

- MAP REFERENCES:
1. MAP ENTITLED "MAJOR SUBDIVISION LANDS OF DANSOME LLC" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP NUMBER 7768 AND AS BOOK NUMBER 125, PAGES 7 AND 8 ON JUNE 22, 2005.
 2. REALTY SUBDIVISION PLAN - FINAL APPROVAL SET FOR "MAJOR SUBDIVISION LANDS OF DANSOME LLC" PREPARED BY LAWLER, MATUSKY & SKELLY ENGINEERS AND LAST REVISED MARCH 4, 2005.

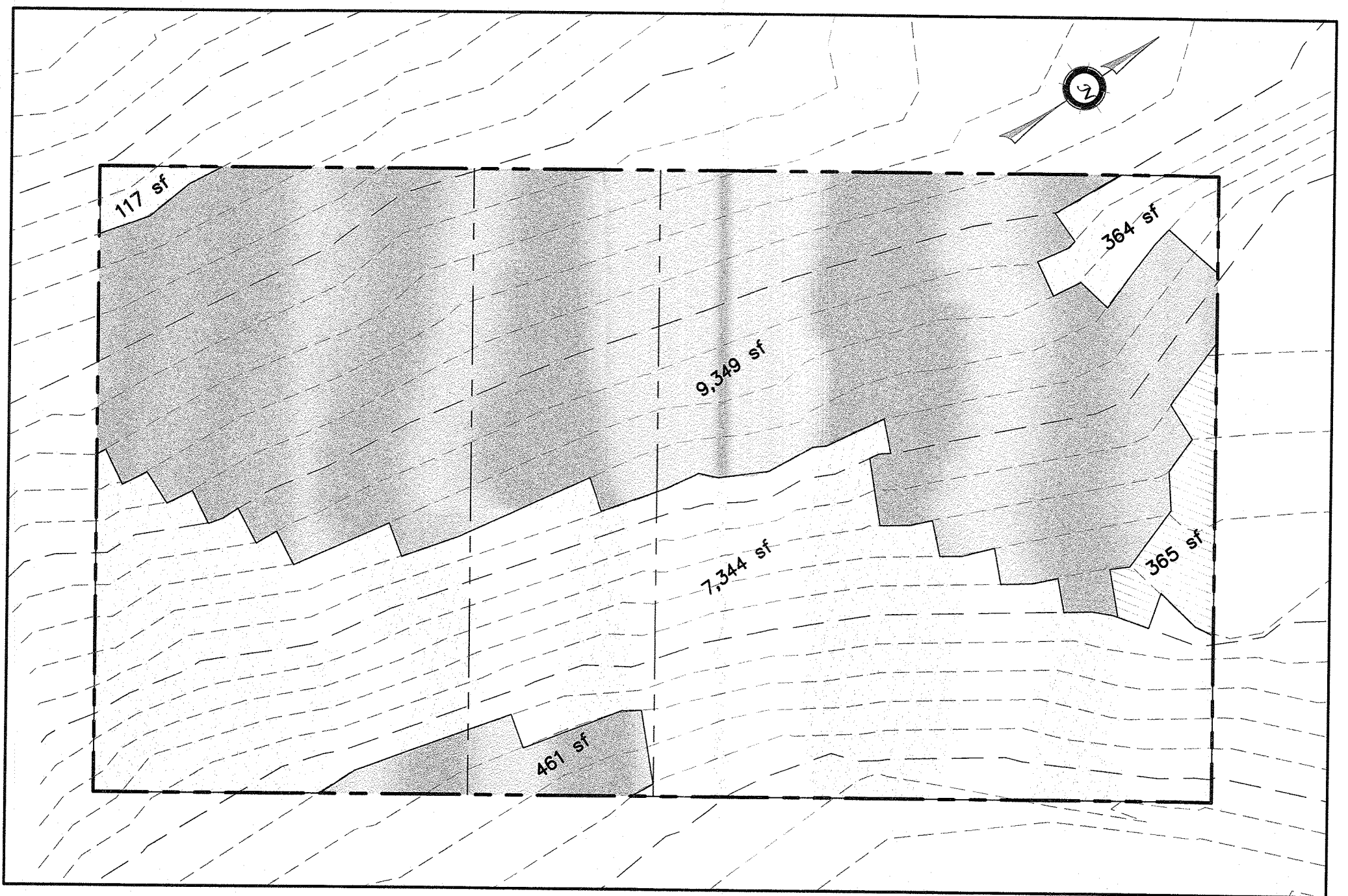
- NOTES:
1. THIS IS A SITE PLAN FOR TAX LOTS 5, 6 AND 6.1 IN SECTION 66.89, BLOCK 1 AS SHOWN ON THE TOWN OF ORANGETOWN TAX MAP.
 2. PARCEL AREA: 18,000 SF (0.41 ACRE)
 3. ZONING DISTRICT: R-12H
 4. RECORD OWNER: SHAWN LEVESQUE 14 SWAN STREET PALISADES, NY 10964
 5. APPLICANT: SHAWN LEVESQUE 14 SWAN STREET PALISADES, NY 10964
 6. SCHOOL DISTRICT: NYACK UNION FREE
 7. FIRE DISTRICT: NYACK JOINT FIRE DISTRICT
 8. SEWER DISTRICT: ORANGETOWN SEWER DISTRICT
 9. WATER DISTRICT: NYACK
 10. PROPERTY LINE, EXISTING CONDITIONS, AND TOPOGRAPHIC DATA FROM A SURVEY PREPARED BY ATZL, NASH & ZIGLER, P.C.
 11. DATED NOVEMBER 9, 2020.
 12. AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
 13. TREE PROTECTION: THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND USE AND ZONING REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO RESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
 - A. NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
 - B. THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
 - C. TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FEET HEIGHT.
 - D. THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
 - i. ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH
 - ii. Drip line of the tree canopy. THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:
 - i. LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
 - ii. LIGHT IMPACTS ONLY - INSTALLATION OF 1/2 INCH PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED. THE BARRIER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH A TREE WELL HAVING A RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.
 14. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE APPLICANT SHALL INSTALL THE SOIL EROSION AND SEDIMENT CONTROL AS REQUIRED BY THE PLANNING BOARD. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING (DEME) SHALL INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES. THE APPLICANT SHALL CONTACT DEME AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.
