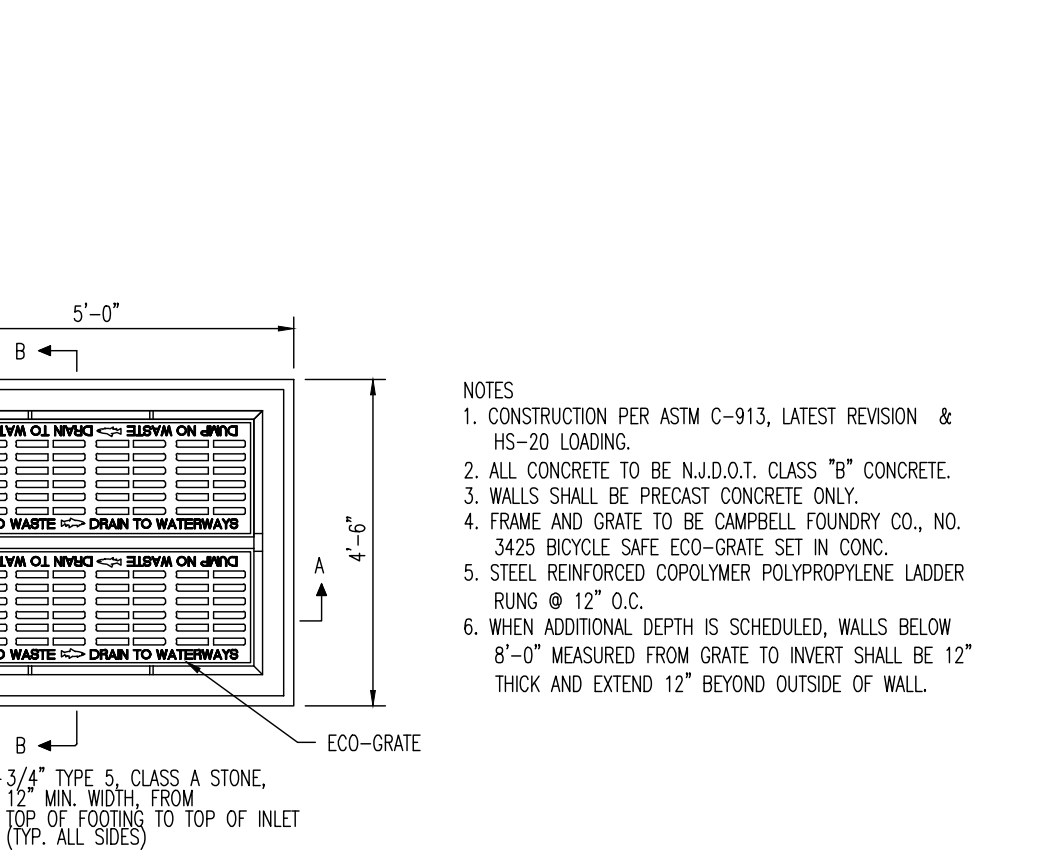
36\"/>



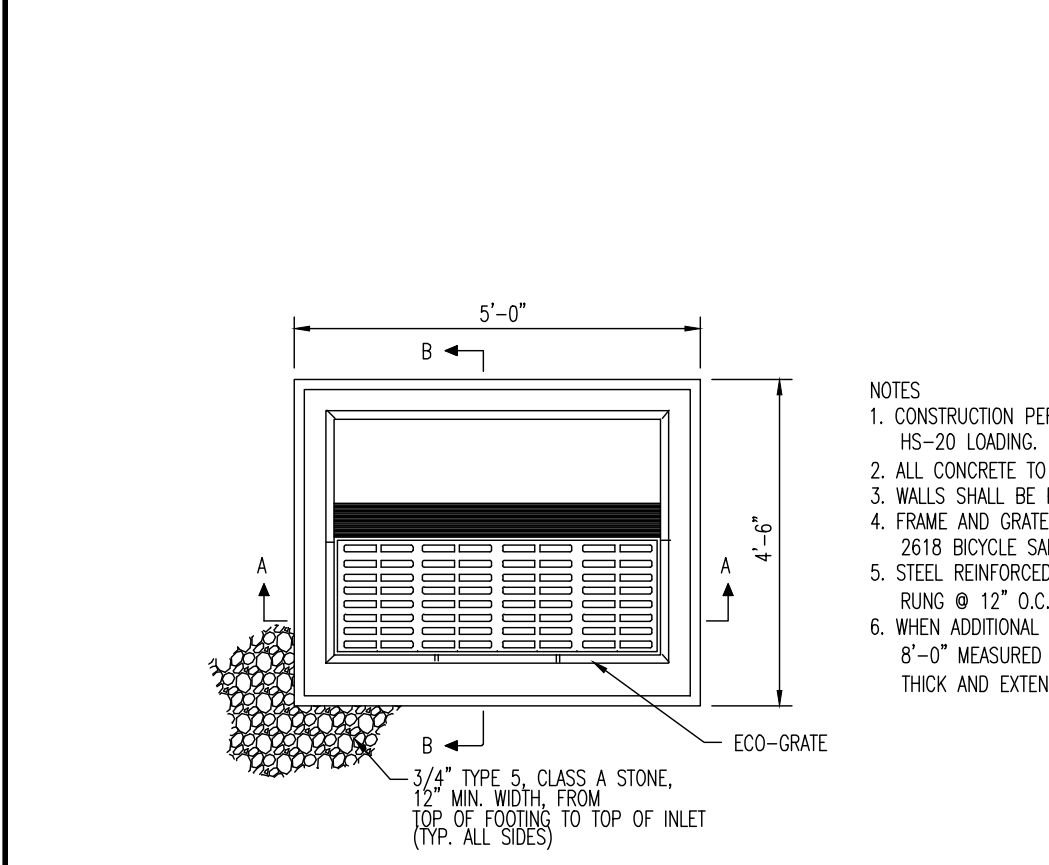
**CONTROLLED INTERSECTION
STRIPING AND SIGNAGE DETAIL**
NOT TO SCALE



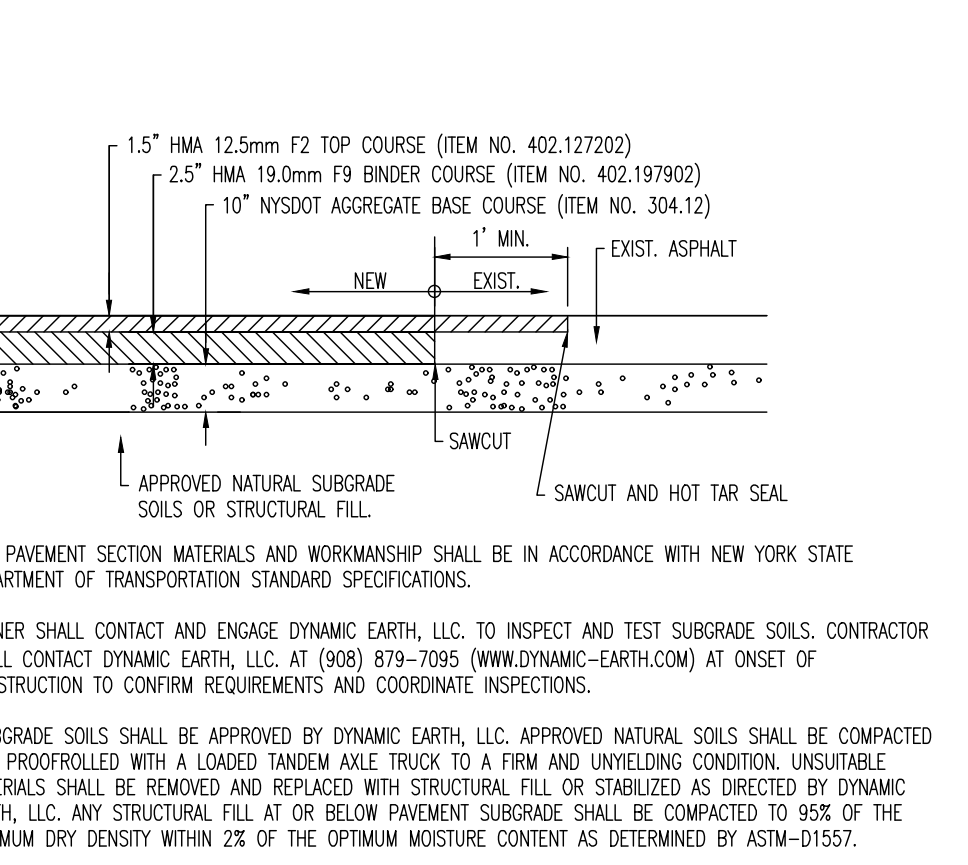
**SCHEMATIC MODULAR BLOCK
RETAINING WALL DETAIL**
NOT TO SCALE



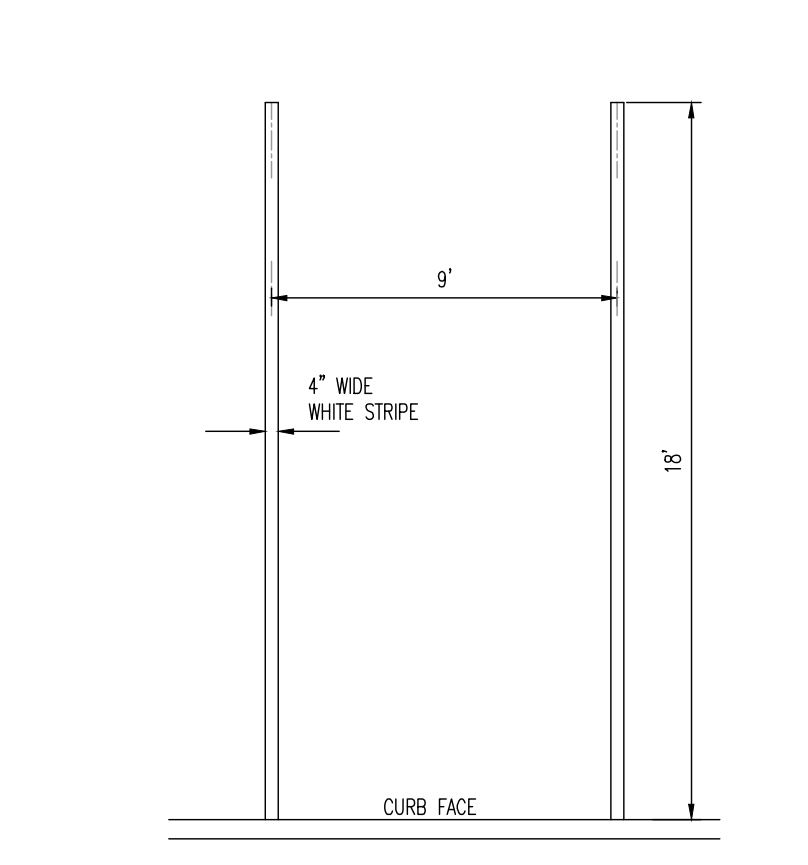
TYPE 'E' INLET
NOT TO SCALE



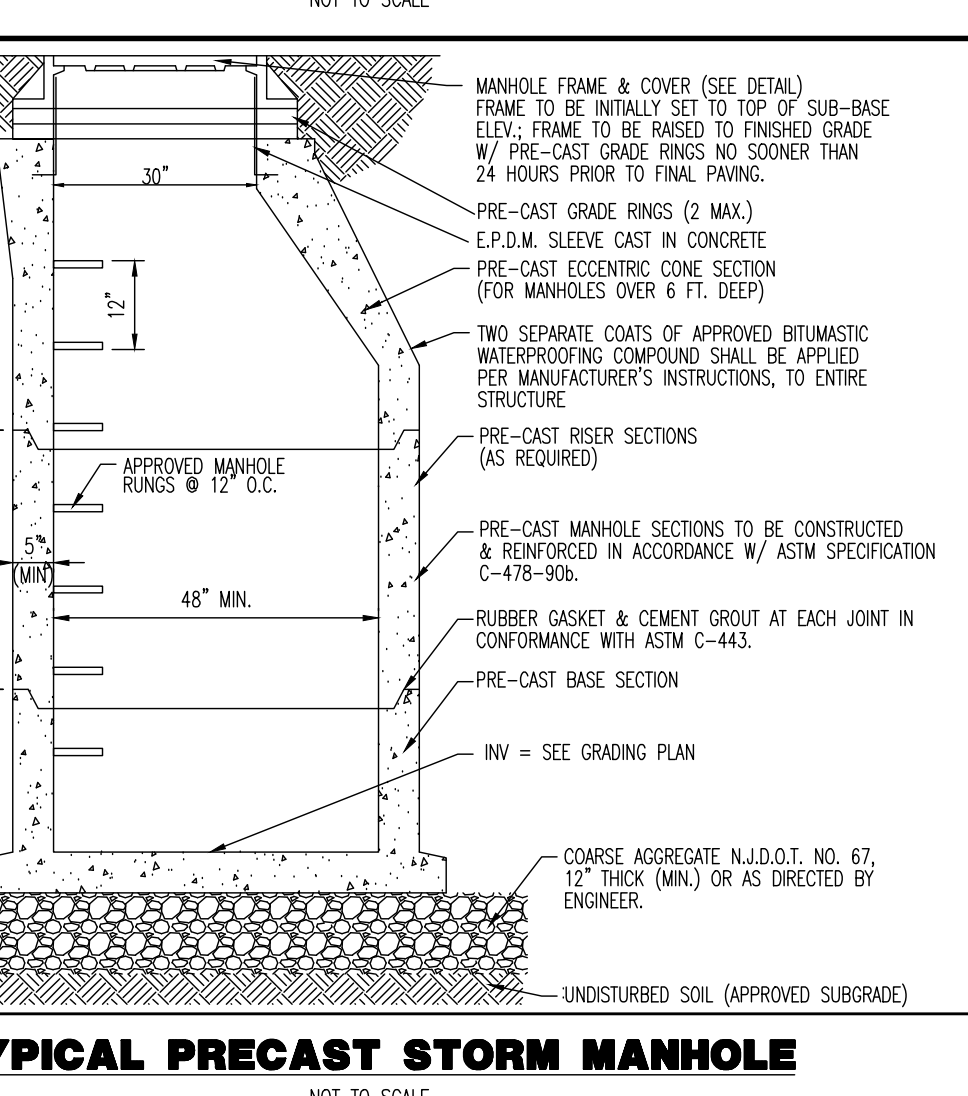
TYPE 'B' INLET
NOT TO SCALE



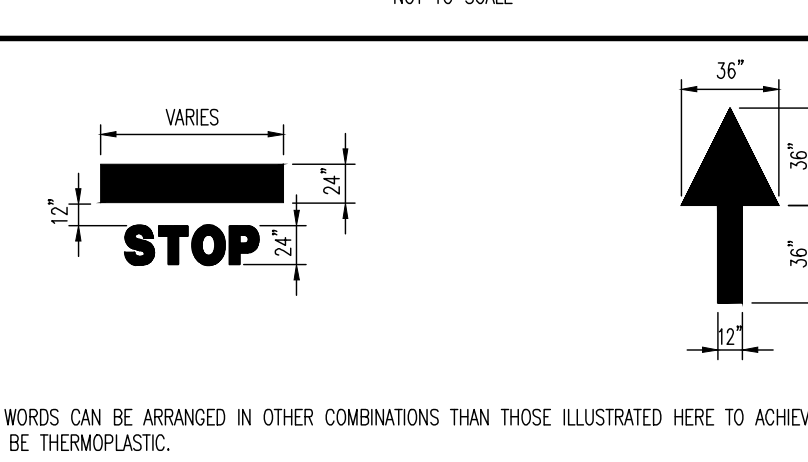
STANDARD DUTY ASPHALT PAVEMENT DETAIL
NOT TO SCALE



PARKING STALL STRIPING DETAIL
NOT TO SCALE



TYPICAL PRECAST STORM MANHOLE
NOT TO SCALE



PAINTED MARKING DETAILS
NOT TO SCALE

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: **ONX EQUITIES, LLC**
Proposed Accessory Parking Lot
E4 AND 140 LEBER ROAD
TOWN OF DRACETOWN, ROCKLAND COUNTY, NEW YORK

DATE: 10/27/2024

PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF ENGINEERS, DESIGNERS, OR ANY PERSON PREPARING TO SECURE THE ABOVE SERVICE THROUGH A NY STATE

811
Call before you dig

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

50 Park Place
Suite 901
Newark, NJ 07102
T: 973.755.7200

Offices conveniently located at:
LAKE CO., NEW JERSEY • 1.757.4199
CHESTER, NEW JERSEY • 1.908.929.8299
MORRISTOWN, NEW JERSEY • 1.908.344.2222
NEWARK, NEW JERSEY • 1.973.252.2222
PHILADELPHIA, PENNSYLVANIA • 1.762.947.9479
NEWTON, PENNSYLVANIA • 1.717.852.0276
PHILADELPHIA, PENNSYLVANIA • 1.215.233.8888
ROCKFORD, PENNSYLVANIA • 1.412.898.4420
ALLEN, TEXAS • 1.972.232.2222
HOUSTON, TEXAS • 1.281.399.4420
AUSTIN, TEXAS • 1.512.445.5446
DENVER, COLORADO • 1.303.552.8520
ANNAPOLIS, MARYLAND • 1.410.542.5500

www.dynamiccc.com

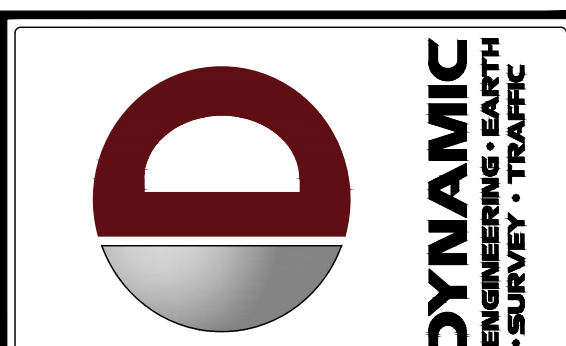
ROBERT P. FREUD
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 88623

ZACHARY A. TAMM
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 120771

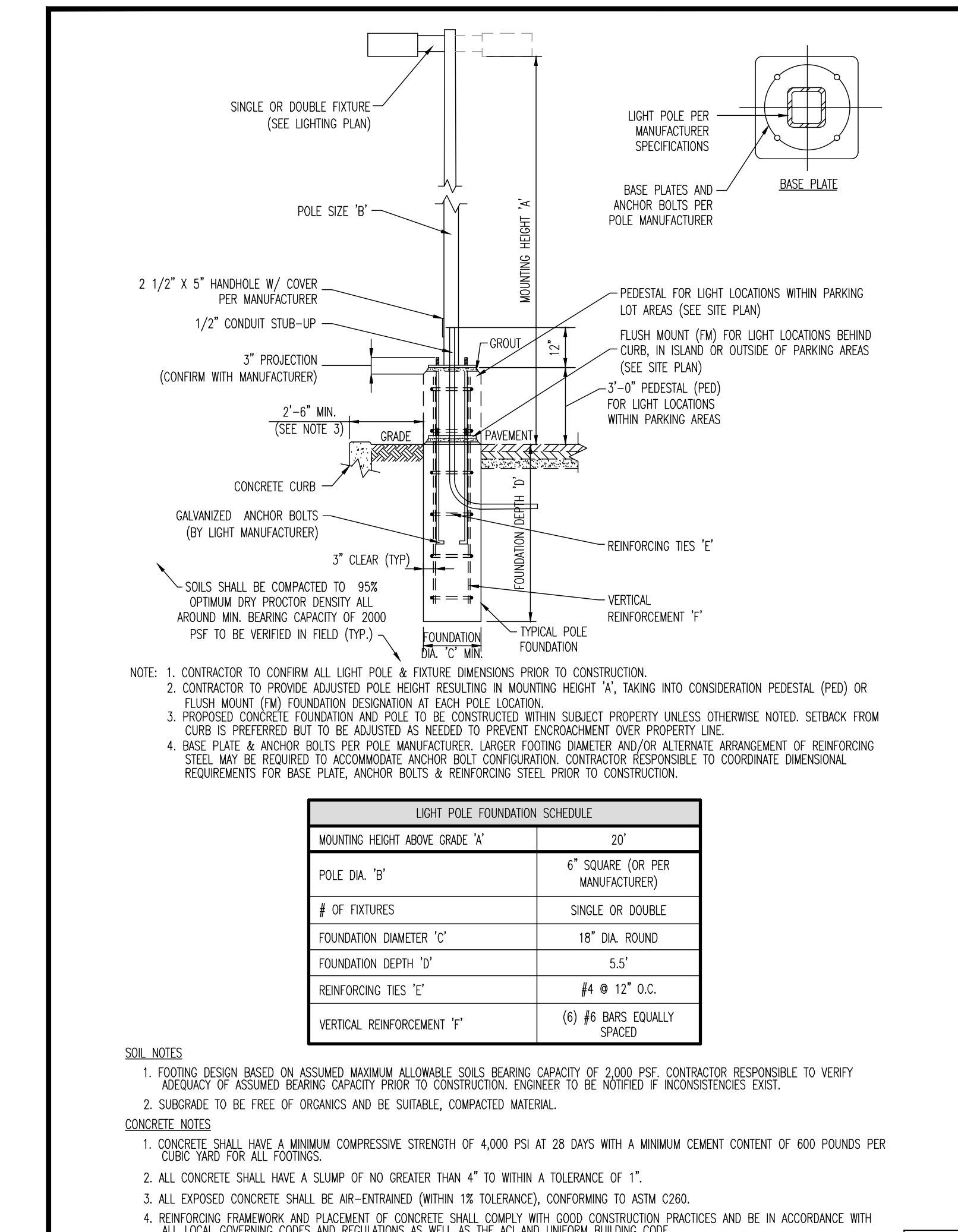
TITLE:
**CONSTRUCTION
DETAILS**
(1 of 4)

