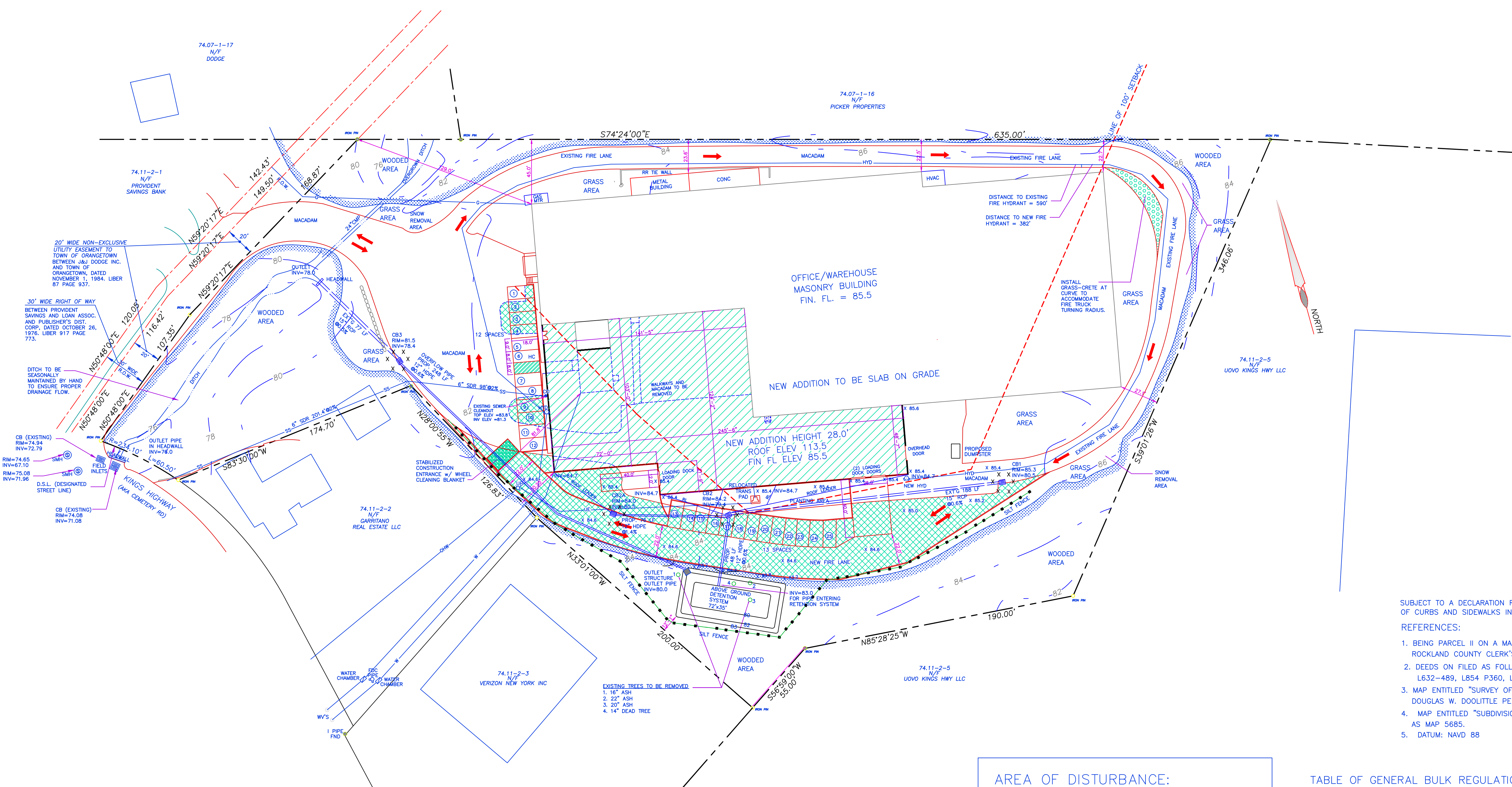


LEGEND

	PROPERTY LINE		IRON PIN		PARKING LOT STRIPING		OVERHEAD WIRES		UTILITY POLE		EXISTING CATCH BASIN
	SETBACK LINE		EXISTING CONTOUR LINES		NEW MACADAM		WATER LINE		HYDRANT		PROPOSED CATCH BASIN
	EXISTING BUILDING		PROPOSED CONTOUR LINES		TREE TO BE REMOVED		GAS LINE		DETENTION AREA		INLET PROTECTION DURING CONSTRUCTION
	PROPOSED BUILDING		SPOT ELEVATION		LOADING DOCK		SS SANITARY SEWER		SILT FENCE		HYD HYDRANT HOSE DISTANCE
	BUILDING DEMO		WOODED AREA				UE UNDERGROUND ELEC.		EXISTING DRAINAGE PIPES		GRASSCRETE
	NEW CURB		ADDITION				RCP REINF. CONC. PIPE		PROPOSED DRAINAGE PIPES		
	PARKING LINES						CMP CORRUGATED MTL. PIPE				



SUBJECT TO A DECLARATION REGARDING INSTALLATION OF CURBS AND SIDEWALKS IN L857 P217.