 15. IF THE APPLICANT, DURING THE COURSE OF CONSTRUCTION, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREAS, UNDERGROUND WATER, SOFT OR SILTY AREAS, IMPROPER DRAINAGE, OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL PLANNING, SUCH CONDITIONS SHALL BE REPORTED IMMEDIATELY TO DEME. THE APPLICANT SHALL SUBMIT THEIR RECOMMENDATIONS AS TO THE SPECIAL TREATMENT TO BE GIVEN TO SUCH AREAS TO SECURE ADEQUATE, PERMANENT AND SATISFACTORY CONSTRUCTION. DEME SHALL INVESTIGATE THE CONDITION(S), AND SHALL EITHER APPROVE THE APPLICANT'S RECOMMENDATIONS TO CORRECT THE CONDITION(S), OR ORDER A MODIFICATION THEREOF. IN THE EVENT OF THE APPLICANT'S DISAGREEMENT WITH THE DECISION OF THE DEME, OR IN THE EVENT OF A SIGNIFICANT CHANGE RESULTING TO THE SUBDIVISION PLAN OR SITE PLAN OR ANY CHANGE THAT INVOLVES A WETLAND REGULATED AREA, THIS MATTER SHALL BE DECIDED BY THE AGENCY WITH JURISDICTION IN THAT AREA (I.E. WETLANDS - U.S. ARMY CORPS OF ENGINEERS).
 16. PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE COMPLETION OF CONSTRUCTION.
 17. ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.
 18. IRON PINS OR MONUMENTS SHALL BE PLACED AT LOT CORNERS, AS SHOWN ON THE PLAN.
 19. THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239.6M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
 20. THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH STORMWATER MANAGEMENT PHASE II REGULATIONS (LESS THAN ONE ACRE OF DISTURBANCE).
 21. A CERTIFICATION BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH STORMWATER MANAGEMENT PHASE II REGULATIONS.
 22. MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES SHALL BE THE SELF RESPONSIBILITY OF THE OWNER OF THE PROPERTY.
 23. BEFORE THE SITE PLAN CAN BE SIGNED FOR FILING:
 - A. ANY EASEMENTS, DEDICATIONS OR RESTRICTIVE COVENANTS ARE TO BE SUBMITTED IN FORM SATISFACTORY TO THE TOWN ATTORNEY.
 - B. POSTING OF BONDS IN AMOUNT TO BE DETERMINED BY VARIOUS DEPARTMENTS HAVING JURISDICTION AND IN A FORM SATISFACTORY TO THE TOWN ATTORNEY.
 - C. ALL PLANNING BOARD REQUIREMENTS MUST BE SATISFIED AND ALL FEES AND EXPENSES MUST BE PAID.
 - D. A VARIANCE FOR AN EXCEPTION FROM THE PROVISIONS OF NEW YORK STATE TOWN LAW SECTION 280-a IS REQUESTED BY THE APPLICANT.
 24. THIS IS A SUBDIVISION AS DEFINED WITHIN THE TOWN OF ORANGETOWN ZONING REGULATIONS. THE PURPOSE OF THE SUBDIVISION IS TO ELIMINATE THE TAX LOT LINES AND MERGE THE THREE EXISTING LOTS INTO A SINGLE TAX LOT.