SCALE: (0) SCALE: 10/02/2023
PROJECT No: 1739-22-02023

SHEET No: **23** Rev. #:
of 28



NO.	DATE	REVISION	BY	CHK	APP
1.	10/27/24	REV. PER PLANNING BOARD SUBMISSION			



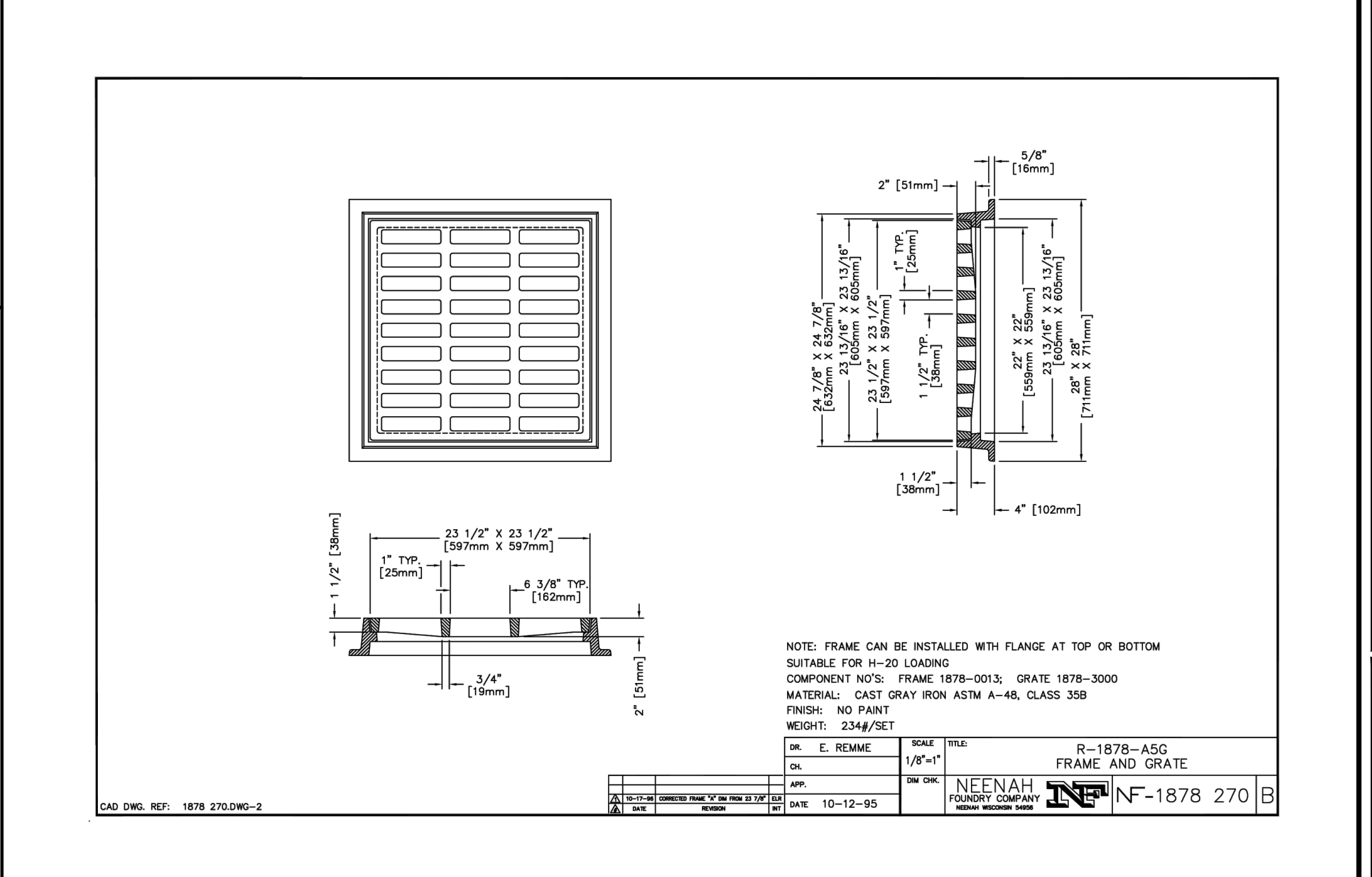
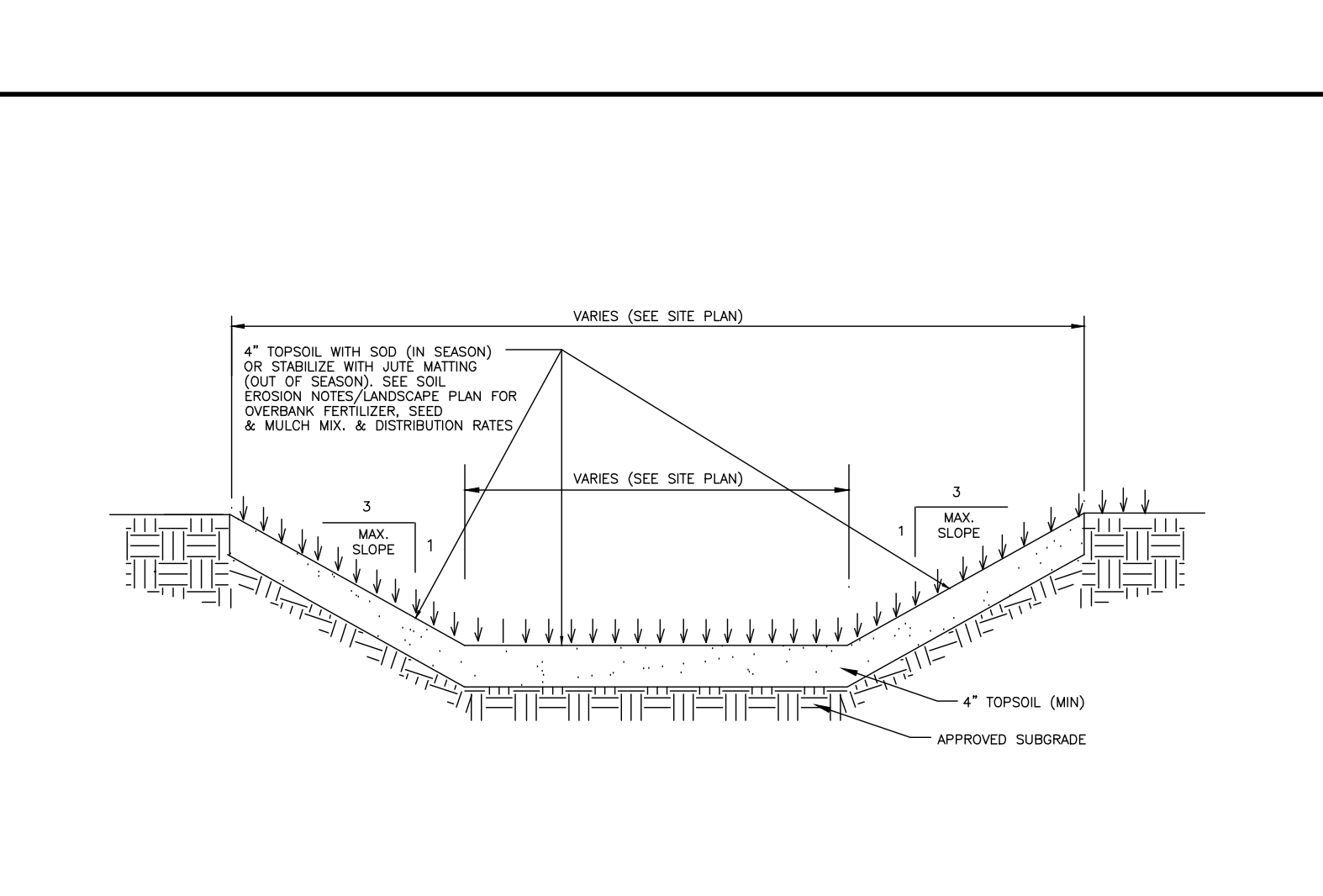
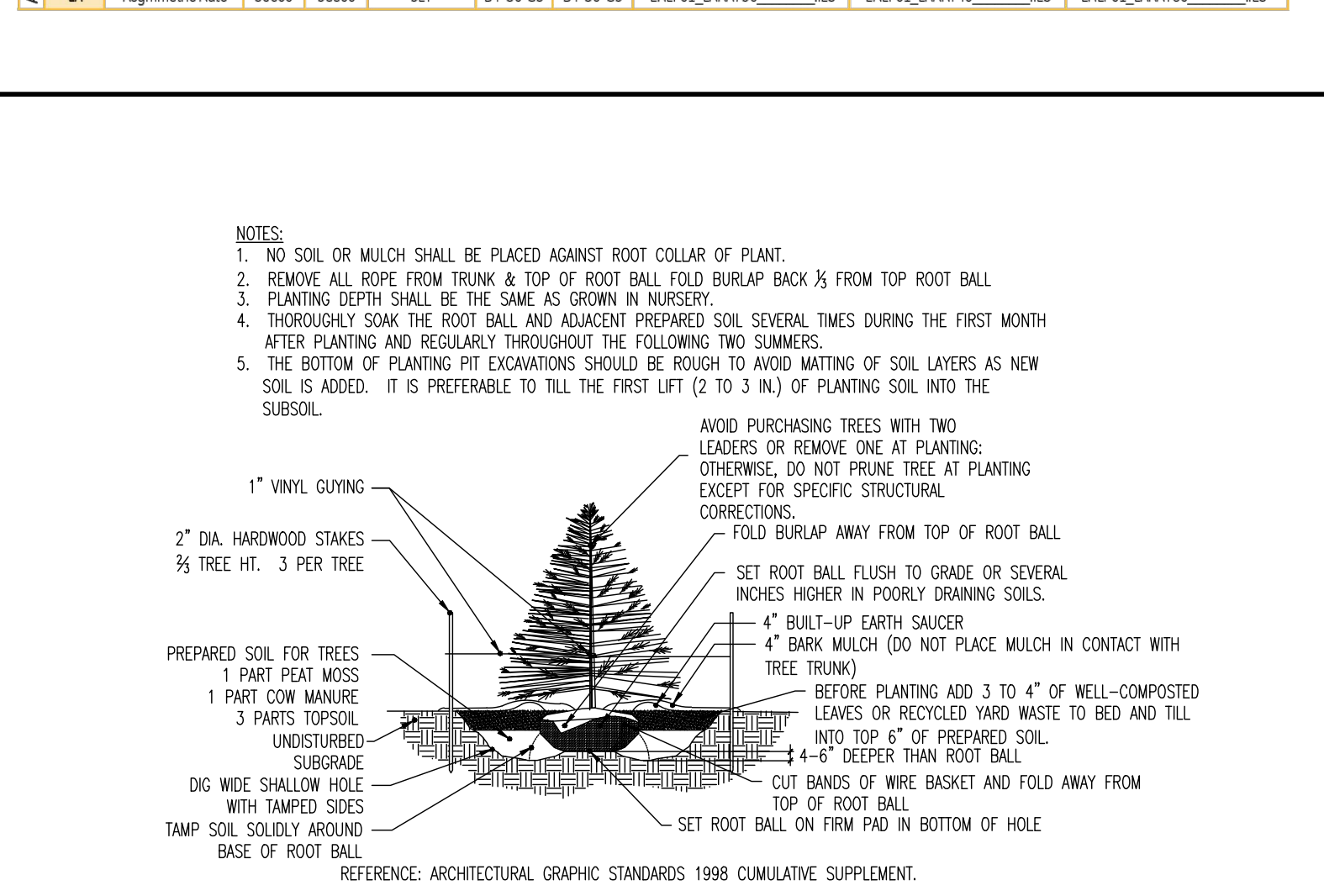
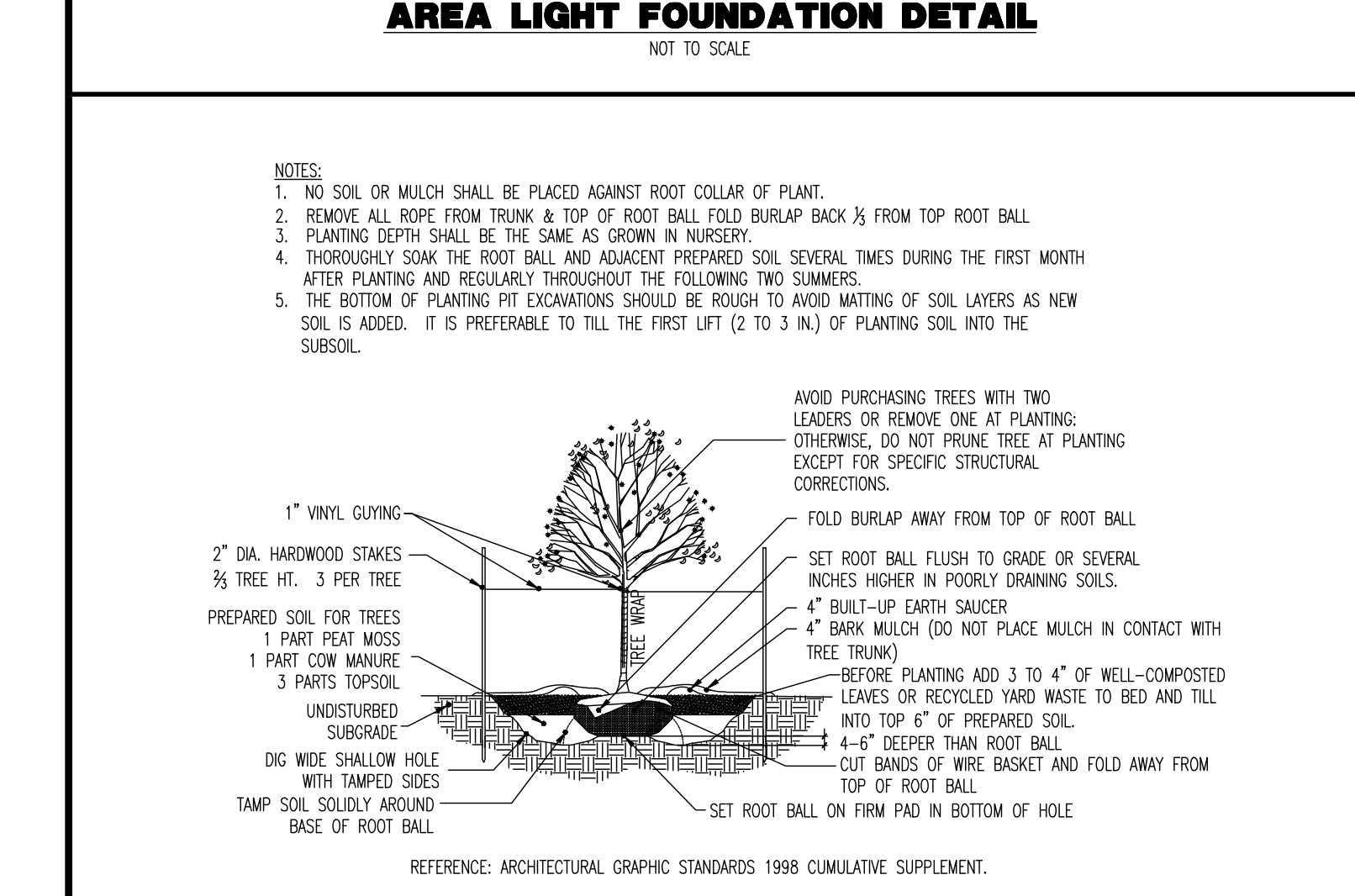
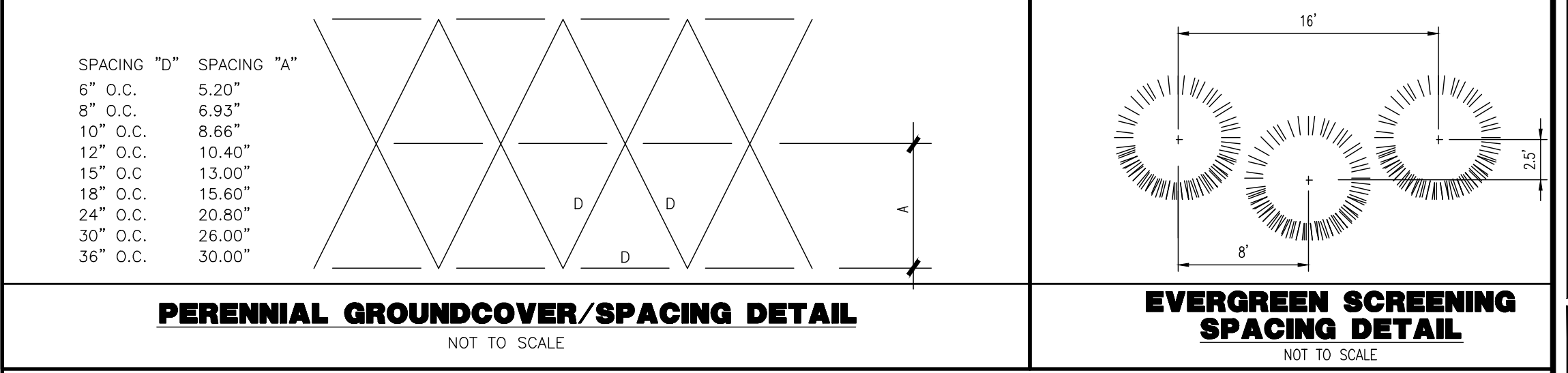
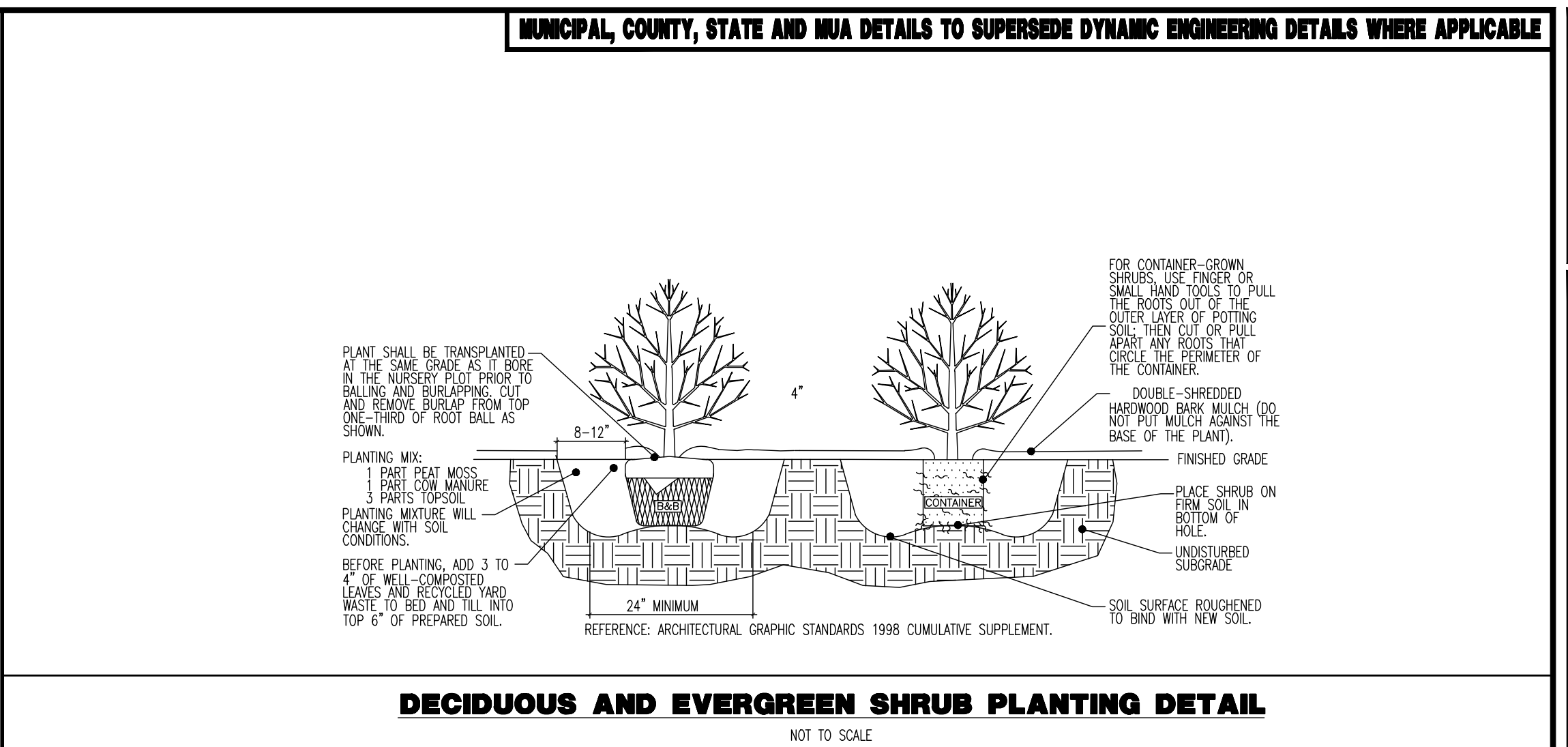
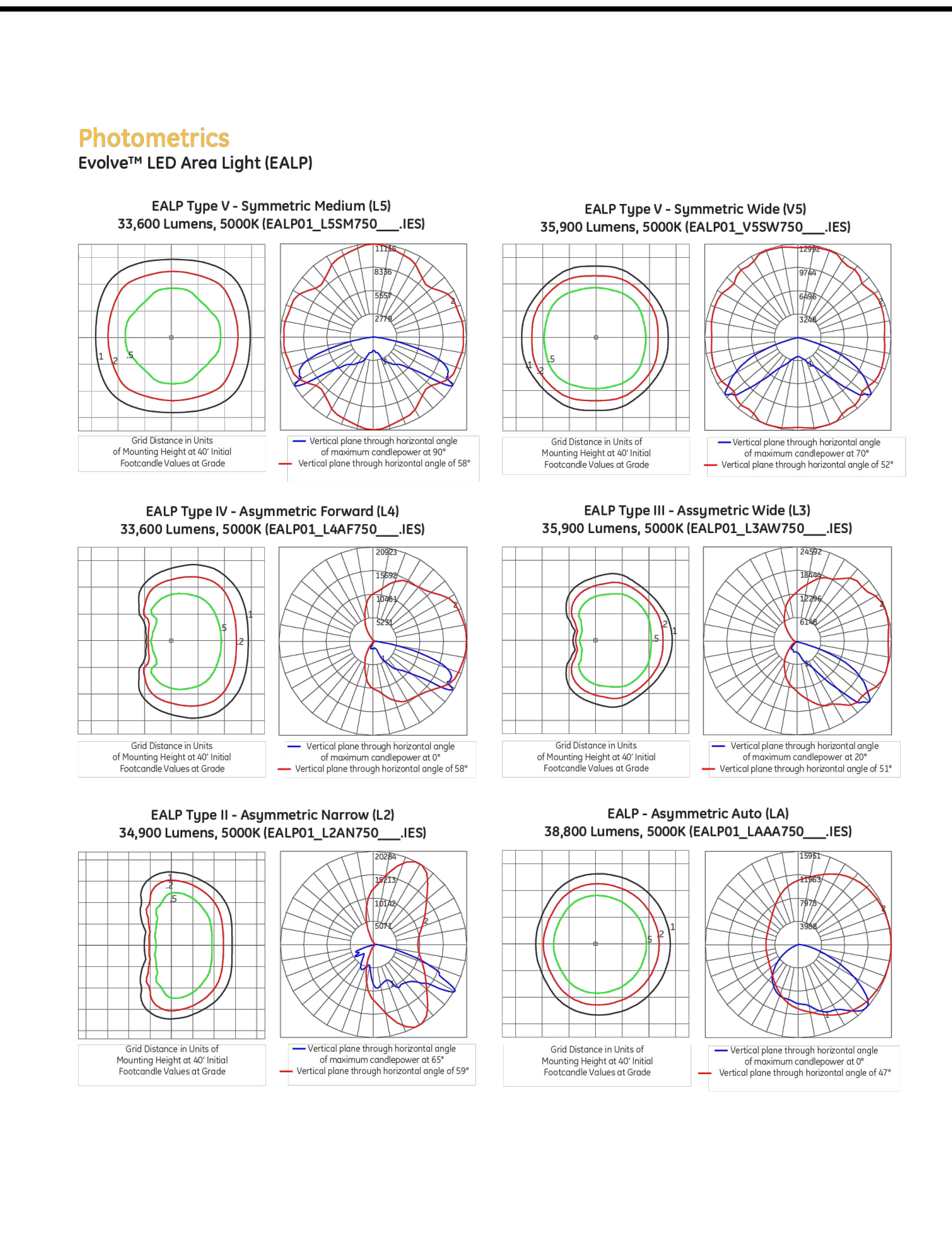
Ordering Number Logic

Evolve™ LED Area Light (EALP)

EALP 01 7

PROD. ID	DESCRIPTION	VOLUME	OPTICAL DISTRIBUTION	CR	CC	CP	CONTROLS	HOUSING	COLOR	OPTIONS
01	Evolve™ LED Area Light	1	Symmetrical	7	7	7	7	7	7	7

TYPE	DESCRIPTION	TYPICAL LUMENS	TYPICAL WATTAGE	CR	CC	CP	CONTROLS	HOUSING	COLOR	OPTIONS
CS	Symmetrical Medium	7500	8000	67	85-100-02	85-100-02	EALP01_CSMP7500	ES	EALP01_CSMP7500	ES
DS	Symmetrical Medium	14000	15000	89	85-100-02	85-100-02	EALP01_DSMP14000	ES	EALP01_DSMP14000	ES
FS	Symmetrical Medium	34100	35000	140	85-100-02	85-100-02	EALP01_FSMP34100	ES	EALP01_FSMP34100	ES
HS	Symmetrical Medium	38800	20000	183	85-100-02	85-100-02	EALP01_HSM7500	ES	EALP01_HSM7500	ES
MS	Symmetrical Medium	22000	25000	120	85-100-02	85-100-02	EALP01_MSMP22000	ES	EALP01_MSMP22000	ES
KS	Symmetrical Medium	28300	30000	274	85-100-03	85-100-03	EALP01_KSM7500	ES	EALP01_KSM7500	ES
LS	Symmetrical Medium	37800	37800	327	85-100-04	85-100-04	EALP01_LSM7500	ES	EALP01_LSM7500	ES
MS	Symmetrical Medium	8000	8500	67	85-100-01	85-100-01	EALP01_MSM7500	ES	EALP01_MSM7500	ES
NS	Symmetrical Medium	10000	10000	89	85-100-01	85-100-01	EALP01_NSM7500	ES	EALP01_NSM7500	ES
OS	Symmetrical Medium	15100	15000	140	85-100-01	85-100-01	EALP01_OSM7500	ES	EALP01_OSM7500	ES
PS	Symmetrical Medium	20100	21300	183	85-100-01	85-100-01	EALP01_PSM7500	ES	EALP01_PSM7500	ES
TS	Symmetrical Medium	29100	28700	220	85-100-01	85-100-01	EALP01_TSM7500	ES	EALP01_TSM7500	ES
US	Symmetrical Medium	30200	32000	274	85-100-01	85-100-01	EALP01_USM7500	ES	EALP01_USM7500	ES
VS	Symmetrical Medium	37800	35900	327	85-100-01	85-100-01	EALP01_VSM7500	ES	EALP01_VSM7500	ES
CS	Asymmetrical Forward	7500	7500	71	85-100-01	85-100-01	EALP01_CAF7500	ES	EALP01_CAF7500	ES
DS	Asymmetrical Forward	14000	10000	93	85-100-02	85-100-02	EALP01_DAF7500	ES	EALP01_DAF7500	ES
FS	Asymmetrical Forward	34100	35000	140	85-100-02	85-100-02	EALP01_FAF7500	ES	EALP01_FAF7500	ES
HS	Asymmetrical Forward	38800	20000	183	85-100-04	85-100-04	EALP01_HAF7500	ES	EALP01_HAF7500	ES
MS	Asymmetrical Forward	22000	25000	120	85-100-04	85-100-04	EALP01_MAF7500	ES	EALP01_MAF7500	ES
KS	Asymmetrical Forward	28300	30000	274	85-100-03	85-100-03	EALP01_KAF7500	ES	EALP01_KAF7500	ES
LS	Asymmetrical Forward	37800	37800	327	85-100-05	85-100-05	EALP01_LAF7500	ES	EALP01_LAF7500	ES
CS	Asymmetrical Wide	7500	8000	71	85-100-01	85-100-01	EALP01_CAW7500	ES	EALP01_CAW7500	ES
DS	Asymmetrical Wide	10000	10000	89	85-100-02	85-100-02	EALP01_DAW7500	ES	EALP01_DAW7500	ES
OS	Asymmetrical Wide	15100	14000	136	85-100-02	85-100-02	EALP01_OAW7500	ES	EALP01_OAW7500	ES
PS	Asymmetrical Wide	20100	21300	183	85-100-02	85-100-02	EALP01_PAW7500	ES	EALP01_PAW7500	ES
TS	Asymmetrical Wide	29100	28700	220	85-100-03	85-100-03	EALP01_TAW7500	ES	EALP01_TAW7500	ES
US	Asymmetrical Wide	30200	32000	274	85-100-03	85-100-03	EALP01_UAW7500	ES	EALP01_UAW7500	ES
VS	Asymmetrical Wide	37800	35900	327	85-100-04	85-100-04	EALP01_VAW7500	ES	EALP01_VAW7500	ES
CS	Asymmetrical Narrow	7500	7500	71	85-100-02	85-100-02	EALP01_CAN7500	ES	EALP01_CAN7500	ES
DS	Asymmetrical Narrow	14000	10000	93	85-100-02	85-100-02	EALP01_DAN7500	ES	EALP01_DAN7500	ES
FS	Asymmetrical Narrow	34100	35000	140	85-100-03	85-100-03	EALP01_FAN7500	ES	EALP01_FAN7500	ES
HS	Asymmetrical Narrow	38800	20000	183	85-100-03	85-100-03	EALP01_HAN7500	ES	EALP01_HAN7500	ES
MS	Asymmetrical Narrow	22000	25000	120	85-100-03	85-100-03	EALP01_MAN7500	ES	EALP01_MAN7500	ES
KS	Asymmetrical Narrow	28300	30000	274	85-100-03	85-100-03	EALP01_KAN7500	ES	EALP01_KAN7500	ES
LS	Asymmetrical Narrow	37800	37800	327	85-100-03	85-100-03	EALP01_LAN7500	ES	EALP01_LAN7500	ES
MS	Asymmetrical Auto	37700	34000	274	85-100-03	85-100-03	EALP01_AAN7500	ES	EALP01_AAN7500	ES
AS	Asymmetrical Auto	34600	38800	327	85-100-03	85-100-03	EALP01_AAN7500	ES	EALP01_AAN7500	ES



Project: 02/14/24 - 413 DN, Dr. Shreve
File: P:\PROJECTS\PROJECTS\1739 Ony Equities, LLC\24-00223 Construction Details

Copyright © 2024 - DYNAMIC ENGINEERING CONSULTANTS, PC - ALL RIGHTS RESERVED

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: ONYX EQUITIES, LLC
Proposed Accessory Parking Lot
164 AND 140 LEIBER ROAD
TOWN OF DRANETOWN, ROCKLAND COUNTY, NEW YORK

PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXCHANGES, RESIGNORS, OR ANY PERSON PROVIDING TO VERIFY THE WORK'S SUPERVISOR IN ANY STATE

811
Call before you dig

FOR STATE SPECIFIC BELLWORK NUMBERS VISIT: WWW.CALL811.COM

DYNAMIC ENGINEERING

LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

50 Park Place
Suite 901
Newark, NJ 07102
T: 973.755.7200

Offices conveniently located at:

- LAKE COHO, NEW JERSEY • 1.757.4199
- CHESTER, NEW JERSEY • 1.704.9729
- MARLTON, NEW JERSEY • 1.856.324.2222
- NEWARK, NEW JERSEY • 1.973.755.7200
- ZIONSBURG, NEW JERSEY • 1.732.927.8770
- NEWTON, PENNSYLVANIA • 1.717.852.0276
- PHILADELPHIA, PENNSYLVANIA • 1.215.252.0486
- BETHLEHEM, PENNSYLVANIA • 1.412.388.4420
- ALLEN TOWN • 1.717.252.2120
- HUNTSVILLE, ALABAMA • 1.256.789.4420
- ASHEVILLE, NORTH CAROLINA • 1.704.463.0466
- DEARBORN, MICHIGAN • 1.800.851.8100
- ANNAPOLIS, MARYLAND • 1.410.552.5000

www.dynamiccc.com

ROBERT P. FREUD

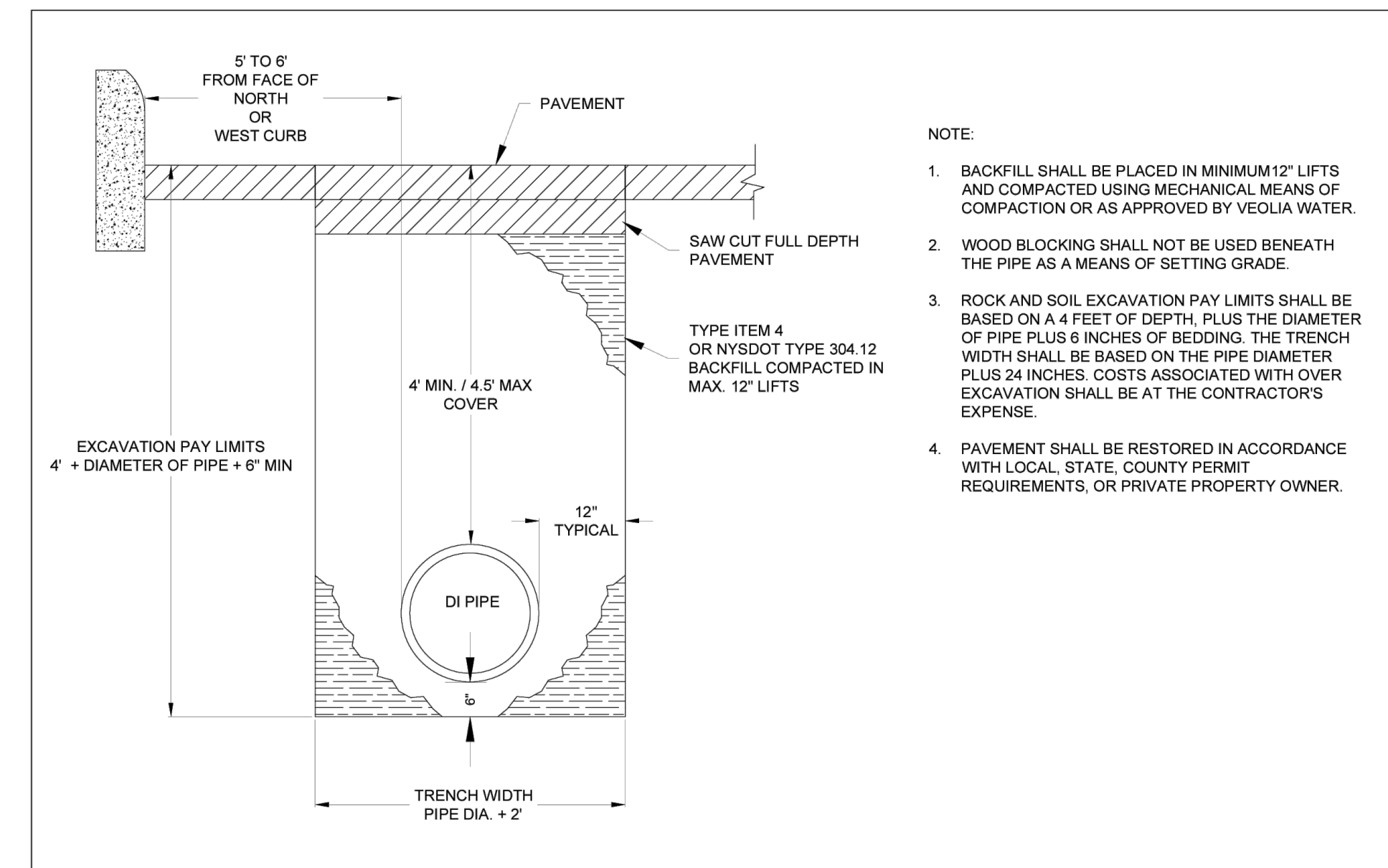
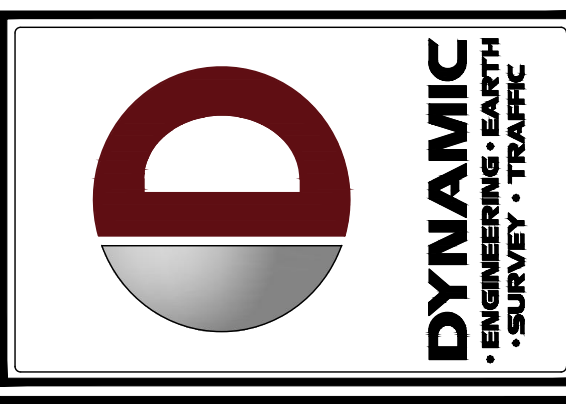
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 88623



TITLE:
CONSTRUCTION DETAILS
(2 of 4)

SCALE: NOT TO SCALE
DATE: 10/02/2023
PROJECT: 1739-22-00223

SHEET No: **24**
Rev. #:
OF 28



- NOTE:
- BACKFILL SHALL BE PLACED IN MINIMUM 12" LIFTS AND COMPACTED USING MECHANICAL MEANS OF COMPACTION OR AS APPROVED BY VEOLIA WATER
 - WOOD BLOCKING SHALL NOT BE USED BENEATH THE PIPE AS A MEANS OF SETTING GRADE.
 - ROCK AND SOIL EXCAVATION PAY LIMITS SHALL BE BASED ON 4.4 FEET OF DEPTH, PLUS THE DIAMETER OF PIPE PLUS 8 INCHES OF BEDDING. THE TRENCH WIDTH SHALL BE BASED ON THE PIPE DIAMETER PLUS 24 INCHES. COSTS ASSOCIATED WITH OVER EXCAVATION SHALL BE AT THE CONTRACTOR'S EXPENSE.
 - PAVEMENT SHALL BE RESTORED IN ACCORDANCE WITH LOCAL STATE, COUNTY PERMIT REQUIREMENTS, OR PRIVATE PROPERTY OWNER.

