

Historical Areas Board of Review(HABR)

Town of Orangetown Building Department
20 Greenbush Road, Orangeburg, New York 10962

PROPERTY ADDRESS: 17 Kopac Lane, Palisades, NY Section/Block/Lot: 78.13-1-3.9

1. Provide a narrative summary explaining the project and including any facts pertaining to this project which applicant feels would be of interest to the Board;
2. Architectural Plans;
3. It is preferable to the HABR if the Architect would appear at the meeting with the Applicant.
4. Please bring SAMPLES of building materials to the meeting.
5. Materials checklist: (please provide the brand name, type, style, model and color numbers):

	COLOR	MATERIAL	MANUFACTURER
*Roof:	Onyx Black	Asphalt fiberglass	Owens Corning-Duration®
Siding:	Nottingham Tudor	Brick Veneer	General Shale®
Decorative Siding:	Cobble Stone	HardiePlank® lap siding	JamesHardie
Soffits & Fascia:	Natural Clay/beige	Vinyl & Aluminum	CertainTeed®
Gutters & Leaders:	Dark Bronze or Clay	Aluminum	Seamless gutters formed onsite
*Windows:	Canvas	Vinyl clad or aluminum	Andersen 400 series-7/8" SDL Grille
Trim:	Beige	PVC	CertainTeed® or equal
Shutters:	Pale Storm Blue	Cedar	Small Shop-Custom made & stained
*Front Door:	Black	Steel	Custom
*Back Door:	Canvas	Vinyl clad or aluminum	Andersen Frechwood®-7/8" SDL Grille
*Garage Door(s):	Black	Steel/Wood grain overlay	Clopay
*Other Door(s):	Black	Steel	Custom
Lighting:	Aged Zinc or ORB	Aluminum	Hinkley or equal coach wall lights
Lighting:	N/A		
Stone or Rock being used on Structure:	Limestone/Beige	Precast stone	Coral Cast-Front door surround
Stone or Rock being used on walkway(s):	Bluestone color	Bluestone or Paver	Natural Bluestone or Cambridge®
Columns:	Beige	Proprietary fiber polymer	HB&G Columns
Cupola:	Beige	Wood/PVC/Copper	Small Shop-Custom Cupola per plan



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[illegible]

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

LAND USE BOARD APPLICATION

<i>Please check all that apply:</i>	
<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input checked="" type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLDR-001368-2022

ASSIGNED

INSPECTOR: Ken Loudon

Referred from Planning Board: YES / **NO**

If yes provide date of Planning Board meeting: _____

Project Name: Tramutola Residence

Street Address: 17 Kopac Lane, Palisades, NY 10964

Tax Map Designation:

Section: 78.13 Block: 1 Lot(s): 3.9
Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the Left side of Kopac Lane, approximately
850 feet West of the intersection of Kopac Lane & Rte 9W, in the
Town of Orangetown in the hamlet/village of Palisades.

Acreage of Parcel 48,320/ Gross 44,400 Net
School District South Orangetown
Ambulance District _____
Water District _____

Zoning District R-40
Postal District _____
Fire District _____
Sewer District _____

Project Description: *(If additional space required, please attach a narrative summary.)*

Add a backup generator to the north side of the house and shift the driveway entrance approximately

50' to the north---Please see attached plans. Other selection changes in attached narrative.

Amendment to HABR # 22-17 dated July 12, 2022

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 3/21/2024 Applicant's Signature: _____

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type: _____

Project History:

Has this project ever been reviewed before? ^{Yes} _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

Previously approved by HABR on 7/12/2022

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

Please see separate List



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE HISTORICAL AREAS BOARD OF REVIEW

Date: 10.13.23 Section: 78.17 Block: 1 Lot: 3.09

Applicant: Tramutola

Address: 17 Kopac Ln, Palisades, NY

RE: Application Made at: same

Referred For: Chapter 12, Section 12-4(E) Requires HABR approval

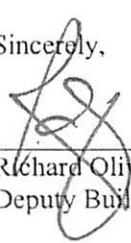
Comments:

Generator


Dear Tramutola:

Please be advised that the Building Permit Application # p23-4140, which you submitted on 10.6.23, has been referred to the Historical Areas Board of Review. The Clerk to the Historical Areas Board of Review, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or darbolino@orangetown.com

Sincerely,


Richard Oliver
Deputy Building Inspector

10/13/23


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023 JSA

10/13/23
Date
Liz DeCort
Debbie Arbolino

Tramutola Residence

17 Kopac Lane

PALISADES, NEW YORK

Alternate Selections indicated in blue text from the July 12th 2022 approval

EXTERIOR BUILDING MATERIALS SPECIFICATIONS

1. Exterior brick veneer on all sides; to be General Shale®- "Nottingham Tudor" which is a multi-color beige/red brick with beige mortar joints. The size is queensize or jumbo and the brick detail around the windows and doors is to be as shown on the plans. The front door will have a precast stone surround and keystone per plan. The brick chimneys as per plan. There will be a 4 to 6" frieze board installed over the brick where the brick meets the level soffit and where the brick meets the peaked flyer. Frieze boards, Trim boards, soffit and fascia to be PVC/vinyl/aluminum (Natural Clay). Flashings around the chimney or sidewalls to be copper. The fireplace and chimney on the covered porch are going to be eliminated. A gas fireplace with a lower, more compact design is going to be built on the rear patio off the great room, per the revised plan. The brick used will match the rest of the house.
2. Siding on the rear dormer and the covered porch rear gable to be HardiePlank® Cedarmill lap siding with 7¼" exposure (Cobble Stone).
3. Roofing material to be Owens Corning Duration® (Estate Gray) Change-Onyx black color architectural style shingles. Two Copulas per plan, built in a small shop and finished in natural clay color with copper roofs and finials. Finials on two front gable peaks per plan, approx. 11"x 40". Six 30" x 46" Velux® skylights installed per plan.
4. Shutters on the front windows to be, Board-n-Batten style, per plan; custom made from clear cedar and stained with a light-blue/charcoal color stain. (Sample provided)
5. Exterior doors- Hinged & sliding per plan. (Transoms above doors as shown on plan)
 - a.) Entry –Masterpiece smooth walnut MF 8 Lite, Arched Rain Glass, 72" x 96" double door, simulated divided light grilles, the door and grilles to be finished with Walnut stain. New Selection: Iron door with iron scrollwork grilles with Black finish. A picture is available.
 - b.) Front, Rear & Covered Patio- Andersen brand, 400 Series Frenchwood® glass patio, Sandtone (Canvas) vinyl clad or aluminum exterior. Exterior bonded 7/8" simulated divided light grilles.
 - c.) Side porch door (left)- Therm-Tru® FMC1285 SDL ¾ glass door, simulated divided light grilles, the door and grilles to be finished with Walnut or English Walnut stain. New Selection: Very similar to the front door with same Black finish, a picture is available.
 - d.) Garage leading to front walk- Andersen brand, 400 Series Frenchwood® glass patio, Sandtone (Canvas) vinyl clad or aluminum exterior. Exterior bonded 7/8" simulated divided light grilles.
6. Windows to be Andersen brand, 400 Series, sizes as per plan.
 - i. Color: change-(Canvas) Sandtone® vinyl or aluminum clad exterior
 - ii. Type: double hung & other per plan
 - iii. Grilles: 7/8" bonded simulated divided light included on all windows
7. Aluminum k-style seamless gutters and leaders to be dark bronze or color-matched with brick.

8. Garage doors (2) sizes per plan—to be Haas American Traditions Collection, model 9222 or similar—American walnut color with divided light windows. Custom multi-paneled doors with black finish to approximately match the front and side doors. The glass has been eliminated. The design is similar to the previously approved doors.
9. Exterior square support/ decorative columns at the covered and side porches as shown on the plans. Painted natural clay/ beige color.
10. Front porch & side porch surfaces and steps to be bluestone. Step risers & sides to be brick as per façade. Front walk to be bluestone flagging or Cambridge® LedgeStone 3-pc paver in Toffee/Onyx color. Front, rear or and side railings, if necessary, to be powder coated aluminum or steel (oil-rubbed bronze black).
11. The rear covered porch surface to be bluestone flagging or Cambridge LedgeStone 3-pc paver in Toffee/Onyx color. The rear covered porch area will have elements of an outdoor kitchen. This includes a stainless-steel grill built into a counter running across the back parallel side (west) of the patio, per the new Hardscape plan. The porch area will have an island counter with under-counter appliances, located at the outside edge of the covered patio. Both the grill counter and island will be constructed using the same brick as the house. The covered porch will have a set of 4' wide brick and bluestone steps to the south side. A new bluestone walk will connect the steps to the driveway area.
12. The Rear patio to be built with concrete & brick Cambridge® Sigma split face wall blocks and the patio surface to be bluestone Cambridge LedgeStone 3-pc paver. The color for both is Toffee/Onyx. The patio face will now be the same brick as the house, and the patio surface is bluestone flagging. As indicated in #1 above, a gas fireplace with a brick exterior will be built on the perpendicular north side of this patio. A fireplace design example picture is provided.
13. The retaining wall blocks to be Cambridge® Sigma split face wall block (Toffee/Onyx).
14. Exterior coach style wall light fixtures located at all exterior door locations and at each garage door. Oil-rubbed/dark bronze or aged zinc finish.
15. The A/C Condenser units are to be located on the right side (north) and screened with plantings/shrubs.
16. The Generac Guardian 26KW generator will be located on the north side of the house, as shown on the hardscape plan. Plantings will be held back the distance recommended by the manufacturer.
17. Sod in the front and around the house. Professional landscaping as per the Landscape Plan. The planting has been updated to complement the new Hardscape plan. A copy of the revised plan has been provided.
18. Freestanding entrance courtyard walls (approx. 28" tall) and two pillars with lights to be brick with bluestone caps per the Hardscape plan. Bluestone walks and courts per plan.
19. Driveway to be macadam (blacktop). The driveway entrance location is to be shifted approximately 50' to the north. The entrance will have a Belgium block apron, and the whole driveway will have Belgium block curbs and some additional border details per the new

Hardscape plan. Two 36" square driveway entrance pillars are to be located approximately 10' from the edge of the road. Pillars will have the same matching brick with bluestone caps and pillar lights.