BULK TABLE OF REQUIREMENTS: R-12H ZONING DISTRICT											
DESCRIPTION	GROSS LOT AREA (SQ FEET)	MINIMUM LOT AREA (SQ FEET)	MINIMUM FRONTAGE (FEET)	MAXIMUM LOT COVERAGE (PERCENT)	MINIMUM FRONT YARD (FEET)	MINIMUM REAR YARD (FEET)	MINIMUM SIDE YARD (FEET)	MINIMUM SIDE YARD, BOTH (FEET)	MAXIMUM BUILDING HEIGHT (STORIES)	MAXIMUM BUILDING HEIGHT (FEET)	PARKING
REQUIRED	--	12,000	100	45	30	25	15	35	3	36	2.0 SPACES PER DWELLING UNIT
PROPOSED	18,000	4,143*	180	56.3*	20*	48.0	49.5	116.8	3	34.2	2 SPACES
COMMENT	OK	*VARIANCE REQUIRED; SEE NOTE#1 BELOW	OK	*VARIANCE REQUIRED; SEE NOTE#2 BELOW	*MODIFICATION REQUESTED; SEE NOTE#3 BELOW	OK	OK	OK	OK	OK	OK

NOTES:
(1) MINIMUM LOT AREA ADJUSTED PER SLOPE CALCULATION FORMULA IN SECTION 18.32-(2) OF ZONING CODE - VARIANCE REQUIRED
(2) LOT COVERAGE CALCULATED IN ACCORDANCE WITH ADJUSTED AREA DEFINITION - VARIANCE REQUIRED
(3) FRONT YARD REDUCTION OF 33% REQUESTED FROM PLANNING BOARD IN ACCORDANCE WITH SECTION 18.33-(5)-(c) OF ZONING CODE

BUILDING HEIGHT CALCULATION			
BUILDING SIDE	AVG. GRADE	LENGTH(FT)	(GRADE X LENGTH)
FRONT	167.5	63	10,553
EAST SIDE	157.8	27	4,281
REAR	153.8	68	10,458
WEST SIDE	153.0	32	4,896
TOTALS:	190		30,168
AVERAGE ELEVATION OF EXISTING GRADE = (30,168)/(190) = 158.8			
FIRST FLOOR ELEVATION = 169.5			
PEAK ELEVATION OF ROOF = 193.0			
MAXIMUM BUILDING HEIGHT = (193.0) - (158.8) = 34.2 FEET			