VEOLIA

VEOLIA WATER NEW YORK
142 OLD MILL ROAD,
WEST NYACK, NY 10994
(845) 420-3334

SPECIFICATION DETAILS

WATER MAIN TRENCH DETAIL
ROADWAY (PUBLIC OR PRIVATE)
COUNTY OF ROCKLAND, ORANGE, & TIOGA

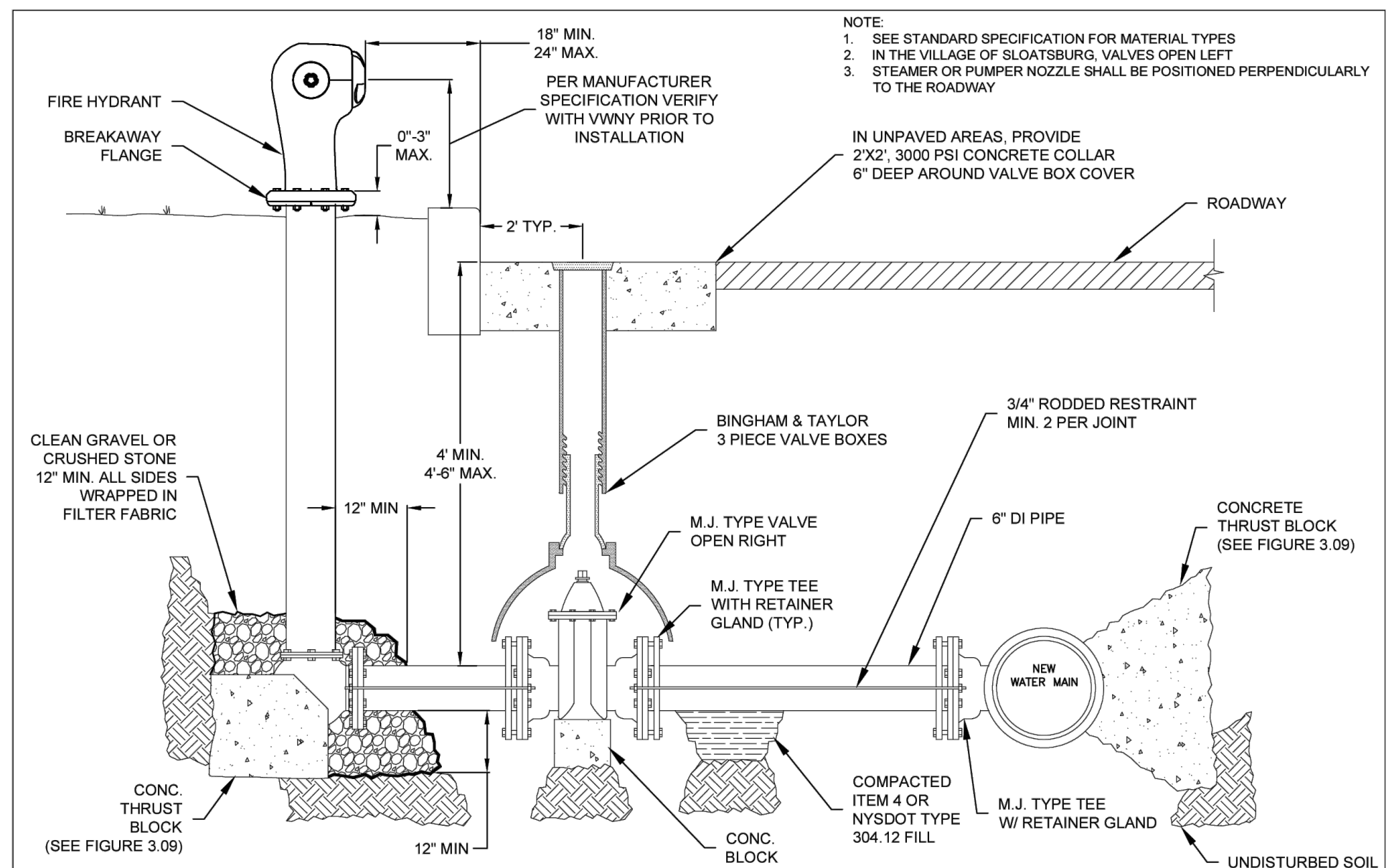
DRAFTED BY: MS
APPROVED BY: VVNY DIV. NB

SCALE: NTS

DATE: 11/1/2022

FIGURE 3.12

INSTALLATION OF WATER SYSTEMS APPURTENANCES



- NOTE:
- SEE STANDARD SPECIFICATION FOR MATERIAL TYPES
 - IN THE VILLAGE OF SLOATSBURG, VALVES OPEN LEFT
 - STEAMER OR PUMPER NOZZLE SHALL BE POSITIONED PERPENDICULARLY TO THE ROADWAY

VEOLIA

VEOLIA WATER NEW YORK
142 OLD MILL ROAD,
WEST NYACK, NY 10994
(845) 420-3334

SPECIFICATION DETAILS

FIRE HYDRANT INSTALLATION
DETAIL (NEW MAIN)

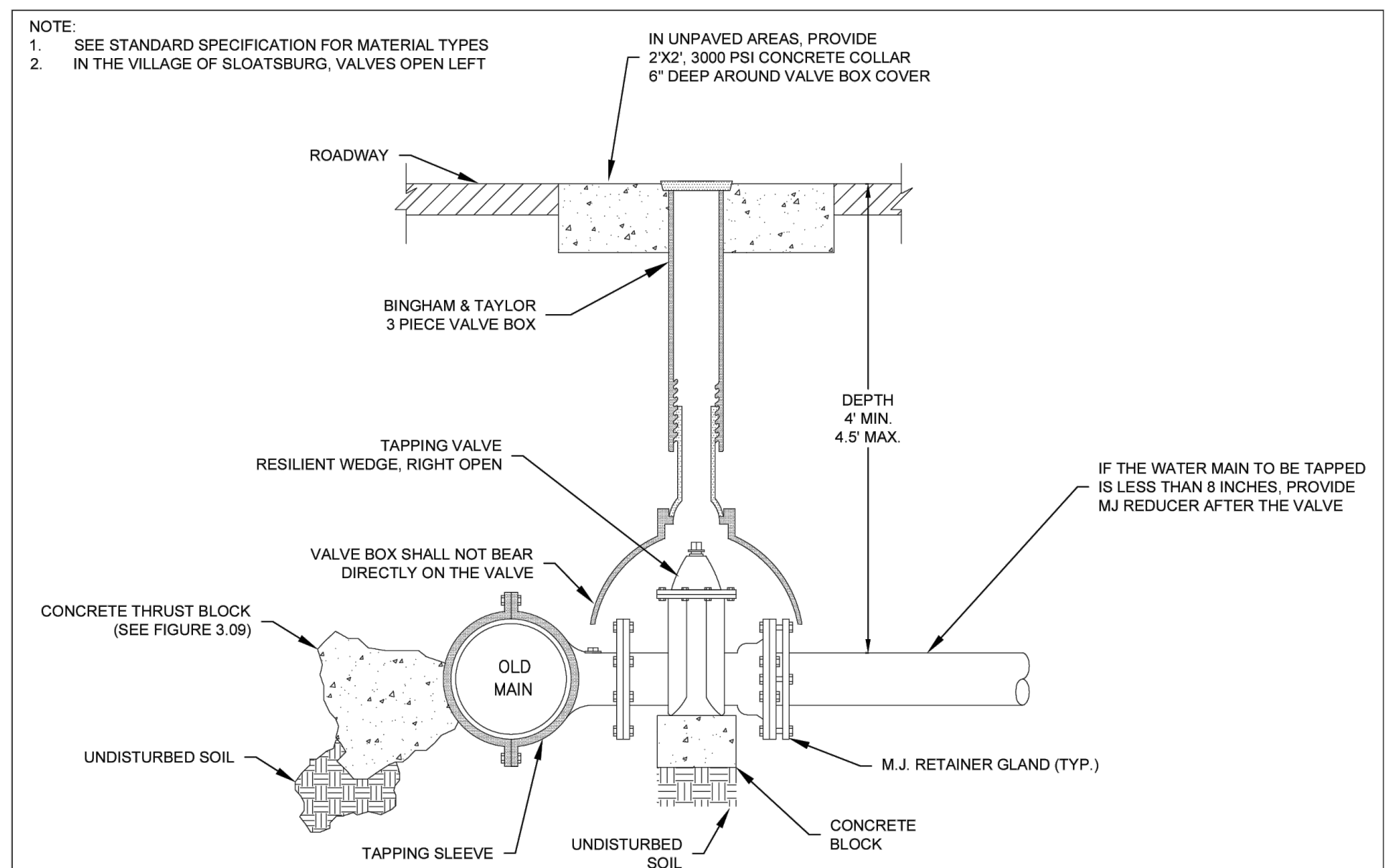
DRAFTED BY: MS
APPROVED BY: VVNY DIV. NB

SCALE: NTS

DATE: 11/1/2022

FIGURE 3.05

INSTALLATION OF WATER SYSTEMS APPURTENANCES



VEOLIA

VEOLIA WATER NEW YORK
142 OLD MILL ROAD,
WEST NYACK, NY 10994
(845) 420-3334

SPECIFICATION DETAILS

TAPPING EXISTING WATER MAIN

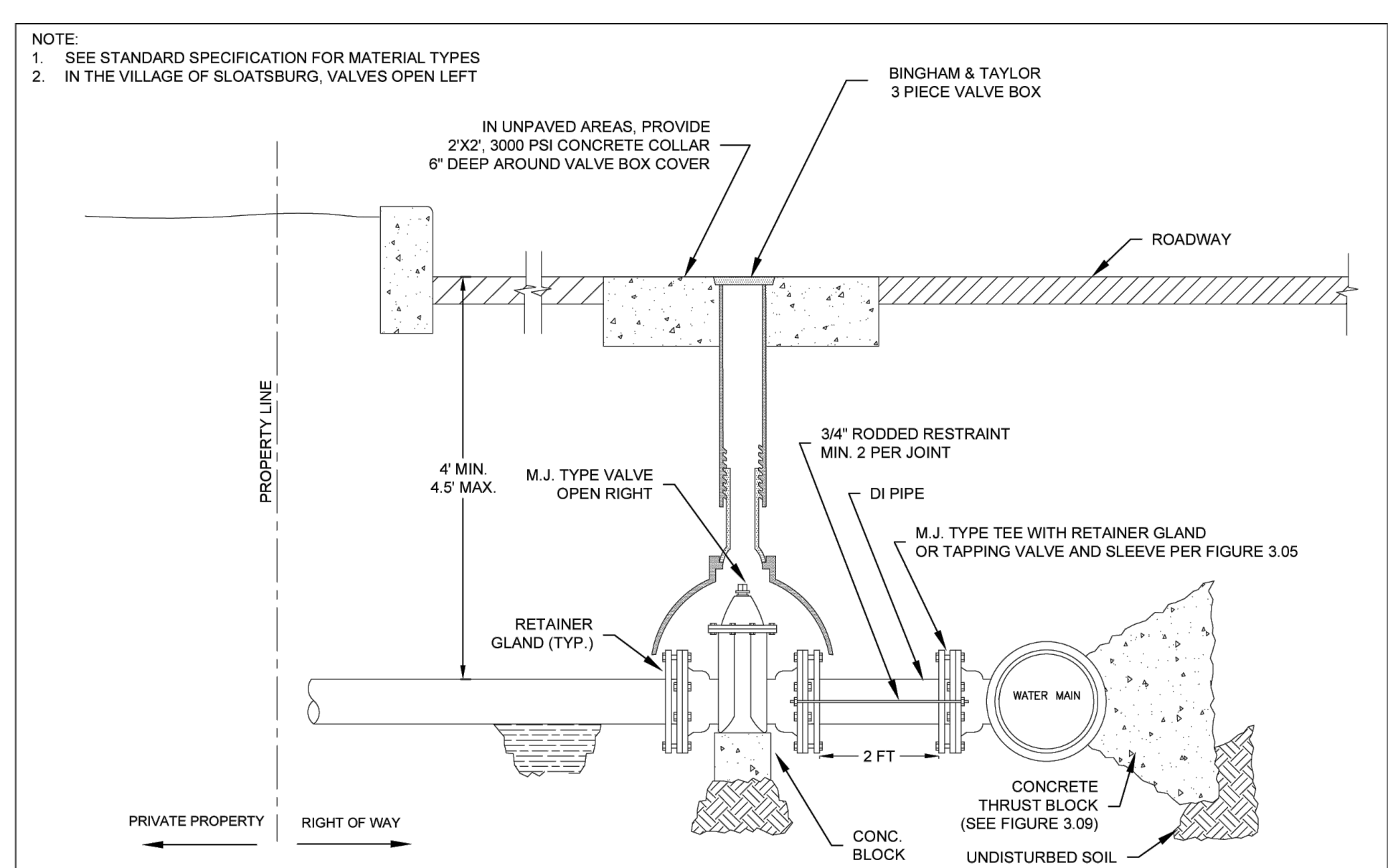
DRAFTED BY: MS
APPROVED BY: VVNY DIV. NB

SCALE: NTS

DATE: 11/1/2022

FIGURE 3.05

INSTALLATION OF WATER SYSTEMS APPURTENANCES



VEOLIA

VEOLIA WATER NEW YORK
142 OLD MILL ROAD,
WEST NYACK, NY 10994
(845) 420-3334

SPECIFICATION DETAILS

4" AND LARGER SERVICE CONNECTION

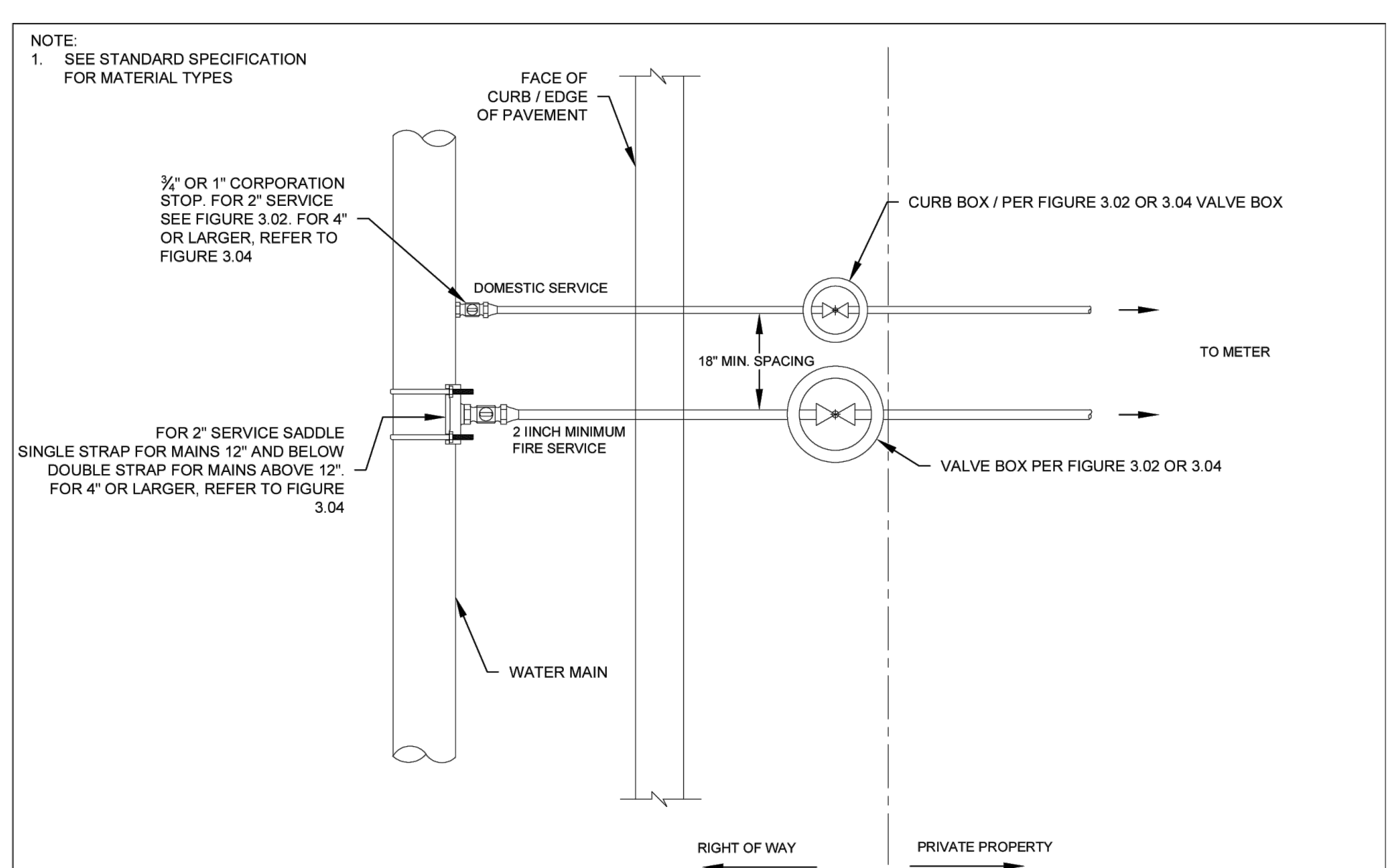
DRAFTED BY: MS
APPROVED BY: VVNY DIV. NB

SCALE: NTS

DATE: 11/1/2022

FIGURE 3.04

INSTALLATION OF WATER SYSTEMS APPURTENANCES



VEOLIA

VEOLIA WATER NEW YORK
142 OLD MILL ROAD,
WEST NYACK, NY 10994
(845) 420-3334

SPECIFICATION DETAILS

DOMESTIC & FIRE CONNECTION
PLAN VIEW

DRAFTED BY: MS
APPROVED BY: VVNY DIV. NB

SCALE: NTS

DATE: 11/1/2022

FIGURE 3.03

INSTALLATION OF WATER SYSTEMS APPURTENANCES

NO.	DATE	BY	REVISION
1.	10/27/2024	REV. PER PLANNING BOARD SUBMISSION	

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DRAWN BY: KNC
CHECKED BY: AGC
DESIGNED BY: JEF
DATE: 11/1/2022

PROJECT: ONYX EQUITIES, LLC
Proposed Accessory Parking Lot
E4 AND E4D LEBER ROAD
TOWN OF DRANGETOWN, ROCKLAND COUNTY, NEW YORK

PROTECT YOURSELF

ALL STATES REQUIRE NOTIFICATION OF EXCAVATES, DESIGNERS, OR ANY PERSON WORKING TO SECURE THE SAFETY SURFACE WORKERS IN ANY STATE

811

Call before you dig

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

DYNAMIC ENGINEERING

LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

50 Park Place
Suite 901
Newark, NJ 07102
T: 973.755.7200

Offices conveniently located at:

LAKE COOCH, NEW JERSEY • 1.752.41.0998
CHESTER, NEW JERSEY • 1.703.970.0209
MARTON, NEW JERSEY • 1.863.324.2333
NEWARK, NEW JERSEY • 1.973.252.2222
DUNELMERE, NEW JERSEY • 1.732.947.8470
NEWTON, PENNSYLVANIA • 1.717.453.0276
PHILADELPHIA, PENNSYLVANIA • 1.215.253.4888
BETHLEHEM, PENNSYLVANIA • 1.412.388.4420
ALLEN, TEXAS • 1.972.282.2100
HOUSTON, TEXAS • 1.281.789.6400
AUSTIN, TEXAS • 1.512.445.0446
DRENNAN, TEXAS • 1.817.512.8100
ANNAPOLIS, MARYLAND • 1.410.567.5000

www.dynamiccc.com

ROBERT P. FREUD

PROFESSIONAL ENGINEER
NEW YORK LICENSE No. 88623

ZACHARY A. KAMM

PROFESSIONAL ENGINEER
NEW YORK LICENSE No. 207071

TITLE:

CONSTRUCTION DETAILS

(3 of 4)

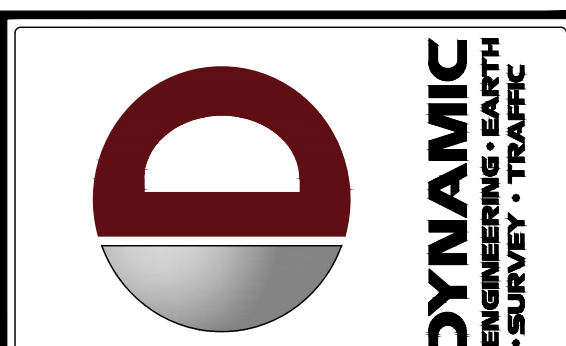
SCALE (IF NOT TO SCALE):

DATE: 10/02/2023

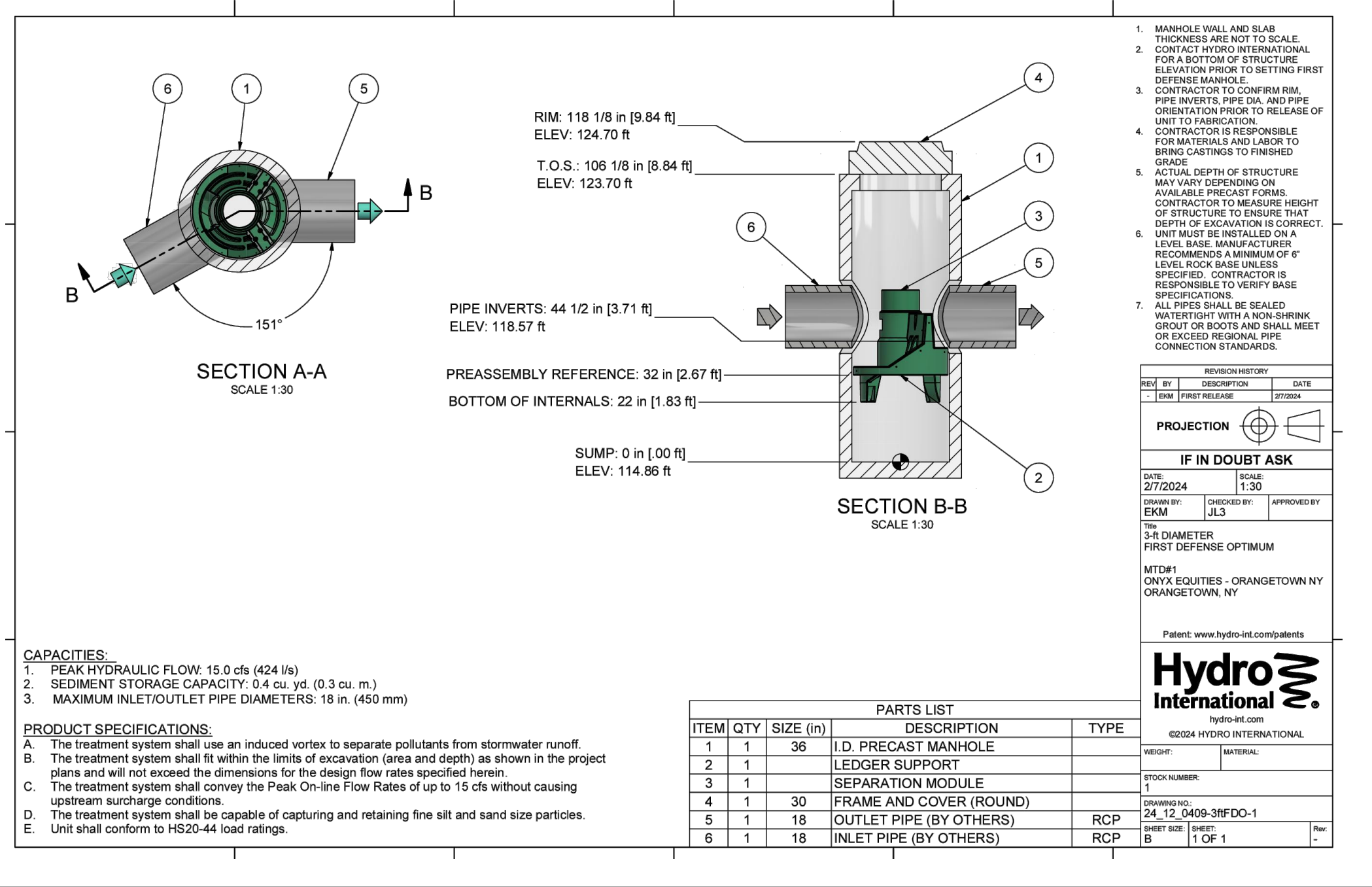
PROJECT No: 1739-22-02023

SHEET No: **25**

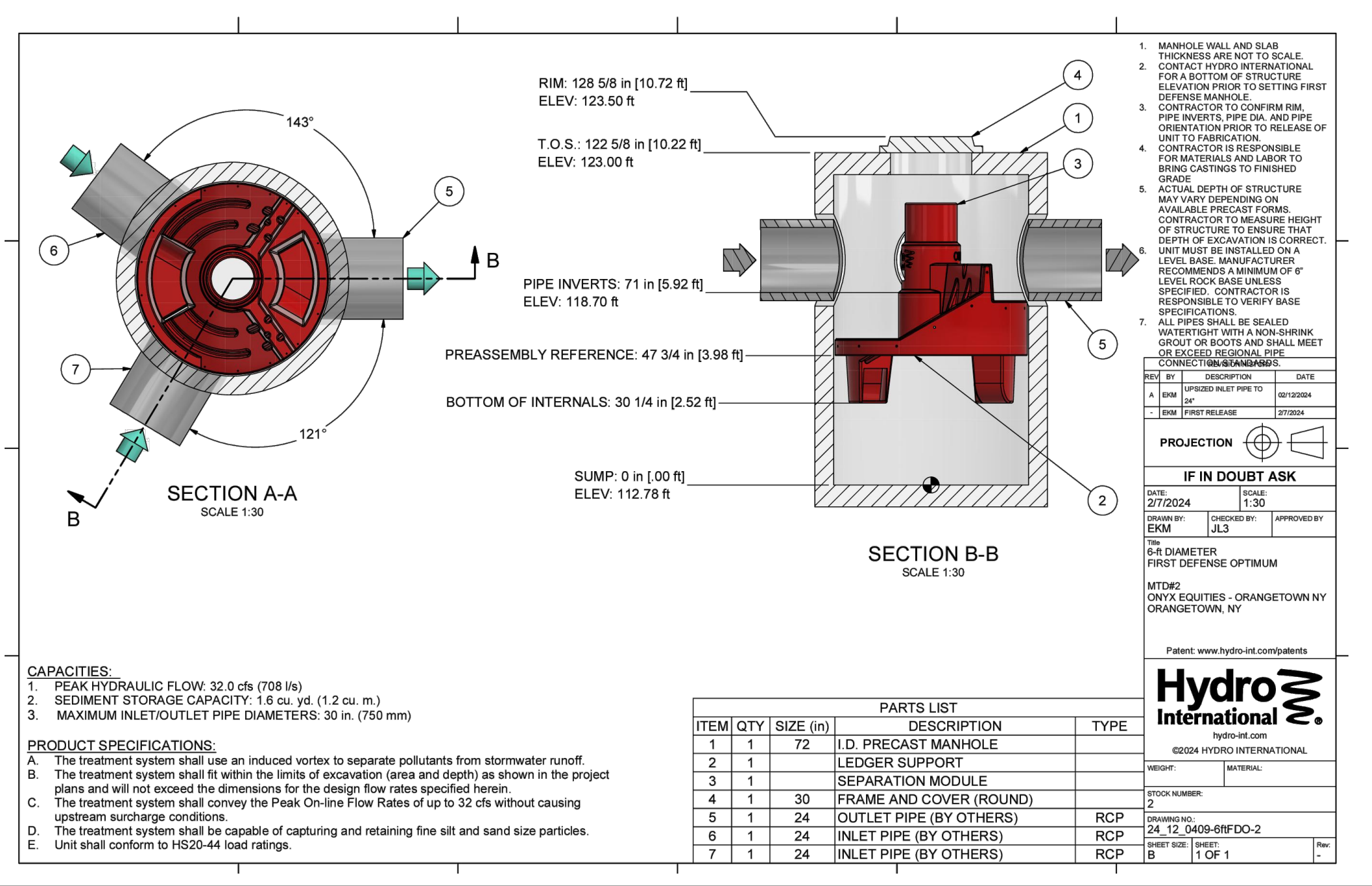
Rev. #:



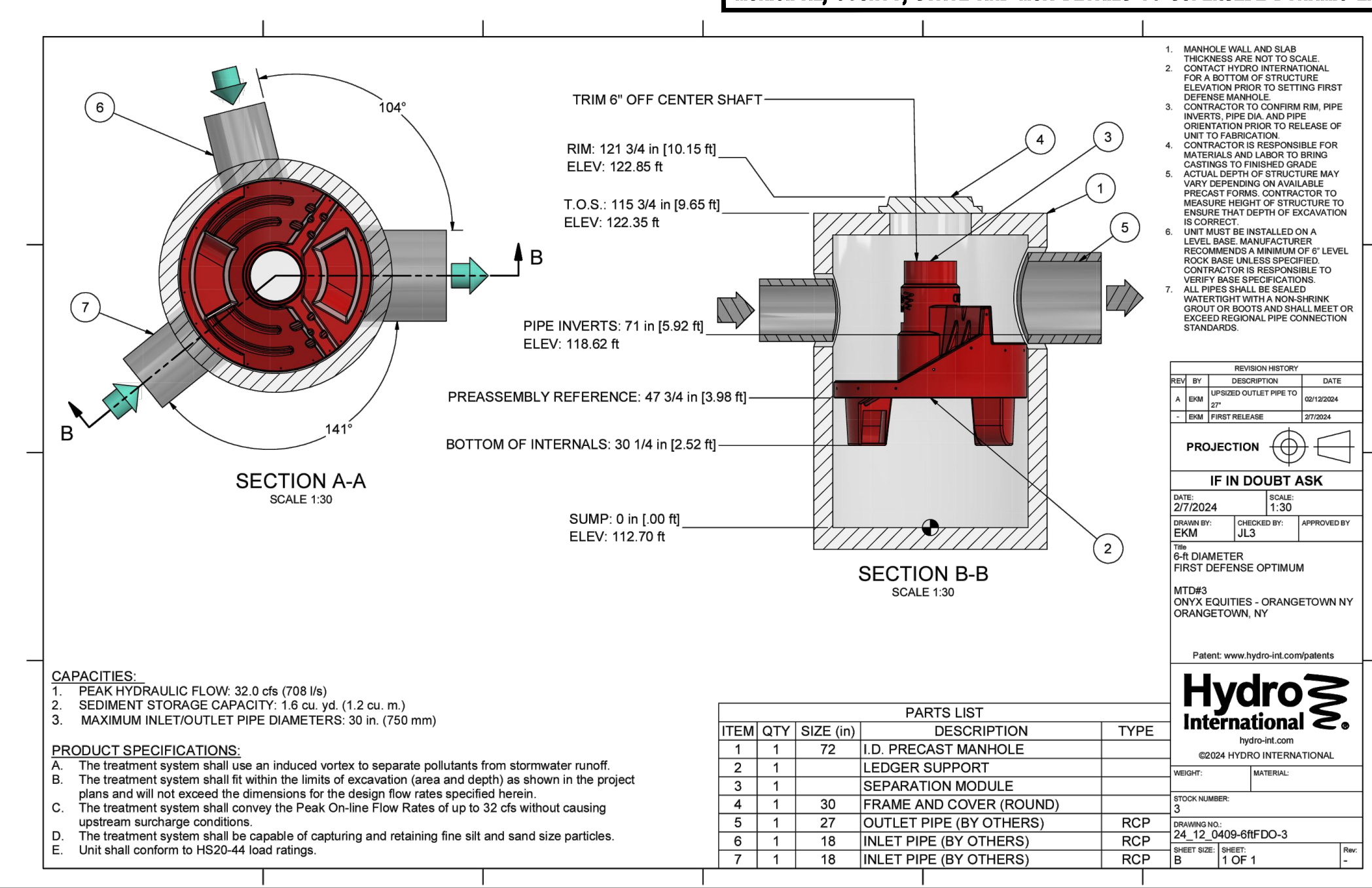
REV.	DATE	COMMENTS
1.	10/27/2024	REV. PER PLANNING BOARD SUBMISSION



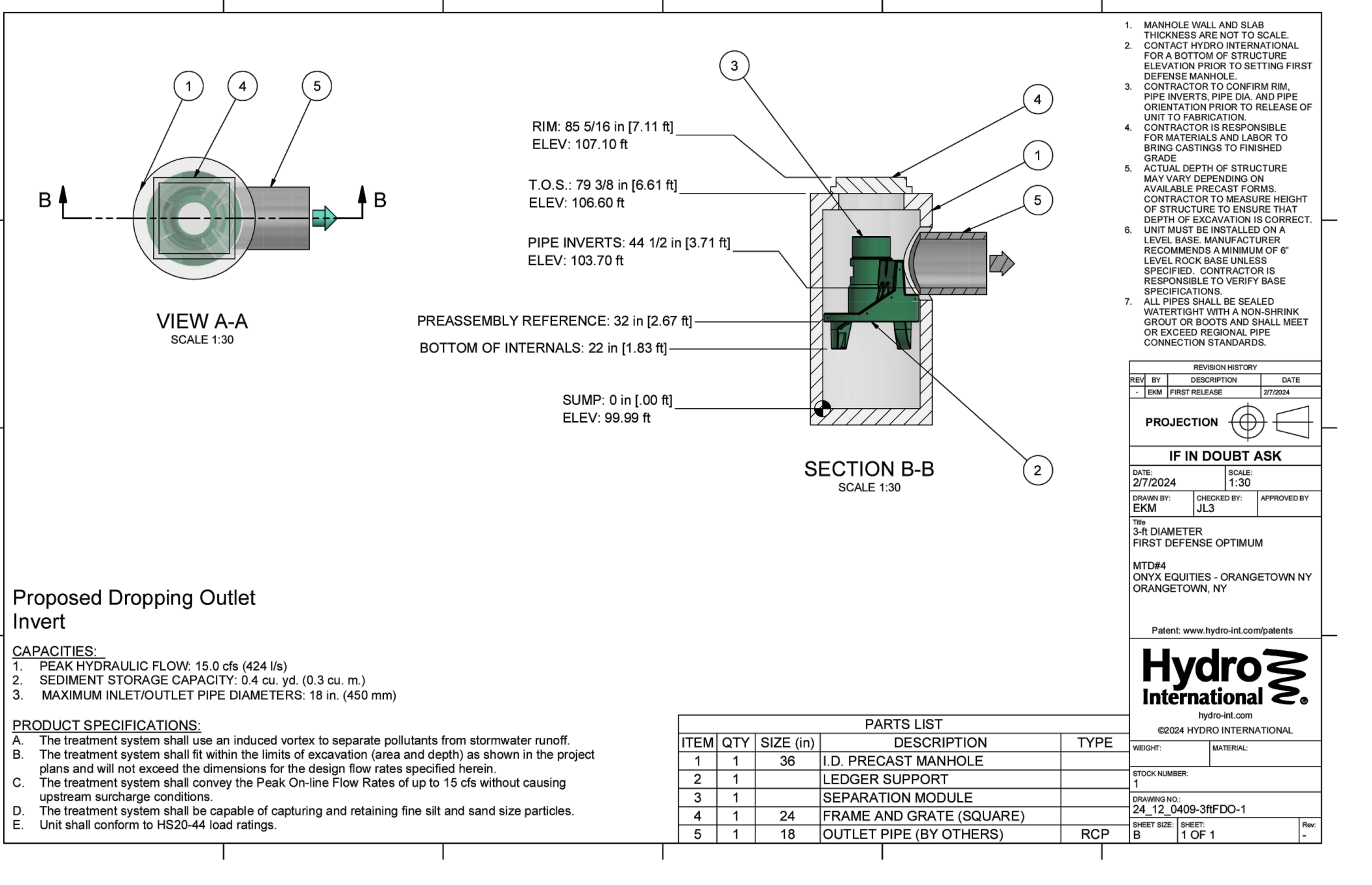
3' DIAMETER FIRST DEFENSE OPTIMUM #1



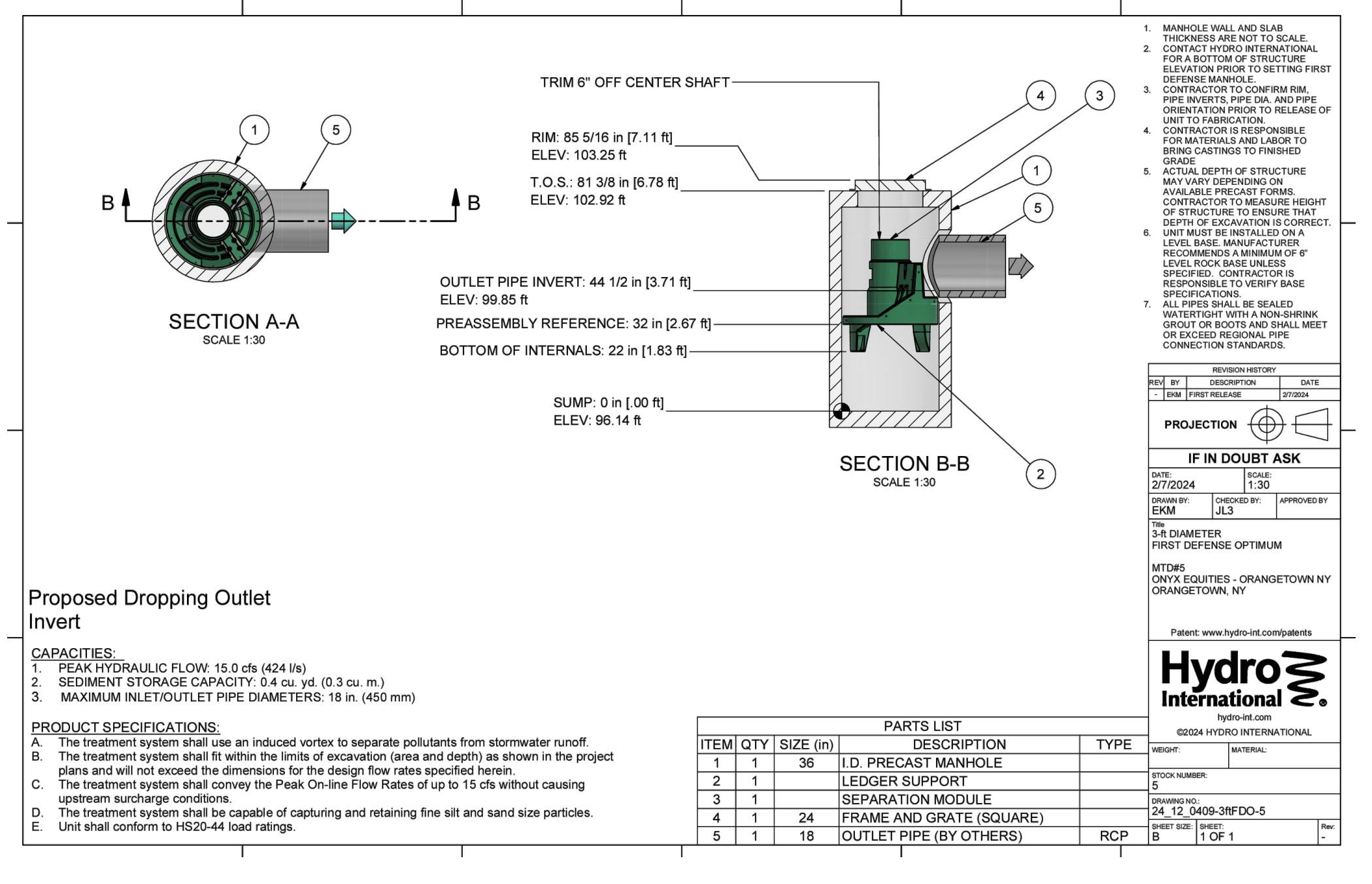
6' DIAMETER FIRST DEFENSE OPTIMUM #2



6' DIAMETER FIRST DEFENSE OPTIMUM #3



3' DIAMETER FIRST DEFENSE OPTIMUM #4



3' DIAMETER FIRST DEFENSE OPTIMUM #5

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: ONYX EQUITABLES, LLC Proposed Accessory Parking Lot 44 AND 44D LEBER ROAD TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK

PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXAMINERS, DESIGNERS, OR ANY PERSON HOLDING TO OBTAIN THE BEST SERVICE. WE'RE NOT JUST SAYING.

811
Dig what's below
Call before you dig

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

50 Park Place
Suite 901
Newark, NJ 07102
T: 973.755.7200

Offices conveniently located at:

- LAKE CO., NEW JERSEY • 1.752.14.099
- CHESTER, NEW JERSEY • 1.704.970.029
- MARLTON, NEW JERSEY • 1.856.324.200
- NEWARK, NEW JERSEY • 1.973.755.7200
- DUNELLEN, NEW JERSEY • 1.732.947.010
- NEWTON, PENNSYLVANIA • 1.717.453.0276
- PHILADELPHIA, PENNSYLVANIA • 1.215.253.4488
- BETHLEHEM, PENNSYLVANIA • 1.412.388.4420
- ALLEN, INDIANA • 1.765.242.2100
- HOOVER, TEXAS • 1.281.399.4400
- AUSTIN, TEXAS • 1.512.445.5446
- DEARBORN, MICHIGAN • 1.313.582.8500
- ANNAPOLIS, MARYLAND • 1.410.532.5000

www.dynamiccc.com

ROBERT P. FREUD
PROFESSIONAL ENGINEER
NEW YORK LICENSE No. 88623

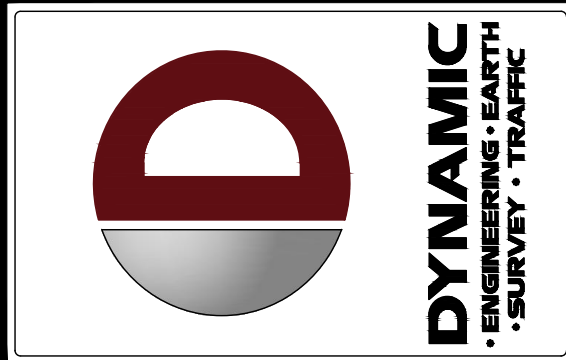
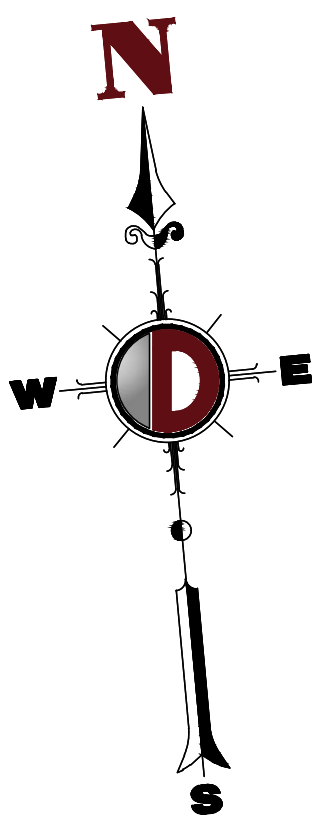


TITLE:
CONSTRUCTION DETAILS
(4 of 4)

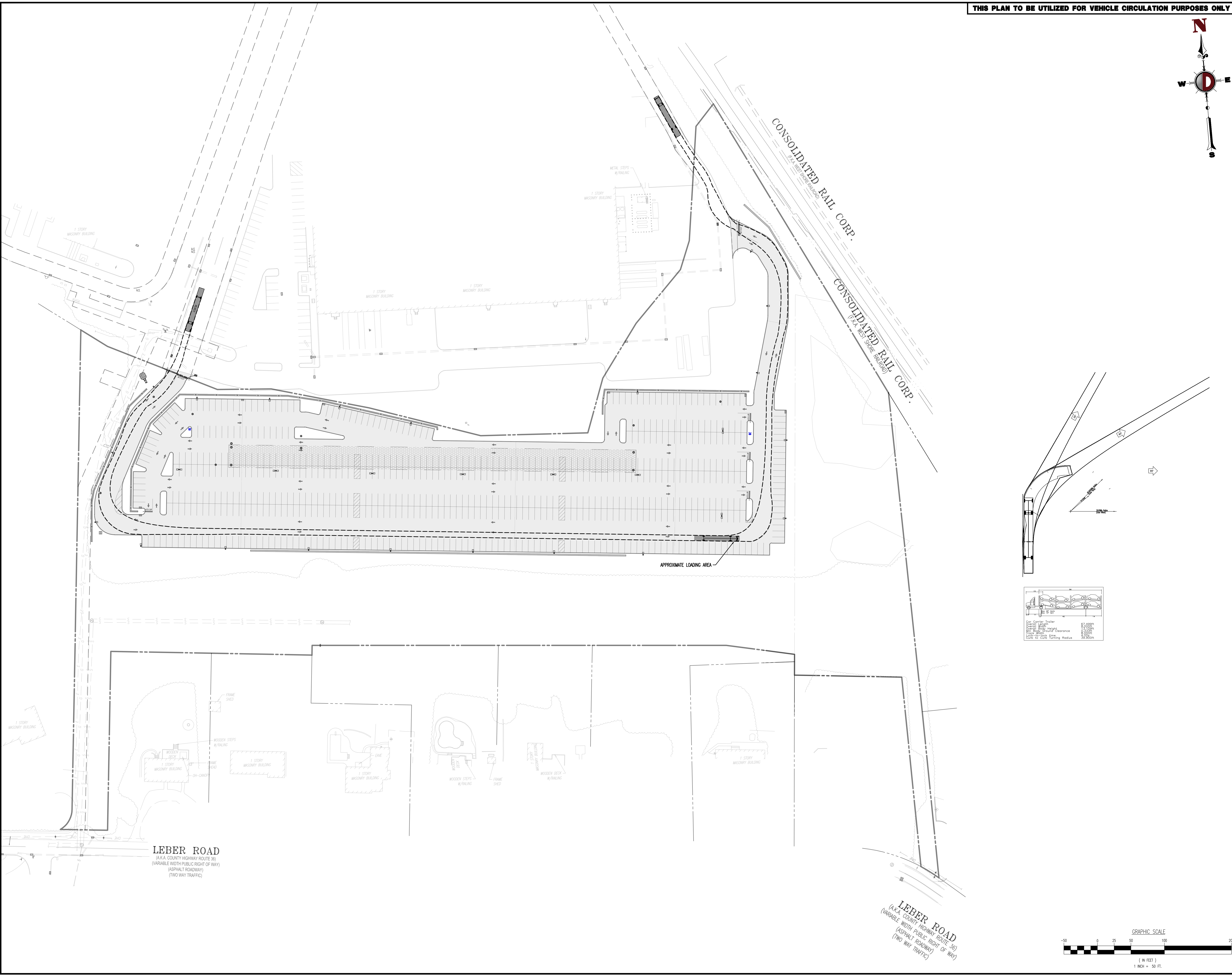
SCALE: (NOT TO SCALE)
DATE: 10/02/2023
PROJECT No: 1739-22-02023

SHEET No: **26** Rev. #:
of 28

THIS PLAN TO BE UTILIZED FOR VEHICLE CIRCULATION PURPOSES ONLY



REV.	DATE	COMMENTS
1	10/27/2023	REV. PER PLANNING BOARD SUBMISSION



THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: ONYX EQUITIES, LLC
Proposed Accessory Parking Lot
E4 AND E4D LEBER ROAD
TOWN OF DRANGETOWN, ROCKLAND COUNTY, NEW YORK

DATE: 10/27/2023

PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF EXCAVATES, LESSEES, OR ANY PERSON
PREPARING TO DIGURE THE STATE'S SURFACE NETWORK IN ANY STATE

811
Dig what's below
Call before you dig

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:
WWW.CALL811.COM

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

**50 Park Place
Suite 901
Newark, NJ 07102
T: 973.755.7200**

Offices conveniently located at:
LAKE COOK, NEW JERSEY • T. 757.41.6999
CHESTER, NEW JERSEY • T. 704.987.9229
MARTON, NEW JERSEY • T. 864.324.2222
NEWARK, NEW JERSEY • T. 973.755.7200
TOWNSHIP, NEW JERSEY • T. 732.947.8474
NEWTON, PENNSYLVANIA • T. 717.463.0274
PITTSBURGH, PENNSYLVANIA • T. 724.233.4488
BETHLEHEM, PENNSYLVANIA • T. 412.698.4420
ALLEN, TEXAS • T. 972.242.2100
HOUSTON, TEXAS • T. 281.789.4420
AUSTIN, TEXAS • T. 512.446.5446
DEER BEACH, TEXAS • T. 961.571.8100
ANNAPOLIS, MARYLAND • T. 410.567.5000

www.dynamiccc.com

ROBERT P. FREUD
PROFESSIONAL ENGINEER
NEW YORK LICENSE No. 88623



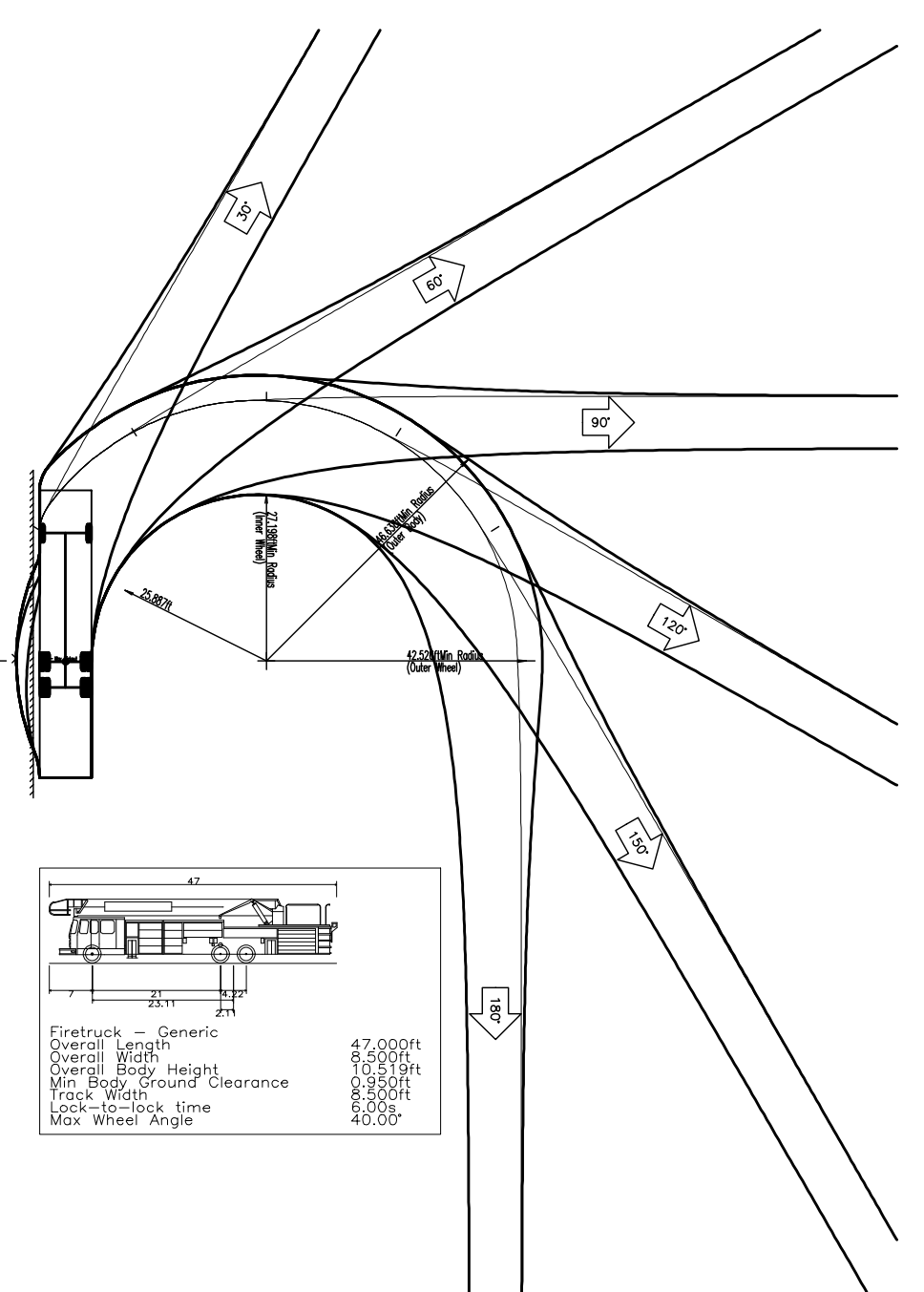
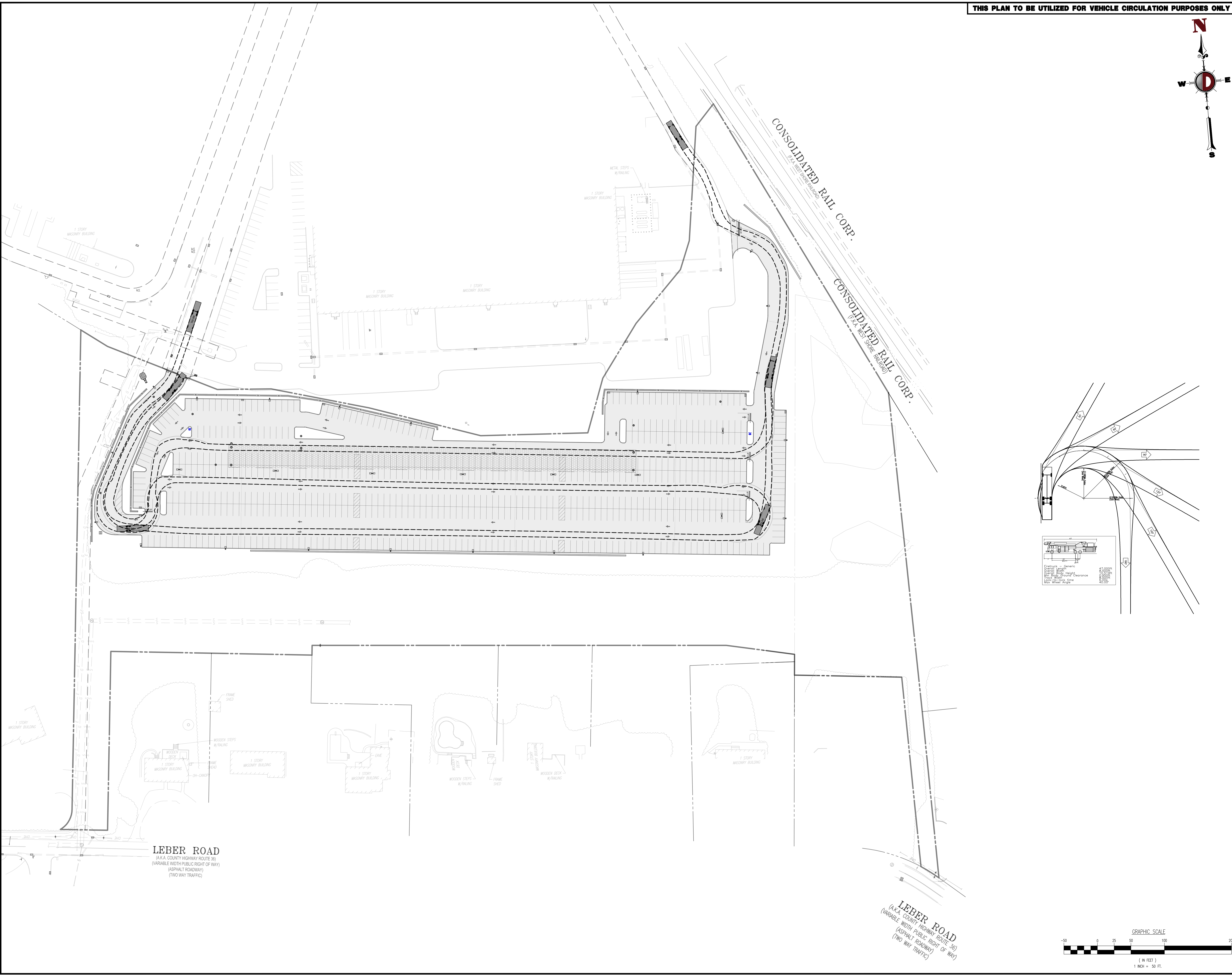
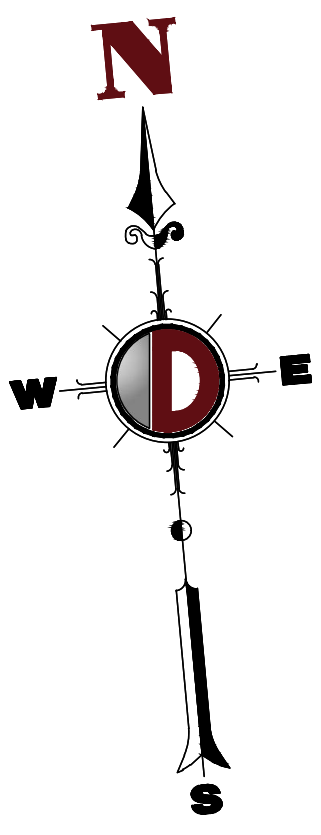
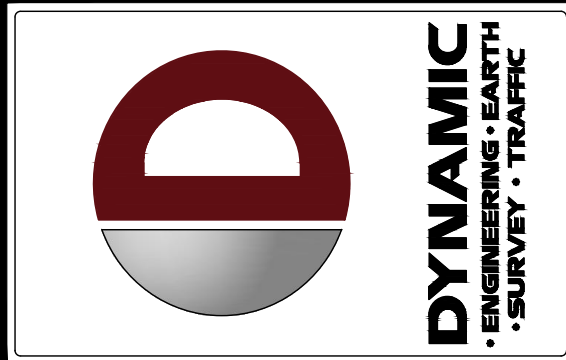
TITLE: **VEHICLE CIRCULATION PLAN (CAR CARRIER TRAILER)**

SCALE: (H) 1"=50'
(V) 1"=20'
DATE: 10/02/2023
PROJECT No: 1739-22-02023

SHEET No: **27** Rev. #:
OF 28

Plotfile: 02/14/24 - 413_PN_Pc_1sheet.dwg
File: P:\DEPC PROJECTS\1739 Onyx Equities, LLC\22-02023\Completion NY\Onyx\Site Plans\17392202023SV.dwg -> 27 VEHICLE CIRCULATION PLAN (CAR CARRIER TRAILER)

THIS PLAN TO BE UTILIZED FOR VEHICLE CIRCULATION PURPOSES ONLY



Overall	4'-0"
Overall	10'-0"
Overall	15'-0"
Overall	20'-0"
Overall	25'-0"
Overall	30'-0"
Overall	35'-0"
Overall	40'-0"
Overall	45'-0"
Overall	50'-0"
Overall	55'-0"
Overall	60'-0"
Overall	65'-0"
Overall	70'-0"
Overall	75'-0"
Overall	80'-0"
Overall	85'-0"
Overall	90'-0"
Overall	95'-0"
Overall	100'-0"

REV.	DATE	COMMENTS
1	10/02/2023	REV. PER PLANNING BOARD SUBMISSION

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

PROJECT: **ONYX EQUITIES, LLC**
Proposed Accessory Parking Lot
64 AND 64D LEBER ROAD
TOWN OF DRANGETOWN, ROCKLAND COUNTY, NEW YORK

PROTECT YOURSELF
ALL STATES REQUIRE NOTIFICATION OF ESCALATORS, ELEVATORS, OR ANY OTHER MECHANICAL EQUIPMENT TO BE INSTALLED IN ANY STATE

811
Call before you dig

FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING
GEOTECHNICAL • ENVIRONMENTAL
TRAFFIC • SURVEY • PLANNING & ZONING

50 Park Place
Suite 901
Newark, NJ 07102
T: 973.755.7200

Offices conveniently located at:

- LAKE COOK, NEW JERSEY • T. 753.41.6939
- CHESTER, NEW JERSEY • T. 704.987.9229
- MARLTON, NEW JERSEY • T. 856.334.2333
- NEWARK, NEW JERSEY • T. 973.755.7200
- ZION BORO, NEW JERSEY • T. 973.755.7200
- NEWTON, PENNSYLVANIA • T. 717.463.0276
- PHILADELPHIA, PENNSYLVANIA • T. 215.253.4888
- BETHESDA, PENNSYLVANIA • T. 412.698.4420
- ALLEN TOWN, PENNSYLVANIA • T. 412.698.4420
- HOUSTON TEXAS • T. 281.789.4420
- ASHTON, TEXAS • T. 281.789.4420
- DEERBACH, TEXAS • T. 940.551.8100
- ANNAPOLIS, MARYLAND • T. 410.562.5000

www.dynamiccc.com

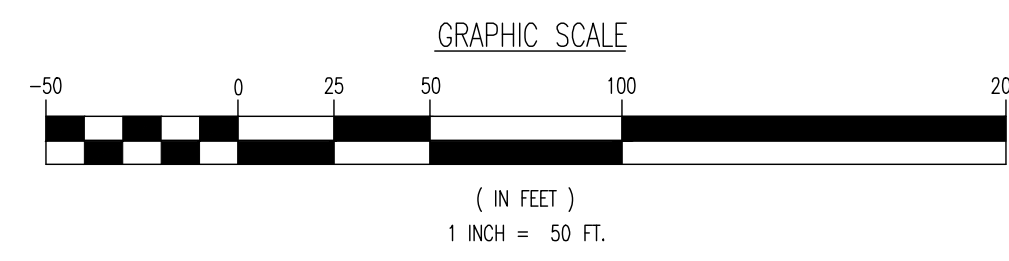
ROBERT P. FREUD
PROFESSIONAL ENGINEER
NEW YORK LICENSE No. 88623



TITLE: **VEHICLE CIRCULATION PLAN (FIRE)**

SCALE: (S) 1"=50'
(O) 1"=100'
PROJECT No: 1739-22-02023

SHEET No: **28** Rev. #:



Plotfile: 02/14/24 - 414_PN_Pc sheets
File: P:\DEPC PROJECTS\1739 Onyx Equities, LLC\22-02023\Site Plans\17392202023SV.dwg, ----- 28 VEHICLE CIRCULATION PLAN (FIRE)

Ent	Name	Acct No	Invoice	Date	P.O. Num	Reference	Amount	Discount	Net
HC64LE	PG-OE 64 Leber Rd	1065-3100	64L-ZBA.2	3/21/2024		3/24 ZBA App. Fees	100.00	0.00	100.00

REMITTANCE ADVICE

DATE	CHECK NO.	AMOUNT

PAY TO THE ORDER OF

MP

REMITTANCE ADVICE

Payor: Hudson Crossing JV LLC	Date: 22/2024 12:00:00 A	Check No.: 001093	Check Amount: 100.00
Payee: TOWN OF ORANGETOWN			

Retain this statement for your records

Hudson Crossing JV LLC
c/o Onyx Management Group, LLC
900 Route 9 North, Suite 400
Woodbridge, NJ 07095

Webster Bank
 1412 Broadway, 7th Floor
 New York, NY 10018

50-7044
 2219

DATE	CHECK NO.	AMOUNT
03/22/2024	001093	100.00

One Hundred AND 00/100 Dollars

PAY TO THE ORDER OF

TOWN OF ORANGETOWN
20 GREENBUSH ROAD
ORANGETOWN, NY 10962

[Signature]

MP

⑈001093⑈ ⑆221970443⑆ 040⑈



Department of Environmental Management and Engineering Town of Orangetown

127 Route 303 Orangeburg New York 10962
Tel: (845) 359-6502 • Fax: (845) 359-6951

May 17, 2024


Dynamic Engineering Consultants, PC
50 Park Place
Suite 901
Newark, NJ 07102
Attn: Zachary A. Kamm, P.E.

RE: Onyx Equities, LLC – Accessory Parking lot Plan –
Water Course Diversion Permit Request

Dear Mr. Kamm;

This Department has reviewed the Onyx Equities, LLC – Accessory Parking lot Plan –
Water Course Diversion Permit Request (last dated 5/09/24) in accordance with our local
laws and finds it to be acceptable.

If you have any questions, please feel free to contact Bruce Peters of this office.


Eamon Reilly, P.E.
Commissioner - DEME

cc: T. Kenny, Supervisor
J. Bottari, Town Councilman
B. Donohue, Town Councilman
D. Sullivan, Town Councilman
P. Valentine, Town Councilman
R. Pakola, Deputy Town Attorney
R. Sfraga, Town Clerk
Planning Board
Site Plan File
MS4 file

Donald Brenner, P.E., LL.B.

*Attorney-At-Law • Professional Engineer
4 Independence Avenue, Tappan, New York 10983*

Phone 845-359-2210

Fax 845-359-8070

April 2, 2024

Supervisor Teresa Kenny, Esq.
Members of the Town Board
Town of Orangetown
26 West Orangeburg Road
Orangeburg, New York 10962

Re: Petition for Zone Change from
MFR to RG for a portion of
283 N Middletown Road, Pearl River, New York 10965
Section 68.12 Block 3 Lot 24
24-2925

TOWN OF ORANGETOWN
2024 APR -2 P 3:33
TOWN CLERK'S OFFICE

Dear Supervisor Kenny and Members of the Town Board:

My client 283 NMR, LLC. Is attempting to develop two residential lots at the rear of 283 N. Middletown Road, Pearl River.

The Town in 2008 changed the Zone on the property for the benefit of the prior owner. However, the change required an additional land area of 0.156 sq. ft. to permit the new owner to obtain the 2 lots.

Accordingly, I enclose (1) a Petition for the Zone Change and (2) a Entity Disclosure Form.

The client respectfully requests that this matter be placed on the next Town Board Agenda for final consideration.

If you require additional information feel free to call me.

Very truly yours,



Donald Brenner

DB/hi

Enclosures

cc: Town Attorney
Town Clerk
283 NMR, LLC

TOWN BOARD: TOWN OF ORANGETOWN
COUNTY OF ROCKLAND
STATE OF NEW YORK

TOWN OF ORANGETOWN
2021 APR -2 P 3:38
TOWN CLERK'S OFFICE

-----X
IN THE MATTER OF THE
PETITION OF
283 NMR, LLC
AMENDMENT TO THE ZONING ORDINANCE
OF THE TOWN OF ORANGETOWN FROM AN
"MFR" DISTRICT TO AN "RG " DISTRICT
-----X

PETITION

TO THE TOWN BOARD OF
THE TOWN OF ORANGETOWN

The undersigned Petitioner respectfully petitions your Honorable Board as follows:

FIRST:

283 NMR, LLC, is the owner of property located in the hamlet of Pearl River,
more particularly bounded and described in Addendum A, annexed hereto.

SECOND:

The property described in Addendum A is known and designated on the Tax Map
of the Town of Orangetown as:

<u>Section</u>	<u>Block</u>	<u>Lot</u>
68.12	3	24

THIRD:

Annexed hereto and marked Exhibit A is a copy of the Map of the subject of the
Petition; Exhibit B is a copy of the Land Area and Zoning Map; and Exhibit C is a copy of the

Vicinity Map of the subject of the Petition and of the surrounding parcels.

FOURTH:

Annexed hereto and marked Addendum B is the portion of the property which is the subject of this Petition.

FIFTH:

Annexed hereto and marked Addendum C is a list of names and addresses of all owners owning property within 500 feet of the property which is the subject of this Petition as the same appears on the tax roll of the Town of Orangetown.

SIXTH:

The property which is the subject of this Petition comprises approximately 0.156 acres, which is a portion of the full tax lot which comprises 1.83 acres. However, in 2008 the Town Board granted a zone change of 0.54 acres from MFR to RG. The zone change was granted so that the prior owner could build their own house on the property which was adjacent to their Business. The new owner does not want to live on the property. Therefore, this slight difference would enable them to use the property for two residential lots.

SEVENTH:

Said property is presently zoned "MFR".

EIGHTH:

Pursuant to the Town Law of the State of New York, and the Zoning Ordinance of the Town of Orangetown, Petitioner hereby requested that the Zoning Ordinance be amended to place a portion of the aforesaid real property, as described in and shown in Exhibit C, in an RG Zoning District, which would allow the development of two residential houses within the zone.

NINTH:

That said proposed change would be compatible with the present and proposed use of the adjoining and neighboring properties to the west and south.

TENTH:

That said proposed use would be in the public interest of the residents of the Town of Orangetown in that:

(A) the development of the property under an RG Zone would establish a new tax ratable;

(B) the development of the property under an RG Zone would fill a need for a residents in the Town of Orangetown;

(C) the development of the property under an RG Zone would be consistent with the general character of the immediate area surrounding the subject premises, which is principally residential and zoned RG. In fact, a residency adjacent to the Town's street would be more desirable than the development under the existing zone;

(D) the development of the parcel under an RG Zone would permit the developer to install public water and sewers to this location and accommodate the Town in its Cherry Brook Drainage Project; and

(E) the granting of such relief as is sought in this Petition will be the most appropriate use of the subject parcel, will promote the general health and welfare of the community, will preserve property values and will be beneficial to the owner.

ELEVENTH:

That the parcel which is the subject of this Petition can best be developed under

the proposed RG Zone.

TWELFTH:

That the subject premises are not within 500 feet of any of the following:

- (1) any City, Town, or Village boundary line;
- (2) any County or State park or recreation area;
- (3) any right-of-way of any State park or recreation area, expressway, or other limited access highway;
- (4) any County or State land on which a public building or institution is situated.

THIRTEENTH:

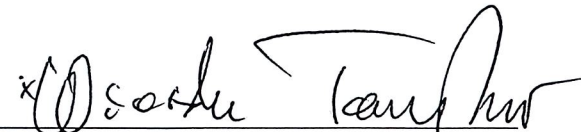
That the overall project is within 500 feet of a County Road, North Middletown Road, but the parcel on which the Petitioner is seeking re-zoning is not within 500 feet of the County Road.

WHEREFORE, Petitioner respectfully prays that your Honorable Board take such steps and such action as may be necessary to grant the relief sought in this Petition.

Dated: April 1, 2024

Respectfully submitted,

283 NMR, LLC

BY: 
WIESLAW TARNOWSKI

BY: 
AGNIESZKA TARNOWSKI

EXHIBIT A

EXHIBIT B

EXHIBIT B

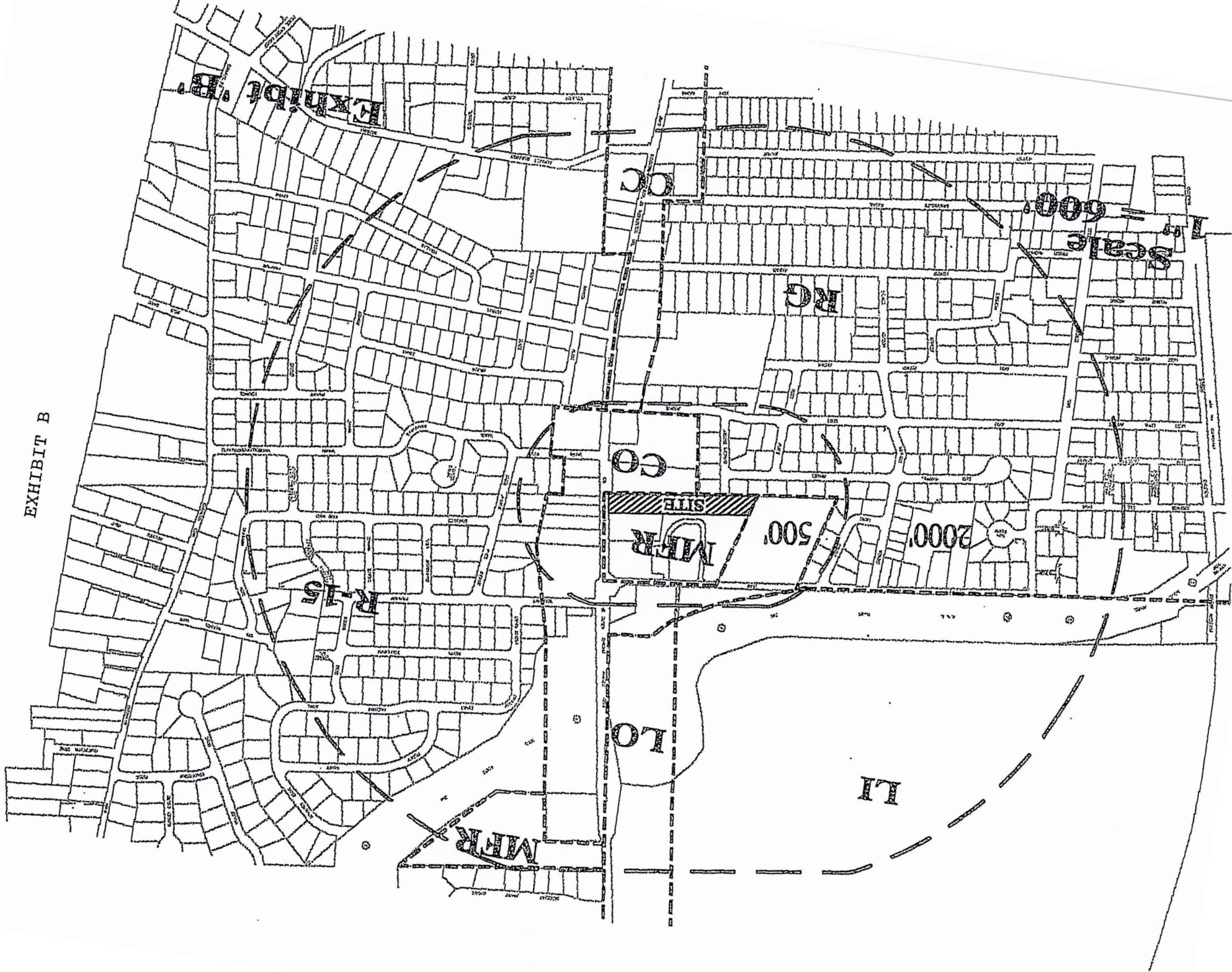


EXHIBIT C



SITE

Exhibit 'C'
1" = 500'

ADDENDUM A

ADDENDUM A

All that certain plot, piece or parcel of land with improvement erected thereon, situate lying and being in Pearl River, Town of Orangetown, Rockland County, New York, being more particularly bounded and described as follows:

BEGINNING at a point lying 823.53 feet west of Middletown Road, said point being the south westerly corner of lands now or formerly Bounadonna as described in Instrument No. 2000 - 19117 filed in the Rockland County clerk's office, and the southwest corner of the parcel about to be described and running thence

North 29 degrees 19 minutes 00 seconds East 110.33 feet

THENCE South 85 degrees 47 minutes 00 seconds East 774.28 feet

THENCE South 02 degrees 49 minutes 00 seconds West 99.94 feet

THENCE North 85 degrees 47 minutes 00 seconds West 823.53 feet to the **POINT OR PLACE OF BEGINNING.**

Together with and subject to covenants, easements, and restrictions of record.

Said property contains 1.83 Acres more or less.

ADDENDUM B

ADDENDUM B

All that certain plot, piece or parcel of land with improvement erected thereon, situate lying and being in Pearl River, Town of Orangetown, Rockland County, New York, being more particularly bounded and described as follows:

BEGINNING at a point lying 823.53 feet west of Middletown Road, said point being the south westerly corner of lands now or formerly Bounadonna as descibed in Instrument No. 2000 - 19117 filed in the Rockland County clerk's office, and the southwest corner of the parcel about to be described and running thence

North 29 degrees 19 minutes 00 seconds East 110.33 feet

THENCE South 85 degrees 47 minutes 00 seconds East 211.81 feet

THENCE South 04 degrees 13 minutes 00 seconds West 99.91 feet

THENCE North 85 degrees 47 minutes 00 seconds West 258.61 feet to the **POINT OR PLACE OF BEGINNING.**

Together with and subject to covenants, easements, and restrictions of record.

Said property contains 0.5395 Acres more or less.

ADDENDUM C

WIS	PRINT KEY	NAME	ADDRESS
92489	68.08-1-2	American Cyanamid Co Pfizer Inc - Indirect Tax	100 Route 206 North,Peapack, NJ 07977
92489	68.08-1-3	American Cyanamid Co Pfizer Inc - Indirect Tax	100 Route 206 North,Peapack, NJ 07977
32489	68.08-1-4	J & M North Corp	327 N Middletown Rd,Pearl River, NY 10965
32489	68.12-3-17	Kevin Emsworth	117 E Carroll St,Pearl River, NY 10965
32489	68.12-3-18	Mary Ellen O'Callaghan	119 E Carroll St,Pearl River, NY 10965
32489	68.12-3-19	Thomas N Buzzell Jr	4 Coyen Pl,Palm Coast, FL 32137
32489	68.12-3-20	Teresa Bednarski	133 E Carroll St,Pearl River, NY 10965
32489	68.12-3-21	Town Of Orangetown	26 Orangeburg Rd,Orangeburg, NY 10962
32489	68.12-3-22./152	James Coen	152 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./154	Mary M Princi	154 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./156	Patricia Van Zandt	156 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./158	Kathleen Keena	158 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./160	Thomas P Lenihan	160 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./162	Robert Simon	162 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./164	Diane Dunne	164 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./166	Rute D Almeida	166 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./252	Raphial Fogarty	252 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./254	Peter McAleer	254 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./256	John Bradley	256 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./258	Ann N Finnegan	258 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./260	John T Dillon	260 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./262	Doreen Feller	262 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./264	Ruth Puca	264 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./266	Cheryl L Hoyt	266 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./352	Patrick Casey	352 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./354	Lucito Jao	354 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./356	Camille Paccione	356 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./358	Ann P Mc Garry	358 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./360	Anne Maria Pettus	360 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./362	Thomas Montgomery	362 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./364	Antonina Poggioreale	364 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./366	Kenneth Mulderig	366 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./452	Ann Gaudio	452 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./454	Mary Farrell	454 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./456	Maria A Scarano	456 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./458	James Dinan	458 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./460	John P Keegan	2 Woodway Dr,Pearl River, NY 10965
32489	68.12-3-22./462	Philip S Benigno	462 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./464	Daniel Carlin	464 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./466	Michael Comerford	466 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./552	Janet A Canale	552 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./554	Francie F Sales-Oliveros	554 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./556	John J Carney	556 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./558	Camille Iannazzo	558 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./560	Athanasios Maniopoulos	560 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./562	Christina Mueller	562 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./564	Lillian Murphy	564 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./566	Maria L Portoro	566 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./652	Eileen T Mc Hale	652 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./654	Matthew Meck	654 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./656	James F Sullivan	656 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./658	Brendan M Dowling	658 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./660	Arlene Tauken c/o Steven Lanoco	9221 Fairoak Dr,Sherrills Ford, NC 28673
32489	68.12-3-22./662	Regina Blake	662 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./664	Amy L Urquhart	664 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./666	Jan Los	668 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./752	Christine Mancuso	752 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./754	John Graviano	754 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./756	Patricia Finucane	756 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./758	Frances M Passamonte	758 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./760	Katie J Carinci	760 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./762	Ying I Eng	762 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./764	Thomas G Coffey	764 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./766	Eulogia Rodriguez	766 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./852	Anthony Ramunno	852 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./854	Lynn Marsico	854 E Crooked Hill Rd,Pearl River, NY 10965
32489	68.12-3-22./856	Nereida Hernandez	856 E Crooked Hill Rd,Pearl River, NY 10965

SWIS	PRINT KEY	NAME	ADDRESS
192489	68.12-3-22./858	Danny Chin	858 E Crooked Hill Rd,Pearl River, NY 10965
192489	68.12-3-22./860	Mary E Finn	860 E Crooked Hill Rd,Pearl River, NY 10965
192489	68.12-3-22./862	Andrea Fusco	862 E Crooked Hill Rd,Pearl River, NY 10965
192489	68.12-3-22./864	Andrea O'Meara	864 E Crooked Hill Rd,Pearl River, NY 10965
192489	68.12-3-22./866	Dawn Pike	866 E Crooked Hill Rd,Pearl River, NY 10965
192489	68.12-3-23	G & M South Pearl Corp	171 W Park Ave,Pearl River, NY 10965
192489	68.12-3-24	283 NMR LLC	P.O. Box 662,Orangeburg, NY 10962
92489	68.12-3-25	275 N Middletown LLC	9 Periman Dr Ste 215, Spring Valley, NY 10977
92489	68.12-3-26	247-249 N Middletown Rd LLC	169 Route 303,Valley Cottage, NY 10989
92489	68.12-3-27	247-249 N Middletown Rd LLC	169 Route 303,Valley Cottage, NY 10989
92489	68.12-3-28	Kieran Creighton	20 Charles St,Pearl River, NY 10965
92489	68.12-3-29	Kaith Kang	16 Charles St,Pearl River, NY 10965
92489	68.12-3-30	Michael Treacy	12 Charles St,Pearl River, NY 10965
92489	68.12-3-31	John Considine	8 Charles St,Pearl River, NY 10965
92489	68.12-3-32	Christina Hennessy	4 Charles St,Pearl River, NY 10965
12489	68.12-3-33	Lenora Dolan	7 Charles St,Pearl River, NY 10965
12489	68.12-3-34	Basil & Lorraine Siragusa	11 Charles St,Pearl River, NY 10965
12489	68.12-3-35	Juan Peralta	130 E Carroll St,Pearl River, NY 10965
12489	68.12-3-36	Denis M Collins	126 E Carroll St,Pearl River, NY 10965
12489	68.12-3-37	Kelly Fernandez	118 E Carroll St,Pearl River, NY 10965
12489	68.12-3-51	Sharyn De Gregory	123 E Lewis Av,Pearl River, NY 10965
12489	68.12-3-52	Christopher Nubla	129 E Lewis Ave,Pearl River, NY 10965
12489	68.12-4-9	David Allen	132 E Lewis Ave,Pearl River, NY 10965
12489	68.12-4-10	Andrew Duggan	140 E Lewis Ave,Pearl River, NY 10965
12489	68.12-4-11	Daniel E Rogoski	146 E Lewis Ave,Pearl River, NY 10965
12489	68.12-4-12	Margaret Mulligan	154 E Lewis Av,Pearl River, NY 10965
2489	68.12-4-13	Avenir Syla	162 E Lewis Ave,Pearl River, NY 10965
2489	68.12-4-14	Nicholas Spadaccini	168 E Lewis Av,Pearl River, NY 10965
2489	68.12-4-15	Bruce S Fox	180 E Lewis Ave,Pearl River, NY 10965
2489	69.09-1-1	Michael Wright	P.O. Box 349,Ellenville, NY 12428
2489	69.09-1-38	Neil Greskiewicz	268 N Middletown Rd,Pearl River, NY 10965
2489	69.09-1-39	Messer & Susslin & Others	274 No Middletown Rd,Pearl River, NY 10965
2489	69.09-1-40	Martin Kuhn	56 Rolfe Pl,Pearl River, NY 10965
2489	69.09-1-41	Optimal Care of Rockland LLC	103 Highview Rd,Suffern, NY 10901
2489	69.09-1-42	Michael R Strazza	286 No Middletown Rd,Pearl River, NY 10965



410 Rt. 22
 Brewster, NY 10509
 914 232 1640
 914 232 1802 - Fax

CHANGE ORDER

Architect/Owner:

Aric Gorton
 Superintendent of Parks, Recreation &
 Town of Orangetown

CO # 1
 DATE 5/14/2024

PROJECT:

Franklin Street Park Basketball Court
 95 South Franklin Street
 West Nyack, NY

QTY	UNIT	DESCRIPTION	PRICE	AMOUNT
1	LF	Repair approx 30LF of Existing Damaged concrete curb at edge of court adjacent to tennis court	\$3,500.00	\$3,500
2	LF	Furnish and Install 30 LF of concrete Curb which will replace existing eroding railroad ties at entrance of court. Curb to match dimensions of existing concrete curb at	\$5,000.00	\$5,000.00

Note: This Change Order becomes part of and in conformance with the existing contract.

WE AGREE hereby to make the change(s) specified above at this price \$ 8,500.00
 Previous Contract Amount \$ 160,000.00
 Revised Contract Total \$ **168,500.00**

Eric Pugliese, President 5/14/2024
 Your Name, Title Date

Accepted - The above prices and specifications of this change order are satisfactory and are hereby accepted. All work to be performed under same terms and conditions as specified in original contract unless otherwise stipulated.

Signature _____
 Date of Acceptance _____

TOWN OF ORANGETOWN
SPECIAL USE PERMIT FOR USE OF TOWN PROPERTY/ITEMS
PERMIT # 24-SP-016

RECEIVED

EVENT NAME: Palisades Memorial Day Ceremony
John M. Perry Post No. 1044 of
The American Legion

APR 30 2024

APPLICANT NAME: David B. Mart, Finance Officer

TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

ADDRESS: PO Box 311, Sparkill NY 10976

PHONE #: 845-359-6481 (H) CELL # 845-709-1631 FAX # None

CHECK ONE: PARADE _____ RACE/RUN/WALK _____ OTHER Memorial Day Ceremony

RECEIVED

The above event will be held on Mon May 27th from 8:45 to 9:45 RAIN DATE: None

Location of event: Closter Road & Route 9W, Palisades NY
John M. Perry Post No. 1044 of The American

MAY 08 2024

Sponsored by: Legion Telephone #: 845-365-4586

TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

Address: 691 Rt 340 (PO Box 311 = mailing address), Sparkill NY 10976

Estimated # of persons participating in event: 50 to 75 vehicles 1 or 2 fire trucks

Person (s) responsible for restoring property to its original condition: Name-Address-Phone #:
David B. Mart, 81 McKenna St., Blauvelt NY 10913, 845-709-1631 (C)

Signature of Applicant: David B. Mart Date: 04/30/2024

Digitally signed by David B. Mart
DN: cn=US, ou=John M. Perry Post No. 1044 of American
Legion, c=David B. Mart, email=dmart2017@gmail.com
Reason: I am digitally signing this document
Location: Sparkill NY
Date: 2024.04.30 09:24:02
Frost PhantomPDF Version: 9.7.5

GENERAL INFORMATION REQUIRED: (HIGHWAY/PARKS/POLICE)
Hold Harmless Agreement Rec'd on: 5/1/24 4/30/24
Letter of Request to Town Board requesting aid for event - Received On: 4/30/24

FOR HIGHWAY DEPARTMENT USE ONLY:

Road Closure Permit: Y / Received On: 4/30/24

Rockland County Highway Dept. Permit: Y / Received On: 4/30/24

NYS DOT Permit: Y / Received On: 4/30/24

Route/Map/Parking Plan: Received On: 4/30/24

RFS #: 60934 BARRICADES: CONES: TRASH BARRELS: OTHER:

APPROVED: [Signature] DATE: MO 5/1/24
Superintendent of Highways

FOR PARKS & RECREATION DEPARTMENT USE ONLY:

Show Mobile: Y / Application Required: _____ Fee Paid - Amount/Check # _____

Port-o-Sans: Other: _____

APPROVED: [Signature] DATE: 5/3/24
Superintendent of Parks & Recreation

FOR POLICE DEPARTMENT USE ONLY:

Police Detail: Y / Items: _____

APPROVED: [Signature] DATE: 5/4/2024
Chief of Police

** Please return to the Highway Department to be placed on the Town Board Workshop **

Workshop Agenda Date: 5/21/24 Approved On: _____ TBR #: _____

RECEIVED
MAY 6 2024
Orangetown Police Department



John M. Perry Post No. 1044
 of The American Legion
 PO Box 311
 Sparkill NY 10976



RECEIVED

Highway Department
 Town of Orangetown
 119 Route 303
 Orangeburg, NY 10962

APR 30 2024
 TOWN OF ORANGETOWN
 HIGHWAY DEPARTMENT

April 30, 2024

Subject: Submittal of Memorial Day Road Closure and Special Use Permit Applications

Attachments:

1. Orangetown Road Closing Permit Application, for Sparkill Parade (1pg)
2. Orangetown Special Use Permit, for Palisades Ceremony (1pg)
3. Orangetown Special Use Permit, for Sparkill Parade & Ceremony (1pg)
4. Memorial Day Barricade Locations, for Palisades & Sparkill (1pg)
5. 2024 Certificate of Insurance, w/ Orangetown as additionally insured (1pg)
6. Rockland County Highway Department Road Closure Permit, approved 4/28/24 (5pgs)

Sir / Madam:

The John M. Perry Post No. 1044 of The American Legion will once again be holding our annual Memorial Day Ceremonies and Parade. We conduct a Memorial Day Ceremony in Palisades NY that starts at 9am, and a Memorial Day Parade followed by Ceremony in Sparkill that starts at 11:30am. Both of these are being held on Monday, May 27th, 2024.

Attached are the permit applications for these two events, along with a certificate of insurance and details regarding the parade route and barricades needed.

Besides approval of the applications, it is requested the Orangetown Town Board authorize assistance from the Highway, Parks and Police Departments to facilitate these two events, including road closures.

Please contact me at 845-709-1631 (cell) if you have any questions or concerns.

Sincerely,

David B. Mart

Adjutant and Finance Officer

John M. Perry Post 1044 of The American Legion

personal cell = 845-709-1631

post email = johnmperry1044@gmail.com



David Mart
 Past Post Commander

davidmart2017@gmail.com
 Post: 845-365-4586
 Home: 845-359-6481
 Cell: 845-709-1631

P.O. Box 311
 Sparkill, NY 10976

John M. Perry Post #1044
 691 Rt. 340, Sparkill, NY 10976



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
04/02/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Takach & Associates, Inc. 112 Terry Road Smithtown NY 11787	CONTACT NAME: Takach & Associates, Inc. PHONE (A/C, No., Ext.): (631) 366-2774 FAX (A/C, No.): (631) 366-2739 E-MAIL ADDRESS: csr4@takachinsurance.com														
INSURED JOHN M. PERRY POST 1044 DBA THE AMERICAN LEGION POST #1044 & AUXILIARY OF POST 1044 PO BOX 311 SPARKILL NY 10976	<table border="1"> <tr> <th>INSURER(S) AFFORDING COVERAGE</th> <th>NAIC #</th> </tr> <tr> <td>INSURER A :</td> <td></td> </tr> <tr> <td>INSURER B :</td> <td></td> </tr> <tr> <td>INSURER C :</td> <td></td> </tr> <tr> <td>INSURER D :</td> <td></td> </tr> <tr> <td>INSURER E : US Liability Insurance Company</td> <td>25895</td> </tr> <tr> <td>INSURER F :</td> <td></td> </tr> </table>	INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A :		INSURER B :		INSURER C :		INSURER D :		INSURER E : US Liability Insurance Company	25895	INSURER F :	
INSURER(S) AFFORDING COVERAGE	NAIC #														
INSURER A :															
INSURER B :															
INSURER C :															
INSURER D :															
INSURER E : US Liability Insurance Company	25895														
INSURER F :															

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:					EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COM/OP AGG \$ \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY					COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$					EACH OCCURRENCE \$ AGGREGATE \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N <input type="checkbox"/>	N/A			PER STATUTE OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
E	SPECIAL EVENTS LIABILITY	X	SE 1108943	05/27/2024	05/29/2024	Limit: \$1,000,000 Aggr:\$2,000,000 RECEIVED

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Special Event Date 05/27/2024 to 05/29/2024.

Town of Orangetown is included as additional insured to the fullest extent permitted by law when required by a written executed contract subject to the policy terms and conditions.

APR 30 2024
TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

CERTIFICATE HOLDER Town of Orangetown 26 Orangetown Rd. Orangetown, NY 10962	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE: <i>Dana Takach</i> <SR>
--	---

DEFENSE, INDEMNIFICATION AND HOLD HARMLESS AGREEMENT

JOHN M. PERRY POST NO. 1044 OF THE AMERICAN LEGION, DEPARTMENT OF NEW YORK, INC., with an address of 691 NY-340, SPARKILL NY 10976, in consideration and as a condition of a SPECIAL USE permit ("Permit Holder"), hereby agrees, covenants, promises, represents and pledges to defend, indemnify and save the Town of Orangetown ("Town"), Town of Orangetown Highway Department ("Highway") and Town employees harmless from and against any and all liability or responsibility of any type whatsoever, including, but not limited to, any and all actions, causes of action, suits, proceedings, judgments, damages, claims, and demands, in law or in equity, including an action, suit, proceeding or claim initiated by the Permit Holder (hereinafter referred to as "claims") that arise as part of or as a result or consequence of the activities, events or other activities authorized to be conducted by the Permit Holder ; and

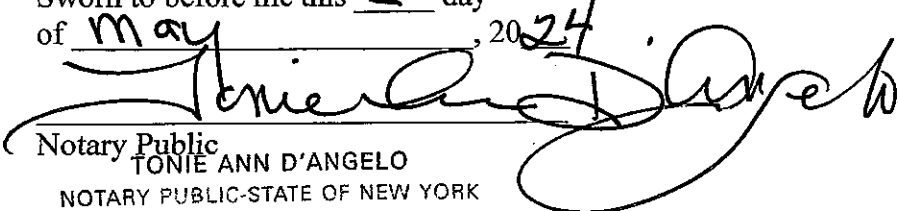
the Permit Holder further agrees, covenants, promises, represents and pledges to fully reimburse, recompense, indemnify and/or compensate the Town, Highway and Town employees for all costs, expenses and fees, including reasonable attorney's fees, relating to, arising out of, or occurring in connection with any such claims; and

all of the foregoing as relating to, arising out of, or occurring in connection with the following [DESCRIBE PROJECT OR EVENT]: MAY 27TH 2024 MEMORIAL DAY PARADE & CEREMONIES.

Permit Holder agrees to provide certificate(s) of insurance in such amounts as the Town shall deem appropriate, which insurance shall name the Town as an additional insured and which insurance shall cover the requirements to defend, indemnify and hold the Town harmless as set forth herein.

(Entity Name: JOHN M. PERRY POST NO. 1044 OF THE AMERICAN LEGION, DEPT. OF NY, INC.)

By: DBM 05/01/2024
DAVID B. MART, FINANCE OFFICER

Sworn to before me this 1st day
of May, 2024.


Notary Public
TONIE ANN D'ANGELO
NOTARY PUBLIC-STATE OF NEW YORK
No. 01DA6327996
Qualified in Rockland County
My Commission Expires 07-27-2027



APR 30 2024

TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

ROCKLAND COUNTY HIGHWAY DEPARTMENT

APPLICATION FOR PERMIT TO USE/CLOSE A COUNTY ROAD
UNDER SECTION 104 OF THE HIGHWAY LAW

THIS IS A REQUEST FOR USE / CLOSE A COUNTY ROAD (check that apply)

Name of Event: Palisades Memorial Day Ceremony

Date (s): Mon 5/27/24 Time (s): 8:30am to 10am No. of Participants: 50 to 100

Type of Event (check all that apply):

Filming Parade or Procession Assemblage Festival Other _____

<u>Location</u> (Specify Highways by Street Name and/or Route Number)	<u>Municipality</u> (Towns, Villages)
Closter Road (County Rt 4), between Oak Tree Road and Route 9W	Palisades, NY

Applicant Information:

John M. Perry Post No. 1044 of The American Legion
Applicant (individual, organization, group)

PO Box 311
Mailing Address

Sparkill, NY, 10976
City, State, Zip Code

johnmperry1044@gmail.com
Email Address

David B. Mart
Adjutant, Finance Officer & Past Post Commander
Authorized Representative (if different from Applicant)

845-359-6481 (home)
Telephone Number (including area code)

845-709-1631
Cell Phone Number (including area code)

davidmart2017@gmail.com
Email Address (if different from Applicant)

RECEIVED

APR 30 2024

ROCKLAND COUNTY HIGHWAY DEPARTMENT

APPLICATION FOR PERMIT TO USE/CLOSE A COUNTY ROAD UNDER SECTION 104 OF THE HIGHWAY LAW

TOWN OF ORANGETOWN HIGHWAY DEPARTMENT

The following supporting information shall be submitted at the time of application:

- 1. **Event Map, Event Brochure, or/and Event Application Form** (Whichever available/applicable)
- 2. **Operation and Safety Plan** (the applicant assumes all responsibility for the set-up, conduct and break-down of the event)
 - Required Traffic Control Devices (e.g. temporary signs, cones, barricades, pavement markings, etc.) and Event Personnel (e.g. police officers, volunteers) for Event
Temporary Signs, Cones, Pavement Markings: none required

Barricades: 1 at Closter Road / Oak Tree Rd. and 2 at Closter Road / Rt 9W

Event Personnel: Auxiliary Police Officers are provided by Town of Orangetown Provided by Orangetown

ACCEPTED

- Detours (provide map of detour, show detour sign/police locations, etc.)
See attached Event Map. No detour signs required due to short duration of event.
- Pre-Event Public Notification (describe type of notification (e.g. mailings, brochure, press release) being provided to the public)
None Required - short duration event that occurs every year, known to local residents.
This portion of Closter Road does not experience much traffic.
- Coordination (describe coordination with local police/municipalities/emergency services/other entities)
Permit application is submitted & coordinated with Town of Orangetown.
Road closure / event details are provided to Orangetown Police Department.
Local fire department personnel are aware of and participate in the event.
- Emergency Services (describe how emergency services will be provided during the event for event participants and spectators)
Event gathering is very small, no unique emergency services need to be arranged.
Fire Department personnel are p/o event if needed for assistance.
Orangetown Auxiliary Police can support if an emergency arises.
- Spectator Control (indicate any special measures are being taken to control spectators)
No spectator control measures are required, only ~50 spectators plus Legion & FD participants.
- Event Support Vehicles (describe any vehicles used in the event)
Typically two fire trucks participate, and block off access to Closter Road from Rt. 9W.

RECEIVED

APR 30 2024

ROCKLAND COUNTY HIGHWAY DEPARTMENT
APPLICATION FOR PERMIT TO USE/CLOSE A COUNTY ROAD
UNDER SECTION 104 OF THE HIGHWAY LAW

TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

- 3. Insurance Certificates (must be in Applicant's name)
- 4. Application Fee (Please make check payable to Rockland County Commissioner of Finance)
 - Full Day - \$500.00
 - Half Day - \$250.00 No. of Days _____ Total Amount \$ N/A

The following information shall be submitted prior to the event date (except filming permit application):

- 1. Municipal Approvals (The applicant shall provide proof of approval from each municipality – Town, Village – through which the event passes indicating that the Municipality has no objection to the event taking place. This proof of approvals may be in the form of a letter, permit, resolution, email, or other.) Letter request plus Road Closure permit and Special Use permit (x2) applications will be submitted to the Town of Orangetown Highway Department.

Acknowledgement: On behalf of the Applicant, I hereby request a road use/close permit, and do acknowledge and agree to the responsibilities of applicant and obligations set forth in this permit and warrant compliance therewith. The attached documents are also made a part hereof and attached hereto.

David B. Mart

Digitally signed by David B. Mart
DN: cn=US, ou=John M. Perry Pech, o=1044-G-American Legion, cn=David B. Mart
E=dmart317@gmail.com
Reason: I am digitally signing this document.
Location: Spauld, NY
Date: 2024.04.24 15:11:07
Foxit Reader PDF Version 9.7.5

April 24, 2024
Date

Applicant's Representative's Signature

Application Received By:

[Signature]
RCHD Representative's Signature

4/24/2024
Date

Application Approved By:



[Signature]
RCHD Superintendent of Highways

4/28/24
Date

The Rockland County Highway Department reserves the right to have the applicant immediately removed from the roadway and traffic restored at any time deemed necessary by the Rockland County Highway Department and/or the local law enforcement agency at such time the said permit will become null and void. Failure to abide may result in trespassing and civil penalties.

RECEIVED

APR 30 2024

TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

Palisades Memorial Day Event Map

Barricade Locations for Palisades:

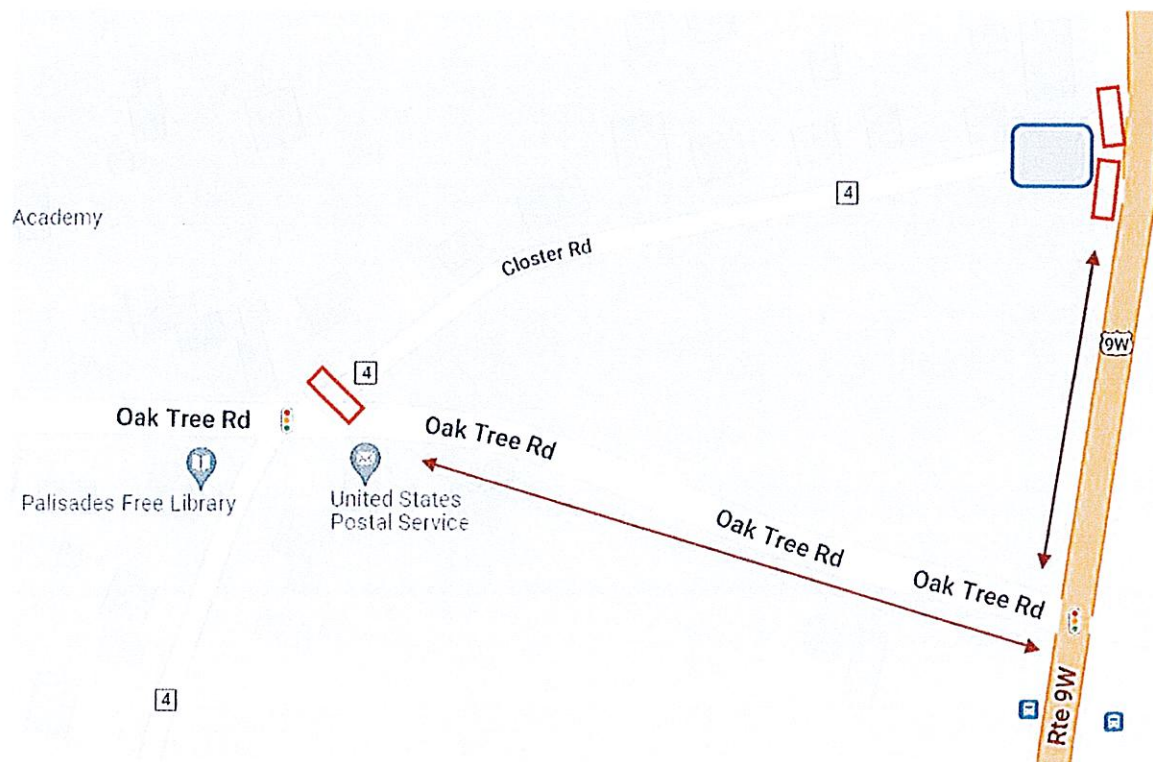
- 1 @ Closter Road & Oak Tree Road
- 2 @ Closter Road & Route 9W

Total = 3 (for Palisades)




Ceremony Location:

- On Closter Road adjacent to intersection with Route 9W
- Fire Department personnel and trucks line up on Closter Road adjacent to Rt 9w barricades.
- Speaker lectern is set up immediately west of War Memorial triangle and participants gather nearby on Closter Rd.

Event Map:



Legend:

- Barricades = 
- Ceremony & Assemblage = 
- Detours = 



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

04/02/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Takach & Associates, Inc. 112 Terry Road Smithtown NY 11787	CONTACT NAME: Takach & Associates, Inc.	
	PHONE (A/C, No., Ext): (631) 366-2774 FAX (A/C, No.): (631) 366-2739 E-MAIL ADDRESS: csr4@takachinsurance.com	
INSURED JOHN M. PERRY POST 1044 DBA THE AMERICAN LEGION POST #1044 & AUXILIARY OF POST 1044 PO BOX 311 SPARKILL NY 10976	INSURER(S) AFFORDING COVERAGE	NAIC #
	INSURER A:	
	INSURER B:	
	INSURER C:	
	INSURER D:	
	INSURER E: US Liability Insurance Company	25895
INSURER F:		

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:						EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Ea occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COM/OP AGG \$ \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$ \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below						<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
E	SPECIAL EVENTS LIABILITY		X	SE 1108943	05/27/2024	05/29/2024	Limit: \$1,000,000 Aggr:\$2,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Special Event Date 05/27/2024 to 05/29/2024.
 Town of Orangetown is included as additional insured to the fullest extent permitted by law when required by a written executed contract subject to the policy terms and conditions.

RECEIVED
APR 30 2024

CERTIFICATE HOLDER Town of Orangetown 26 Orangetown Rd. Orangetown, NY 10962	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE <i>[Signature]</i> <SR>
--	---

© 1988-2015 ACORD CORPORATION. All rights reserved.

Memorial Day – Palisades Ceremony and Sparkill Parade / Ceremony

Barricade Locations for Palisades:

- 1 @ Closter Road & Oak Tree Road
- 2 @ Closter Road & Route 9W

Total = 3 (for Palisades)

RECEIVED

APR 30 2024

TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

Barricade Locations for Sparkill:

- 1 @ Valentine Avenue (Rt. 340) & Ferdon Avenue
- 1 @ Valentine Avenue (Rt. 340) & William Street
- 1 @ Valentine Avenue & Union Street
- 1 @ Union Street & New Street
- 2 @ Main Street & Union Street
- 2 @ Main Street & Sparkill Avenue

Total = 8 (for Sparkill)

Grand Total = 11

Sparkill Parade Route:

- 11:15am - Parade forms up at John Paulding Engine Co., 520 Route 340, Sparkill
- 11:30am – Parade steps off from firehouse, proceeds north on Route 340.
- Parade proceeds north, passes Highland Ave, then passes Ferdon Ave/William St..
- Turns left onto Union Street, passes New St., then passes Paulding Place.
- Turns left onto Main St., terminates into Depot Square / Sparkill Memorial Park.
- 12 noon (NLT) - parade is over.

TOWN OF ORANGETOWN
SPECIAL USE PERMIT FOR USE OF TOWN PROPERTY/ITEMS

PERMIT # 24-SP-015

RECEIVED

APR 30 2024

TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

RECEIVED

MAY 08 2024

TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

RECEIVED
MAY 8 2024
Orangetown Police Department

EVENT NAME: Sparkill Memorial Day Parade & Ceremony

APPLICANT NAME: David B. Mart, Finance Officer John M. Perry Post No. 1044 of The American Legion

ADDRESS: PO Box 311, Sparkill NY 10976

PHONE #: 845-359-6481 (H) CELL # 845-709-1631 FAX # None

CHECK ONE: PARADE XX RACE/RUN/WALK _____ OTHER _____

The above event will be held on Mon May 27th from 11:30 to 12:30 RAIN DATE: None

Location of event: Parade Start: 520 Rt 340, Sparkill. Parade End / Ceremony: Depot Square, Sparkill
John M. Perry Post No. 1044 of The American

Sponsored by: Legion Telephone #: 845-365-4586

Address: 691 Rt 340 (PO Box 311 = mailing address), Sparkill NY 10976

Estimated # of persons participating in event: 150 to 200 vehicles 1 or 2 fire trucks

Person (s) responsible for restoring property to its original condition: Name-Address-Phone #: David B. Mart, 81 McKenna St., Blauvelt NY 10913, 845-709-1631 (C)

Signature of Applicant: David B. Mart Date: 04/30/2024

GENERAL INFORMATION REQUIRED: (HIGHWAY/PARKS/POLICE)
Hazardous Agreement Rec'd on: 5/1/24
Letter of Request to Town Board requesting aid for event - Received On: 4/30/24
Certificate of Insurance - Received On: 4/30/24

FOR HIGHWAY DEPARTMENT USE ONLY:
Road Closure Permit: Y - Received On: 4/30/24
Rockland County Highway Dept. Permit: Y / N - Received On: X
NYS DOT Permit: Y / N - Received On: X
Route/Map/Parking Plan: Y / N - Received On: 4/30/24
RFS #: 60933 BARRICADES: Y / N CONES: Y / N TRASH BARRELS: Y / N OTHER: X
APPROVED: [Signature] DATE: 5-1-24
Superintendent of Highways ma 5/1/24

FOR PARKS & RECREATION DEPARTMENT USE ONLY:
Show Mobile: Y / N - Application Required: _____ Fee Paid - Amount/Check # _____
Port-o-Sans: Y / N Other: _____
APPROVED: [Signature] DATE: 5/3/24
Superintendent of Parks & Recreation

FOR POLICE DEPARTMENT USE ONLY:
Police Detail: Y / N: _____ Items: _____
APPROVED: [Signature] DATE: 5/4/24
Chief of Police

** Please return to the Highway Department to be placed on the Town Board Workshop **

Workshop Agenda Date: 5/21/24 Approved On: _____ TBR #: _____

JAMES J. DEAN
Superintendent of Highways
Roadmaster IV

Orangetown Representative:
R.C. Soil and Water Conservation Dist.-Chairman
Stormwater Consortium of Rockland County
Rockland County Water Quality Committee

RECEIVED



**HIGHWAY DEPARTMENT
TOWN OF ORANGETOWN**
119 Route 303 · Orangeburg, NY 10962
(845) 359-6500 · Fax (845) 359-6062
E-Mail - highwaydept@orangetown.com

Affiliations:
American Public Works Association NY Metro Chapter
NYS Association of Town Superintendents of Highways
Hwy. Superintendents' Association of Rockland County

RECEIVED
APR 30 2024

**ROAD CLOSING PERMIT APPLICATION
Section 139 Highway Law**

TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

NAME David B. Mart, Adjutant & Finance Officer DATE 4/30/2024

COMPANY John M. Perry Post No. 1044 of The American Legion

ADDRESS P.O. Box 311, Sparkill NY 10913

TELEPHONE personal cell = 845-709-1631, Legion Post = 845-365-4586

(INCLUDE 24 HOUR EMERGENCY NUMBERS)

ABOVE MENTIONED PARTY REQUESTS PERMISSION TO CLOSE:

Start: John Paulding Firehouse, 520 Route 340, Sparkill. End: Depot Square, Sparkill
(Address number and name of road)

Parade Route: Route 340 north, left onto Union St., left on Main St., end in Depot Square.
(Intersecting streets and/or description of exact location)

REASON FOR CLOSING Memorial Day Parade

DATE OF CLOSING Monday May 27th, 2024 RAIN DATE None

TIME ROAD WILL BE CLOSED 11:30am to 12noon, roads closed as parade progresses

WILL ROAD BE OPEN TO LOCAL TRAFFIC? Not during parade

WILL ROAD BE OPEN TO EMERGENCY VEHICLES? Yes, if necessary

PLEASE PROVIDE A DETAILED MAP AND DESCRIPTION OF DETOUR IF TRAVEL WILL BE RESTRICTED.

PRELIMINARY APPROVAL *James J. Dean* DATE 5.2.24

JAMES J. DEAN
SUPERINTENDENT OF HIGHWAYS

This permit application will be forwarded to the Rockland County Superintendent of Highways, County of Rockland, 23 New Hempstead Road, New City, NY, 10956. You will receive written confirmation from that office.

8-13-02bjd

HAMLETS: PEARL RIVER · BLAUVELT · ORANGETOWN · TAPPAN · SPARKILL · PALISADES · UPPER GRANDVIEW



CLEAN STREETS = CLEAN STREAMS



John M. Perry Post No. 1044
of The American Legion
PO Box 311
Sparkill NY 10976



RECEIVED

Highway Department
Town of Orangetown
119 Route 303
Orangeburg, NY 10962

APR 30 2024

TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

April 30, 2024

Subject: Submittal of Memorial Day Road Closure and Special Use Permit Applications

Attachments:

1. Orangetown Road Closing Permit Application, for Sparkill Parade (1pg)
2. Orangetown Special Use Permit, for Palisades Ceremony (1pg)
3. Orangetown Special Use Permit, for Sparkill Parade & Ceremony (1pg)
4. Memorial Day Barricade Locations, for Palisades & Sparkill (1pg)
5. 2024 Certificate of Insurance, w/ Orangetown as additionally insured (1pg)
6. Rockland County Highway Department Road Closure Permit, approved 4/28/24 (5pgs)

Sir / Madam:

The John M. Perry Post No. 1044 of The American Legion will once again be holding our annual Memorial Day Ceremonies and Parade. We conduct a Memorial Day Ceremony in Palisades NY that starts at 9am, and a Memorial Day Parade followed by Ceremony in Sparkill that starts at 11:30am. Both of these are being held on Monday, May 27th, 2024.

Attached are the permit applications for these two events, along with a certificate of insurance and details regarding the parade route and barricades needed.

Besides approval of the applications, it is requested the Orangetown Town Board authorize assistance from the Highway, Parks and Police Departments to facilitate these two events, including road closures.

Please contact me at 845-709-1631 (cell) if you have any questions or concerns.

Sincerely,

David B. Mart

Adjutant and Finance Officer

John M. Perry Post 1044 of The American Legion

personal cell = 845-709-1631

post email = johnmperry1044@gmail.com



davidmart2017@gmail.com
Post: 845-365-4586
Home: 845-359-6481
Cell: 845-709-1631

Past David Mart
Post Commander

P.O. Box 311
Sparkill, NY 10976

John M. Perry Post #1044
691 Rt. 340, Sparkill, NY 10976



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
04/02/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Takach & Associates, Inc. 112 Terry Road Smithtown NY 11787	CONTACT NAME: Takach & Associates, Inc.	
	PHONE (A/C, No, Ext): (631) 366-2774 FAX (A/C, No): (631) 366-2739	
	E-MAIL ADDRESS: csr4@takachinsurance.com	
	INSURER(S) AFFORDING COVERAGE	
	NAIC #	
INSURED JOHN M. PERRY POST 1044 DBA THE AMERICAN LEGION POST #1044 & AUXILIARY OF POST 1044 PO BOX 311 SPARKILL NY 10976	INSURER A :	
	INSURER B :	
	INSURER C :	
	INSURER D :	
	INSURER E : US Liability Insurance Company	25895
	INSURER F :	

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:						EACH OCCURRENCE \$ DAMAGE TO RENTED PREMISES (Fa occurrence) \$ MED EXP (Any one person) \$ PERSONAL & ADV INJURY \$ GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Fa accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below						<input type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$
E	SPECIAL EVENTS LIABILITY	X		SE 1108943	05/27/2024	05/29/2024	Limit: \$1,000,000 Aggr: \$2,000,000 RECEIVED

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Special Event Date 05/27/2024 to 05/29/2024.

Town of Orangetown is included as additional insured to the fullest extent permitted by law when required by a written executed contract subject to the policy terms and conditions.

APR 3 2024
TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

CERTIFICATE HOLDER Town of Orangetown 26 Orangetown Rd. Orangetown, NY 10962	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE <i>Dana Takach</i> <SR>

© 1988-2015 ACORD CORPORATION. All rights reserved.

Memorial Day – Palisades Ceremony and Sparkill Parade / Ceremony

Barricade Locations for Palisades:

- 1 @ Closter Road & Oak Tree Road
- 2 @ Closter Road & Route 9W

Total = 3 (for Palisades)

RECEIVED

APR 30 2024

TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

Barricade Locations for Sparkill:

- 1 @ Valentine Avenue (Rt. 340) & Ferdon Avenue
- 1 @ Valentine Avenue (Rt. 340) & William Street
- 1 @ Valentine Avenue & Union Street
- 1 @ Union Street & New Street
- 2 @ Main Street & Union Street
- 2 @ Main Street & Sparkill Avenue

Total = 8 (for Sparkill)

Grand Total = 11

Sparkill Parade Route:

- 11:15am - Parade forms up at John Paulding Engine Co., 520 Route 340, Sparkill
- 11:30am – Parade steps off from firehouse, proceeds north on Route 340.
- Parade proceeds north, passes Highland Ave, then passes Ferdon Ave/William St..
- Turns left onto Union Street, passes New St., then passes Paulding Place.
- Turns left onto Main St., terminates into Depot Square / Sparkill Memorial Park.
- 12 noon (NLT) - parade is over.

DEFENSE, INDEMNIFICATION AND HOLD HARMLESS AGREEMENT

JOHN M. PERRY POST NO. 1044 OF THE AMERICAN LEGION, DEPARTMENT OF NEW YORK, INC., with an address of 691 NY-340, SPARKILL NY 10976, in consideration and as a condition of a SPECIAL USE permit ("Permit Holder"), hereby agrees, covenants, promises, represents and pledges to defend, indemnify and save the Town of Orangetown ("Town"), Town of Orangetown Highway Department ("Highway") and Town employees harmless from and against any and all liability or responsibility of any type whatsoever, including, but not limited to, any and all actions, causes of action, suits, proceedings, judgments, damages, claims, and demands, in law or in equity, including an action, suit, proceeding or claim initiated by the Permit Holder (hereinafter referred to as "claims") that arise as part of or as a result or consequence of the activities, events or other activities authorized to be conducted by the Permit Holder ; and

the Permit Holder further agrees, covenants, promises, represents and pledges to fully reimburse, recompense, indemnify and/or compensate the Town, Highway and Town employees for all costs, expenses and fees, including reasonable attorney's fees, relating to, arising out of, or occurring in connection with any such claims; and

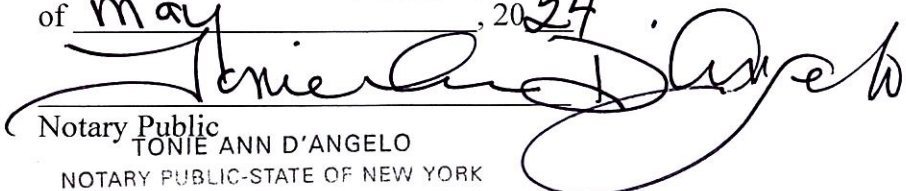
all of the foregoing as relating to, arising out of, or occurring in connection with the following [DESCRIBE PROJECT OR EVENT]: MAY 27TH 2024 MEMORIAL DAY PARADE & CEREMONIES.

Permit Holder agrees to provide certificate(s) of insurance in such amounts as the Town shall deem appropriate, which insurance shall name the Town as an additional insured and which insurance shall cover the requirements to defend, indemnify and hold the Town harmless as set forth herein.

(Entity Name: JOHN M. PERRY POST NO. 1044 OF THE AMERICAN LEGION, DEPT. OF NY, INC.)

By: DB Mart 05/01/2024
DAVID B. MART, FINANCE OFFICER

Sworn to before me this 1st day
of May, 2024



Notary Public
TONIE ANN D'ANGELO
NOTARY PUBLIC-STATE OF NEW YORK
No. 01DA6327996
Qualified in Rockland County
My Commission Expires 07-27-2027

TOWN OF ORANGETOWN

SPECIAL USE PERMIT FOR USE OF TOWN PROPERTY/ITEMS

PERMIT # 24-SP-011

RECEIVED

MAY 10 2024

Orangetown Police Department

RECEIVED
APR 09 2024
TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

RECEIVED

MAY 14 2024

TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

EVENT NAME: CLAUSLAND Mt. WATERFIRE

APPLICANT NAME: JOHN J. MASTANDREA

ADDRESS: 28 CARA DRIVE, NANUET, NY 10954

PHONE #: CELL # 845-821-4202 FAX #

CHECK ONE: PARADE RACE/RUN/WALK OTHER WATERFIRE

The above event will be held on MAY 30, 2024 from 00:00 to 24:00 RAIN DATE: NONE

Location of event: NIKE PARK, NIKE LAND, ORANGETOWN, NY

Sponsored by: VVA 333 Telephone #: 845-821-4202

Address: PO. BOX 243 New City, NY 10956

Estimated # of persons participating in event: 125 vehicles 25.30

Person (s) responsible for restoring property to its original condition: Name-Address-Phone #:

JOHN J. MASTANDREA 28 CARA DR NANUET NY 845821-4202

Signature of Applicant: [Signature] Date: 5/9/2024

GENERAL INFORMATION REQUIRED: (HIGHWAY/PARKS/POLICE)

Hold Harmless Agreement: 5/15/24 4/9/24
Letter of Request to Town Board requesting aid for event - Received On:

Certificate of Insurance - Received On: 5/6/24

FOR HIGHWAY DEPARTMENT USE ONLY:

Road Closure Permit: Y N Received On: X

Rockland County Highway Dept. Permit: Y N Received On: X

NYS DOT Permit: Y N Received On: X

Route/Map/Parking Plan: Y N Received On: X

RFS #: 100295 BARRICADES: Y N CONES: Y N TRASH BARRELS: Y N OTHER: 500 gallon tank

APPROVED: [Signature] DATE: 5.6.24
Superintendent of Highways

FOR PARKS & RECREATION DEPARTMENT USE ONLY:

Show Mobile: Y N Application Required: Fee Paid - Amount/Check #

Port-o-San: 0/N: Other:

APPROVED: [Signature] DATE: 5/7/24
Superintendent of Parks & Recreation

FOR POLICE DEPARTMENT USE ONLY:

Police Detail: Y N Items:

APPROVED: [Signature] DATE: 5/10/2024
Chief of Police

** Please return to the Highway Department to be placed on the Town Board Workshop **

Workshop Agenda Date: 5/21/24 Approved On: TBR #:



Vietnam Veterans of America

Chapter 333

P. O. Box 243

New City, New York 10956

RECEIVED



APR 09 2024

TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

April 26th, 2024

Town of Orangetown

c/o Highway Department

I am John J. Mastandrea and I am one of the representatives of the Clausland Mountain Watchfire. I hereby request the use of a minimum capacity five-hundred-gallon tank. The tank should include a pump, hose and nozzle as per the requirements of the Town of Orangetown, Bureau of Fire Prevention. The tank will be used during the burning of the Watchfire which will commence at 2330 hours on May 29th, 2024 until approximately 0200 hours on May 31st, 2024.

Thanking you in advance for your consideration, I remain;

John J. Mastandrea

A handwritten signature in blue ink that reads "John J. Mastandrea".

Cell: 1-845-821-4202

Clausland Mountain Watchfire

Vietnam Veterans of America

Chapter 333



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
02/28/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Brown & Brown Insurance Services, Inc. 901 Marquette Ave Suite 1800 Minneapolis MN 55402	CONTACT NAME: Ellen Guggemos or Pang Yang PHONE (A/C, No, Ext): (612) 333-3323 FAX (A/C, No): E-MAIL ADDRESS: Ellen.Guggemos@bbrown.com
	INSURER(S) AFFORDING COVERAGE INSURER A: Philadelphia Indemnity Insurance Company INSURER B: Tokio Marine Holdings, Inc. INSURER C: INSURER D: INSURER E: INSURER F:

MAY 06 2024


TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

COVERAGES **CERTIFICATE NUMBER:** 24-25 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC OTHER:			PHPK2661220	03/01/2024	03/01/2025	EACH OCCURRENCE	\$ 1,000,000
							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 100,000
							MED EXP (Any one person)	\$ 0
							PERSONAL & ADV INJURY	\$ 1,000,000
							GENERAL AGGREGATE	\$ 3,000,000
							PRODUCTS - COMP/OP AGG	\$ 3,000,000
								\$
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input checked="" type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY <input type="checkbox"/> OTHER:			PHPK2661220	03/01/2024	03/01/2025	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
							BODILY INJURY (Per person)	\$
							BODILY INJURY (Per accident)	\$
							PROPERTY DAMAGE (Per accident)	\$
								\$
B	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ 10,000			PHUB902534	03/01/2024	03/01/2025	EACH OCCURRENCE	\$ 6,000,000
							AGGREGATE	\$ 6,000,000
								\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		N/A				PER STATUTE	
							OTH-ER	
							E.L. EACH ACCIDENT	\$
							E.L. DISEASE - EA EMPLOYEE	\$
							E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
Certificate holder is additional insured as respects general liability policy where required by written contract, subject to the policy terms and conditions.

CERTIFICATE HOLDER Town of Orangetown Dept of Parks and Recreation 81 Hunt Road Orangetown NY 10962	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE 
--	--

© 1988-2015 ACORD CORPORATION. All rights reserved.

AGENCY CUSTOMER ID: 00480352

LOC #: _____



ADDITIONAL REMARKS SCHEDULE

Page _____ of _____

AGENCY Brown & Brown Insurance Services, Inc.		NAMED INSURED Vietnam Veterans of America	
POLICY NUMBER			
CARRIER	NAIC CODE	EFFECTIVE DATE:	

ADDITIONAL REMARKS

THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,
FORM NUMBER: 25 **FORM TITLE:** Certificate of Liability Insurance: Notes

General Liability Coverage Part:
 Special Raising Events Endorsement - PI-SE-001 (07/18)

This insurance applies to bodily injury, property damage, and personal and advertising injury arising out of all of your special events with the following exceptions:

- Parades sponsored by the Insured
- Shooting activities
- Fireworks
- Carnivals and fairs with mechanical rides sponsored by the Insured
- Hip-Hop or Rap concerts
- Events including contact sports
- Rodeos sponsored by the Insured
- Political Rallies
- Any event with greater than 2,500 people at any one time (including otherwise acceptable events)
- Any event with liquor provided by the Insured if a license is required for such activity.

** If Special Event falls under the exclusion provisions outlined above, it must be underwritten and specifically scheduled on the policy.,

Fund Raising Events Endorsement PI-MANU-1 (09/06)

This insurance applies to bodily injury, property damage, and personal and advertising injury arising out of all of your fund raising events including:

Parades sponsored by the insured is amended to read:

Coordinator (of a Parade) sponsored by the Insured

**HOLD HARMLESS AGREEMENT
BETWEEN
THE VIETNAM VETERANS OF AMERICA, CHAPTER #333, INC.
AND
THE TOWN OF ORANGETOWN**

AGREEMENT made this 8th day of MAY, 2024, by and between the VIETNAM VETERANS OF AMERICA, CHAPTER #333, INC., organized and existing under the laws of the State of New York, with offices at 17 SANDSTONE TRAIL, NEW CITY, NEW YORK 10956 (hereinafter referred to as "VVA #333"), and the TOWN OF ORANGETOWN, a municipal corporation, having its offices at 26 Orangeburg Road, Orangeburg New York (hereinafter referred to as "TOWN");

WHEREAS, in furtherance of its mission and goals, VVA #333 wishes to hold and/or sponsor a Watchfire display, honoring and commemorating service members who are in service abroad and the troops who did not return from battle, to be burned at the property of the TOWN located at NIKE PARK, Nike Lane, Orangeburg, New York (at the old Radar Area) on Wednesday, May 29, 2024 at approximately 11:30 p.m. through Friday, May 31, 2024 until the fire is put out; and

WHEREAS, in accordance with the provisions of the Town Code, and related regulations, VVA #333 has made application for an Outdoor Burning Permit, permitting a Watchfire (open burn) display; and

WHEREAS, as a condition for an Outdoor Burning Permit of this type, the applicant VVA #333 agrees to all conditions of the Outdoor Burning Permit issued by the Bureau of Fire Prevention; and understands that the Town of Orangetown Code Enforcement Official or Orangeburg Volunteer Fire Department or their representative may extinguish or cause to be extinguished any open fire for which a burn permit has been issued if, in their professional opinion, such fire is in violation of the conditions of the Permit, is creating a public nuisance, is endangering or is likely to endanger any person's health or property or if the burning is being conducted in an unsafe manner; and

WHEREAS, as a condition for an Outdoor Burning Permit, the applicant VVA #333 has agreed to make notification to ROCKLAND COUNTY FIRE CONTROL (44 Control) **before starting and upon completion by calling 845-364-8888**.

WHEREAS, as a condition for an Outdoor Burning Permit of this type, the applicant VVA #333 is required by the TOWN to meet certain minimum insurance and indemnification requirements naming the TOWN, as the permitting agency, as an additional insured thereon,

NOW, THEREFORE, IT IS AGREED AS FOLLOWS:

1. Subject to VVA #333's compliance with all other requirements of law relating to the issuance of an Open Burning Permit by the Bureau of Fire Prevention, the TOWN agrees to the issuance of an Outdoor Burning Permit to VVA #333 in connection with its Watchfires display to be burned at NIKE PARK property located at Nike Lane, Orangeburg, New York on Wednesday, May 29, 2024 through Friday, May 31, 2024 until the fire is completely out.
2. VVA #333 agrees that its' activities under the Outdoor Burning Permit will be performed in a lawful, prudent and safe manner, in accordance with all federal, state or local laws or regulations, as may apply.
3. In connection with the contemplated Watchfires display, VVA #333 further agrees, to the fullest extent permitted by law, to indemnify and hold the TOWN, its officers, employees and invitees harmless from any damage, liability or cost (including reasonable attorneys' fees and cost of defense) to the extent caused by the acts, errors or omissions by it, its officers, employees, agents, consultants or others acting for, or on behalf of, it, which indemnification shall include and extend to the actions of any subcontractors or outside consultant utilized by VVA #333.
4. VVA #333 further agrees that as a material condition of the Permit's issuance, and before the subject Permit shall become effective, it shall deliver to the TOWN certificates or other evidence of insurance coverage of the following types and in the following minimum amounts:
 - a. General Liability Insurance in a minimum amount of One Million and 00/100 (\$1,000,000.00) Dollars combined single limit with Two Million and 00/100 (\$2,000,000.00) Dollars excess of One Million and 00/100 (\$1,000,000.00) Dollars; and aggregate of Three Million and 00/100 (\$3,000,000.00) Dollars;
 - b. with Umbrella Liability per occurrence of Six Million and 00/100 (\$6,000,000.00) Dollars;
 - c. Such insurance shall name the TOWN OF ORANGETOWN, 26 Orangeburg Road, Orangeburg, New York 10962, as an additional named insured thereon;
 - d. Shall further provide that such policies of insurance shall not be cancelled or discontinued except on a minimum of twenty (20) days' notice to the TOWN; and
 - e. Proof of such insurance in a form acceptable to the Town shall be delivered to the Bureau of Fire Prevention and the Town Attorney's Office before any services or other activities under this Permit shall commence.



Application for Showmobile Use

Showmobile Requirements

Applications must be submitted to the Parks & Recreation Office no later than 8 weeks prior to your event in order to be placed on a Town Board agenda.

There are two pages to this application. Please read and understand all items listed on page 1 (this page) and upload your certificate of insurance.

Click "next" to advance to page 2 and fill out all requested information.

Upload Certificate of Insurance * Town of Orangetown.pdf 428.63KB

Before completing the Showmobile Request Form, please be aware of the following:

- + The total area needed for the Showmobile is a space 50 feet in length, 15 feet in width and 25 feet in height.
- + Showmobile stage measures 28 feet long x 14 feet 7 inches deep x 25 feet high when open. One set of stairs is available with hand railings. (Please note that this measurement does not include the trailer hitch or the tow vehicle).
- + The lights require a 110 volt, 20 amp circuit to plug into within 150 feet of the right front side of the Showmobile. Additional electrical equipment must be plugged into a separate circuit.
- + The Showmobile must be parked in a relatively level space. The placement of the Showmobile is at the discretion of the Orangetown Parks & Recreation staff. Although every effort will be made to meet requests, this equipment does not go off road, over curbing, on uneven ground or over rough terrain.
- + The area must be free of obstructions such as overhanging tree limbs, electrical wires, etc.
- + The tow vehicle must remain with the Showmobile for the duration of the event.
- + In the event of winds in excess of 30 MPH, the stage canopy must be closed.
- + The Town seal is not to be covered and no nails, staples, tacks or tape may be used to attach any items to the Showmobile)
- + The organization will receive an emailed invoice after their event is complete. Payment is expected no later than 14 days after receipt of invoice.
- + A member of the organization renting the unit must be on site at time of arrival for proper set up as well as time of departure to assure all event tasks have been completed (i.e. removal of equipment)
- + Any changes/cancellations (unless otherwise agreed upon) to the event must be made 24 hours in advance by contacting Aric Gorton at agorton@orangetown.com.

Additional Requirements:

- + Certificate of insurance required. Must name the Town of Orangetown as additionally insured.
- + Rental Costs: \$500.00 plus labor.

Showmobile Application

Event Information

Event/Festival Name * Arts in the Park

Event Location Name * Central Avenue Field

Event Address *

Street Address
58 East Central Avenue
Address Line 2
(set up parallel to the Firehouse)
City Pearl River State / Province / Region NY
Postal / Zip Code 10965-2554 Country US

Setup Date & Time * 5/31/2024
07:00:00 PM

Take-Down Date & Time * 6/1/2024
05:00:00 PM

Stair Arrangement *

Right side of stage
 Left side of stage
 Front of stage
 Not Sure

Set-up Info *

Please describe in detail what the stage will be used for and how you intend to set it up. If you have a rain date, please list it here so long as all the information above is the same.

This will be used for a variety of performances throughout the day (chorus, orchestra, band, etc). The rain date is Sunday, June 2, 2024.

Placement *

Pavement
 Grass/Field
 Other

Applicant Information

Applicant's Name * Kathleenann Cool

Organization Name * Pearl River School District

Organization Address * 135 West Crooked Hill Road

Organization City * Pearl River

Organization State * New York

Phone (w) * 845-620-4815

Phone (c) * 845-826-4792

Email *

coolk@pearlriver.org

Signature *

A rectangular box containing a handwritten signature in cursive script that reads "Kathleen Cool".

The Permit Holder agrees that it shall be liable and responsible for any property damage to the Showmobile as a result of the Permit Holder's use thereof, and agrees to defend, save, indemnify and hold harmless the Town, and all of its agents, officials, officers, servants and employees, by reason of any claim, suit, action or causes of action, lawsuit or legal proceeding arising out of the Permit Holder's use of the Showmobile, and shall execute a hold harmless agreement to that effect as a condition of the issuance of a permit. The Permit Holder shall procure and maintain general liability insurance and name the Town as an additional insured thereunder, in an amount as shall protect the Town from claims for bodily/personal injury, including accidental death, and from claims for property damage, which may arise from the Permit Holder's use of the Showmobile, and as part of the agreement to defend, indemnify and hold the Town harmless as set forth herein.

By checking this box and submitting this form, I acknowledge I have read, understand, accept, and agree to the above terms and conditions.

*

I accept the terms and conditions

Date

5/3/2024

08:57:48 AM



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
04/30/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER NEW YORK SCHOOLS INSURANCE RECIPROCAL 333 Earle Ovington Blvd. Uniondale NY, 11553	CONTACT NAME: _____	
	PHONE (A/C, No. Ext): _____	FAX (A/C, No): _____
E-MAIL ADDRESS: _____		
INSURER(S) AFFORDING COVERAGE		NAIC #
INSURER A: New York Schools Insurance Reciprocal		34843
INSURED Pearl River UFSD 135 West Crooked Hill Road Pearl River, NY 10965	INSURER B:	
	INSURER C:	
	INSURER D:	
	INSURER E:	
	INSURER F:	

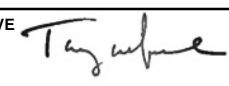
COVERAGES**CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	COMMERCIAL GENERAL LIABILITY <input checked="" type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC <input checked="" type="checkbox"/> OTHER: _____	X		SSP PR 001	07/01/2023	07/01/2024	EACH OCCURRENCE	\$1,000,000
							DAMAGE TO RENTED PREMISES (Ea occurrence)	\$1,000,000
							MED EXP (Any one person)	\$10,000
							PERSONAL & ADV INJURY	\$1,000,000
							GENERAL AGGREGATE	UNLIMITED
							PRODUCTS - COMP/OP AGG	\$1,000,000
								\$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident)	
							BODILY INJURY (Per person)	\$
							BODILY INJURY (Per accident)	\$
							PROPERTY DAMAGE (Per accident)	\$
A	UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR EXCESS LIAB <input checked="" type="checkbox"/> CLAIMS-MADE DED: _____ RETENTION \$: _____			ECL PR 001	07/01/2023	07/01/2024	EACH OCCURRENCE	\$20,000,000
							AGGREGATE	\$40,000,000
								\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) <input type="checkbox"/> Y/N <input checked="" type="checkbox"/> N/A If yes, describe under DESCRIPTION OF OPERATIONS below						PER STATUTE	
							OTH-ER	
							E.L. EACH ACCIDENT	\$
							E.L. DISEASE - EA EMPLOYEE	\$
							E.L. DISEASE - POLICY LIMIT	\$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
Certificate Holder is an Additional Insured as per the terms stated on Additional Insured Endorsement CG 2026 04 13.--Use of premises/facilities for the rental of Showmobile on 6/1/2024 with a rain date on 6/2/2024.

CERTIFICATE HOLDER**CANCELLATION**

Town of Orangetown Town Hall 26 Orangeburg Road Orangeburg, NY 10962	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE 

© 1988-2015 ACORD CORPORATION. All rights reserved.



The New York Schools Insurance Reciprocal

333 Earle Ovington Blvd., Suite 905 • Uniondale, NY, 11553-3624 • 1-800-1SNYSIR • (516) 227 3355 • Fax: (516) 227-2352

Named Insured Pearl River UFSD		Endorsement Number 11
Policy Number SSP PR 001	Policy Period 07/01/2023 - 07/01/2024	Effective Date of Endorsement 04/29/2024
Issued by (Name of Insurance Company) New York Schools Insurance Reciprocal		

THIS ENDORSEMENT CHANGES THIS POLICY. PLEASE READ IT CAREFULLY

In consideration of no additional premium, it is hereby understood and agreed that the policy is amended as follows:

Form CG 2026 04 13 has been added to include the following as an Additional Insured:

Town of Orangetown
Town Hall
26 Orangeburg Road,
Orangeburg, NY 10962

All other terms and conditions to remain the same

Authorized Representative

RECEIVED

APR 23 2024

TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

TOWN OF ORANGETOWN
SPECIAL USE PERMIT FOR USE OF TOWN PROPERTY/ITEMS

PERMIT # 24-SP-014

RECEIVED
MAY 14 2024
Orangetown Police Department
RECEIVED

EVENT NAME: St. John Henry Newman - parish Eucharistic Procession

APPLICANT NAME: Fr, Thomas Kunnel

ADDRESS: 120 Kings Highway / Tappan, NY 10983

PHONE #: 845-359-1230 CELL # 845-608-9358 FAX # _____

CHECK ONE: PARADE _____ RACE/RUN/WALK OTHER Eucharistic procession

The above event will be held on 06/02/2024 from 9:50 to 10:30 RAIN DATE: None

Location of event: Kings Highway / Washington St / Conklin Ave/ Tappan, NY 10983

TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

Sponsored by: Piermont Knights of Columbus Telephone #: 845-304-8849

Address: 411 Washington St/Tappan, NY 10983

Estimated # of persons participating in event: 50+ vehicles 0

Person (s) responsible for restoring property to its original condition: Name-Address-Phone #:
Ernest Rispoli - 411 Washington St / Tappan , NY 10983 -845-304-8849

Signature of Applicant: [Signature] Date: 5/7/24

GENERAL INFORMATION REQUIRED: (HIGHWAY/PARKS/POLICE)
Hold Harmless Agreement: 5/7/24
Letter of Request to Town Board requesting aid for event - Received On: 4/23/24

Certificate of Insurance - Received On: 5/7/24

FOR HIGHWAY DEPARTMENT USE ONLY:

Road Closure Permit: USE Y N - Received On: 4/23/24

Rockland County Highway Dept. Permit: Y N - Received On: 5/6/24

NYS DOT Permit: Y / N - Received On: N/A

Route/Map/Parking Plan: Y N - Received On: 4/23/24

RFS #: 60316 BARRICADES: CONES: Y / N TRASH BARRELS: Y / N OTHER: X

APPROVED: [Signature] DATE: 5/6/24
Superintendent of Highways

FOR PARKS & RECREATION DEPARTMENT USE ONLY:

Show Mobile: Y / N - Application Required: _____ Fee Paid - Amount/Check # _____

Port-o-Sans: Y / N Other: _____

APPROVED: [Signature] DATE: 5/9/24
Superintendent of Parks & Recreation

FOR POLICE DEPARTMENT USE ONLY:

Police Detail: Y N Items: _____

APPROVED: [Signature] DATE: 5/14/24
Chief of Police

** Please return to the Highway Department to be placed on the Town Board Workshop **

Workshop Agenda Date: 5/21/24 Approved On: _____ TBR #: _____

DEFENSE, INDEMNIFICATION AND HOLD HARMLESS AGREEMENT

10383

The Parish of St. John Henry ^{Newman}, with an address of 120 Kings Hwy, Tappan, NY, in consideration and as a condition of a Special USE permit ("Permit Holder"), hereby agrees, covenants, promises, represents and pledges to defend, indemnify and save the Town of Orangetown ("Town"), Town of Orangetown Highway Department ("Highway") and Town employees harmless from and against any and all liability or responsibility of any type whatsoever, including, but not limited to, any and all actions, causes of action, suits, proceedings, judgments, damages, claims, and demands, in law or in equity, including an action, suit, proceeding or claim initiated by the Permit Holder (hereinafter referred to as "claims") that arise as part of or as a result or consequence of the activities, events or other activities authorized to be conducted by the Permit Holder ; and

the Permit Holder further agrees, covenants, promises, represents and pledges to fully reimburse, recompense, indemnify and/or compensate the Town, Highway and Town employees for all costs, expenses and fees, including reasonable attorney's fees, relating to, arising out of, or occurring in connection with any such claims; and

all of the foregoing as relating to, arising out of, or occurring in connection with the following [DESCRIBE PROJECT OR EVENT]: Eucharistic procession in the streets of Tappan.

Permit Holder agrees to provide certificate(s) of insurance in such amounts as the Town shall deem appropriate, which insurance shall name the Town as an additional insured and which insurance shall cover the requirements to defend, indemnify and hold the Town harmless as set forth herein.

(Entity Name:)

By: Fr. Dennis Kimmel C.O.

Sworn to before me this 6th day of May, 2024

[Signature]
Notary Public

LISA A. DENTE
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01DE6210595
Qualified in Westchester County
Commission Expires August 24, 2025

Certificate of Coverage

Date: 5/7/2024

Certificate Holder
 Archdiocese of New York
 1011 First Avenue
 New York, NY 10022

Covered Location
 St John Newman-St. John the Baptist-Our Lady of the Sacred Heart
 120 Kings Highway
 Tappan, NY 10983

This Certificate is issued as a matter of information only and confers no rights upon the holder of this certificate. This certificate does not amend, extend or alter the coverage afforded below.

Company Affording Coverage
 THE CATHOLIC MUTUAL RELIEF SOCIETY OF AMERICA
 10843 OLD MILL RD
 OMAHA, NE 68154

RECEIVED

MAY 07 2024

Coverages TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

This is to certify that the coverages listed below have been issued to the certificate holder named above for the certificate indicated, notwithstanding any requirement, term or condition of any contract or other document with respect to which this certificate may be issued or may pertain, the coverage afforded described herein is subject to all the terms, exclusions and conditions of such coverage. Limits shown may have been reduced by paid claims.

Type of Coverage	Certificate Number	Coverage Effective Date	Coverage Expiration Date	Limits	
Property				Real & Personal Property	
D. General Liability	8869	9/1/2023	9/1/2024	Each Occurrence	1,000,000
<input checked="" type="checkbox"/> Occurrence				General Aggregate	2,000,000
<input type="checkbox"/> Claims Made				Products-Comp/OP Agg	1,000,000
				Personal & Adv Injury	
				Fire Damage (Any one fire)	
				Med Exp (Any one person)	
Excess Liability				Each Occurrence	
				Annual Aggregate	
Other				Each Occurrence	
				Claims Made	
				Annual Aggregate	
				Limit/Coverage	

Description of Operations/Locations/Vehicles/Special Items (the following language supersedes any other language in this endorsement or the Certificate in conflict with this language)
 Coverage only extends to claims resulting from St. John Newman Parish's Eucharistic religious procession on June 2, 2024. Coverage does not extend to claims resulting from improper maintenance or upkeep of the Town of Orangetown's streets, sidewalks, bridges and facilities.

Holder of Certificate	Cancellation
Additional Protected Person(s) Town of Orangetown 26 Orangeburg Road Orangeburg, NY 10962	Should any of the above described coverages be cancelled before the expiration date thereof, the issuing company will endeavor to mail <u>30</u> days written notice to the holder of certificate named to the left, but failure to mail such notice shall impose no obligation or liability of any kind upon the company, its agents or representatives.
	Authorized Representative

0041040337

ENDORSEMENT

(TO BE ATTACHED TO CERTIFICATE)

Effective Date of Endorsement	6/2/2024	Charge	Credit
Cancellation Date of Endorsement	6/3/2024		
Certificate Holder	Archdiocese of New York 1011 First Avenue New York, NY 10022		
Location	St John Newman-St. John the Baptist-Our Lady of the Sacred Heart 120 Kings Highway Tappan, NY 10983		
Certificate No.	8869	of The Catholic Mutual Relief Society of America is amended as follows:	

SECTION II - ADDITIONAL PROTECTED PERSON(S)

It is understood and agreed that Section II - Liability (only with respect to Coverage D - General Liability), is amended to include as an **Additional Protected Person(s)** the organization(s) shown in the schedule below.

Schedule - ADDITIONAL PROTECTED PERSON(S)

Town of Orangetown
26 Orangeburg Road
Orangeburg, NY 10962

Remarks:

Coverage only extends to claims resulting from St. John Newman Parish's Eucharistic religious procession on June 2, 2024. Coverage does not extend to claims resulting from improper maintenance or upkeep of the Town of Orangetown's streets, sidewalks, bridges and facilities.

However, the following limitations apply to coverage:

1. The maximum limits of coverage provided by Catholic Mutual Relief Society of America to the **Additional Protected Person(s)** named in this endorsement shall not exceed the coverage dollar amount specifically required by contract or agreement and agreed to by the **Protected Person(s)**. In the absence of specific coverage limits within a referenced contract or agreement, the limits of liability afforded to the **Additional Protected Person(s)** must be listed on a separate Certificate of Coverage form attached to this endorsement. All limits of liability extended by this endorsement are inclusive of both Section II Coverage D and Section VII coverages (if applicable).
2. Unless specifically agreed to by contract or agreement, the coverage extended to the **Additional Protected Person(s)** by this endorsement is excess and non-contributory over any other available coverage or insurance.
3. This endorsement does not apply to any **Occurrence** outside the specific date(s) of a facility use agreement or terms of a lease.
4. This endorsement does not extend coverage to the **Additional Protected Person(s)** for **Occurrences** which cannot be attributed to primary acts or omissions of the **Protected Person(s)**.
5. Provided that a premises is utilized by the **Protected Person(s)** in a manner consistent with its intended purpose and in accordance with the applicable contract, agreement, or lease, this endorsement does not extend coverage to the **Additional Protected Person(s)** for premises defects or other **Occurrences** which could not be discovered by the **Protected Person(s)** with reasonable diligence.
6. The limited coverage afforded to the **Additional Protected Person(s)** by this endorsement only applies to the extent permissible by law and shall not apply to non-delegable duties unless specifically agreed to by contract or agreement.

This extension of coverage shall not enlarge the scope of coverage provided to the **Certificate Holder** under this Certificate nor increase the limit of liability thereunder. Unless otherwise agreed by contract or agreement, coverage extended under this endorsement to the **Additional Protected Person(s)** will not precede the effective date of this endorsement or extend beyond the cancellation date.



Our Lady of the Sacred Heart Church, 120 Kings Hwy, Tappan, NY 10983 to Our Lady of the Sacred Heart Church, 120 Kings Hwy, Tappan, NY 10983

21 to 20 minutes with short stop at green and walking two mph
intersections : 1.left - parking lot and kings highway 2. straight- kings highway and greenbush 3. left Kings highway/ Old tappan Road - Washington Ave (traffic Light)



No detour required. The orangetown police will provide a temporary traffic stoppage of under five minutes for the safety of approximate 50 persons to walk on Washington St from Main St to Conklin Ave. Emergency vehicle access will be available at all times.

RECEIVED

APR 23 2024

TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

JAMES J. DEAN
Superintendent of Highways
Roadmaster IV

Orangetown Representative:
R.C. Soil and Water Conservation Dist.-Chairman
Stormwater Consortium of Rockland County
Rockland County Water Quality Committee



HIGHWAY DEPARTMENT
TOWN OF ORANGETOWN
119 Route 303 • Orangeburg, NY 10962
(845) 359-6500 • Fax (845) 359-6062
E-Mail – highwaydept@orangetown.com

Affiliations:
American Public Works Association NY Metro Chapter
NYS Association of Town Superintendents of Highways
Hwy. Superintendents' Association of Rockland County

RECEIVED

APR 23 2024

TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

ROAD USE PERMIT APPLICATION
Section 139 Highway Law

NAME Fr Thomas Kunnel DATE 04/25/2024
COMPANY St John Henry Newman Parish
ADDRESS 120 Kings Highway / Tappan, NY 10983
TELEPHONE 845-359-1230
(INCLUDE 24 HOUR EMERGENCY NUMBERS)

ABOVE MENTIONED PARTY REQUESTS PERMISSION TO USE:

Kings Highway / Washington St / Conklin Ave/ Tappan, NY 10983

(Address number and name of road)

Kings Highway and Washington St. // Washington St. and Conklin Ave// Conklin Ave and Kings Highway
(See map attached)

(Intersecting streets and/or description of exact location)

REASON FOR USE Eucharistic procession - walk


DATE OF USE 6/2/24 RAIN DATE None

TIME ROAD WILL BE USED 9:50 AM

WILL ROAD BE OPEN TO LOCAL TRAFFIC? After 10:30 Am

WILL ROAD BE OPEN TO EMERGENCY VEHICLES? Yes

PLEASE PROVIDE A DETAILED MAP AND DESCRIPTION OF DETOUR IF TRAVEL WILL BE RESTRICTED.

PRELIMINARY APPROVAL  DATE _____
JAMES J. DEAN
SUPERINTENDENT OF HIGHWAYS

This permit application will be forwarded to the Rockland County Superintendent of Highways, County of Rockland, 23 New Hempstead Road, New City, NY, 10956. You will receive written confirmation from that office.

8-13-02bjd

HAMLETS: PEARL RIVER · BLAUVELT · ORANGETOWN · TAPPAN · SPARKILL · PALISADES · UPPER GRANDVIEW · SOUTH NYACK



CLEAN STREETS - CLEAN STREAMS



Parish of St. John Henry Newman

120 Kings Highway, Tappan, NY 10983

www.stjohnnewman.org

RECEIVED

APR 23 2024

TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

04/23/2024

To: Town of Orangetown Board
Town of Orangetown Highway
Town of Orangetown Police
County of Rockland Highway

Re: Request for permit for procession – if needed

The Parish of St. John Henry Newman (Our lady of the Sacred Heart and St. Johns) is holding a Eucharistic Procession on June 2nd beginning at 9:50 and ending at 10:30. The procession will consist of around fifty persons. It will depart from the Parking lot of OLSH and travel west along Kings Highway to the intersection of Washington street; There turning east until Conklin Avenue; Then, turning north and crossing Kings highway back to the parking lot of OLSH. It is estimated that the time on each section of roadway will be no more than ten of fifteen minutes.

There will be no vehicles in the procession, and all coordination and safety will be provided by volunteers.

We respectfully request the assistance of all appropriate offices including the Orangetown Police, Highway and EMT.

Our contact and coordinator for this event is Ernest Rispoli: 845-304-8849 ernris@gmail.com

Yours truly,

Fr. Thomas Kunnet

Pastor St. John Henry Newman

Our Lady of the Sacred Heart Church
120 Kings Highway
Tappan, NY 10983
845-359-1230
secretary@stjohnnewman.org



St. John the Baptist Church
895 Piermont Avenue
Piermont, NY 10968
845-359-0078
admin@stjohnnewman.org



MAY 06 2024

ROCKLAND COUNTY HIGHWAY DEPARTMENT

TOWN OF ORANGETOWN
HIGHWAY DEPARTMENT

APPLICATION FOR PERMIT TO USE/CLOSE A COUNTY ROAD
UNDER SECTION 104 OF THE HIGHWAY LAW

THIS IS A REQUEST FOR USE / CLOSE A COUNTY ROAD (check that apply)

Name of Event: St John Henry Newman Parish Eucharistic Procession

Date (s): 6/2/2024 Time (s): 9:50-10:25 No. of Participants: +/- 50

Type of Event (check all that apply):

Filming Parade or Procession Assemblage Festival Other _____

<u>Location</u> (Specify Highways by Street Name and/or Route Number)	<u>Municipality</u> (Towns, Villages)
Kings Highway	Tappan
Washington St.	Tappan
Conklin Ave.	Tappan

Applicant Information:

St. John H. Newman Parish

Applicant (individual, organization, group)

Mailing Address

120 Kings Highway

City, State, Zip Code

Tappan, NY 10983

Email Address

Ernest Rispoli

Authorized Representative (if different from Applicant)

845-304-8849

Telephone Number (including area code)

Same

Cell Phone Number (including area code)

ernris@gmail.com

Email Address (if different from Applicant)

ROCKLAND COUNTY HIGHWAY DEPARTMENT
APPLICATION FOR PERMIT TO USE/CLOSE A COUNTY ROAD
UNDER SECTION 104 OF THE HIGHWAY LAW

The following supporting information shall be submitted at the time of application:

1. **Event Map, Event Brochure, or/and Event Application Form** (Whichever available/applicable)
2. **Operation and Safety Plan** (the applicant assumes all responsibility for the set-up, conduct and break-down of the event)
 - **Required Traffic Control Devices** (e.g. temporary signs, cones, barricades, pavement markings, etc.) and **Event Personnel** (e.g. police officers, volunteers) for Event

Signs: - Procession direction , detour

Personnel: Traffic - line of march coordinators; Police auxiliary ; Knights of Columbus Vol. Cleanup

ACCEPTED

- **Detours** (provide map of detour, show detour sign/police locations, etc.)
- **Pre-Event Public Notification** (describe type of notification (e.g. mailings, brochure, press release) being provided to the public)

See attached route map. No detour required. The orangetown police will provide a temporary traffic stoppage of under five minutes for the safety of approximate 50 persons to wait on Washington St from Main St to Conklin Ave. Emergency vehicle access will be

Pulpit announcements ; Parish Bulletins; Flyers handed out at masses

- **Coordination** (describe coordination with local police/municipalities/emergency services/other entities)

Coordinators : Ernest Rispoli - Piermont Knights of Columbus

Capt. Michael Shannon - Police

Thomas Quinn- Tappan Fire Association

- **Emergency Services** (describe how emergency services will be provided during the event for event participants and spectators)

Glenn Albin / Pete Roimisher South Orangetown EMS

- **Spectator Control** (indicate any special measures are being taken to control spectators)

Procession / Line of March coordinators

- **Event Support Vehicles** (describe any vehicles used in the event)

There will be transporters before and after event to bring non walkers to specified locations. No vehicles in the procession

ROCKLAND COUNTY HIGHWAY DEPARTMENT
APPLICATION FOR PERMIT TO USE/CLOSE A COUNTY ROAD
UNDER SECTION 104 OF THE HIGHWAY LAW

- 3. **Insurance Certificates** (must be in Applicant's name)
- 4. **Application Fee** (Please make check payable to Rockland County Commissioner of Finance)

- Full Day - \$500.00
- Half Day - \$250.00

No. of Days Less than 30 minutes _____

Total Amount \$ N/A Due to short use _____

No fee

The following information shall be submitted prior to the event date (except filming permit application):

- 1. **Municipal Approvals** (The applicant shall provide proof of approval from each municipality – Town, Village – through which the event passes indicating that the Municipality has no objection to the event taking place. This proof of approvals may be in the form of a letter, permit, resolution, email, or other.)

Acknowledgement: On behalf of the Applicant, I hereby request a road use/close permit, and do acknowledge and agree to the responsibilities of applicant and obligations set forth in this permit and warrant compliance therewith. The attached documents are also made a part hereof and attached hereto.

Fr. Peter B. [Signature]
Applicant's Representative's Signature

04/23/2024
Date

Application Received By:
[Signature]
RCHD Representative's Signature



4/23/2024
Date

Application Approved By:
[Signature]
RCHD Superintendent of Highways

4/23/24
Date

The Rockland County Highway Department reserves the right to have the applicant immediately removed from the roadway and traffic restored at any time deemed necessary by the Rockland County Highway Department and/or the local law enforcement agency at such time the said permit will become null and void. Failure to abide may result in trespassing and civil penalties.



Application for Showmobile Use

Showmobile Requirements

Applications must be submitted to the Parks & Recreation Office no later than 8 weeks prior to your event in order to be placed on a Town Board agenda.

There are two pages to this application. Please read and understand all items listed on page 1 (this page) and upload your certificate of insurance.

Click "next" to advance to page 2 and fill out all requested information.

Upload Certificate of Insurance* coi for town.pdf

108.88KB

Before completing the Showmobile Request Form, please be aware of the following:

- + The total area needed for the Showmobile is a space 50 feet in length, 15 feet in width and 25 feet in height.
- + Showmobile stage measures 28 feet long x 14 feet 7 inches deep x 25 feet high when open. One set of stairs is available with hand railings. (Please note that this measurement does not include the trailer hitch or the tow vehicle).
- + The lights require a 110 volt, 20 amp circuit to plug into within 150 feet of the right front side of the Showmobile. Additional electrical equipment must be plugged into a separate circuit.
- + The Showmobile must be parked in a relatively level space. The placement of the Showmobile is at the discretion of the Orangetown Parks & Recreation staff. Although every effort will be made to meet requests, this equipment does not go off road, over curbing, on uneven ground or over rough terrain.
- + The area must be free of obstructions such as overhanging tree limbs, electrical wires, etc.
- + The tow vehicle must remain with the Showmobile for the duration of the event.
- + In the event of winds in excess of 30 MPH, the stage canopy must be closed.
- + The Town seal is not to be covered and no nails, staples, tacks or tape may be used to attach any items to the Showmobile)
- + The organization will receive an emailed invoice after their event is complete. Payment is expected no later than 14 days after receipt of invoice.
- + A member of the organization renting the unit must be on site at time of arrival for proper set up as well as time of departure to assure all event tasks have been completed (i.e. removal of equipment)
- + Any changes/cancellations (unless otherwise agreed upon) to the event must be made 24 hours in advance by contacting Aric Gorton at agorton@orangetown.com.

Additional Requirements:

- + Certificate of insurance required. Must name the Town of Orangetown as additionally insured.
- + Rental Costs: \$500.00 plus labor.

Showmobile Application

Event Information

Event/Festival Name *	Blue Hill Golf Course Centennial Celebration		
Event Location Name *	Blue Hill Golf Course		
Event Address *	Street Address		
	285 Blue Hill Road		
	Address Line 2		
	City	State / Province / Region	
	Pearl River	NY	
	Postal / Zip Code	Country	
	10965	USA	
Setup Date & Time *	7/19/2024		
	08:00:00 AM		
Take-Down Date & Time *	7/20/2024		
	08:00:00 AM		
Stair Arrangement *	<input type="radio"/> Right side of stage		
	<input type="radio"/> Left side of stage		
	<input type="radio"/> Front of stage		
	<input checked="" type="radio"/> Not Sure		
Set-up Info *	Please describe in detail what the stage will be used for and how you intend to set it up. If you have a rain date, please list it here so long as all the information above is the same.		
	This will be setup in Lot C at the golf course		
Placement *	<input checked="" type="radio"/> Pavement		
	<input type="radio"/> Grass/Field		
	<input type="radio"/> Other		

Applicant Information

Applicant's Name *	Michelle Worob
Organization Name *	Blue Hill Centennial Committee
Organization Address *	285 Blue Hill Rd
Organization City *	Pearl River
Organization State *	NY
Phone (w) *	8457352094
Phone (c) *	9142618250
Email *	bluehillcentennial@gmail.com

Signature*

Michelle Word

The Permit Holder agrees that it shall be liable and responsible for any property damage to the Showmobile as a result of the Permit Holder's use thereof, and agrees to defend, save, indemnify and hold harmless the Town, and all of its agents, officials, officers, servants and employees, by reason of any claim, suit, action or causes of action, lawsuit or legal proceeding arising out of the Permit Holder's use of the Showmobile, and shall execute a hold harmless agreement to that effect as a condition of the issuance of a permit. The Permit Holder shall procure and maintain general liability insurance and name the Town as an additional insured thereunder, in an amount as shall protect the Town from claims for bodily/personal injury, including accidental death, and from claims for property damage, which may arise from the Permit Holder's use of the Showmobile, and as part of the agreement to defend, indemnify and hold the Town harmless as set forth herein.

By checking this box and submitting this form, I acknowledge I have read, understand, accept, and agree to the above terms and conditions.

*

I accept the terms and conditions

Date

5/9/2024

06:41:50 PM



Portable Toilet Request Form

The Town of Orangetown accepts requests for portable toilets from not-for-profit groups for their events and programs. Applications must be submitted 8 weeks prior to the event. In case of any changes, the organization must contact Mark Albert at malbert@orangetown.com no later than 48 hours prior to the event.

Event Information

Event Name * Blue Hill Golf Course Centennial Celebration

Event Location Name * Blue Hill Golf Course

Event Address *

Street Address
285 Blue Hill Rd
Address Line 2

City Pearl River State / Province / Region NY

Postal / Zip Code 10965 Country USA

Event Start Date * 7/19/2024
06:00:00 AM

Event End Date * 7/19/2024
11:00:00 PM

Set-up Info * Please describe the exact location the units should be placed on the event site
This event will be held in Lot C as a tailgate celebration for the Centennial

Number of regular units required * 8

Number of ADA units required * 2

Total Number of units required * 10

Applicant Information

Applicant First Name * Michelle

Applicant Last Name * Worob

Organization Name * Blue Hill Centennial Committee

Organization Not For Profit? * Yes No

**Organization
Address ***

Street Address
285 Blue Hill Rd
Address Line 2
City Pearl River State / Province / Region NY
Postal / Zip Code 10965 Country USA

Phone (w) *

845 735 2094

Phone (c) *

9142618250

Email *

bluehillcentennial@gmail.com

**Certificate of
Insurance ***

coi for town.pdf 108.88KB
Certificate must list the Town of Orangetown as additional Insured

Signature *

The Permit Holder agrees that it shall be liable and responsible for any property damage to the Showmobile as a result of the Permit Holder's use thereof, and agrees to defend, save, indemnify and hold harmless the Town, and all of its agents, officials, officers, servants and employees, by reason of any claim, suit, action or causes of action, lawsuit or legal proceeding arising out of the Permit Holder's use of the Showmobile, and shall execute a hold harmless agreement to that effect as a condition of the issuance of a permit. The Permit Holder shall procure and maintain general liability insurance and name the Town as an additional insured thereunder, in an amount as shall protect the Town from claims for bodily/personal injury, including accidental death, and from claims for property damage, which may arise from the Permit Holder's use of the Showmobile, and as part of the agreement to defend, indemnify and hold the Town harmless as set forth herein.



WARRANT

Warrant Reference	Warrant #	Amount
Approved for payment in the amount of		
	051524	\$ 285,669.49 utilities
	052124	\$ 746,902.17
		\$ 1,032,571.66

The above listed claims are approved and ordered paid from the appropriations indicated.

APPROVAL FOR PAYMENT

AUDITING BOARD

Councilman Gerald Bottari

Councilman Paul Valentine

Councilman Daniel Sullivan

Councilman Brian Donohue

Supervisor Teresa M. Kenny

**TOWN OF ORANGETOWN
FINANCE OFFICE MEMORANDUM**

TO: THE TOWN BOARD
FROM: JEFF BENCIK, *DIRECTOR OF FINANCE*
SUBJECT: AUDIT MEMO
DATE: 05/16/24
CC: DEPARTMENT HEADS



The audit for the Town Board Meeting of 05/21/2024 consists of 2 warrants for a total of \$1,032,571.66.

The first warrant was for \$285,669 and was for utilities.

The second warrant had 139 vouchers for \$746,902 and had the following items of interest.

1. CANDLE (p10) - \$12,500 for substance abuse programs.
2. Capasso & Sons (p11) - \$90,817 for recycling.
3. Collier's Engineering & Design (p12) - \$5,945 for Villa drive survey.
4. Cotter, Michael (p13) - \$6,325 for title searches.
5. Crown Castle Fiber (p13) - \$6,748 for connectivity.
6. Fleet Pump Services (p15) - \$9,850 for sewer equipment.
7. Fred Devens Construction (p17) - \$308,759 for Tier IV pump station repairs.
8. Global Montello (p31) - \$43,293 for fuel.
9. Goosetown Enterprises (p19) - \$12,754 for Police leases.
10. JP Morgan Equipment Finance (p21) - \$53,838 for energy performance contract.
11. Kuehne Chemical Co. (p22) - \$7,427 for sewer chemicals.
12. RCSWMA (p35) - \$11,019 for solid waste removal.
13. S & L Plumbing & Heating (p36) - \$43,628 for new town hall HVAC.
14. Sport-Tech Acrylics (p37) - \$24,700 for crack repairs at in-line rink.
15. WW Grainger (p48) - \$6,439 for sewer equipment.

Please feel free to contact me with any questions or comments.

Jeffrey W. Bencik, CFA
845-359-5100 x2204