SWIS	PRINT KEY	NAME	ADDRESS
392489	78.13-1-4	Michael Yamin	P.O. Box 118,Palisades, NY 10964
392489	78.14-1-1	State of NY Rockland County Treasurer	18 New Hempstead Rd,New City, NY 10956
392489	78.14-1-3	Erica Y Chung	250 Rte 9W,Palisades, NY 10964
392489	78.14-1-4	Young Ju Chung	250 Route 9W,Palisades, NY 10964
392489	78.17-2-15.2	Insil S Choi	23 Heyhoe Woods Rd,Palisades, NY 10964
392489	78.17-2-15.3	Paul Elmowsky	P.O. Box 694,Palisades, NY 10964
392489	78.17-2-17	So Orangetown School Dist	160 Van Wyck Rd,Blauvelt, NY 10913
392489	78.17-2-18	Young Ju Chung	250 Route 9W,Palisades, NY 10964
392489	78.17-2-19	Larry Bucciarelli	700 Oak Tree Rd,Palisades, NY 10964
392489	78.18-1-1	Phillip A Bauman	P.O. Box 52,Palisades, NY 10964
392489	78.18-1-59	Palisades Cemetery Assoc Alice Gerard	P.O. Box 225,Palisades, NY 10964
392489	78.13-1-2.1	Bret Anderson	286 Rte 9W,Palisades, NY 10964
392489	78.13-1-2.2	Blythe Anderson-Chase	286 Rte 9W,Palisades, NY 10964
392489	78.13-1-3.1	Emilio De Felice	2 Kopac Ln,Palisades, NY 10964
392489	78.13-1-3.2	Boris A Mueller	4 Kopac Ln,Palisades, NY 10964
392489	78.13-1-3.3	Jared Cohen	6 Kopac Ln,Palisades, NY 10964
392489	78.13-1-3.4	Michael Shanahan	8 Kopac Ln,Palisades, NY 10964
392489	78.13-1-3.5	Jeff Sicklick	10 Kopac Ln,Palisades, NY 10964
392489	78.13-1-3.6	Jimmy S Zervoudis	12 Kopac Ln,Palisades, NY 10964
392489	78.13-1-3.7	Harold J Hilderbrand	14 Kopac Ln,Palisades, NY 10964
392489	78.13-1-3.8	Weihua W Liu	7 Hampton Rd,Monroe, NJ 08831
392489	78.13-1-3.9	John Tramutola Jr	2000 Royal Ct,North Hills, NY 11040
392489	78.13-1-3.10	Gurjeet Chadha	15 Kopac Ln,Palisades, NY 10964
392489	78.13-1-3.11	Glen Eisenberg	11 Kopac Ln,Palisades, NY 10964
392489	78.13-1-3.12	Keith Cozza	9 Kopac Ln,Palisades, NY 10964
392489	78.13-1-3.13	Benjamin Colonomos	7 Kopac Ln,Palisades, NY 10964
392489	78.13-1-3.14	Jeffrey S Brodsky	5 Kopac Ln,Palisades, NY 10964
392489	78.13-1-3.15	Oleg Korenfeld	3 Kopac Ln,Palisades, NY 10964
392489	78.13-1-3.16	Jason Beckerman	1 Kopac Ln,Palisades, NY 10964
392489	78.13-1-3.17	Lennar New York LLC Town of Orangetown	2465 Kuser Rd Fl 3,Hamilton, NJ 08690

Example:
Matching
Brick to be
used
(Rear patio)



New front door style

17 Kopac Lane



New side porch door selection-17 Kopac Lane



GENERAC®

GUARDIAN® SERIES Residential Standby Generators Air-Cooled Gas Engine

26 kW

26 kW

10

Standby Power Rating

G007290-0, G007291-0 (Aluminum - Bisque) - 26 kW 60 Hz

INCLUDES:

- True Power™ Electrical Technology
- Two-line multilingual digital LCD Evolution™ controller (English/Spanish/French/Portuguese)
- 200 amp service rated transfer switch available
- Electronic governor
- Standard Wi-Fi® connectivity
- System status & maintenance interval LED indicators
- Sound attenuated enclosure
- Flexible fuel line connector
- Natural gas or LP gas operation
- 5 Year limited warranty
- Base fascia
- Listed and labeled for installation as close as 18 in (457 mm) to a structure.*
**Must be located away from doors, windows, and fresh air intakes and in accordance with local codes.*



or
QUIET TEST™



Note: CETL or CUL certification only applies to unbundled units and units packaged with limited circuit switches. Units packaged with the Smart Switch are ETL or UL certified in the USA only.

FEATURES

- **INNOVATIVE ENGINE DESIGN & RIGOROUS TESTING** are at the heart of Generac's success in providing the most reliable generators possible. Generac's G-Force engine lineup offers added peace of mind and reliability for when it's needed the most. The G-Force series engines are purpose built and designed to handle the rigors of extended run times in high temperatures and extreme operating conditions.
- **TRUE POWER™ ELECTRICAL TECHNOLOGY:** Superior harmonics and sine wave form produce less than 5% Total Harmonic Distortion for utility quality power. This allows confident operation of sensitive electronic equipment and micro-chip based appliances, such as variable speed HVAC systems.
- **TEST CRITERIA:**
 - ✓ **PROTOTYPE TESTED**
 - ✓ **SYSTEM TORSIONAL TESTED**
 - ✓ **NEMA MG1-22 EVALUATION**
 - ✓ **MOTOR STARTING ABILITY**
- **MOBILE LINK® CONNECTIVITY:** FREE with select Guardian Series Home standby generators, Mobile Link Wi-Fi allows users to monitor generator status from anywhere in the world using a smartphone, tablet, or PC. Easily access information such as the current operating status and maintenance alerts. Users can connect an account to an authorized service dealer for fast, friendly, and proactive service. With Mobile Link, users are taken care of before the next power outage.
- **SOLID-STATE, FREQUENCY COMPENSATED VOLTAGE REGULATION:** This state-of-the-art power maximizing regulation system is standard on all Generac models. It provides optimized FAST RESPONSE to changing load conditions and MAXIMUM MOTOR STARTING CAPABILITY by electronically torque-matching the surge loads to the engine. Digital voltage regulation at $\pm 1\%$.
- **SINGLE SOURCE SERVICE RESPONSE** from Generac's extensive dealer network provides parts and service know-how for the entire unit, from the engine to the smallest electronic component.
- **GENERAC TRANSFER SWITCHES:** Long life and reliability are synonymous with GENERAC POWER SYSTEMS. One reason for this confidence is that the GENERAC product line is offered with its own transfer systems and controls for total system compatibility.

GENERAC
PROMISE



* Assembled in the USA using domestic and foreign parts.

26 kW

Generator

Model	G007290-0 G007291-0 (26 kW)
Rated maximum continuous power capacity (LP)	26,000 Watts*
Rated maximum continuous power capacity (NG)	22,500 Watts*
Rated voltage	240
Rated maximum continuous load current – 240 volts (LP/NG)	108.3 / 93.8
Total Harmonic Distortion	Less than 5%
Main line circuit breaker	110 amp
Phase	1
Number of rotor poles	2
Rated AC frequency	60 Hz
Power factor	1.0
Battery requirement (not included)	12 Volts, Group 26R 540 CCA minimum or Group 35AGM 650 CCA minimum
Unit weight (lb / kg)	518 / 235
Dimensions (L x W x H) in / cm	48 x 25 x 29 / 121.9 x 63.5 x 73.7
Sound output in dB(A) at 23 ft (7 m) with generator operating at normal load**	67
Sound output in dB(A) at 23 ft (7 m) with generator in Quiet-Test™ low-speed exercise mode**	57
Exercise duration	5 min

Engine

Engine type	GENERAC G-Force 1000 Series
Number of cylinders	2
Displacement	999 cc
Cylinder block	Aluminum w/ cast iron sleeve
Valve arrangement	Overhead valve
Ignition system	Solid-state w/ magneto
Governor system	Electronic
Compression ratio	9.5:1
Starter	12 VDC
Oil capacity including filter	Approx. 1.9 qt / 1.8 L
Operating rpm	3,600
Fuel consumption	
Natural gas	ft ³ /hr (m ³ /hr)
1/2 Load	188 (5.32)
Full Load	333 (9.43)
Liquid propane	ft ³ /hr (gal/hr) [L/hr]
1/2 Load	75 (2.06) [7.78]
Full Load	132 (3.63) [13.73]

Note: **Fuel pipe must be sized for full load.** Required fuel pressure to generator fuel inlet at all load ranges - 3.5–7 in water column (0.87–1.74 kPa) for NG, 10–12 in water column (2.49–2.99 kPa) for LP gas. For BTU content, multiply ft³/hr x 2500 (LP) or ft³/hr x 1000 (NG). For Megajoule content, multiply m³/hr x 93.15 (LP) or m³/hr x 37.26 (NG).

Controls

Two-line plain text multilingual LCD	Simple user interface for ease of operation.
Mode buttons: AUTO	Automatic start on utility failure. Weekly, Bi-weekly, or Monthly selectable exerciser.
MANUAL	Start with starter control, unit stays on. If utility fails, transfer to load takes place.
OFF	Stops unit. Power is removed. Control and charger still operate.
Ready to Run/Maintenance messages	Standard
Engine run hours indication	Standard
Programmable start delay between 2–1500 seconds	Standard (programmable by dealer only)
Utility Voltage Loss/Return to Utility adjustable (brownout setting)	From 140-171 V / 190-216 V
Future Set Capable Exerciser/Exercise Set Error warning	Standard
Run/Alarm/Maintenance logs	50 events each
Engine start sequence	Cyclic cranking: 16 sec on, 7 rest (90 sec maximum duration).
Starter lock-out	Starter cannot re-engage until 5 sec after engine has stopped.
Smart Battery Charger	Standard
Charger Fault/Missing AC warning	Standard
Low Battery/Battery Problem Protection and Battery Condition indication	Standard
Automatic Voltage Regulation with Over and Under Voltage Protection	Standard
Under-Frequency/Overload/Stepper Overcurrent Protection	Standard
Safety Fused/Fuse Problem Protection	Standard
Automatic Low Oil Pressure/High Oil Temperature Shutdown	Standard
Overcrank/Overspeed (@ 72 Hz)/rpm Sense Loss Shutdown	Standard
High Engine Temperature Shutdown	Standard
Internal Fault/Incorrect Wiring protection	Standard
Common external fault capability	Standard
Field upgradable firmware	Standard

Rating definitions – Optional Standby: Applicable for supplying backup power for the duration of the utility power outage with correct maintenance performed.