LOT COVERAGE CALCULATION	
IMPERVIOUS SURFACES	
HOUSE	1,824 SF
SIDEWALK	30 SF
DRIVEWAY	481 SF
TOTAL:	2,335 SF
MINIMUM LOT AREA = 4,143 SF	
LOT COVERAGE = (2,335)/(4,143) = 56.3%	



SLOPE ANALYSIS MAP
1" = 20'

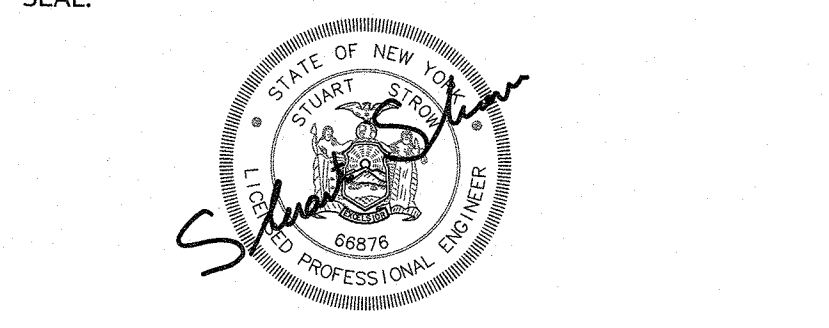
PROJECT:
LEVESQUE PROPERTY
RIVERVIEW AVENUE
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

PROJECT LOCATION

APPLICANT:
SHAWN LEVESQUE
14 SWAN STREET
PALISADES, NY 10964

SURVEYOR:

REV	DESCRIPTION	BY	DATE

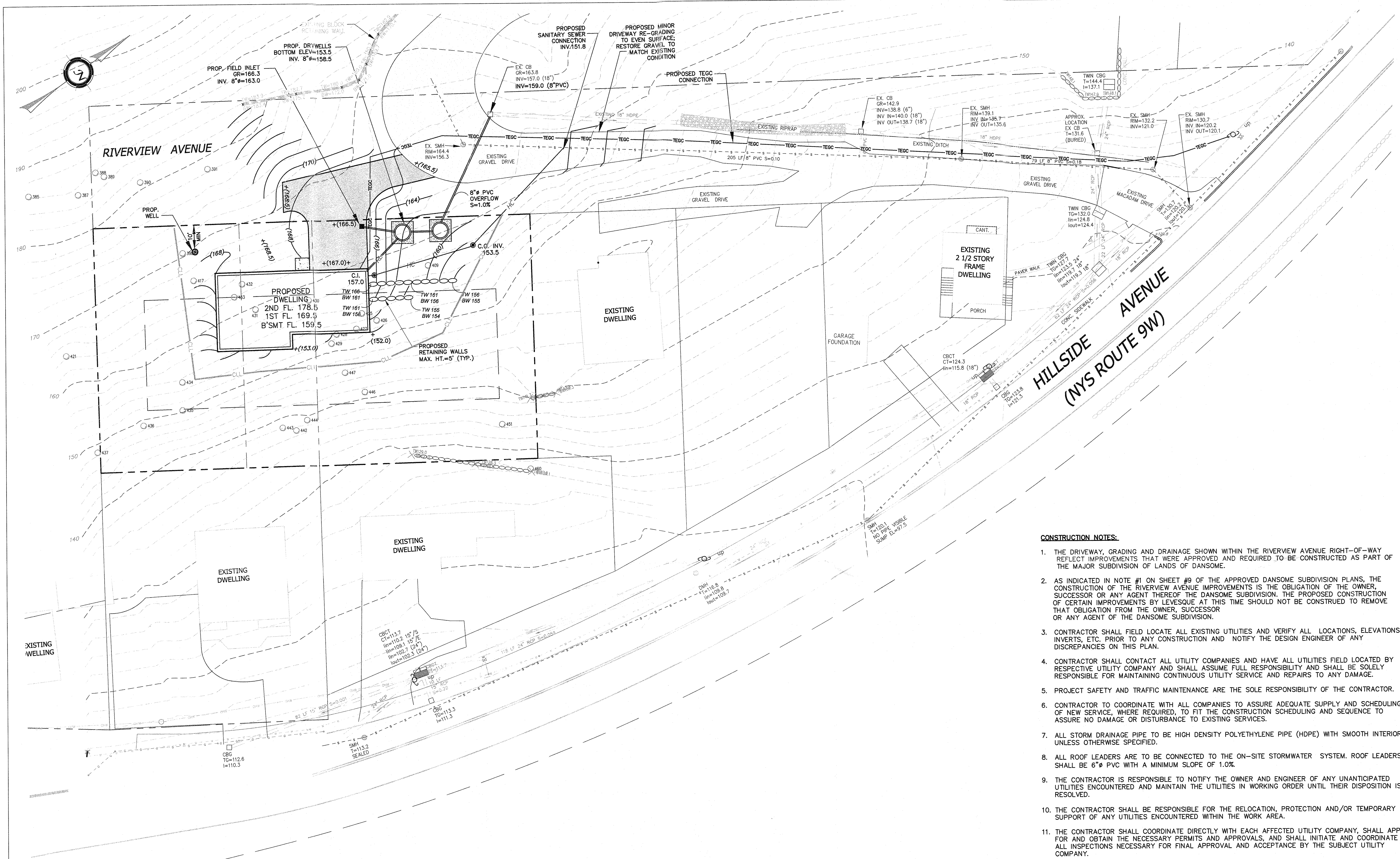


PROJECT:
LEVESQUE PROPERTY
RIVERVIEW AVENUE

SCALE:
1"=20'

SHEET TITLE:
RE-SUBDIVISION PLAN

Town of Orangetown MEETING OF: MAR 27 2023 PLANNING BOARD	DRAWN BY: SS	CHECKED BY: SS
DATE: 12.20.23	PROJECT NO: 2399	
SHEET NUMBER:		



MOSQUITO CONTROL NOTES

1. ALL STORMWATER FACILITIES ON THIS SITE HAVE BEEN DESIGNED TO REMOVE ALL STANDING WATER WITHIN FIVE DAYS OF A RAIN EVENT.
2. ALL STORMWATER FACILITIES SHALL BE INSPECTED AFTER SIGNIFICANT RAINFALLS AND AT LEAST ONCE PER MONTH.
3. IF, UPON INSPECTION, WATER REMAINS IN THE STORMWATER FACILITIES LONGER THAN FIVE DAYS AFTER A RAIN EVENT, ONE OF THE FOLLOWING MEASURES WILL BE TAKEN:
 - A) THE WATER WILL BE MECHANICALLY REMOVED (I.E. BY VACUUM); OR
 - B) THE WATER WILL BE MECHANICALLY AGITATED TO PREVENT MOSQUITO BREEDING; OR
 - C) THE WATER WILL BE TREATED WITH MOSQUITO LARVICIDE IN ACCORDANCE WITH NYSDEC AND ROCKLAND COUNTY HEALTH DEPARTMENT GUIDELINES, REGULATIONS AND PROCEDURES.
4. MOSQUITO BREEDING SUPPRESSION MEASURES MUST BE IMPLEMENTED BETWEEN APRIL 1 AND OCTOBER 31.
5. LARVICIDE TO BE APPLIED SHALL BE "MOSQUITO DUNKS" AS MANUFACTURED BY SUMMIT CHEMICAL CO., BALTIMORE, MD. OR ROCKLAND COUNTY DEPARTMENT OF HEALTH APPROVED EQUAL. LARVICIDE SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
6. THE LONG TERM MAINTENANCE OF THE ON-SITE STORMWATER SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