REFERENCES:

- BEING PARCEL II ON A MAP ENTITLED, "MINOR SUBDIVISION FOR IRVING MAIDMAN", FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP 3823.
- DEEDS ON FILE AS FOLLOWS: LIBER 985 PAGE 286, INST# 2007-11984, INST# 2014-27314, L632-489, L854 P360, L564 P1959,
- MAP ENTITLED "SURVEY OF SECTION 81, BLOCK 761, LOT 37-2", PREPARED BY DOUGLAS W. DOOLITTLE PE, LS. (3-11-91)
- MAP ENTITLED "SUBDIVISION FOR NICE-PAK PRODUCTS, INC", FILED IN THE ROCKLAND COUNTY CLERK'S AS MAP 5685.
- DATUM: NAVD 88

AREA OF DISTURBANCE:
41,798.0 SQUARE FEET

AREA OF PROPOSED ADDITION:
21,105.0 SQUARE FEET
(incl. 1,146 sf of ext'g bldg wing)

ADDITIONAL IMPERVIOUS AREA:
EXISTING IMPERVIOUS: 101,392
TOTAL IMPERVIOUS: 119,683
ADDITIONAL IMPERVIOUS: 18,291

PARKING ANALYSIS

REQUIREMENTS:
OFFICE: 1 SPACE PER 200 SF
LIGHT MANUFACTURING: 1 SPACE PER 2 EMPLOYEES

NORTH BUILDING
OFFICE: 1368 SF = 7 SPACES
LIGHT MANUFACTURING: 9 EMPLOYEES = 5 SPACES

SOUTH BUILDING
OFFICE: 1800 SF = 9 SPACES
LIGHT MANUFACTURING: 8 EMPLOYEES = 4 SPACES

TOTAL 25 SPACES, INCLUDING 1 HANDICAP ACCESSIBLE SPACE

TABLE OF GENERAL BULK REGULATIONS FOR DISTRICT L10, USE GROUP CC, FOR THE TOWN OF ORANGETOWN

	REQUIRED	EXISTING	PROPOSED
MAXIMUM FLOOR AREA RATIO	0.4	0.28	0.39
MINIMUM LOT AREA	2 ACRES	4.455 ACRES	NO CHANGE
MINIMUM LOT WIDTH	300'	480'	NO CHANGE
MINIMUM STREET FRONTAGE	150'	60.5' **	NO CHANGE
REQUIRED FRONT YARD	100'	129'	NO CHANGE
REQUIRED SIDE YARD	100'	27.1' **	NO CHANGE
		81.8' **	30.25' (V)
TOTAL SIDE YARD	200'	108.9' **	57.4' (V)
REQUIRED REAR YARD	100'	22.5' **	NO CHANGE
LAND COVERAGE	75%	52%	62%
MAXIMUM BUILDING HEIGHT: 3" PER FOOT FROM DESIGNATED STREET LINE	62'	32'	NO CHANGE

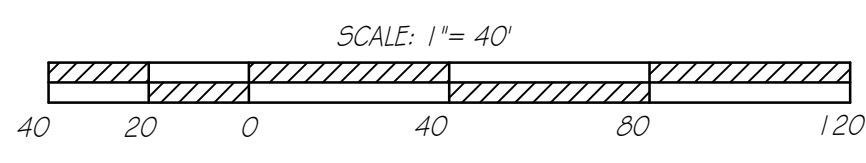
** EXISTING NON-CONFORMING CONDITION
(V) VARIANCE GRANTED

PROPOSED SITE PLAN

SCALE: 1" = 40'

SITE PLAN DATA TAKEN FROM SURVEY JAY A. GREENWELL, P.L.S. LOCATED AT 34 WAYNE AVENUE, SUFFERN, NY 10901, NYS LIC NO 49676, DATED MAY 10, 2022.

CONTOURS GIVEN IN NAVD88, BENCHMARK SEWER MANHOLE COVER, ELEV = 75.08



REVISIONS:

REVISIONS:

REVISIONS:

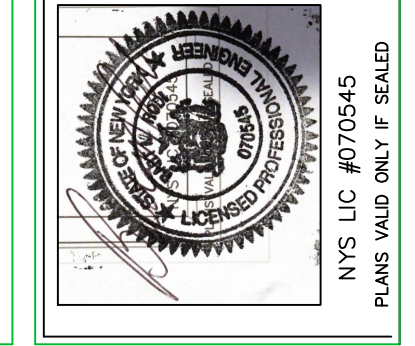
REVISIONS:

DATE: 20 OCTOBER 2022
SCALE: AS NOTED
SHEET: SP-1

EAST COAST BLR 1993 LLC
11 KINGS HIGHWAY
TAPPAN, NEW YORK 10983

PROPOSED SITE PLAN

BART M. RODI - ENGINEER
RESIDENTIAL & COMMERCIAL
234 SOUTH GRANT AVE
CONGERS, NEW YORK 10920
(845) 268-6663



DO NOT SCALE PRINTS