* No overload capability is available for this rating. (All ratings in accordance with BS5514, ISO3046, UL2200, and DIN6271). Maximum kilovolt amps and current are subject to and limited by such factors as fuel BTU/Megajoule content, ambient temperature, altitude, engine power and condition, etc. Maximum power decreases approximately 3.5% for each 1,000 ft (304.8 m) above sea level and approximately 1% for each 10 °F (6 °C) above 60 °F (16 °C). ** Sound levels are taken from the front of the generator. Sound levels taken from other sides of the generator may be higher depending on installation parameters. U.S. EPA certified for non-emergency applications.

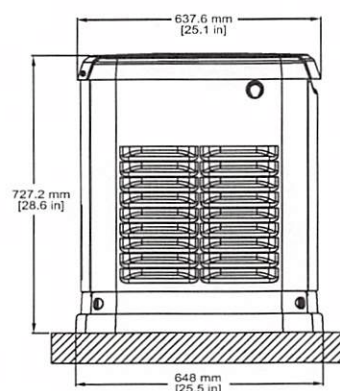
26 kW

Available Accessories

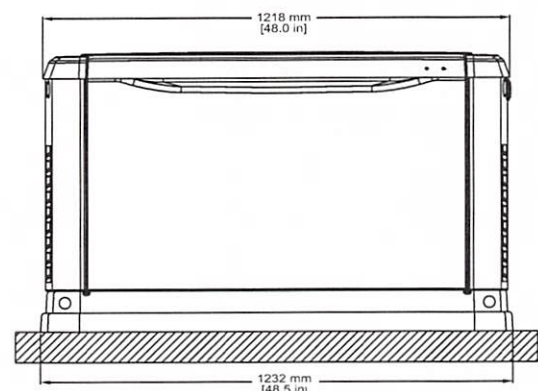
Model #	Product	Description
G007101-0	Battery Pad Warmer	Pad warmer rests under the battery. Recommended for use if temperature regularly falls below 0 °F (-18 °C). (Not necessary for use with AGM-style batteries).
G007102-0	Oil Warmer	Oil warmer slips directly over the oil filter. Recommended for use if temperature regularly falls below 0 °F (-18 °C).
G007103-1	Breather Warmer	Breather warmer is for use in extreme cold weather applications. For use with Evolution controllers only in climates where heavy icing occurs.
G005621-0	Auxiliary Transfer Switch Contact Kit	The auxiliary transfer switch contact kit allows the transfer switch to lock out a single large electrical load that may not be needed. Not compatible with 50 amp pre-wired switches.
G007027-0 - Bisque	Fascia Base Wrap Kit	The fascia base wrap snaps together around the bottom of the new air-cooled generators. This offers a sleek, contoured appearance as well as offering protection from rodents and insects by covering the lifting holes located in the base.
G005703-0 - Bisque	Touch-Up Paint Kit	If the generator enclosure is scratched or damaged, it is important to touch up the paint to protect from future corrosion. The touch-up paint kit includes the necessary paint to correctly maintain or touch up a generator enclosure.
G006485-0	Scheduled Maintenance Kit	Generac's scheduled maintenance kit provides all the items necessary to perform complete routine maintenance on a Generac automatic standby generator (oil not included).
G007009-0	LTE LP Tank Fuel Level Monitor	The LTE enabled LP tank fuel level monitor provides constant monitoring of the connected LP fuel tank. Monitoring the LP tank's fuel level is an important step in verifying the generator is ready to run during an unexpected power failure. Status alerts are available through a free application to notify users when the LP tank is in need of a refill.
G007000-0 (50 amp) G007006-0 (100 amp)	Smart Management Module	Smart Management Modules (SMM) are used to optimize the performance of a standby generator. It manages large electrical loads upon startup and sheds them to aid in recovery when overloaded. In many cases, using SMM's can reduce the overall size and cost of the system.
G007169-0 - 4G LTE G007170-0 - Wi-Fi/ Ethernet	Mobile Link® Cellular Accessories	The Mobile Link family of Cellular Accessories allow users to monitor generator status from anywhere in the world, using a smart phone, tablet, or PC. Easily access information such as the current operating status and maintenance alerts. Users can connect an account with an authorized service dealer for fast, friendly, and proactive service. With Mobile Link, users are taken care of before the next power outage.
G007220-0 - Bisque	Base Plug Kit	Base plugs snap into the lifting holes on the base of air-cooled home standby generators. This offers a sleek, contoured appearance, as well as offers protection from rodents and insects by covering the lifting holes located in the base. Kit contains four plugs, sufficient for use on a single air-cooled home standby generator.
G007301-0	High Altitude Kit	A high altitude kit may be required when operating over 2,000 ft (610 m) above sea level per U.S. EPA regulations. Operating the engine with the incorrect engine configuration at a given altitude may increase emissions and decrease fuel efficiency and performance.

Dimensions & UPCs

Model	UPC
G007290-0	696471087307
G007291-0	696471087314



LEFT SIDE VIEW



FRONT VIEW

Dimensions shown are approximate. See installation manual for exact dimensions. DO NOT USE THESE DIMENSIONS FOR INSTALLATION PURPOSES.

DECISION

APPROVED AS PRESENTED

TO: Greg Comito (Tramutola)
PO Box 33
Palisades, New York 10964

HABR #22-17
July 12, 2022
Permit# BLDR 1368-22

FROM: HISTORICAL AREAS BOARD OF REVIEW, TOWN OF ORANGETOWN

HABR#22-17: Application of John and Jennifer Tramutola for review of a new single-family residence. The premises are located at 17 Kopac Lane, Palisades, New York. Chapter 12 of the Code of the Town of Orangetown, Section 12-4 (A), Historical Areas Board of Review.
Tax Map Designation: 78.13 / 1 / 3.9; R-40 zoning district.

Heard by the HISTORICAL AREAS BOARD OF REVIEW at a meeting held on Tuesday, July 12, 2022 at which time the Board made the following determination:

Lisa Comito, Comito Construction, and Jennifer Lucas, Architect, appeared.

The following documents were presented:

1. Plans labeled "Tramutola Residence New Single -Family Residence 17 Kopac Lane, Palisades, NY" by Lucas Architecture & Planning signed and sealed by Jennifer Claire Lucas, Architect. (4 pages).
2. Plan labeled "Cabana Plat Plan for Tramutola" dated June 6, 2022 signed and sealed by Paul Gdanski, P.E., PLLC.(1 page)

Lisa Comito stated that the architect Jennifer Lucas has done a marvelous job of designing the house to fit on the last lot left in this development; that the lot was difficult for several reasons but the house is fitting the lot beautifully.

Jennifer Lucas stated that the house will be all brick, with a wood frame and the second floor will have hardi plank lap siding; that the house has many nice details to break up the length of it; that the gutters will be half rounds and the windows will be sandstone with SDL Grilles; and that she not sure of the height of the spire.

Thano Schoppel commented that the house is beautifully broken up with nice details. And the Board agreed.

PUBLIC COMMENT:

No public comment.

TOWN OF ORANGETOWN
2022 JUL 20 P 12:43
TOWN CLERK'S OFFICE

FINDINGS OF FACT:

The Board, after personal observation of the property, hearing all the testimony and reviewing all drawings and plans, and other submissions, correspondence and reports (if any), found as fact, that: The application as presented, would not adversely affect the Historical Areas and the surrounding area. The design and materials for the proposed new single-family residence:

1. The roofing material shall be Owens Corning Duration (Estate Gray) color architectural style shingles. Two Copulas per plan, built in a small shop and finished in natural clay color with copper roofs and finials. Finials on two front gable peaks per plan, approximately 11" x 40". Six 30" x 46" Velux skylights installed per plan.
2. There shall be exterior brick veneer on all sides; to be General Shale "Nottingham Tudor" which is a multi-color beige/red brick with beige mortar joints. The size is queen-size or jumbo and the brick detail around the windows and doors is to be as shown on the plans. The brick chimneys as per plan. There will be a 4 to 6" frieze board installed over the brick where the brick meets the level soffit and where the brick meets the peaked flyer. Frieze board, Trim boards, soffit and fascia to be PVC/vinyl/aluminum (Natural Clay) Flashings around chimney or sidewalls to be copper.
3. Siding on the rear dormer and the covered porch rear gable to be Hardie Plank Cedar mill lap siding with 7 1/4" exposure (CobbleStone).
4. The shutters on the front windows to be Board-n-Batten style, per plan; custom made from clear cedar and stained with a light blue/charcoal color stain.
5. Exterior doors- Hinged & Sliding per plan. (Transoms above doors as show on plan)
 - (a) Entry_ Masterpiece smooth walnut MF8 Lite, Arched Rain Glass 72" x 96" double door, simulate divided light grilles, the door and grilles to be finished with Walnut stain.
 - (b) Front, Rear & Covered Patio- Andersen brand, 400 Series Frenchwood glass patio, Sandstone vinyl clad or aluminum exterior. Exterior bonded 7/8" simulated divided light grilles.
 - (c) Side porch door (left)-Therma -Tru FMC1285 SDL 3/4 glass door, simulated divided lights grilles, the door and grilles to be finished with Walnut or English Walnut Stain.
 - (d) Garage leading to front walk- Andersen brand, 400 Series Frenchwood glass patio, Sandstone vinyl clad or aluminum exterior. Exterior bonded 7/8" simulated divided light grilles.
6. Windows to be Anderson brand, 400 Series, sizes as per plan; Color Sandstone, vinyl or aluminum clad exterior; Type: Double hung & other per plan; Grilles: 7/8" bonded simulated divided light included on all windows.
7. Aluminum k-style seamless gutters and leaders to be dark bronze or color matched with brick..
8. The garage doors (2) sizes per plan-to be Haas American Traditions Collection, model 9222 or similar- American walnut color with divided light windows.
9. Exterior square support /decorative columns at the covered and side porches as shown on the plans. Painted natural clay/beige color.
10. Front porch and side porch surfaces and steps to be bluestone. Step risers & sides to be brick as per façade. Front walk to be bluestone flagging or Cambridge LedgeStone 3-pc paver in Toffee/Onyx color. Front or side railings, if necessary, to be powder coated aluminum (oil-rubbed bronze).
11. The rear covered porch surface to be bluestone flagging or Cambridge 3-pc paver in Toffee/Onyx color.

TOWN OF ORANGETOWN
2022 JUL 20 PM 4:3
TOWN CLERK'S OFFICE

12. The rear patio to be built with Cambridge Sigma split face wall blocks and the patio surface to be Cambridge Ledgestone 3-pc paver. The color for both is Toffee/Onyx.
13. The retaining wall blocks to be Cambridge Sigma split face wall block (Toffee/Onyx).
14. Exterior coach style wall light fixtures located at all exterior door locations and at each garage door. Oil-rubbed/dark bronze or aged zinc finish.
15. The A/C Condenser units to be located on the right side (north) and screened with plantings/shrubs.
16. Sod in the front and around the house. Profession landscaping as per the Landscape plan.
17. Driveway to be macadam (blacktop).

THIS APPROVAL/DECISION, INCLUDING THE BOARD'S REQUIRED MODIFICATIONS TO THE APPLICANT'S DRAWINGS AND /OR PLANS, OR CONDITIONS SET FORTH HEREIN, IF ANY, IS GRANTED BY THE HISTORICAL AREAS BOARD OF REVIEW SUBJECT TO ANY SUCH CONDITIONS AND/OR MODIFICATIONS, AND IS LIMITED TO THE SPECIFIC RELIEF REQUESTED HEREIN.

**** PRE-1918 CONSTRUCTION: PLEASE BE ADVISED: IN THE HISTORIC AREA, ALL CONSTRUCTION REQUIRING A BUILDING PERMIT OR ANY EXTERIOR CHANGES (INCLUDING PAINT COLOR) TO BUILDINGS CONSTRUCTED PRIOR TO 1918, REQUIRES APPROVAL FROM THE HISTORICAL AREAS BOARD OF REVIEW.**

PRIOR APPROVAL OF THE HISTORICAL AREA BOARD OF REVIEW IS REQUIRED PRIOR TO ANY CHANGE OR MODIFICATION OF THE REQUIREMENTS AND/OR CONDITIONS SET FORTH IN THIS DECISION, INCLUDING, BUT NOT LIMITED TO:

- ROOFING SHINGLES (IF CHANGING COLOR)
- SIDING
- DECORATIVE SIDING
- SOFFITS & FASCIA
- GUTTERS AND LEADERS
- WINDOWS
- TRIM
- SHUTTERS
- DOORS
- LIGHTING
- LOCATION OF AIR CONDITIONING UNITS
- WALKWAYS, PATIOS
- POOLS, SPAS AND FENCES
- SIGNS
- ANY CHANGE IN THE ABOVE LIST INCLUDING COLOR, MATERIAL AND/OR MANUFACTURER

IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT DEBBIE ARBOLINO, CLERK TO THE HISTORICAL AREAS BOARD OF REVIEW AT (845) 359-8410.

TOWN OF ORANGE
2022 JUL 20 PM 2:43
TOWN CLERK'S OFFICE

DECISION: In view of the foregoing, and after personal observation of the property, hearing all the testimony before the Board, and reviewing all drawings and plans, and other submissions, correspondence and reports (if any), the application for demolition of the new single-family residence is APPROVED AS SUBMITTED.

The foregoing resolution to approve the new single-family residence for property located at 17 Kopac Lane, Palisades, N.Y. HABR#22-17, as submitted; was presented and moved by Thano Schoppel, seconded by Allen Ryf; and carried as follows: Larry Bucciarelli, aye; Thano Schoppel, aye; Margaret Raso, aye; Scott Wheatley, aye; Allen Ryf, aye; and Loren Plotkin, aye. William Walther was absent.

The Administrative Aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

Dated: July 12, 2022

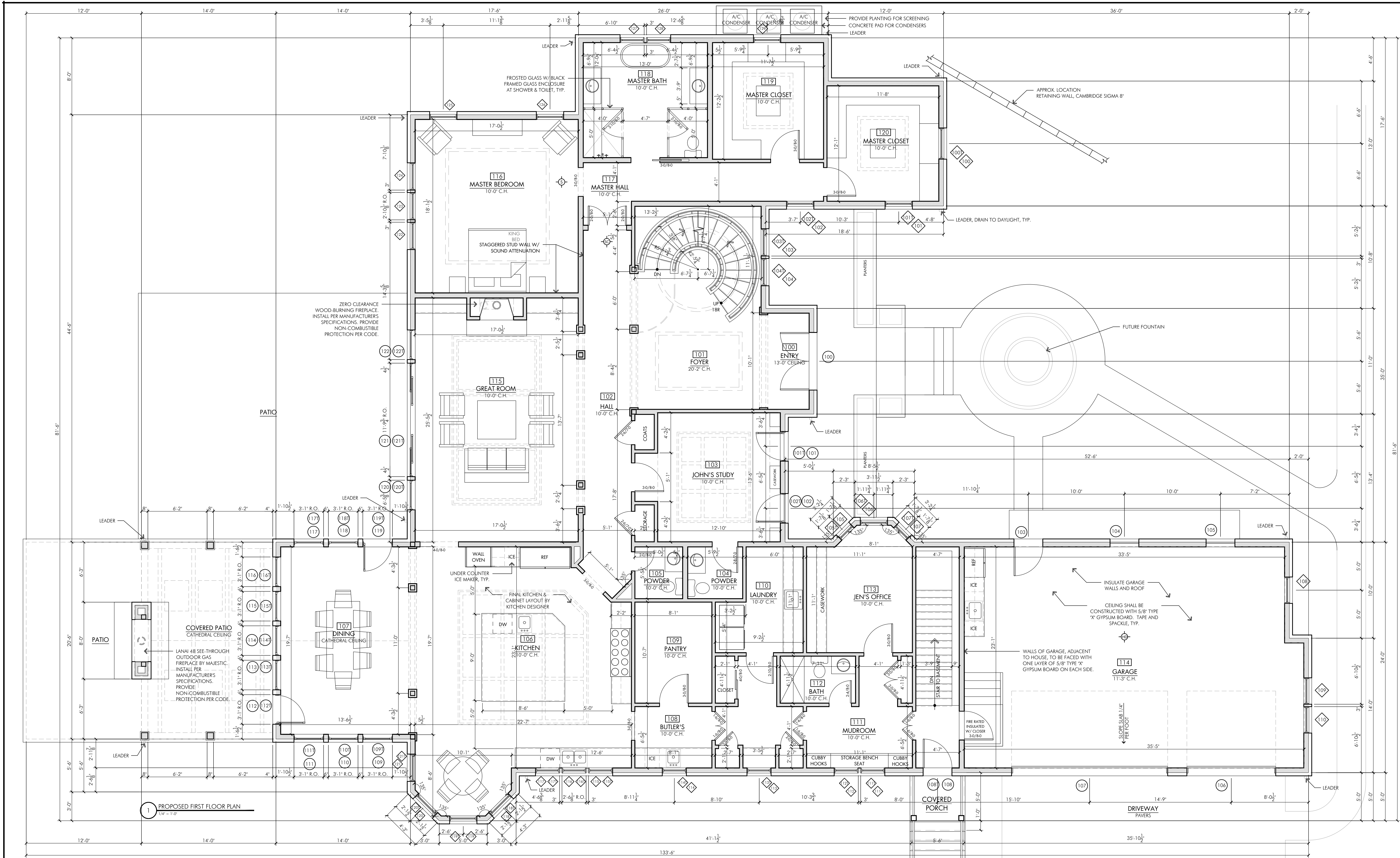
HISTORICAL AREAS BOARD OF REVIEW
TOWN OF ORANGETOWN

BY: 
Deborah Arbolino, Administrative Aide

DISTRIBUTION

- | | |
|--------------------------|--------------------------|
| APPLICANT | TOWN CLERK |
| TOWN BOARD MEMBERS | HIGHWAY DEPARTMENT |
| HABR MEMBERS | TOWN HISTORIAN |
| SUPERVISOR | DEPT. OF ENVIRONMENTAL |
| TOWN ATTORNEY | ENGINEERING |
| DEPUTY TOWN ATTORNEY | HABR, PB, FILE |
| OBZPAE | PB, ZBA, ACABOR CHAIRMAN |
| BUILDING INSPECTOR- K.L. | |

TOWN OF ORANGETOWN
2022 JUL 20 PM 12:43
TOWN CLERK'S OFFICE



SQUARE FOOTAGE	
FIRST FLOOR:	3,884 S.F.
SECOND FLOOR:	1,119 S.F.
TOTAL:	5,003 S.F.
BASEMENT:	3,884 S.F.
GARAGE:	841 S.F.

LEGEND	
	SMOKE DETECTOR - HARDWIRED, W/ BATTERY BACKUP, CEILING MOUNTED
	SMOKE & CARBON DIOXIDE DETECTOR - HARDWIRED, W/ BATTERY BACKUP, CEILING MOUNTED
	PROPOSED FOUNDATION WALL / FOOTING
	NEW WOOD FRAMED WALL

- GENERAL NOTES**
- DIMENSIONS ARE FROM THE FACE OF STUD TO FACE OF STUD OR EXISTING FINISH SURFACE.
 - INSTALL NEW SMOKE & C.O. DETECTORS AS SHOWN IN PLAN.
 - ALL INTERIOR G.W.B. SURFACES TO BE PRIMED & PAINTED, LOW VOC. COLOR TO BE SELECTED BY OWNER.
 - ALL NEW EXTERIOR WALLS TO BE 2x6 WOOD STUDS @ 16" o.c. CONSTRUCTION, INSULATED PER CODE. ALL NEW INTERIOR WALLS TO BE 2x4 WOOD STUDS @ 16" o.c. UNLESS OTHERWISE NOTED.
 - ALL WINDOW & DOOR HEADERS TO BE (2) 1-3/4" x 9-1/4" 1.9E ML, U.O.N.
 - ALL NEW WOOD STAIRS TO HAVE 2x12 STRINGERS @ 16" o.c., TYP. WITH: RISER=8.25" MAX., TREAD=9" MIN.
 - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS. HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE 34 INCHES.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND COORDINATE WITH APPLIANCES AND PLUMBING FIXTURES PRIOR TO THE OWNER PLACING THE ORDER.
 - FINAL KITCHEN DESIGN BY OTHERS.
 - ALL WORK SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES.
 - SITE SECURITY, SAFETY AND CLEANLINESS SHALL BE MAINTAINED AT ALL TIMES.
 - CONTRACTOR SHALL LEAVE PREMISES BROOM CLEAN AT CLOSE OF JOB. REMOVE ALL VISIBLE MANUFACTURERS' LABELS FROM WINDOWS, CABINETS, APPLIANCES, ETC. REMOVE ALL LITTER AND DEBRIS FROM SITE. DRAG DRIVEWAY WITH MAGNET TO REMOVE ALL NAILS.
 - PROTECT ALL TREES FROM UNNECESSARY DAMAGE.
 - WORK AREA TO BE NEAT AND FREE OF GARBAGE & DEBRIS AT THE END OF EACH WORK DAY.

LUCAS
architecture & planning
JENNIFER CLARE LUCAS, R.A.
25 LAFAYETTE AVENUE
KINGSTON NY 12401
t: 845-339-4069



PROJECT:
TRAMUTOLA RESIDENCE
NEW SINGLE FAMILY RESIDENCE
17 KOPAC LANE
PALISADES, NY 10964
TOWN OF ORANGETOWN

DATE	ISSUE
04.30.22	PRICING REVIEW
05.03.22	CLIENT REVIEW
05.07.22	CLIENT REVIEW
05.15.22	CLIENT REVIEW
05.23.22	CLIENT REVIEW
05.30.22	PERMIT & CONSTRUCTION
06.21.22	MATERIALS & GRADING

DATE	NO.	REVISION

DATE:	06.21.22
DRAWN BY:	JCL
SCALE:	1/4" = 1'-0"
FLOOR:	FIRST FLOOR
DRAWING TITLE:	PLANS

DOB NOTES:

SHEET NUMBER:
A-103.00

DOB SCAN:

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1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"

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architecture & planning

JENNIFER CLARE LUCAS, R.A.
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KINGSTON NY 12401
t: 845-339-4069

AOR STAMP



PROJECT:

TRAMUTOLA RESIDENCE
NEW SINGLE FAMILY RESIDENCE
17 KOPAC LANE
PALISADES, NY 10964
TOWN OF ORANGETOWN

DATE	ISSUE
04.30.22	PRICING REVIEW
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05.15.22	CLIENT REVIEW
05.23.22	CLIENT REVIEW
05.30.22	PERMIT & CONSTRUCTION
06.21.22	MATERIALS & GRADING

DATE	NO.	REVISION

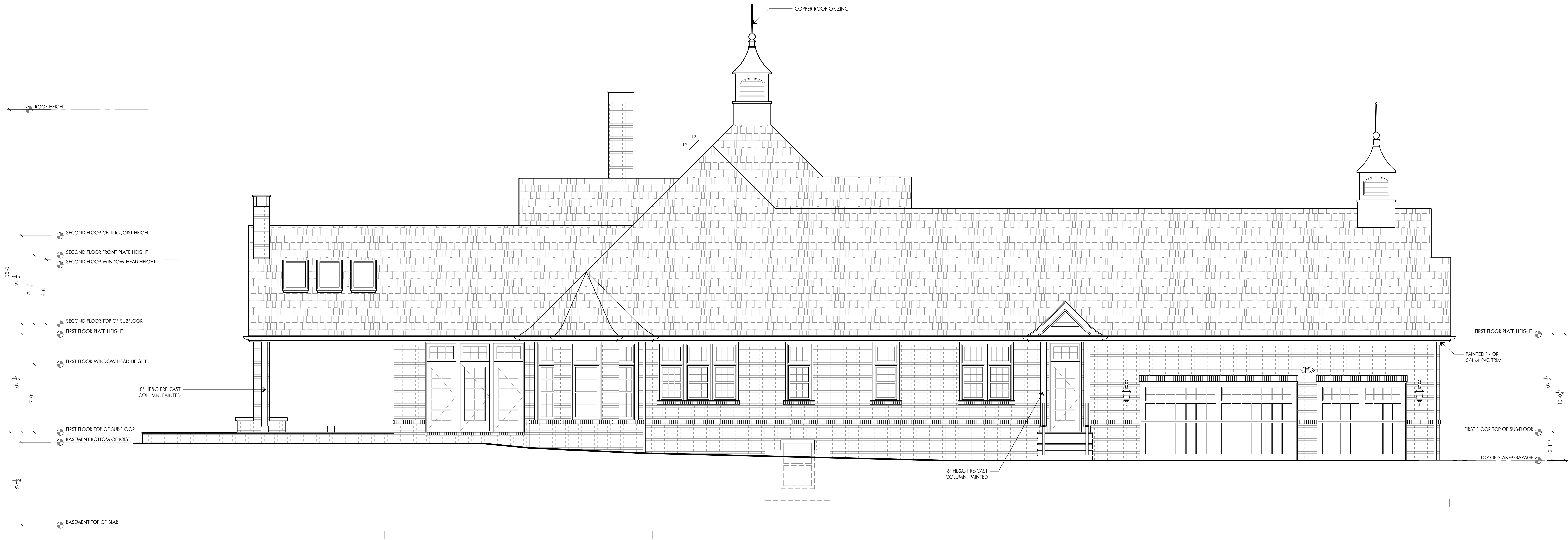
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SCALE:	1/4" = 1'-0"
FLOOR:	AS NOTED
DRAWING TITLE:	ELEVATIONS

DOB NOTES:

SHEET NUMBER:

A-109.00

DOB SCAN:



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AOR STAMP



PROJECT:

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NEW SINGLE FAMILY RESIDENCE
17 KOPAC LANE
PALISADES, NY 10964
TOWN OF ORANGETOWN

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05.15.22	CLIENT REVIEW
05.23.22	CLIENT REVIEW
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06.21.22	MATERIALS & GRADING

DATE	NO.	REVISION

DATE:	06.21.22
DRAWN BY:	JCL
SCALE:	1/4" = 1'-0"
FLOOR:	AS NOTED
DRAWING TITLE:	ELEVATIONS

DOB NOTES:

SHEET NUMBER:

A-110.00

DOB SCAN:

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JENNIFER CLARE LUCAS, R.A.
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KINGSTON NY 12401
t: 845-339-4069

AOR STAMP



PROJECT:

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06.21.22	MATERIALS & GRADING

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DATE:	06.21.22
DRAWN BY:	JCL
SCALE:	1/4" = 1'-0"
FLOOR:	AS NOTED
DRAWING TITLE:	ELEVATIONS

DOB NOTES:

SHEET NUMBER:

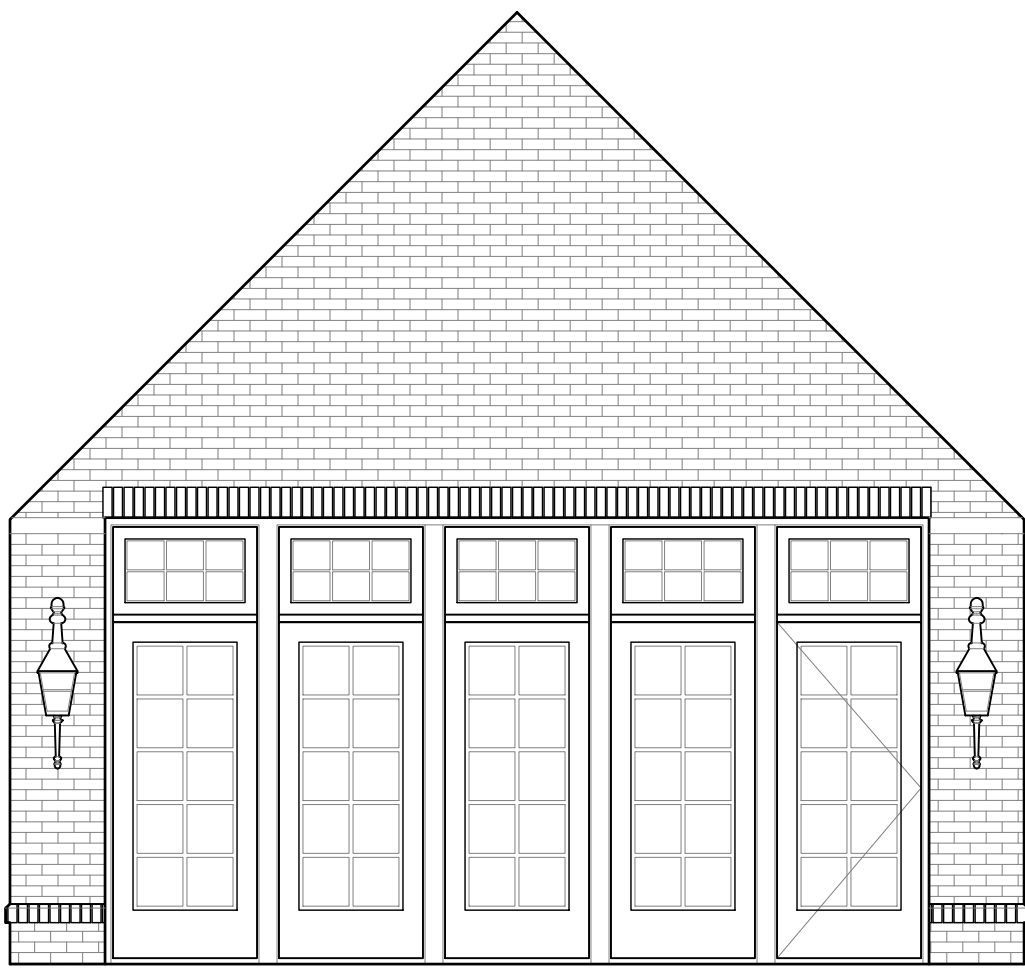
A-111.00

DOB SCAN:

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1 PROPOSED REAR ELEVATION
1/4" = 1'-0"



2 PROPOSED INTERIOR ELEVATION @ COVERED PATIO
1/4" = 1'-0"

PAINTED 1x OR 5/4 x4 PVC TRIM

2 PROPOSED NORTH ELEVATION @ JEN'S OFFICE
1/4" = 1'-0"

COPPER ROOF OR ZINC

±33'-7 3/8"
9'-1 1/4"
7'-1 1/4"
6'-8"
10'-1 1/4"
7'-0"
2'-11"

ROOF HEIGHT
SECOND FLOOR CEILING JOIST HEIGHT
SECOND FLOOR FRONT PLATE HEIGHT
SECOND FLOOR WINDOW HEAD HEIGHT
SECOND FLOOR TOP OF SUBFLOOR
FIRST FLOOR PLATE HEIGHT
FIRST FLOOR WINDOW HEAD HEIGHT
PAINTED 1x OR 5/4 x4 PVC TRIM
FIRST FLOOR TOP OF SUB-FLOOR
TOP OF SLAB

1 PROPOSED NORTH ELEVATION
1/4" = 1'-0"

PROVIDE PLANTINGS FOR SCREENING
CONCRETE PAD FOR CONDENSERS

A/C CONDENSER A/C CONDENSER A/C CONDENSER

LUCAS

architecture & planning

JENNIFER CLARE LUCAS, R.A.
25 LAFAYETTE AVENUE
KINGSTON NY 12401
t: 845-339-4069

AOR STAMP



PROJECT:

TRAMUTOLA RESIDENCE
NEW SINGLE FAMILY RESIDENCE
17 KOPAC LANE
PALISADES, NY 10964
TOWN OF ORANGETOWN

DATE	ISSUE
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05.15.22	CLIENT REVIEW
05.23.22	CLIENT REVIEW
05.30.22	PERMIT & CONSTRUCTION
06.21.22	MATERIALS & GRADING

DATE	NO.	REVISION

DATE:	06.21.22
DRAWN BY:	JCL
SCALE:	1/4" = 1'-0"
FLOOR:	AS NOTED
DRAWING TITLE:	ELEVATIONS

DOB NOTES:

SHEET NUMBER:

A-112.00

DOB SCAN:

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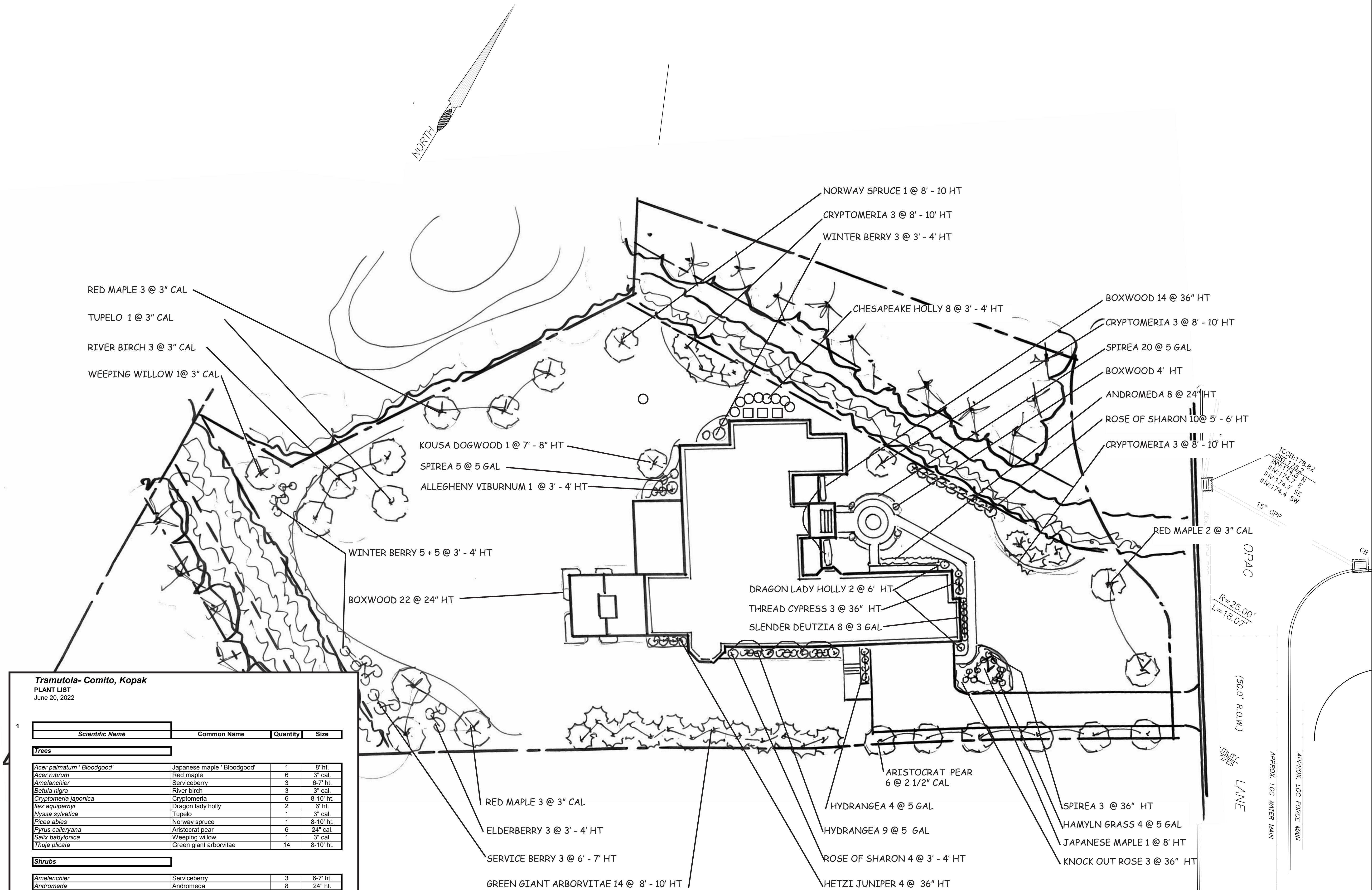
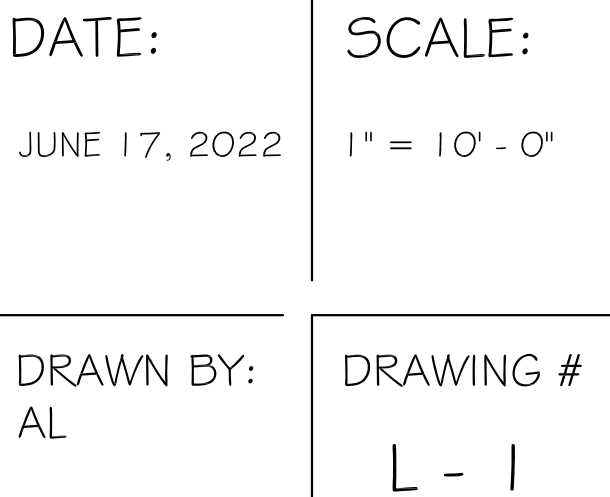
17 KOPAC LANE
ALISADES, NY 10964

DANIEL SHERMAN
LANDSCAPE ARCHITECT

4 BROADWAY - SUITE 9
VALHALLA, NY 10595

PHONE: (914) 824 - 0999
FAX: (914) 824-0251

dan.danshermanlandscape@gmail.com
www.danshermanlandscape.com



Matmutola- Comito, Kopak

PLANT LIST

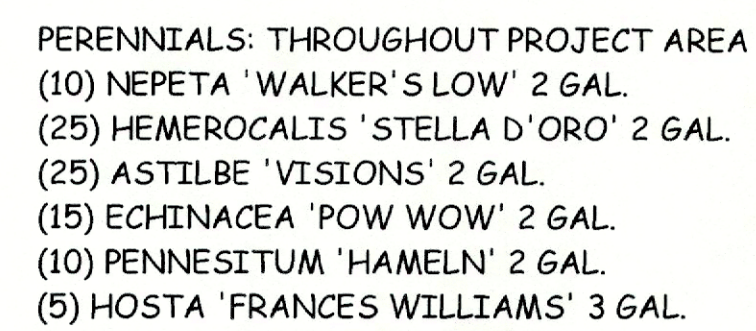
June 20, 2022

Scientific Name				Common Name				Quantity	Size
Trees									
<i>Acer palmatum</i> 'Bloodgood'				Japanese maple 'Bloodgood'				1	8' ht.
<i>Acer rubrum</i>				Red maple				6	3' cal.
<i>Amelanchier</i>				Serviceberry				3	6-7' ht.
<i>Betula nigra</i>				River birch				3	3' cal.
<i>Cryptomeria japonica</i>				Cryptomeria				6	8-10' ht.
<i>Ilex aquifolium</i>				Dragon lady holly				2	6' ht.
<i>Nyssa sylvatica</i>				Tupelo				1	3' cal.
<i>Picea abies</i>				Norway spruce				1	8-10' ht.
<i>Pyrus calleryana</i>				Aristocrat pear				6	24" cal.
<i>Salix babylonica</i>				Weeping willow				1	3' cal.
<i>Thuja plicata</i>				Green giant arborvitae				14	8-10' ht.
Shrubs									
<i>Amelanchier</i>				Serviceberry				3	6-7' ht.
<i>Andromeda</i>				Andromeda				8	24" ht.
<i>Buxus sempervirens</i> 'Salicifolia'				Boxwood				14	36" ht.
<i>Buxus sempervirens</i> 'Salicifolia'				Boxwood				4	4' ht.
<i>Chamaecyparis pisifera</i> 'Filifera Aurea'				Thread cypress				3	36" ht.
<i>Deutzia gracilis</i>				Slender Deutzia				8	3 Gal.
<i>Hibiscus syriacus</i>				Rose of sharon				10	5-6' ht.
<i>Hydrangea</i>				Hydrangea				13	5 Gal.
<i>Ilex Crenata</i>				Chesapeake holly				8	3-4" ht.
<i>Ilex verticillata</i>				Winterberry				13	3-4" ht.
<i>Juniperus Virginiana</i> 'Hetzii'				Hetzi Juniper				4	36" ht.
<i>Rosa</i> 'Knock Out'				Knockout rose				3	36" ht.
<i>Sambucus</i>				Elderberry				3	3-4" ht.
<i>Spiraea</i>				Spiraea				23	5 Gal.

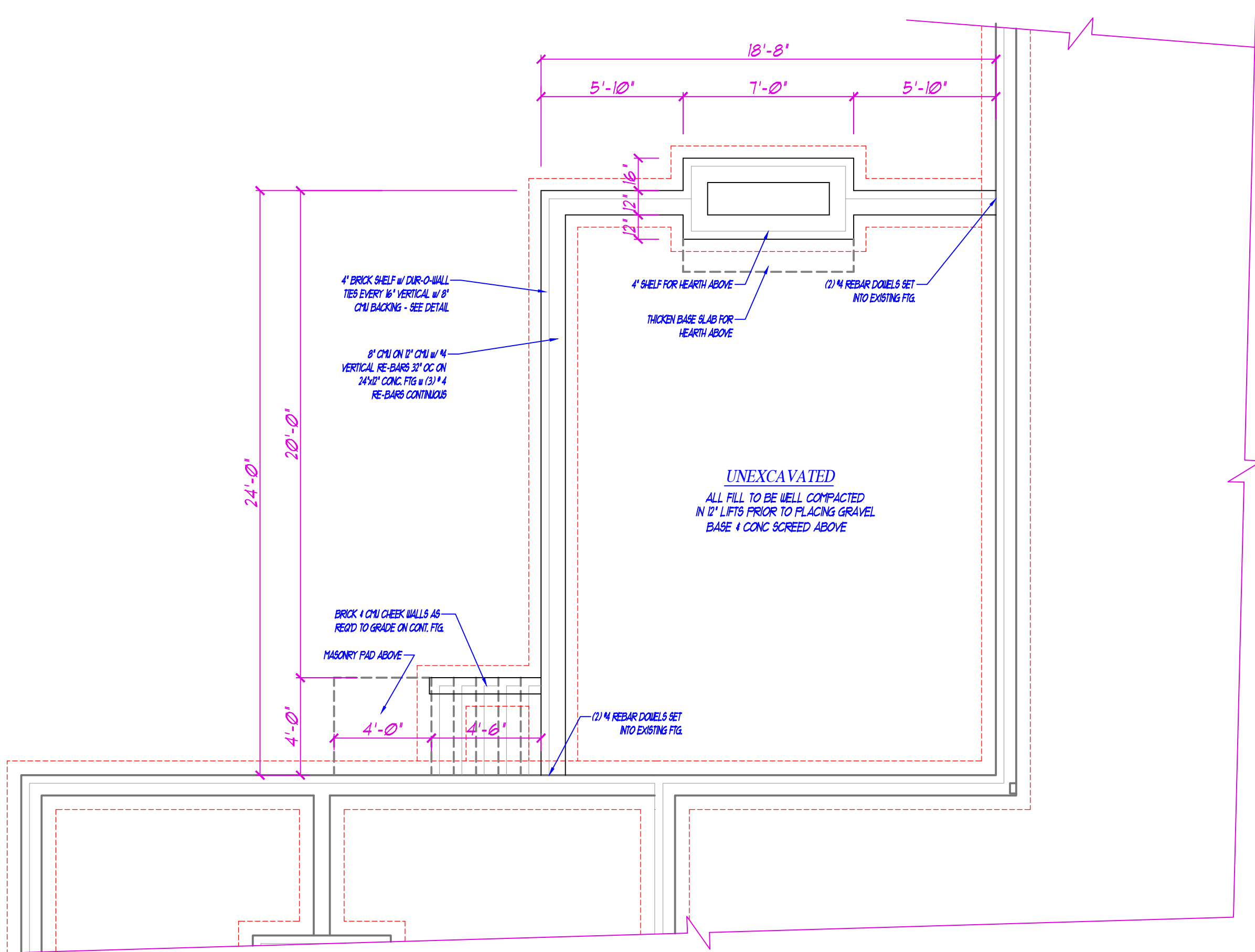
17 KOPAC LN
PALISADES, NY 10964
TAX LOT 378.13-1-3.09

[illegible]

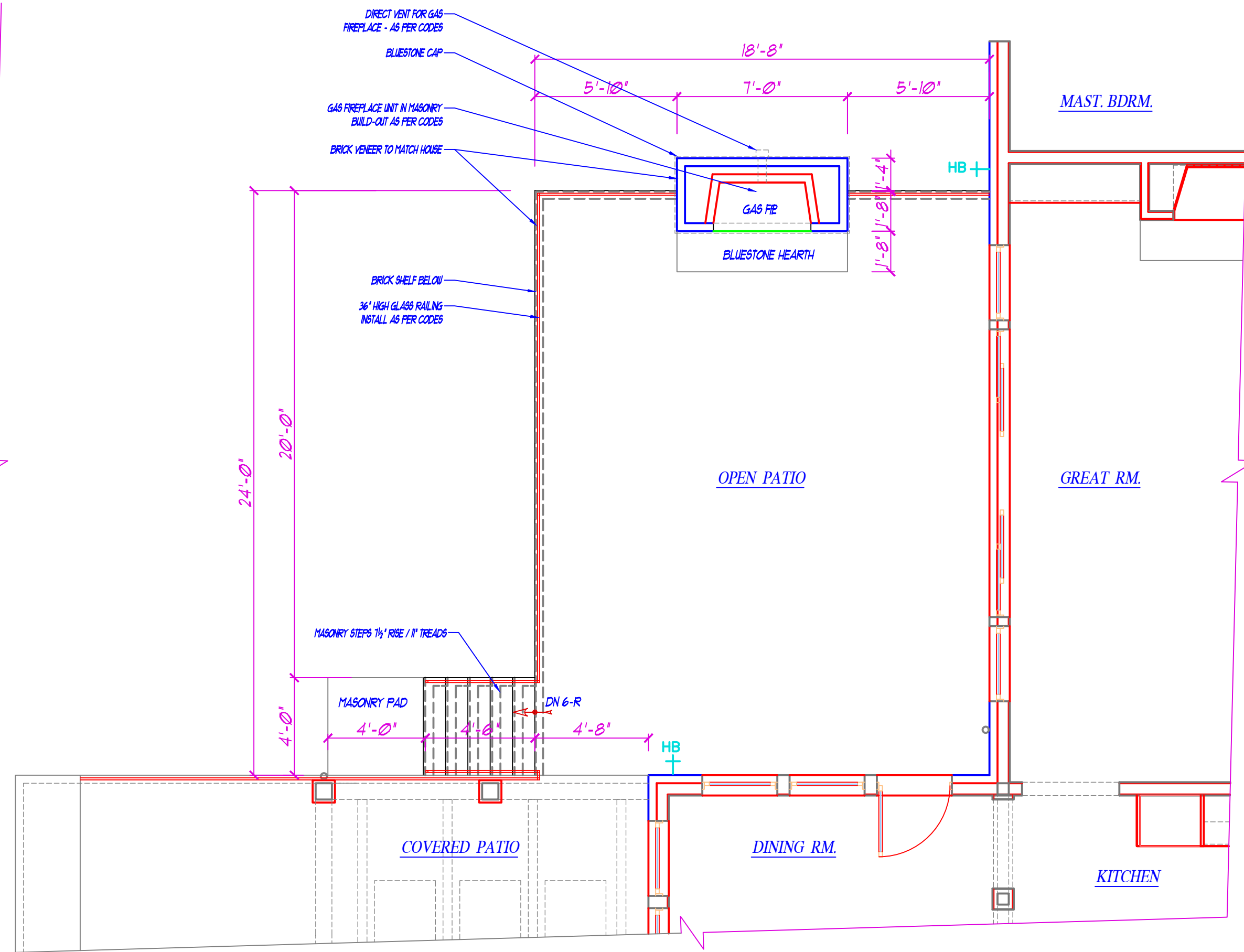
RQJ. NO.



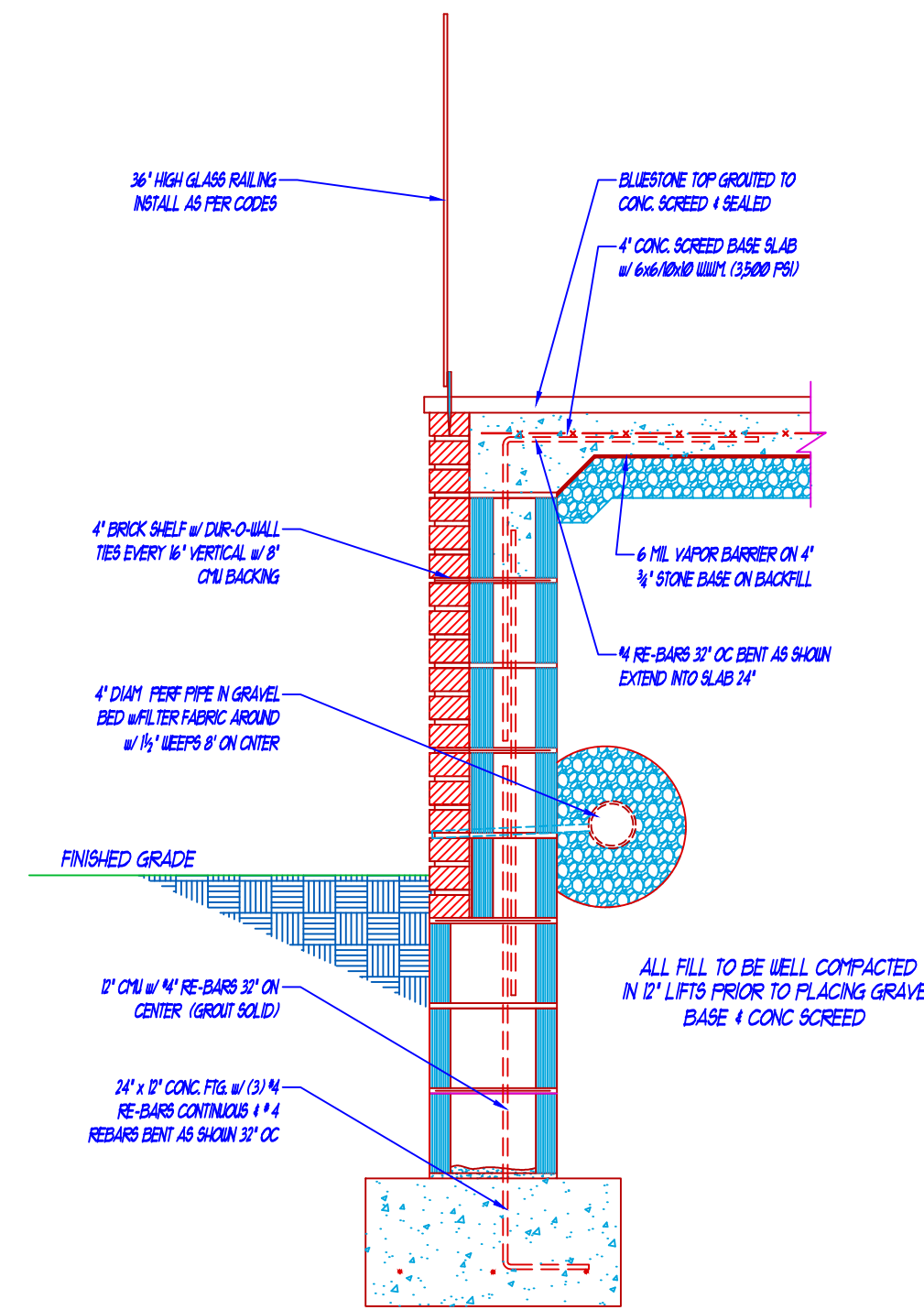
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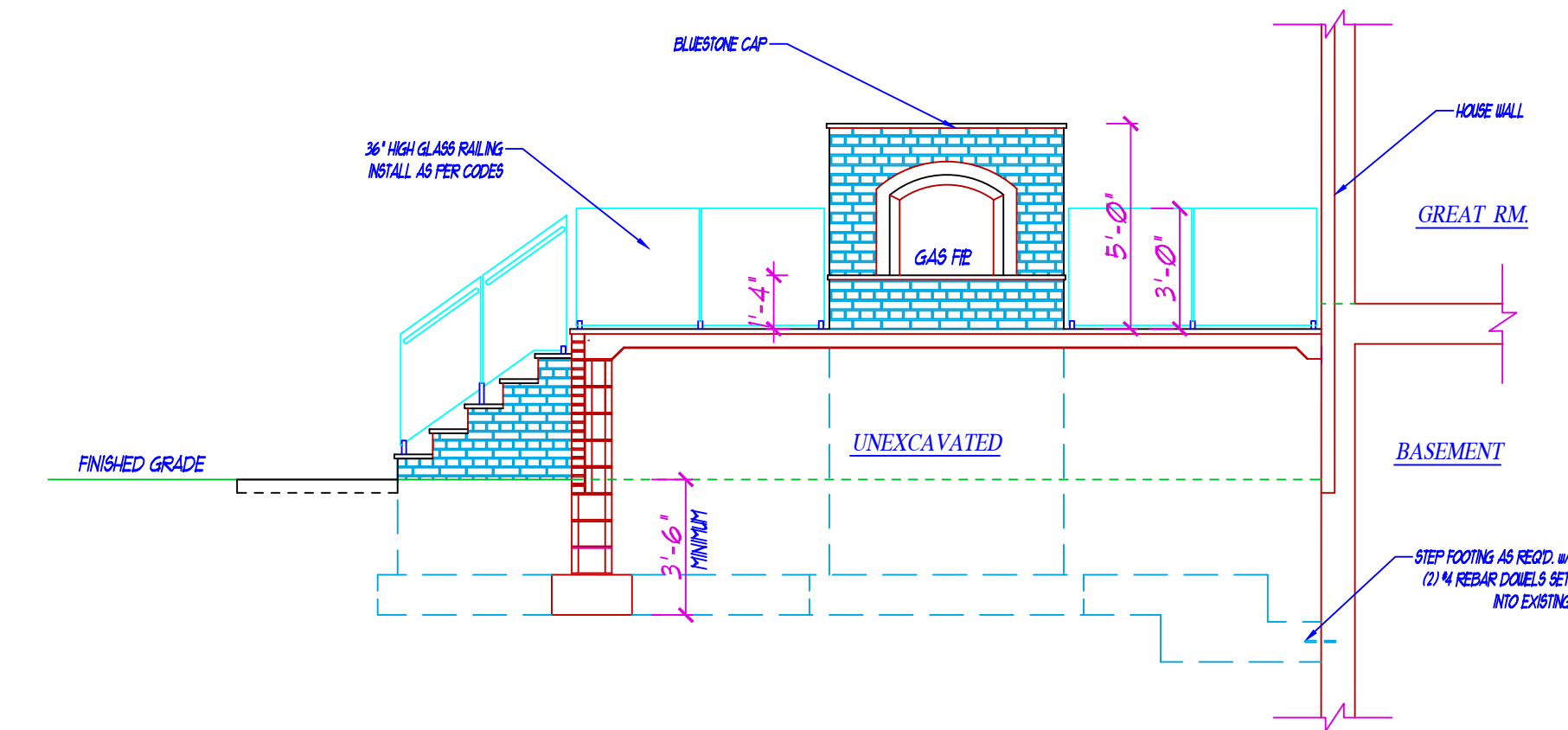
FOUNDATION PLAN
SCALE 1/4" = 1'-0"



MAIN FLOOR PLAN
SCALE 1/4" = 1'-0"



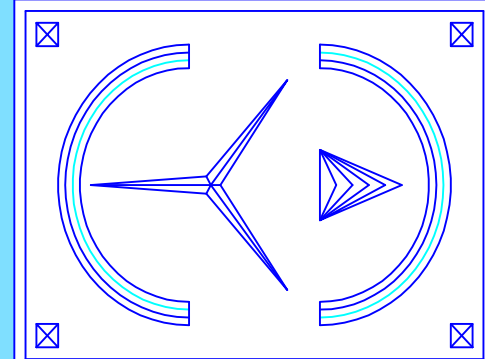
PORCH WALL SECTION
SCALE 3/4" = 1'-0"



SECTION/ELEVATION
SCALE 1/4" = 1'-0"

NOTES:
"DO NOT SCALE PLANS!"
USE DIMENSIONS FOR CONSTRUCTION

PROJECT DATA:
PATIO & STEPS = 475 SQ. FT.



ERIC KNUTE OSBORN
ARCHITECT
OVER 47 YEARS EXPERIENCE
RESIDENTIAL - COMMERCIAL - ADDITIONS
58 BARNES ROAD
WASHINGTONVILLE, N.Y. 10992 - (845) 629-7474
EMAIL - EKOSBORNARCHITECT@GMAIL.COM
(845) 629-7474

PROJECT
PROPOSED PATIO FOR
TRAMUTOLA RESIDENCE
17 KOPAC LANE
TOWN OF ORANGETOWN
ROCKLAND COUNTY, NEW YORK

PLANS & SECTIONS

START DATE: 25 SEP. 2023

PROJECT # 2023 PC-2
SCALE 1/4" = 1'-0"
DWG. No.

C-1

1 OF 1

SEAL & SIGNATURE
REGISTERED ARCHITECT
STATE OF NEW YORK
27 SEP. 2023
N.Y. LIC. #021-585

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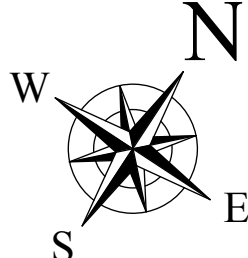
DG

CHECKED

DG

APPROVED

DG



NOTES:

SURVEY PROVIDED BY PAUL GDANSKI, PE, PLLC
DATED: JUNE 6, 2022

PROJECT:

TRAMUTOLA RESIDENCE

17 KOPAC LN
PALISADES, NY 10964

TAX LOT 378.13-1-3.09

SEAL

DATE	CHECKED	REVISION
3/20/24	DG	Shift driveway, piers, walkways, patios and walls. Add C&B.

HARDSCAPE PLAN

DATE

10/18/2023

SCALE

1/16"= 1'-0"

PROJ. NO.

DRAWING NUMBER

L-1

FRONT TERRACE-
BORDER- (32 LF.) 1' PENN BLUESTONE BORDER THERMAL FINISH ROCKFACE EDGE
SURFACING- (258 SF.) NY BLUESTONE THERMAL FINISH INLAY RANDOM RECTANGULAR PATTERN
ALL ON 4" RIENFORCED CONCRETE SLAB PROVIDED
TREADS- (35 LF.) 2" THICK X 14" DEEP PENN. BLUESTONE THERMAL FINISH, ROCKFACE EDGE

ENTRY/ARRIVAL COURTS/WALKS
BORDER- (88 LF.) 1' PENN BLUESTONE THERMAL FINISH
INLAY- (164 SF.) NY BLUESTONE 2X2 SQUARES DIAMOND PATTERN THERMAL FINISH
WALKS- (600 SF.) NY BLUESTONE THERMAL FINISH INLAY RANDOM RECTANGULAR PATTERN
ALL ON 4" RIENFORCED CONCRETE SLAB (FROM LANDING TO GARAGE)

BRICK WALL 15" X 2' HIGH
VENEER- (110 SF.) (BOTH SIDES)
CONCRETE FOOTING- (35 LF.) 3' DEEP REINFORCED
BLUESTONE CAP- PENN. BLUESTONE 2" THICK X 16" WIDE, THERMAL FINISH W/
ROCKFACE EDGE.
(2) PIERS- 2' SQ. X 2'6" HIGH W/ LIGHTS (SAME 3' FOOTING)
(70 SF.) BRICK VENEER
PENN. BL. STONE CAP 3" THICK X 2'2" THERMAL FINISH ROCKFACE EDGE.

(2) DRIVEWAY PIERS- 3' SQ. X 6' HIGH W/ LIGHTS, 3' FOOTING
(144 SF.) BRICK VENEER
PENN. BL. STONE CAP 3" THICK X 3'2" THERMAL FINISH ROCKFACE EDGE.

LANDING
TREADS- (30 LF.) 14" WIDE PENN BLUESTONE THERMAL FINISH W/ ROCKFACE EDGE
(BRICK RISERS)
SURFACING- (23 SF.) NY BLUESTONE THERMAL FINISH, RANDOM RECTANGULAR

SIDE WALKWAY
(290 SF.) NY BLUESTONE THERMAL FINISH, RANDOM RECTANGULAR
ON 4' REINFORCED CONCRETE SLAB