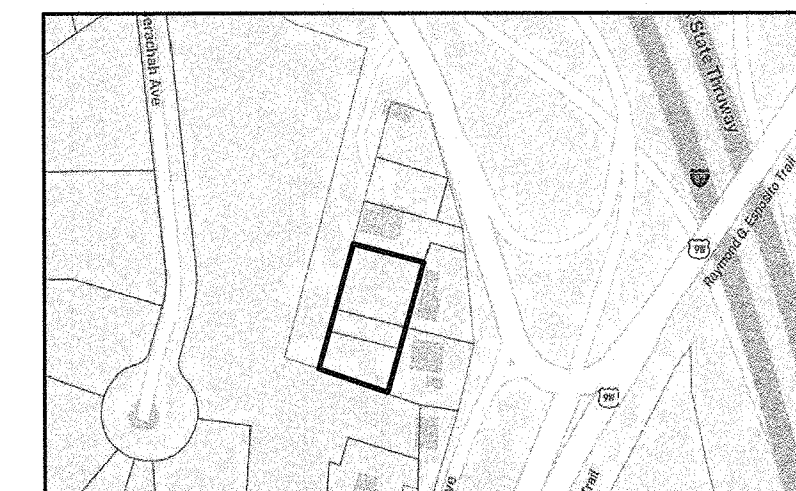
CONSTRUCTION NOTES:

1. THE DRIVEWAY, GRADING AND DRAINAGE SHOWN WITHIN THE RIVERVIEW AVENUE RIGHT-OF-WAY REFLECT IMPROVEMENTS THAT WERE APPROVED AND REQUIRED TO BE CONSTRUCTED AS PART OF THE MAJOR SUBDIVISION OF LANDS OF DANSOME.
2. AS INDICATED IN NOTE #1 ON SHEET #9 OF THE APPROVED DANSOME SUBDIVISION PLANS, THE CONSTRUCTION OF THE RIVERVIEW AVENUE IMPROVEMENTS IS THE OBLIGATION OF THE OWNER, SUCCESSOR OR ANY AGENT THEREOF OF THE DANSOME SUBDIVISION. THE PROPOSED CONSTRUCTION OF CERTAIN IMPROVEMENTS BY LEVESQUE AT THIS TIME SHOULD NOT BE CONSTRUED TO REMOVE THAT OBLIGATION FROM THE OWNER, SUCCESSOR OR ANY AGENT OF THE DANSOME SUBDIVISION.
3. CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES AND VERIFY ALL LOCATIONS, ELEVATIONS, INVERTS, ETC. PRIOR TO ANY CONSTRUCTION AND NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES ON THIS PLAN.
4. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL UTILITIES FIELD LOCATED BY RESPECTIVE UTILITY COMPANY AND SHALL ASSUME FULL RESPONSIBILITY AND SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING CONTINUOUS UTILITY SERVICE AND REPAIRS TO ANY DAMAGE.
5. PROJECT SAFETY AND TRAFFIC MAINTENANCE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
6. CONTRACTOR TO COORDINATE WITH ALL COMPANIES TO ASSURE ADEQUATE SUPPLY AND SCHEDULING OF NEW SERVICE, WHERE REQUIRED, TO FIT THE CONSTRUCTION SCHEDULING AND SEQUENCE TO ASSURE NO DAMAGE OR DISTURBANCE TO EXISTING SERVICES.
7. ALL STORM DRAINAGE PIPE TO BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH SMOOTH INTERIOR UNLESS OTHERWISE SPECIFIED.
8. ALL ROOF LEADERS ARE TO BE CONNECTED TO THE ON-SITE STORMWATER SYSTEM. ROOF LEADERS SHALL BE 6" PVC WITH A MINIMUM SLOPE OF 1.0%.
9. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY THE OWNER AND ENGINEER OF ANY UNANTICIPATED UTILITIES ENCOUNTERED AND MAINTAIN THE UTILITIES IN WORKING ORDER UNTIL THEIR DISPOSITION IS RESOLVED.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION, PROTECTION AND/OR TEMPORARY SUPPORT OF ANY UTILITIES ENCOUNTERED WITHIN THE WORK AREA.
11. THE CONTRACTOR SHALL COORDINATE DIRECTLY WITH EACH AFFECTED UTILITY COMPANY, SHALL APPLY FOR AND OBTAIN THE NECESSARY PERMITS AND APPROVALS, AND SHALL INITIATE AND COORDINATE ALL INSPECTIONS NECESSARY FOR FINAL APPROVAL AND ACCEPTANCE BY THE SUBJECT UTILITY COMPANY.
12. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CONTINUOUS SERVICE OF ALL EXISTING UTILITIES WITHIN THE WORK AREA AT ALL TIMES. CONTRACTOR SHALL COORDINATE ANY REPAIR, RELOCATION OR REMOVAL OF EXISTING UTILITIES WITH EACH RESPECTIVE UTILITY COMPANY AND PROVISIONS MUST BE PROVIDED FOR TEMPORARY SERVICE OF ANY RESPECTIVE UTILITY SERVICE AFFECTED BY THE CONSTRUCTION IN THE EVENT OF ANY DISRUPTION TO THE EXISTING UTILITY. SHUT-DOWNS SHALL BE AT THE DISCRETION OF THE RESPECTIVE UTILITY COMPANIES AND COORDINATED WITH THE MUNICIPALITY AND THE ENGINEER FOR PUBLIC NOTICE IF NECESSARY. TEMPORARY SERVICE SHALL BE PROVIDED AND MAINTAINED AT NO ADDITIONAL COST.
13. WATER SERVICE LINE AND SEWER CONNECTION SHALL BE PLACED IN SEPARATE TRENCHES WITH A MINIMUM HORIZONTAL DISTANCE OF TEN FEET BETWEEN THEM.
14. ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
15. ALL DIMENSIONS ARE MEASURED TO THE ROUGH UNLESS OTHERWISE NOTED. ELEVATIONS AND DIMENSIONS SHOWN ARE FOR GENERAL REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS, AND ELEVATIONS IN THE FIELD PRIOR TO THE USE OF SUCH INFORMATION IN BIDDING OR CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL FIELD MEASUREMENTS NECESSARY TO ASSURE PROPER FIT OF FINISHED WORK AND SHALL ASSUME FULL RESPONSIBILITY FOR THEIR ACCURACY. NOTIFY THE ENGINEER IMMEDIATELY OF ANY DIMENSIONAL DISCREPANCIES.
16. THE CONTRACTOR SHALL PERFORM ALL WORK WITH CARE SO THAT ANY MATERIALS WHICH ARE TO REMAIN IN PLACE WILL NOT BE DAMAGED. IF THE CONTRACTOR DAMAGES ANY MATERIALS WHICH ARE TO REMAIN IN PLACE, THE DAMAGED MATERIALS SHALL BE REPAIRED OR REPLACED IN A MANNER SATISFACTORY TO THE ENGINEER AT THE EXPENSE OF THE CONTRACTOR.
17. THE SITE SHALL BE KEPT CLEAN AT ALL TIMES. UPON COMPLETION OF WORK, ALL EXCESS MATERIAL, DEBRIS, ETC. SHALL BE REMOVED AND PROPERLY DISPOSED OF AND THE WORK AREA SHALL BE LEFT CLEAN TO THE OWNER'S SATISFACTION.

PROJECT:

LEVESQUE PROPERTY RIVERVIEW AVENUE

TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK



PROJECT LOCATION

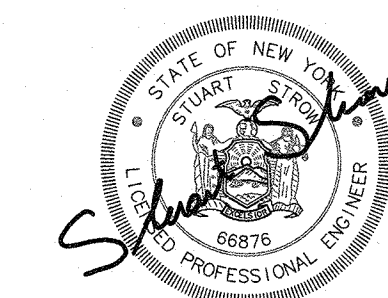
APPLICANT:

SHAWN LEVESQUE
14 SWAN STREET
PALISADES, NY 10964

SURVEYOR:

REV	DESCRIPTION	BY	DATE

SEAL:



PROJECT:

LEVESQUE PROPERTY RIVERVIEW AVENUE

SCALE:

1"=20'

SHEET TITLE:

SITE PLAN GRADING & UTILITY PLAN

DRAWN BY: SS CHECKED BY: SS

DATE: 12.20.23 PROJECT NO: 2399

SHEET NUMBER: