

ZONING BOARD OF APPEALS Town of Orangetown 20 Greenbush Road
Orangeburg, New York 10962
(914) 359-8410 (ex. 4331)

Date: March 8, 2024

TO: OBAPAE

✓ Environmental Management and Engineering	✓ Rockland County Drainage
✓ Rockland County Sewer District #1	✓ Rockland County Health
New York State Dept. of Transportation	✓ Rockland County Planning
Palisades Interstate Park Commission	✓ Rockland County Highway
Orange and Rockland Utilities	<i>Village of Nyack</i>
Orangetown Highway	

Review of Plans: Corey Payraudeau, 28 Division Avenue, South Nyack, NY
Section 66.46 Block 2 Lot 32 RG-6 zone

This matter is scheduled for:

Chapter 43, Section RG-6 District, Use Type P, § 18.33 (1): (Accessory Structure Distance from Primary Structure: 15' required, 7'5" proposed) for an addition to an existing single-family residence that will be too close to the existing detached garage.

Please review the information enclosed and provide comments.
These comments may be mailed , e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: darbolino@orangetown.com or
- Fax to the Town of Orangetown ZBA @845 359 8526

Zoning Board Meeting Date: April 17, 2024

- () Comments attached
() No Comments at this time. Please send future correspondence for review.
() No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.
() This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, April 17, 2024**. **Kindly forward your completed review to this office by April 17, 2024.**

Reviewing Agency_____

Name_____date:_____



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: Feb 29, 2024 Section: 66.46 Block: 2 Lot: 32

Applicant: ~~Payroudeau~~ PAYRAU DEAU

Address: 28 Division Ave, South Nyack, Ny

RE: Application Made at: same

Referred For:

Chapter 43, §18.33(1) Requires 15' separation from principal structure with 7'5" proposed

One Variance required

*RG-6
zone*


Comments:

Rear Addition

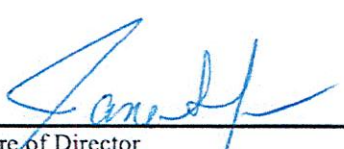
Dear ^APayroudeau:

Please be advised that the Building Permit Application # p24-4721, which you submitted on Feb 16, 2024, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or darbolino@orangetown.com.

Sincerely,


Richard Oliver
Deputy Building Inspector

2/29/24


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023

3/1/24
Date
Liz DeCort
Debbie Arbolino

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input checked="" type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BDR-4721-24
ASSIGNED
INSPECTOR: Mike

Referred from Planning Board: YES / NO
If yes provide date of Planning Board meeting: _____

Project Name: TWO-STORY REAR ADDITION

Street Address: 28 DIVISION AVE, SOUTH NYACK

Tax Map Designation:

Section: 66.46 Block: 2 Lot(s): 32
Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the NORTH side of DIVISION AVE, approximately
66 feet EAST of the intersection of DEPOT PLACE, in the
Town of ORANGETOWN in the hamlet/village of SOUTH NYACK

Acreage of Parcel 0.16
School District NYACK
Ambulance District NYACK
Water District _____

Zoning District O-TOWN SN RG-6
Postal District NYACK
Fire District NYACK
Sewer District _____

Project Description: (If additional space required, please attach a narrative summary.)

~~SEE ATTACHED~~ Addition

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: _____ Applicant's Signature: _____

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage 1,478
- 2) Total square footage 1,588
- 3) Number of dwelling units 1

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type: _____

Project History:

Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

SWIS	PRINT KEY	NAME	ADDRESS
392489	66.45-2-22	Town of Orangetown	26 Orangeburg Rd,Orangeburg, NY 10962
392489	66.45-2-23	Nyack Joint Fire District	P.O. Box 732,Nyack, NY 10960
392489	66.45-2-24	Town of Orangetown	26 Orangeburg Rd,Orangeburg, NY 10962
392489	66.46-2-1	45 Cedar Hill LLC	43 Elysian Ave,South Nyack, NY 10960
392489	66.46-2-2	Andrew Allegretti	43 Cedar Hill Ave,So Nyack, NY 10960
392489	66.46-2-3	Jacqueline C Auguste	41 Cedar Hill Ave,So Nyack, NY 10960
392489	66.46-2-4	Michael Malin	39 Cedar Hill Av,S Nyack, NY 10960
392489	66.46-2-5	Pilar White	2520 Eagle Run Rd,Weston, FL 33327
392489	66.46-2-6	Israel F Joseph	35 Cedar Hill Ave,So Nyack, NY 10960
392489	66.46-2-7	Buncrana Realty Corp	96 S Broadway,South Nyack, NY 10960
392489	66.46-2-24	Eli R Brown	100 S Broadway,South Nyack, NY 10960
392489	66.46-2-25	104 S Broadway Realty LLC	90 Crum Creek Rd,New City, NY 10956
392489	66.46-2-26	108 South Broadway LLC	42 Gesner Ave,South Nyack, NY 10960
392489	66.46-2-27	Jean P Augustin	114 S Broadway,South Nyack, NY 10960
392489	66.46-2-28	Robert Courtwright	120 So Broadway,So Nyack, NY 10960
392489	66.46-2-29	Linda Nace	1 Division Av,So Nyack, NY 10960
392489	66.46-2-30	Jelene & Milorad Joksimovic	18 Division Ave,South Nyack, NY 10960
392489	66.46-2-31	Harry Streep	24 Division Av,So Nyack, NY 10960
392489	66.46-2-32	Corey Payraudeau	28 Division Ave,So Nyack, NY 10960
392489	66.46-2-33	Kiyomi Higuchi	89 Depot Pl,So Nyack, NY 10960
392489	66.46-2-34	Alexander Kelly	87 Depot Pl,So Nyack, NY 10960
392489	66.46-2-35	Jennifer L Sondag	85 Depot Pl,South Nyack, NY 10960
392489	66.46-2-36	Jennifer L Smith	83 Depot Pl,So Nyack, NY 10960
392489	66.46-2-37	Lawrence Chollet	81 Depot Pl,So Nyack, NY 10960
392489	66.46-2-38	Garrett H Davis	79 Depot Pl,Nyack, NY 10960
392489	66.46-2-39	Sam Potts	77 Depot Pl,South Nyack, NY 10960
392489	66.46-2-40	John M Aune	75 Depot Pl,So Nyack, NY 10960
392489	66.46-2-41	Bradley J Previti	73 Depot Pl,So Nyack, NY 10960
392489	66.53-2-25	Salvator Cordaro	94 Depot Pl,So Nyack, NY 10960
392489	66.53-2-26	Mary Jane Alexander	98 Depot Pl,So Nyack, NY 10960
392489	66.53-2-27	Jean F Kelsey	100 Depot Pl,So Nyack, NY 10960
392489	66.53-2-28	James B Jacobson	104 Depot Pl,So Nyack, NY 10960
392489	66.54-1-1	Agnieszka Kedziora	31 Division Av,S Nyack, NY 10960
392489	66.54-1-2	Joseph Dellolio	54 Voorhis Ave,So Nyack, NY 10960
392489	66.54-1-3	Louis G Cancelmi II	200 Park Ave S Fl 8,New York, NY 10003
392489	66.54-1-4	Leo Levinson	21 Division Av,So Nyack, NY 10960
392489	66.54-1-5	Scott D Mc Kee	19 Division Ave,Nyack, NY 10960
392489	66.54-1-6	Jay Mc Cord	15 Division Ave,South Nyack, NY 10960
392489	66.54-1-7	Igelsia La Mision Asamblea	11 Division Ave,South Nyack, NY 10960
392489	66.54-1-8	Living Christ Church of the	150 Piermont Av,South Nyack, NY 10960
392489	66.54-1-10	Catherine B Sullivan	42 Voorhis Ave,South Nyack, NY 10960
392489	66.54-1-11	Laura Weintraub	110 Lexow Ave,Nyack, NY 10960
392489	66.54-1-12	William Rankin	48 Voorhis Av,So Nyack, NY 10960
392489	66.54-1-13	Maud E Streep	50 Voorhis Ave,South Nyack, NY 10960
392489	66.54-1-14	Joseph A Dellolio	54 Voorhis Ave,So Nyack, NY 10960

Maren Robertson
Architect
58 Washington Street
Nyack, NY 10960
845-553-5525
marencr@yahoo.com

28 Division Avenue, South Nyack
Narrative Summary

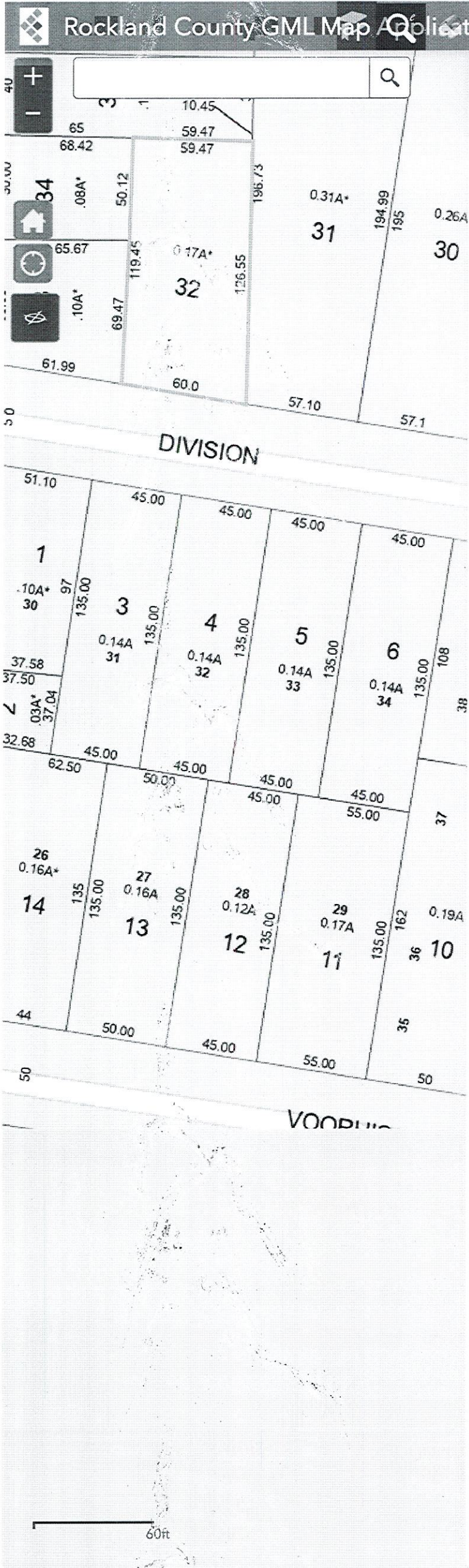
Tow-story rear addition on slightly modified footprint of existing enclosed and open rear porch to create a larger mudroom and bathroom.

Enlarged 2nd floor bathroom and bedroom with new gable roof creating additional attic space.

Removal of wall between kitchen and living room. Remodel of kitchen.

Removal of chimneys above basement.

New combination water heater.



GML Sec. 239

SelectBy IDBufferResults

Export Search URLZoom AllClearReport

Features selected: 1Export All to CSV

PARCEL DATE: February 2023

SWIS: 392489

PRINT_KEY: 66.46-2-32

OLD_ID: 7-128-1226.25

OWNER1: COREY PAYRAUDEAU

OWNER2:

ADDITIONAL OWNERS:

ADDRESS: 28 DIVISION AV

ADDRESS2:

ALTERNATE ADDRESS:

CITY: NYACK

STATE: NY

ZIP: 10960

BOOK-PAGE:

INSTRUMENT: 2019-00016047

DEED_DATE: 06/03/2019

MUNICIPALITY: Orangetown

TOWN: Orangetown

VILLAGE: -

DEED_ACRES:

GIS_ACRES: 0.17204414

GML_REVIEW: YES

ROW - PALISADES INTERSTATE PARKWAY: NO

ROW - NYS THRUWAY: NO

ROW - COUNTY HWY: NO

ROW - STATE HWY: NO

COUNTY REGULATED STREAM: NO

LONG PATH TRAIL: NO

COUNTY PARK: NO

STATE PARK: NO

STATE FACILITY: NO

COUNTY FACILITY: NO

VILLAGE BOUNDARY: YES

TOWN BOUNDARY: NO

ORANGE COUNTY: NO

SPLIT_ZONE: NO

ZONES: 1

ZONE1: RG-6

ZONE1 DESCRIPTION: General Residential District

ZONE2: -

ZONE2 DESCRIPTION: -

ZONE3: -

ZONE3 DESCRIPTION: -

ZONE OVERLAY: -

LAND USE: Two Family Residential

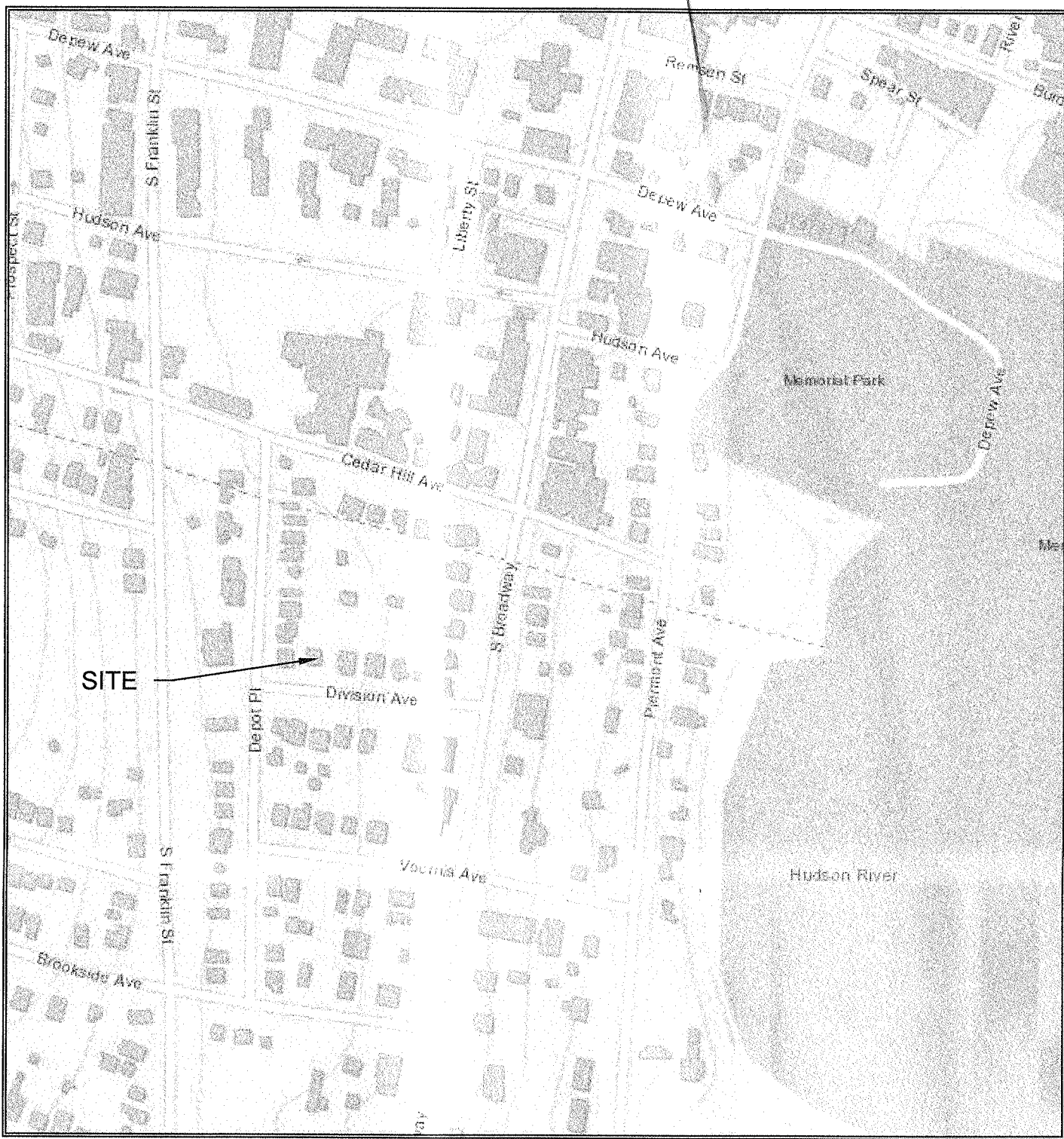
NATIONAL HISTORIC SITE: NO

HISTORIC REVIVAL SITE: NO

HISTORIC DUTCH SITE: NO

HISTORIC DISTRICT: NO

ELECTION DISTRICT: 11



1 VICINITY MAP
A-0 N.T.S.

BUILDING CODE INFORMATION

- ALL CONSTRUCTION SHALL COMPLY WITH
- 2020 RESIDENTIAL CODE OF NEW YORK STATE
 - 2017 NATIONAL ELECTRICAL CODE
 - 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE AND THE NYSTRETCH 2020 CODE
 - 2020 FUEL GAS CODE OF NEW YORK STATE
 - 2020 MECHANICAL CODE OF NEW YORK STATE
 - 2020 PLUMBING CODE OF NEW YORK STATE

USE GROUP: R-3 SINGLE-FAMILY DETACHED DWELLING

CONSTRUCTION TYPE: V-B

SMOKE AND CARBON MONOXIDE PROTECTION

COMPLY WITH NYS RESIDENTIAL CODE R314, R315 AND NFPA 72

ENERGY CODE COMPLIANCE

TO THE BEST OF THE KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED ARCHITECT THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, AS CURRENTLY IN EFFECT.

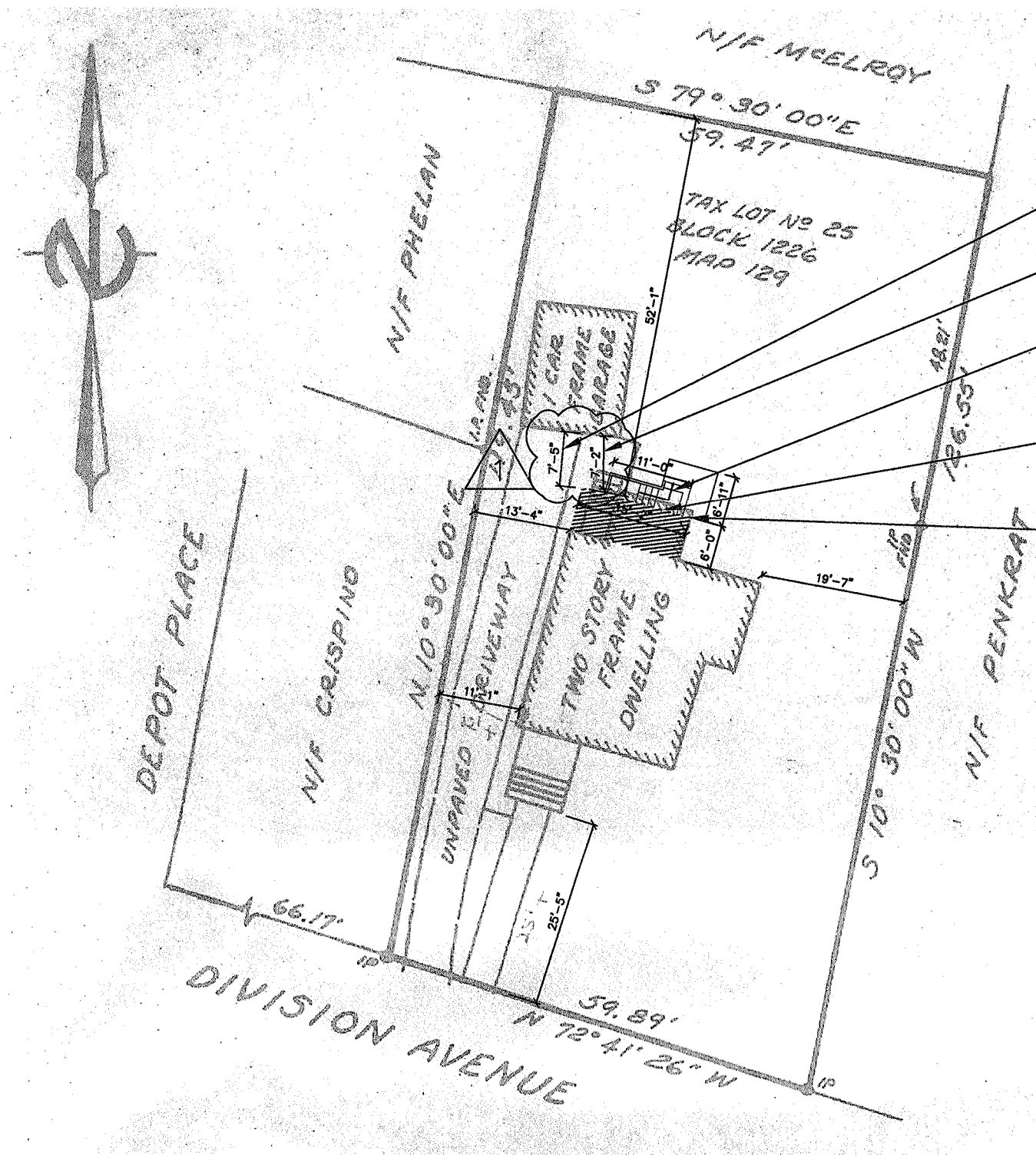
PROJECT SCOPE OF WORK

1. TWO-STORY ADDITION IN REAR ON FOOTPRINT OF EXISTING PORCH & PRIOR ONE-STORY ADDITION
2. ENLARGE FIRST FLOOR MUDROOM & BATH ROOM
3. ENLARGE SECOND FLOOR BEDROOM AND BATH ROOM
4. REMOVAL OF EXISTING CHIMNEYS ABOVE BASEMENT
5. NEW DORMER AND NEW INSULATION IN ATTIC
6. EXISTING 1,478 SF
PROPOSED 1,588 SF

16 NYCRR PART 753 - PROTECTION OF UNDERGROUND FACILITIES
REQUIRE 2 TO 10 WORKING DAYS NOTICE PRIOR TO START OF ANY UNDERGROUND WORK



UDIGNY.COM



2 SITE PLAN
A-0 SCALE: 1" = 20'

TAX MAP SECTION 66.46 - BLOCK 2 - LOT 32
HAMLET OF SOUTH NYACK - TOWN OF ORANGETOWN

THE INFORMATION ON THIS DRAWING WAS TAKEN FROM A SURVEY FOR:

PETER & CATHRINE VASILIEV

DATED SEPTEMBER 1970

NICHOLAS UMRICHIN L.S.
NYACK, NY

BULK TABLE				
TAX MAP NO.	66.46-2-32			
OWNER OF RECORD	MICHELLE DIAZ AND COREY PAYRAUDEAU			
PROPERTY ADDRESS	28 DIVISION AVENUE, SOUTH NYACK			
ZONE	SN RG-8			
PRINCIPAL USE:	ONE-FAMILY DWELLING	TYPE P		
ASSECCORY USE:	PRIVATE GARAGE	TYPE: PA		
	REQUIRED	EXISTING	PROPOSED	NET CHANGE
MIN. LOT AREA 1 SF	6,000 SF	7,314 SF	7,314 SF	NO CHANGE
MIN. LOT AREA 2 SF	12,000 SF	N/A	N/A	NO CHANGE
MIN. LOT WIDTH	100 FT	59.89 FT*	59.89 FT*	NO CHANGE
MIN. FRONTAGE (FT)	60 FT	59.89 FT*	59.89 FT*	NO CHANGE
MAX. LOT COVERAGE %	50%	16.9%	20.4%	+3.5%
MIN. FRONT YARD (FT)	25 FT	25'6"	25'6"	NO CHANGE
MIN. REAR YARD (FT)	20 FT	52'-1" FT	52'-1" FT	NO CHANGE
MIN. SIDE YARD 1 (FT)	12 FT	11'-1" FT*	11'-1" FT*	NO CHANGE
MIN. SIDE YARD TOTAL (FT)	25 FT	30'-8" FT	30'-8" FT	NO CHANGE
MAX. BUILDING HT STORIES	3	2	2	NO CHANGE
MAX. BUILDING HT FT	36 FT	24'-11"	25'-8"	+9"
PARKING SPACES / DWELLING UNIT	2	2	2	NO CHANGE
DISTANCE BETWEEN BUILDINGS	15 FT	7'-2"	7'-5"²	+3"

* EXISTING NON-CONFORMING
² VARIANCE REQUIRED

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA ROCKLAND COUNTY													
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
30	115/ SPECIAL	TBD BY AHJ	YES	TBD BY AHJ	B	SEVERE	36"	MODERATE/ HEAVY	10' F	YES	NO	1,500	49.6° F

- PROPOSED DISTANCE GARAGE TO ADDITION
- EXISTING DISTANCE GARAGE TO HOUSE
- PROPOSED NEW STAIR AND LANDING
- PROPOSED TWO-STORY ADDITION
- REMOVE EXISTING ONE-STORY ENCLOSED PORCH AND STAIR

TWO-STORY REAR ADDITION

MICHELLE DIAZ
COREY PAYRAUDEAU

28 DIVISION AVENUE
SOUTH NYACK NY 10960

MAREN ROBERTSON
ARCHITECTURE

MAREN ROBERTSON ARCHITECT

58 Washington Street
Nyack, NY 10960
Tel: 845-553-5525
marencr@yahoo.com

ISSUED FOR ZBA MEETING

3/7/24

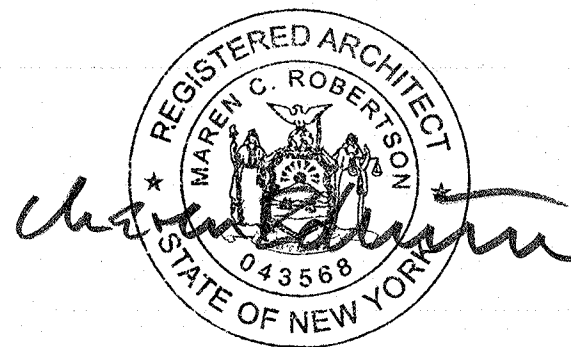
REVISIONS PER

1 BUILDING INSPECTOR REVIEW

2/27/24

ISSUED FOR PERMIT APPLICATION

2/1/24



DRAWING TITLE
SITE PLAN
BULK TABLE

PROJECT NO.

2337

DRAWN BY

MCR

SCALE

AS NOTED

DATE

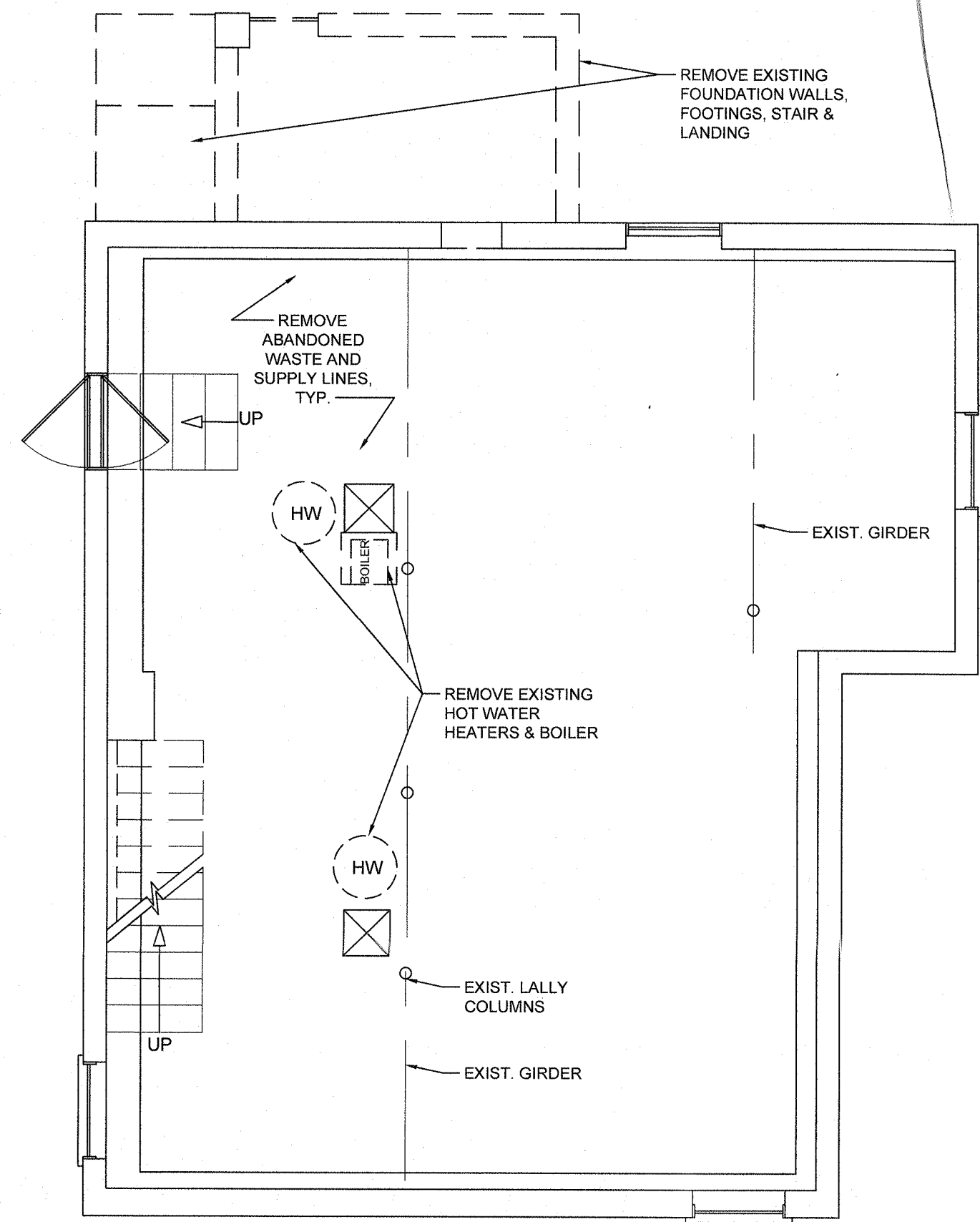
FEBRUARY 1, 2024

A-0

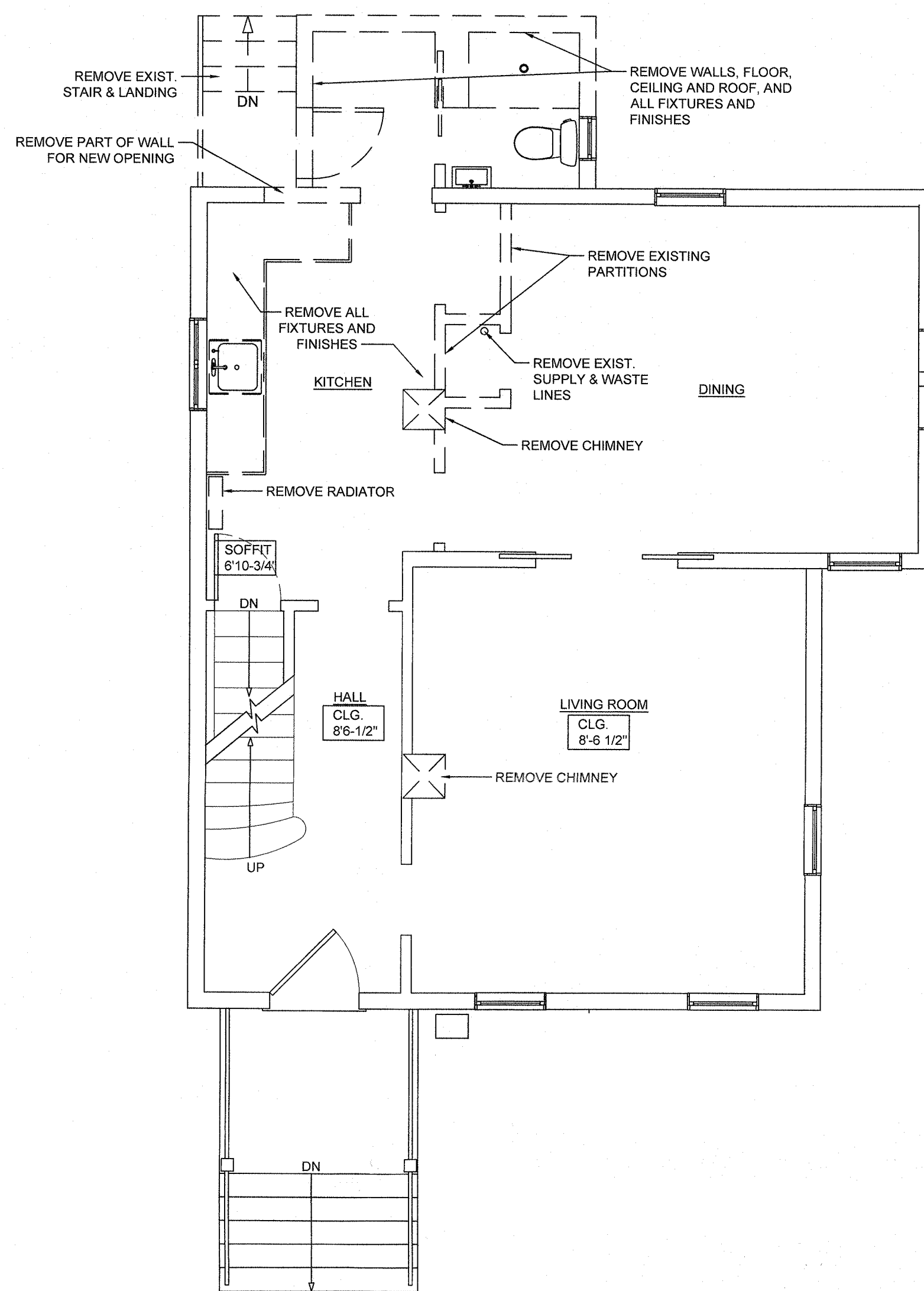
Town of Orangetown
MEETING OF:

APR 17 2024

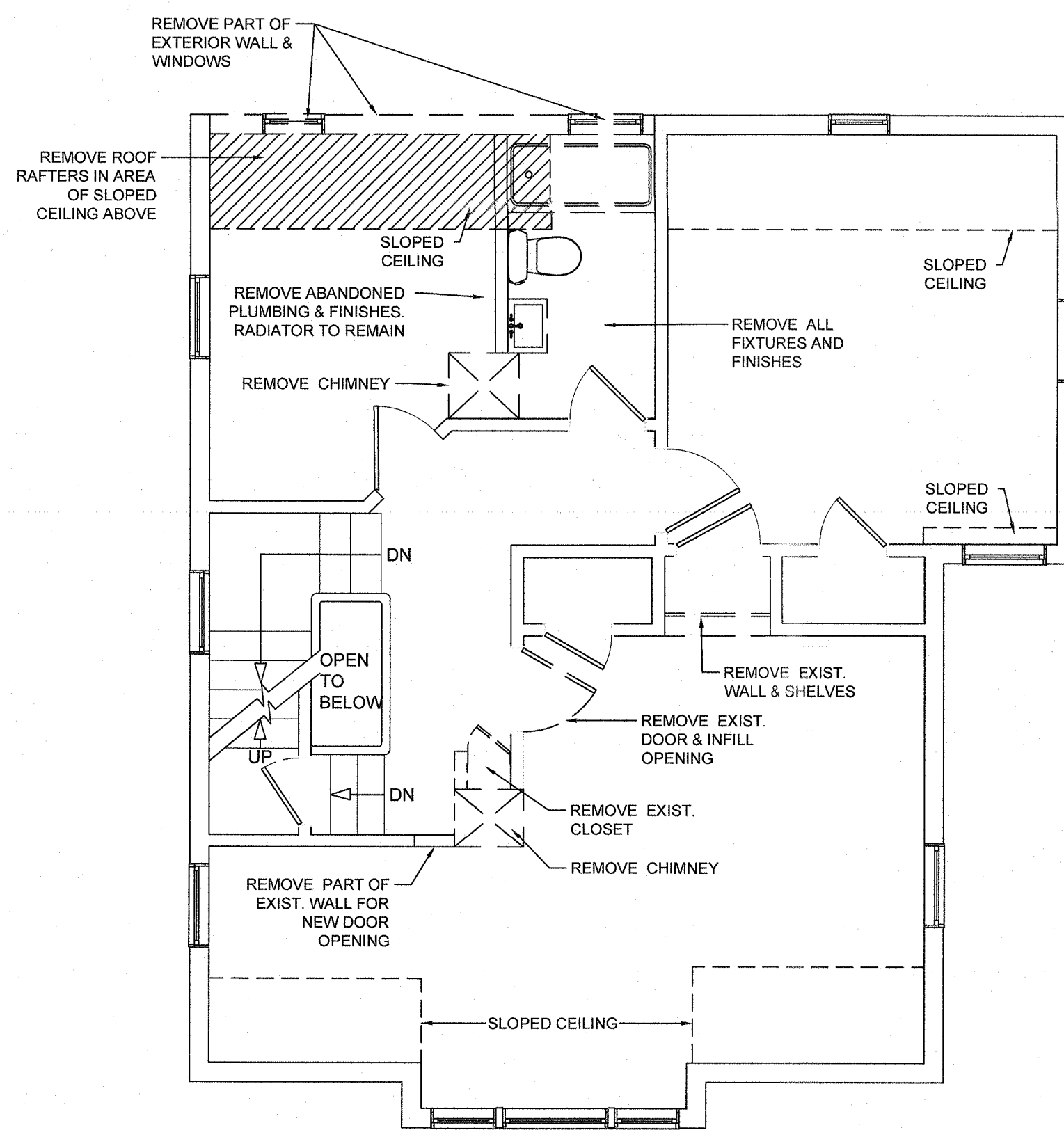
ZONING BOARD OF APPEALS



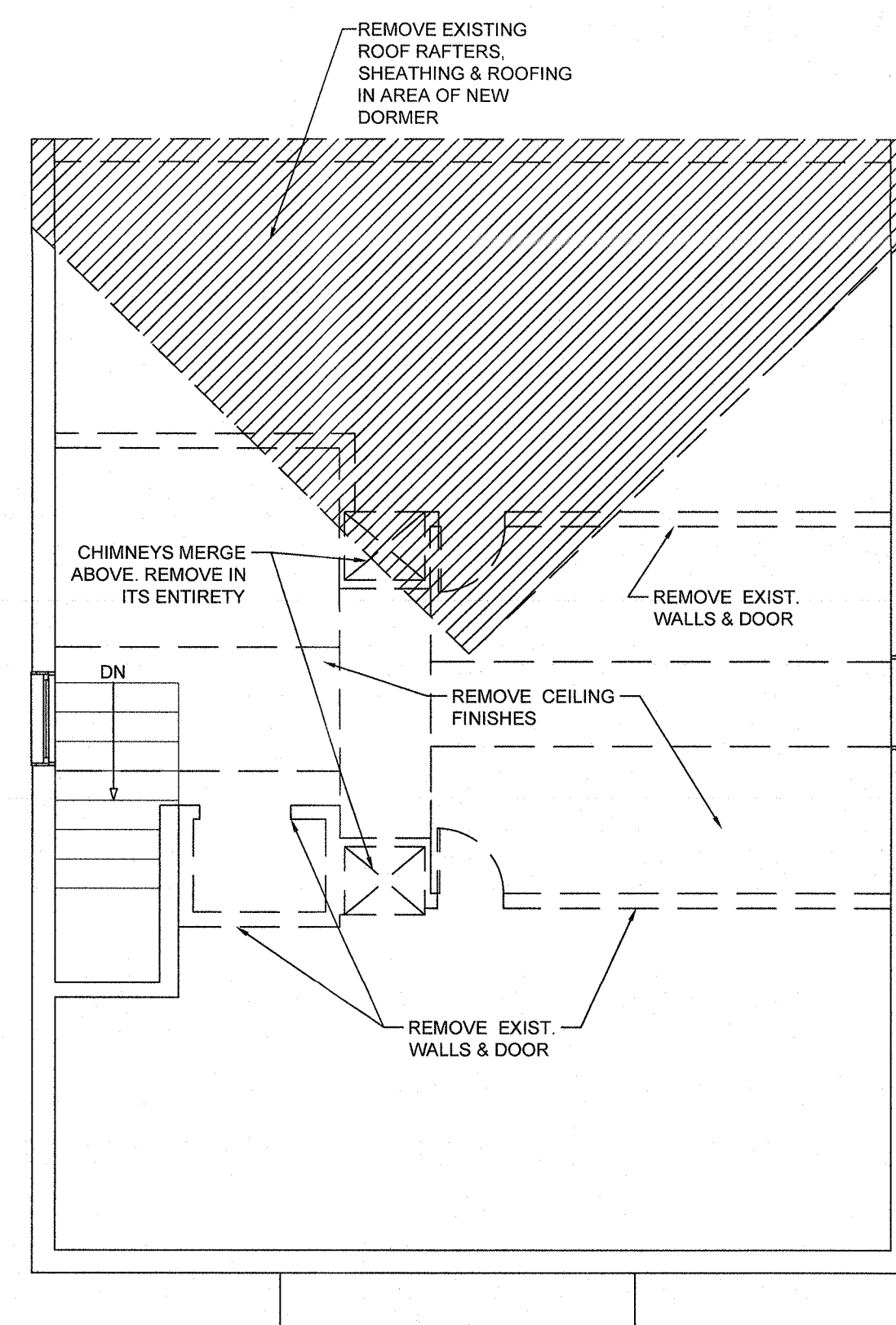
1
A-1
BASEMENT DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



2
A-1
FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



3
A-1
SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



4
A-1
ATTIC DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING, BRACING AND PROTECTION OF ANY PART OF THE JOB SITE TO REMAIN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS, METHODS, PROCEDURES, SAFETY DIRECTIVES, AND REQUIREMENTS DURING DEMOLITION AND CONSTRUCTION.
3. THE CONTRACTOR SHALL PROTECT ALL ADJACENT BUILDING AREAS AND PROPERTIES. ANY DAMAGE TO ADJACENT AREAS SHALL BE REPAIRED OR REPLACED WITHOUT CHARGE TO THE OWNER.
4. ALL MATERIALS WHICH ARE REMOVED OR DEMOLISHED SHALL BE DISPOSED OF OFF-SITE AS REQUIRED BY LOCAL REGULATIONS.
5. THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATED DEBRIS AT ALL TIMES. EACH AREA SHALL BE LEFT IN A BROOM CLEAN CONDITION DAILY.

CONSTRUCTION & DEMOLITION LEGEND

- EXISTING TO REMAIN
- - - EXISTING TO BE REMOVED
- - - EXISTING ITEMS TO BE REMOVED
- ▨ EXISTING FLOOR/ROOF/CEILING TO BE REMOVED
- NEW PARTITION
- EXISTING DOOR
- NEW DOOR
- 1
A-1 SECTION NUMBER

MATERIAL LEGEND

- ▨ EARTH
- ▨ GRAVEL
- ▨ CONCRETE
- ▨ CONCRETE MASONRY
- ▨ BRICK
- ▨ STONE
- ▨ STEEL
- ▨ ROUGH WOOD, CONT.
- ▨ BLOCKING
- ▨ FINISHED WOOD
- ▨ PLYWOOD
- ▨ PLYWOOD
- ▨ BATT INSULATION

ABBREVIATIONS

- CLG. CEILING
- CONC. CONCRETE
- DET. DETECTOR
- EQ. EQUAL
- EX'G EXISTING
- EXIST. EXISTING
- GWB GYPSUM WALL BOARD
- GYP. BD GYPSUM WALL BOARD
- HT. HEIGHT
- MANUF. MANUFACTURER
- MAX. MAXIMUM
- MIN. MINIMUM
- PREP. PREPARE
- REQ. REQUIRED
- SEL. SELECTED
- TYP. TYPICAL
- WD. WOOD

TWO-STORY REAR ADDITION

MICHELLE DIAZ
COREY PAYRAUDEAU

28 DIVISION AVENUE
SOUTH NYACK NY 10960

MAREN ROBERTSON
ARCHITECTURE

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ISSUED FOR ZBA MEETING

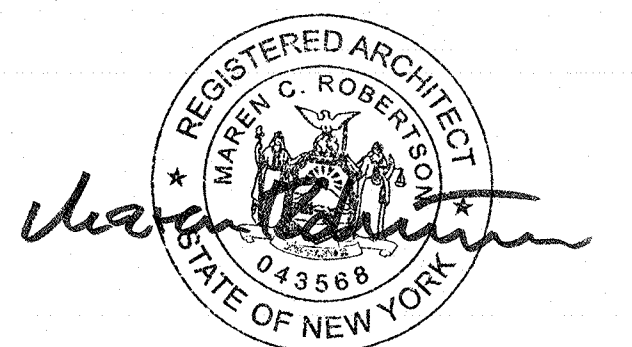
3/7/24

REVISIONS PER
BUILDING INSPECTOR REVIEW

2/27/24

ISSUED FOR PERMIT APPLICATION

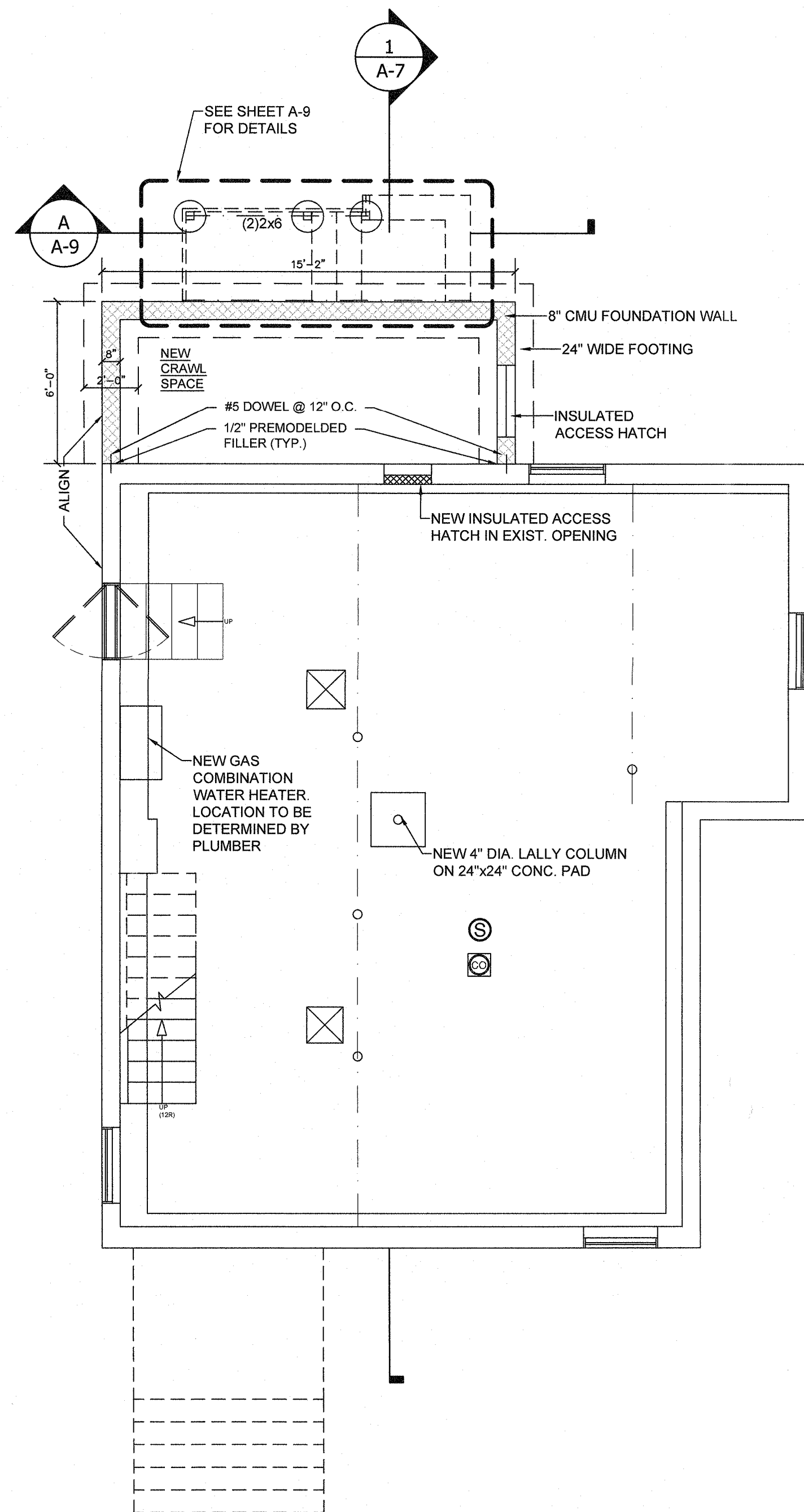
2/1/24



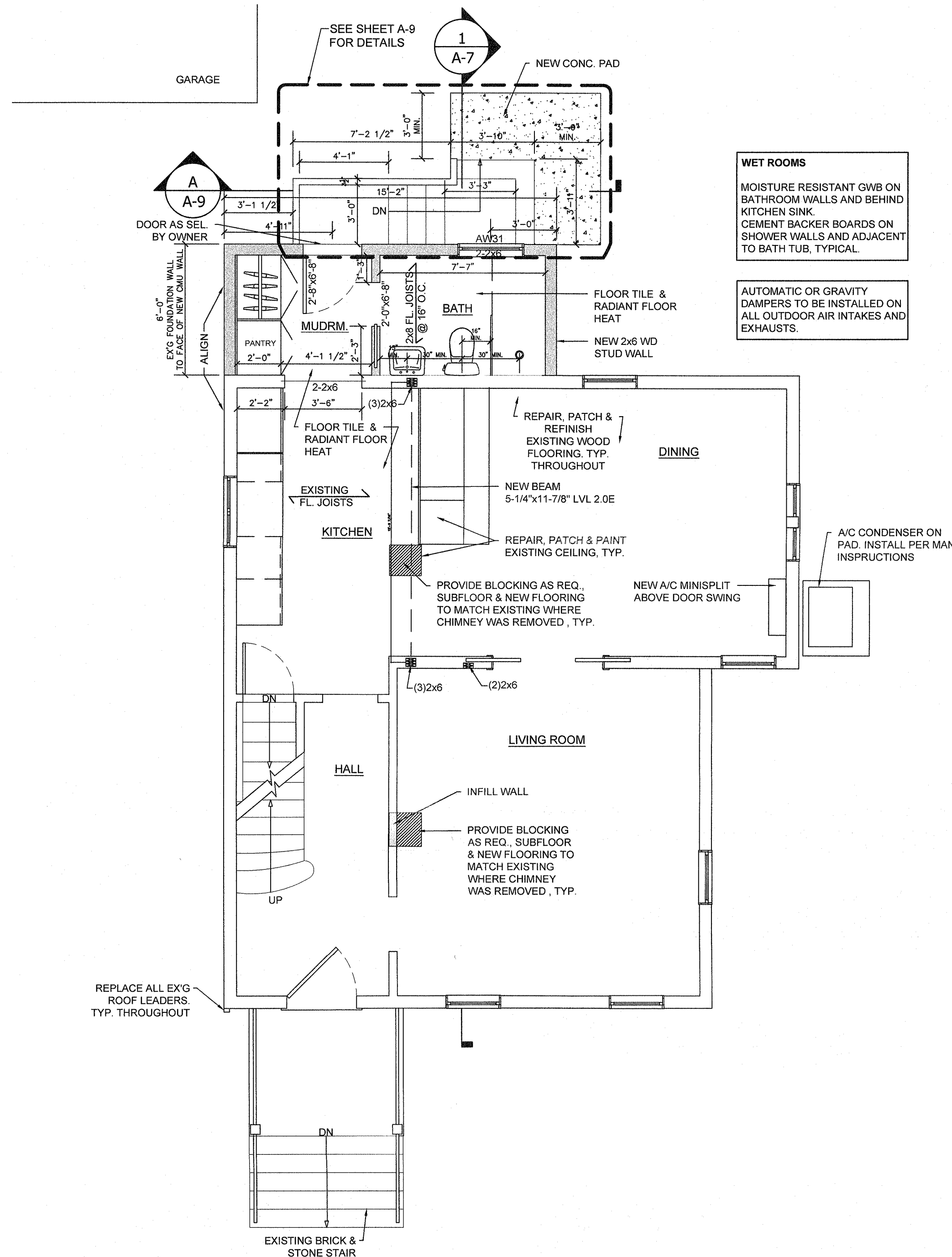
DRAWING TITLE
DEMOLITION PLANS

PROJECT NO. 2337
DRAWN BY MCR
SCALE AS NOTED
DATE FEBRUARY 1, 2024

A-1



1
A-2
PROPOSED BASEMENT & PORCH FRAMING PLAN
SCALE: 1/4" = 1'-0"



2
A-2
PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

ABBREVIATIONS	
CLG.	CEILING
CONC.	CONCRETE
DET.	DETECTOR
EQ.	EQUAL
EX'G	EXISTING
EXIST.	EXISTING
GWB	GYPSUM WALL BOARD
GYP. BD	GYPSUM WALL BOARD
HT.	HEIGHT
MANUF.	MANUFACTURER
MAX.	MAXIMUM
MIN.	MINIMUM
PREP.	PREPARE
REQ.	REQUIRED
SEL.	SELECTED
TYP.	TYPICAL
WD.	WOOD

MATERIAL LEGEND	
	EARTH
	GRAVEL
	CONCRETE
	CONCRETE MASONRY
	BRICK
	STONE
	STEEL
	ROUGH WOOD, CONT.
	BLOCKING
	FINISHED WOOD
	PLYWOOD
	PLYWOOD
	BATT INSULATION

- GENERAL NOTES**
- DO NOT SCALE THE DRAWINGS. USE DIMENSIONS INDICATED ONLY.
 - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN FIELD. CONTRACTOR TO NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OR IMMEDIATELY UPON DISCOVERY.
 - ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. WORK SHALL NOT COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED BY THE LOCAL BUILDING DEPARTMENT.
 - ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE INDICATED. DOOR SIZES ARE IN FEET AND INCHES. DOOR HEIGHT IS 6'-8" UNLESS OTHERWISE INDICATED.
 - ALL NEW EXTERIOR WALLS ARE 2x6 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 2x4 STUDS UNLESS OTHERWISE NOTED.
 - DOUBLE UP JOISTS UNDER PARALLEL PARTITIONS.
 - ALL WOOD IN CONTACT WITH CONCRETE, MASONRY AND/OR SOIL SHALL BE PRESSURE-PRESERVATIVE-TREATED.
 - ALL WALL BASE PATES SHALL BE SET IN A MINIMUM 3/8" BEAD OF CAULK OR SEALANT. ALL PENETRATIONS THROUGH CEILINGS AND EXTERIOR WALLS SHALL BE AIR SEALED WITH EXPANDING FOAM AND/OR SILICONE CAULK.
 - WINDOWS ARE 400 SERIES BY ANDERSEN. PROVIDE ALL OPERATING UNITS WITH SCREENS. UNIT NUMBERS ARE INDICATED ON THE PLANS.
 - FLASH ALL WINDOW OPENINGS WITH A PEEL AND STICK TYPE MEMBRANE FLASHING. FLASH SILL TO CREATE A DRAIN PAN PITCHED TO THE EXTERIOR SIDE.
 - SEAL AROUND ALL DOOR AND WINDOW ROUGH OPENINGS WITH MINIMALLY EXPANDING FOAM. FOLLOW MANUFACTURER'S PRECAUTIONS.
 - ALL FASTENERS, NAILS AND HANGERS WHICH COME INTO CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
 - INSTALL HANGERS AND CONNECTORS BY SIMPSON STRONG-TIE (SST) AS NOTED ON THE DRAWINGS. INSTALL ALL CONNECTORS WITH NAILS OR SCREWS AS SPECIFIED BY SST. DO NOT SUBSTITUTE CONNECTORS OR FASTENERS. ALL FASTENERS COATINGS SHALL MATCH THE EXTERIOR COATING OF THE SPECIFIED HANGER. HDG TO HDG AND STAINLESS TO STAINLESS.
 - ANY EXISTING EXTERIOR WALL CAVITY THAT IS OPENEND SHALL BE FILLED TO THE FULL DEPTH OF THE CAVITY WITH HIGH DENSITY FIBERGLASS INSULATION. MINIMUM R-15. TYPICAL.
 - REFER TO THE SPECIFICATIONS FOR MORE INFORMATION.

CONSTRUCTION & DEMOLITION LEGEND	
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	EXISTING ITEMS TO BE REMOVED
	EXISTING FLOOR/ROOF/CEILING TO BE REMOVED
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR
	SECTION NUMBER

TWO-STORY REAR ADDITION

MICHELLE DIAZ
COREY PAYRAUDEAU

28 DIVISION AVENUE
SOUTH NYACK NY 10960

MAREN ROBERTSON
ARCHITECTURE

MAREN ROBERTSON ARCHITECT

58 Washington Street
Nyack, NY 10960
Tel: 845-553-5525
marencr@yahoo.com

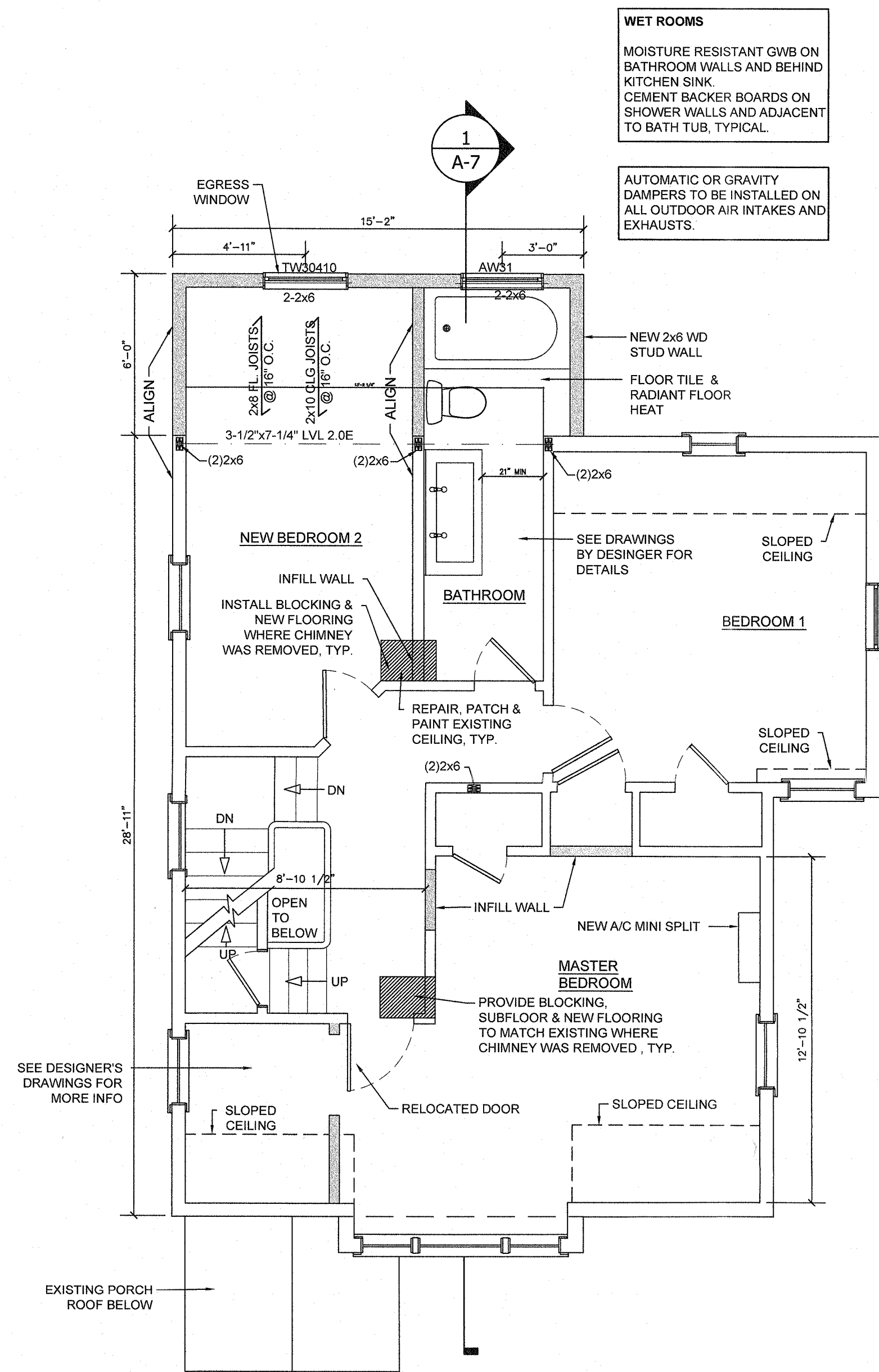
ISSUED FOR ZBA MEETING 3/7/24
REVISIONS PER BUILDING INSPECTOR REVIEW 2/27/24
ISSUED FOR PERMIT APPLICATION 2/1/24



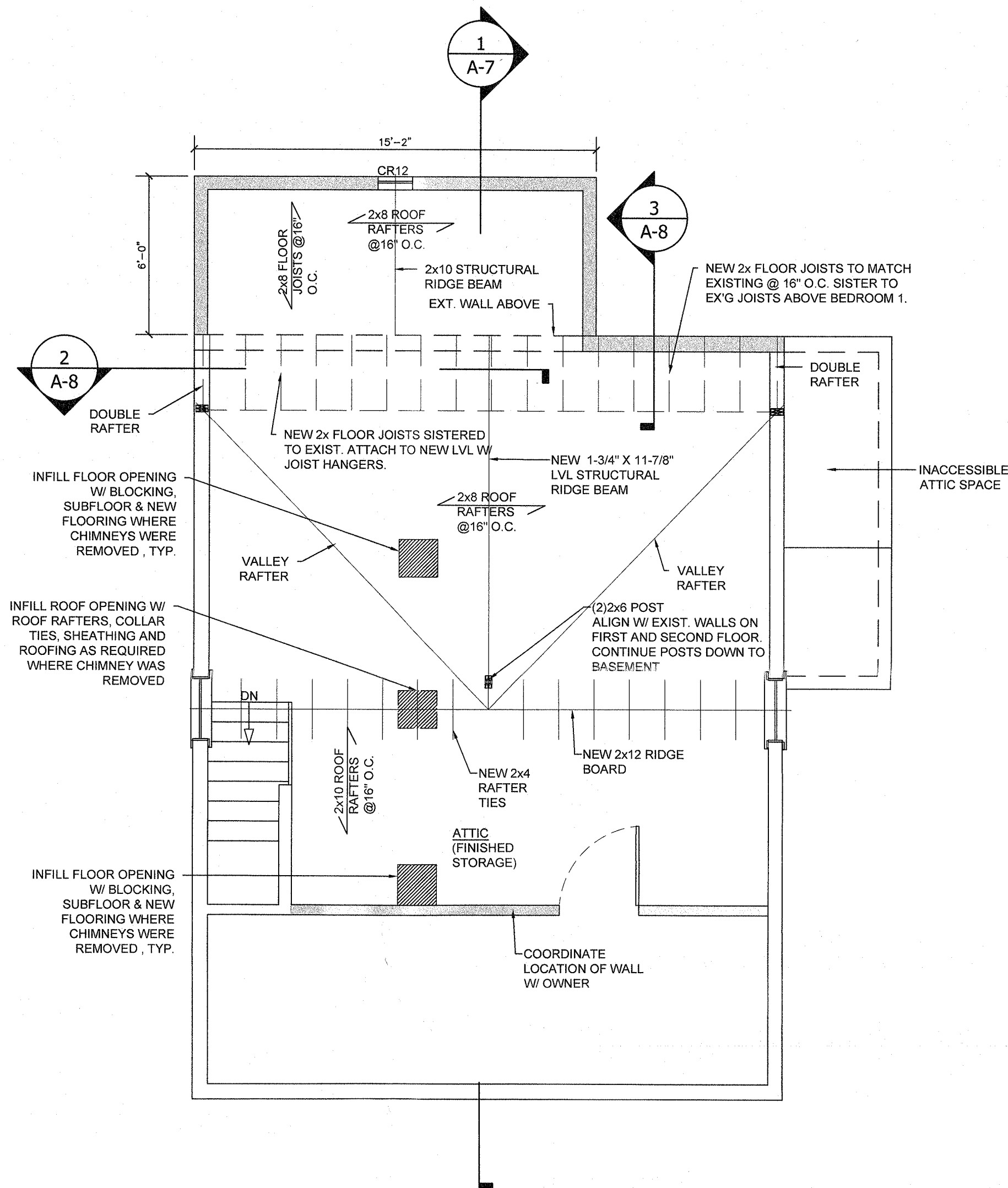
DRAWING TITLE
PROPOSED BASEMENT & FIRST FLOOR PLANS

PROJECT NO.	2337
DRAWN BY	MCR
SCALE	AS NOTED
DATE	FEBRUARY 1, 2024

A-2

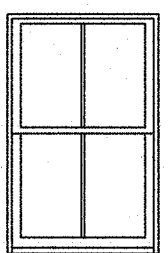


1
A-3
PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

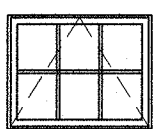


2
A-3
PROPOSED ATTIC FLOOR PLAN
SCALE: 1/4" = 1'-0"

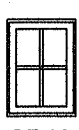
WINDOW INFORMATION



TW30410
R.O. 3'-2 1/2" x 6'-0 7/8"



AW31
R.O. 3'-0 1/2" x 2'-4 7/8"



CR12
R.O. 1'-5 1/2" x 2'-0 7/8"

ANDERSEN 400 SERIES
TW30410 DOUBLE HUNG WINDOW
- EGRESS WINDOW
- LOW-E4 W/ HEATLOCK
- SIMULATED DIVIDED LIGHTS LESS THAN 1"
- U-FACTOR 0.26

ANDERSEN 400 SERIES
AW31 AWNING WINDOW
- TEMPERED GLASS
- LOW-E4 SMARTSUN
- SIMULATED DIVIDED LIGHTS LESS THAN 1"
- U-FACTOR 0.25
- AT 2 LOCATIONS

ANDERSEN 400 SERIES
CR12 FIXED CASEMENT
- LOW-E4 SMARTSUN
- SIMULATED DIVIDED LIGHTS LESS THAN 1"
- U-FACTOR 0.27

NOTE: U-FACTORS ARE DETERMINED IN ACCORDANCE WITH THE NRFC TEST PROCEDURE OR TAKEN FROM A DEFAULT TABLE

NATURAL LIGHT AND VENTILATION

REQUIREMENTS FOR HABITABLE ROOMS 2020 RESIDENTIAL CODE OF NEW YORK STATE, SECTION R303.1:
AGGREGATE GLAZING AREA NO LESS THAN 8% OF THE FLOOR AREA
OPENABLE AREA NO LESS THAN 4% OF THE FLOOR AREA

NEW BEDROOM 1
FLOOR AREA = 137 SF
LIGHT @ 8% = 10.96 SF REQUIRED
VENT @ 4% = 5.48 SF REQUIRED

LIGHT PROVIDED: 11.17 SF
VENT PROVIDED: 6.67 SF
THROUGH TW30410

LIGHT AND VENTILATION IS ALSO PROVIDED THROUGH EXISTING DH WINDOW.

IN ADDITION ARTIFICIAL LIGHTING WILL BE INSTALLED TO MEET AN ILLUMINATION LEVEL OF 6 FOOTCANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE FLOOR LEVEL. ELECTRICIAN TO VERIFY FOOTCANDLE REQUIREMENTS.

ABBREVIATIONS

CLG.	CEILING
CONC.	CONCRETE
DET.	DETECTOR
EQ.	EQUAL
EX'G	EXISTING
EXIST.	EXISTING
GWB	GYPSUM WALL BOARD
GYP. BD	GYPSUM WALL BOARD
HT.	HEIGHT
MANUF.	MANUFACTURER
MAX.	MAXIMUM
MIN.	MINIMUM
PREP.	PREPARE
REQ.	REQUIRED
SEL.	SELECTED
TYP.	TYPICAL
WD.	WOOD

GENERAL NOTES

- DO NOT SCALE THE DRAWINGS. USE DIMENSIONS INDICATED ONLY.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN FIELD. CONTRACTOR TO NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCY PRIOR TO CONSTRUCTION OR IMMEDIATELY UPON DISCOVERY.
- ALL WORK SHALL CONFORM TO LOCAL AND NEW YORK STATE CODE REQUIREMENTS. WORK SHALL NOT COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED BY THE LOCAL BUILDING DEPARTMENT.
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE INDICATED. DOOR SIZES ARE IN FEET AND INCHES. DOOR HEIGHT IS 6'-8" UNLESS OTHERWISE INDICATED.
- ALL NEW EXTERIOR WALLS ARE 2x6 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 2x4 STUDS UNLESS OTHERWISE NOTED.
- DOUBLE UP JOISTS UNDER PARALLEL PARTITIONS.
- ALL WOOD IN CONTACT WITH CONCRETE, MASONRY AND/OR SOIL SHALL BE PRESSURE-PRESERVATIVE-TREATED.
- ALL WALL BASE PATES SHALL BE SET IN A MINIMUM 3/8" BEAD OF CAULK OR SEALANT. ALL PENETRATIONS THROUGH CEILINGS AND EXTERIOR WALLS SHALL BE AIR SEALED WITH EXPANDING FOAM AND/OR SILICONE CAULK.
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CONSTRUCTION & DEMOLITION LEGEND

	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	EXISTING ITEMS TO BE REMOVED
	EXISTING FLOOR/ROOF/CEILING TO BE REMOVED
	NEW PARTITION
	EXISTING DOOR
	NEW DOOR
	SECTION NUMBER

MATERIAL LEGEND

	EARTH
	GRAVEL
	CONCRETE
	CONCRETE MASONRY
	BRICK
	STONE
	STEEL
	ROUGH WOOD, CONT.
	BLOCKING
	FINISHED WOOD
	PLYWOOD
	PLYWOOD
	BATT INSULATION

TWO-STORY REAR ADDITION

MICHELLE DIAZ
COREY PAYRAUDEAU

28 DIVISION AVENUE
SOUTH NYACK NY 10960

MAREN ROBERTSON
ARCHITECTURE

MAREN ROBERTSON ARCHITECT

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marencr@yahoo.com

ISSUED FOR ZBA MEETING

3/7/24

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2/27/24

ISSUED FOR PERMIT APPLICATION

2/1/24

DRAWING TITLE

PROPOSED SECOND
FLOOR & ATTIC PLANS

PROJECT NO.

2337

DRAWN BY

MCR

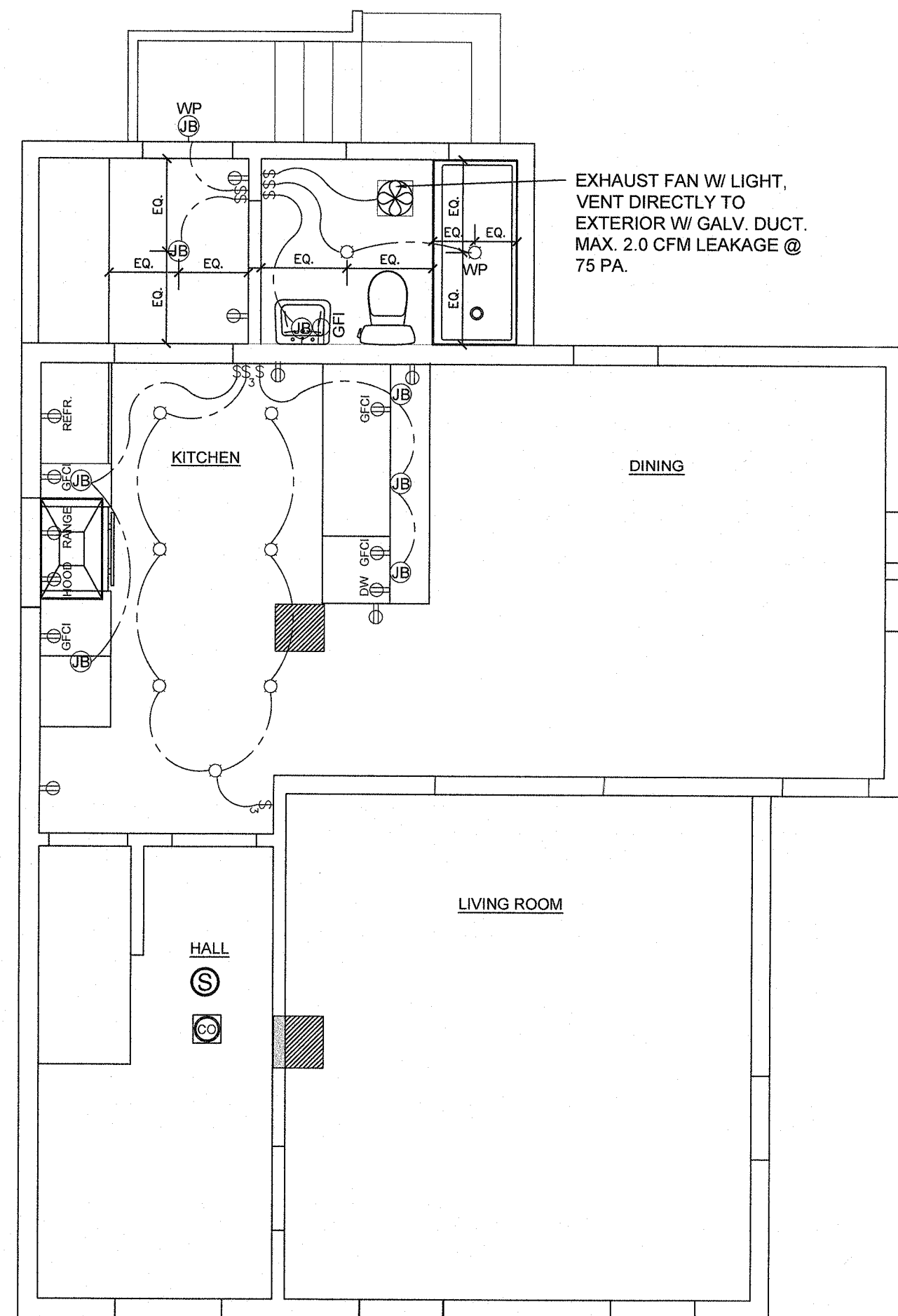
SCALE

AS NOTED

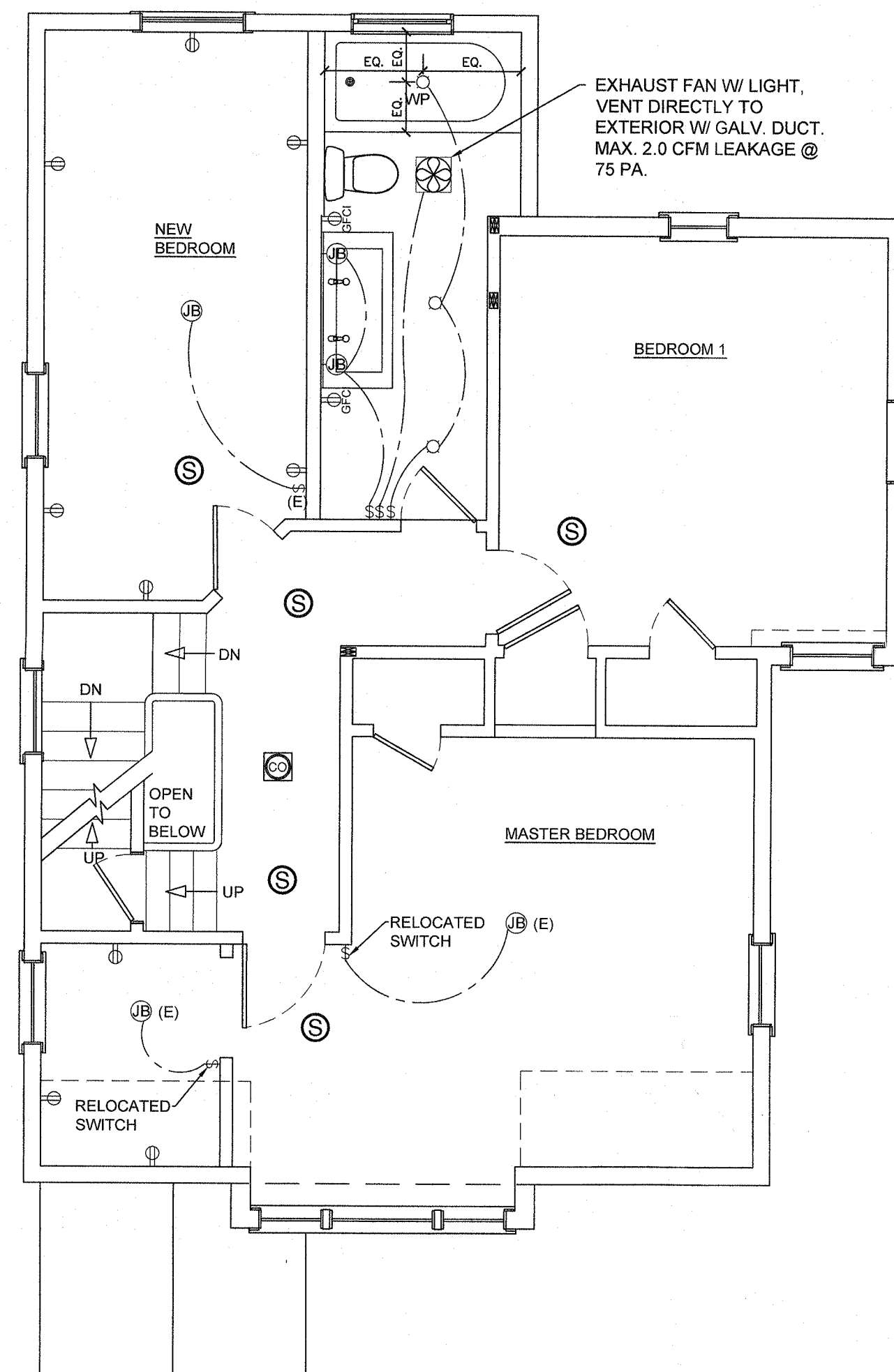
DATE

FEBRUARY 1, 2024

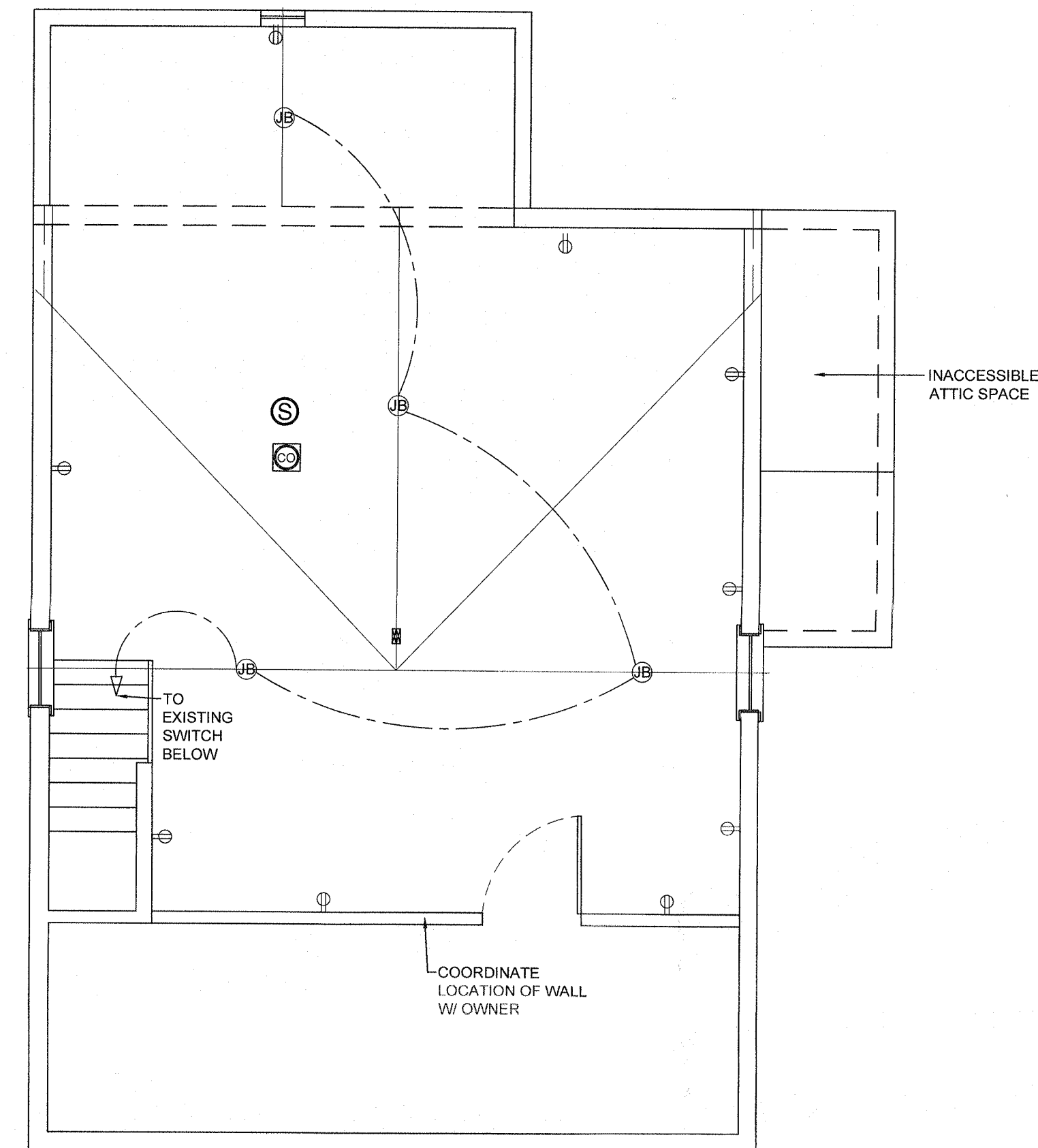
A-3



1 FIRST FLOOR ELECTRICAL PLAN
A-4 SCALE: 1/4" = 1'-0"



2 SECOND FLOOR ELECTRICAL PLAN
A-4 SCALE: 1/4" = 1'-0"



3 ATTIC ELECTRICAL PLAN
A-4 SCALE: 1/4" = 1'-0"

ABBREVIATIONS

CLG.	CEILING
CONC.	CONCRETE
DET.	DETECTOR
EQ.	EQUAL
EX'G	EXISTING
EXIST.	EXISTING
GWB	GYPSUM WALL BOARD
GYP. BD	GYPSUM WALL BOARD
HT.	HEIGHT
MANUF.	MANUFACTURER
MAX.	MAXIMUM
MIN.	MINIMUM
PREP.	PREPARE
REQ.	REQUIRED
SEL.	SELECTED
TYP.	TYPICAL
WD.	WOOD

MATERIAL LEGEND

[Pattern]	EARTH
[Pattern]	GRAVEL
[Pattern]	CONCRETE
[Pattern]	CONCRETE MASONRY
[Pattern]	BRICK
[Pattern]	STONE
[Pattern]	STEEL
[Pattern]	ROUGH WOOD, CONT.
[Pattern]	BLOCKING
[Pattern]	FINISHED WOOD
[Pattern]	PLYWOOD
[Pattern]	PLYWOOD
[Pattern]	BATT INSULATION

ELECTRICAL LEGEND

[Symbol]	SMOKE DETECTOR
[Symbol]	CO DETECTOR
[Symbol]	CEILING MOUNTED FIXTURE AS SEL. BY OWNER
[Symbol]	PENDANTS AS SEL. BY OWNER
[Symbol]	WALL SCONCE AS SEL. BY OWNER
[Symbol]	RECESSED LIGHT FIXTURE AS SELECTED BY OWNER
[Symbol]	EXTERIOR WALL SCONCE AS SEL. BY OWNER
[Symbol]	LIGHTED EXHAUST FAN
[Symbol]	SINGLE POLE SWITCH
[Symbol]	3-WAY SWITCH
[Symbol]	DIMMER SWITCH
[Symbol]	DUPLEX RECEPTACLE
[Symbol]	GROUND FAULT INTERRUPTED
[Symbol]	EXTERIOR RECEPTACLE
[Symbol]	EXISTING

TWO-STORY REAR ADDITION

MICHELLE DIAZ
COREY PAYRAUDEAU

28 DIVISION AVENUE
SOUTH NYACK NY 10960

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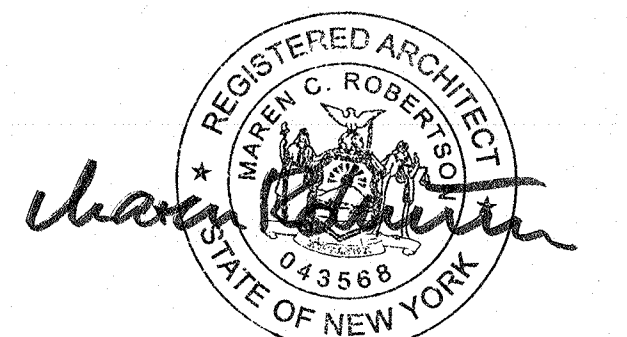
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2/1/24



DRAWING TITLE
ELECTRICAL PLANS

PROJECT NO. 2337
DRAWN BY MCR
SCALE AS NOTED
DATE FEBRUARY 1, 2024

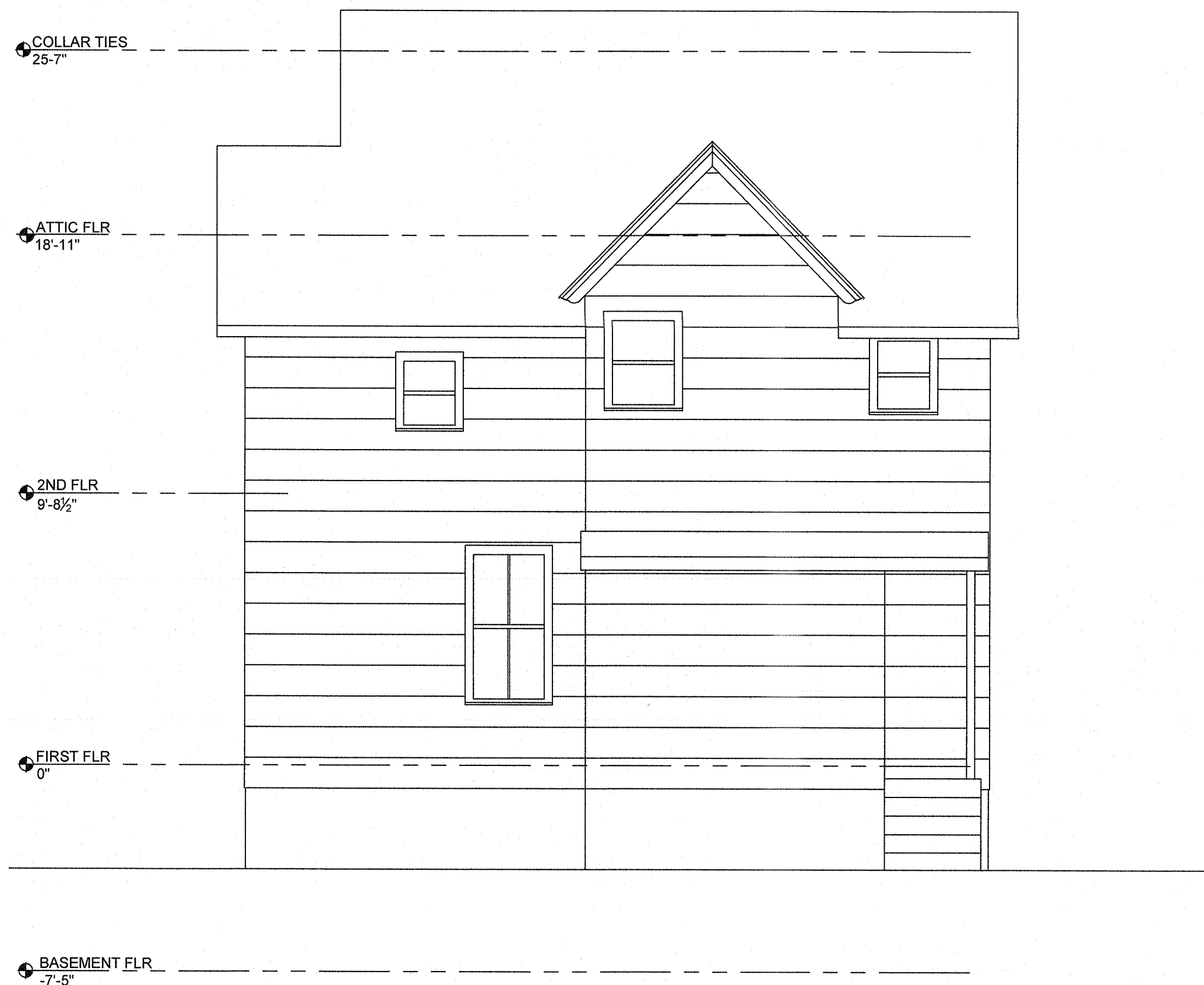
A-4



1
A-5
EXISTING FRONT ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"



2
A-5
EXISTING SIDE ELEVATION (WEST)
SCALE: 1/4" = 1'-0"



3
A-5
EXISTING REAR ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"



4
A-5
EXISTING SIDE ELEVATION (EAST)
SCALE: 1/4" = 1'-0"

TWO-STORY REAR ADDITION

**MICHELLE DIAZ
COREY PAYRAUDEAU**

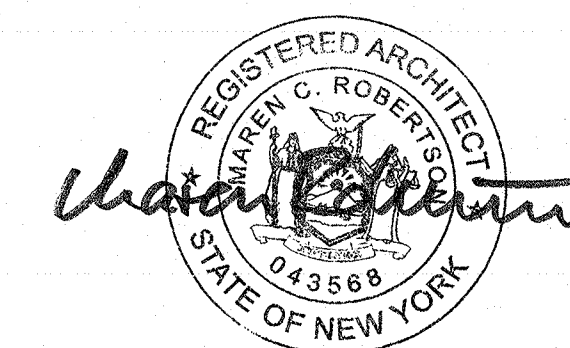
28 DIVISION AVENUE
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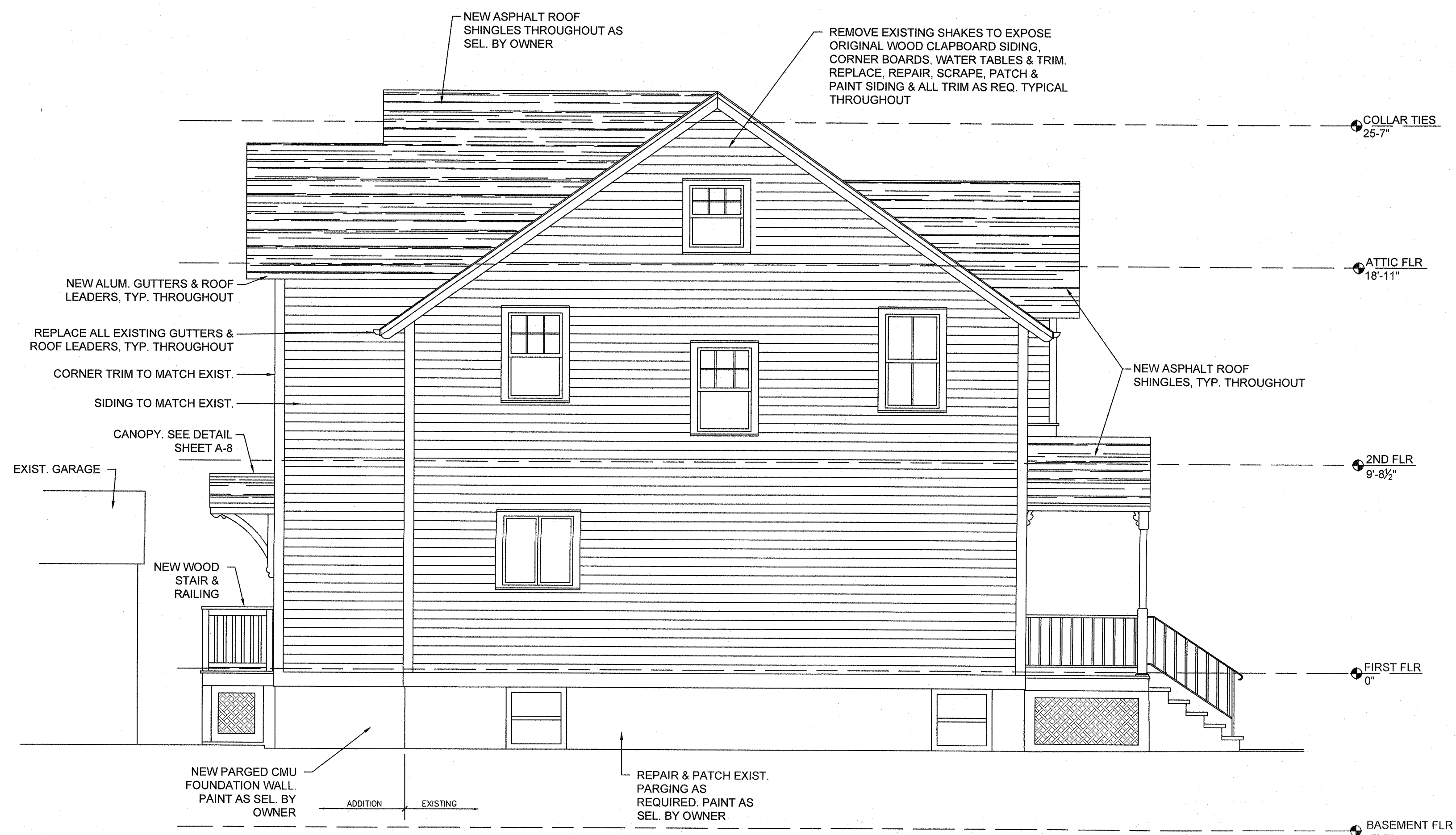
DRAWING TITLE
EXISTING ELEVATIONS

PROJECT NO.	2337
DRAWN BY	MCR
SCALE	AS NOTED
DATE	FEBRUARY 1, 2024

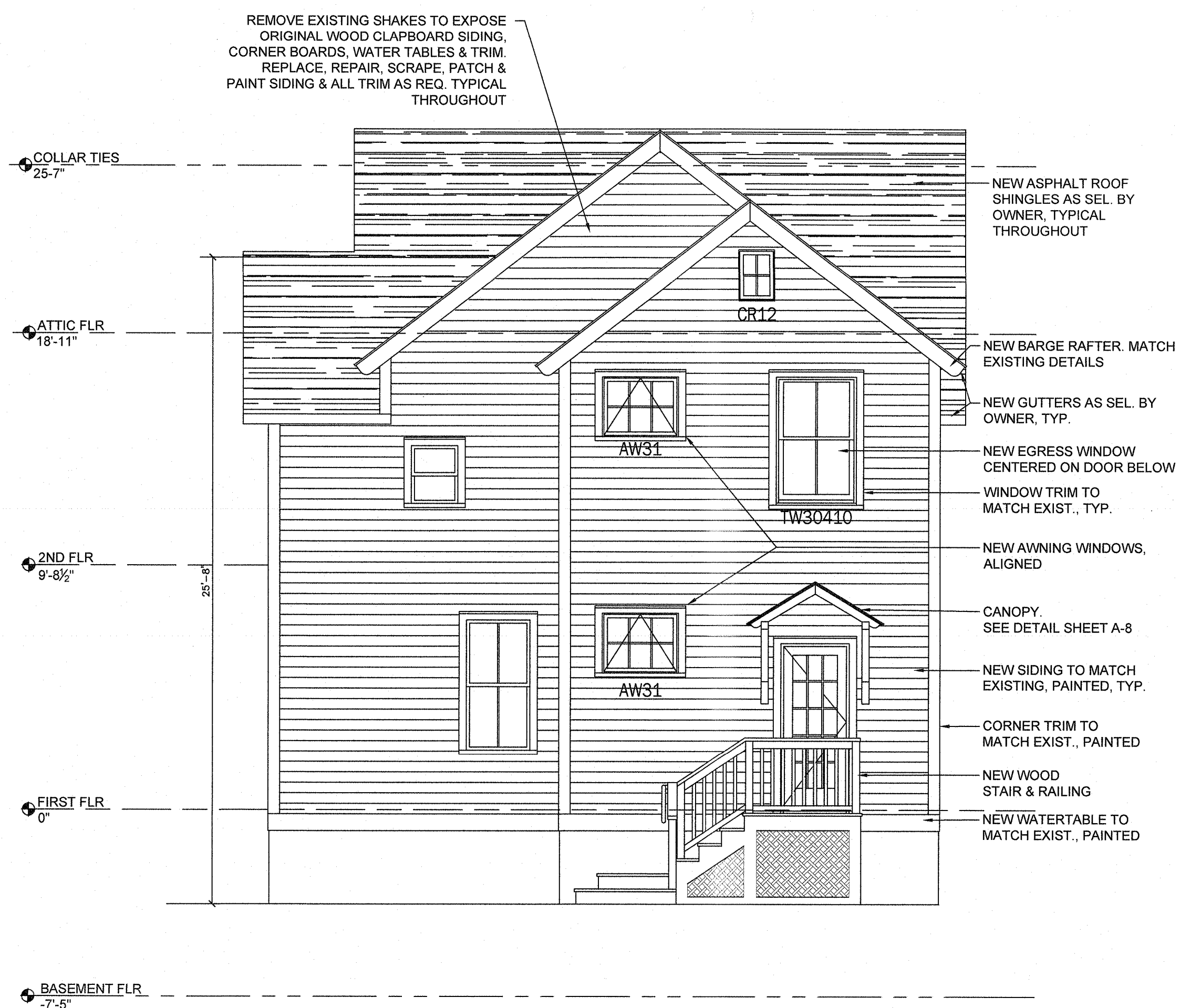
A-5



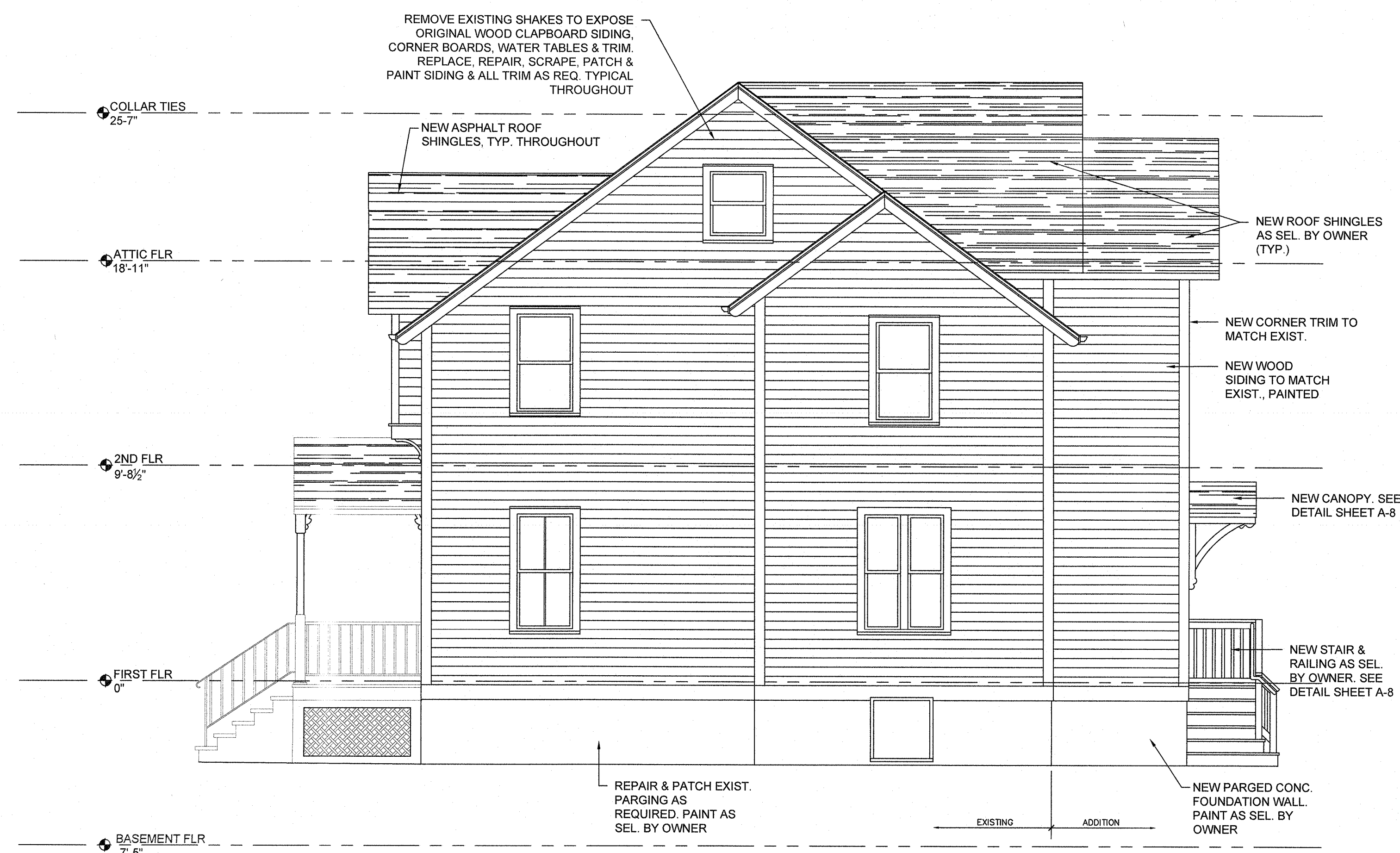
1 FRONT ELEVATION (SOUTH)
A-6 SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION (WEST)
A-6 SCALE: 1/4" = 1'-0"



3 REAR ELEVATION (NORTH)
A-6 SCALE: 1/4" = 1'-0"



4 SIDE ELEVATION (EAST)
A-6 SCALE: 1/4" = 1'-0"

TWO-STORY REAR ADDITION

MICHELLE DIAZ
COREY PAYRAUDEAU

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DRAWING TITLE
**PROPOSED
ELEVATIONS**

PROJECT NO.
2337

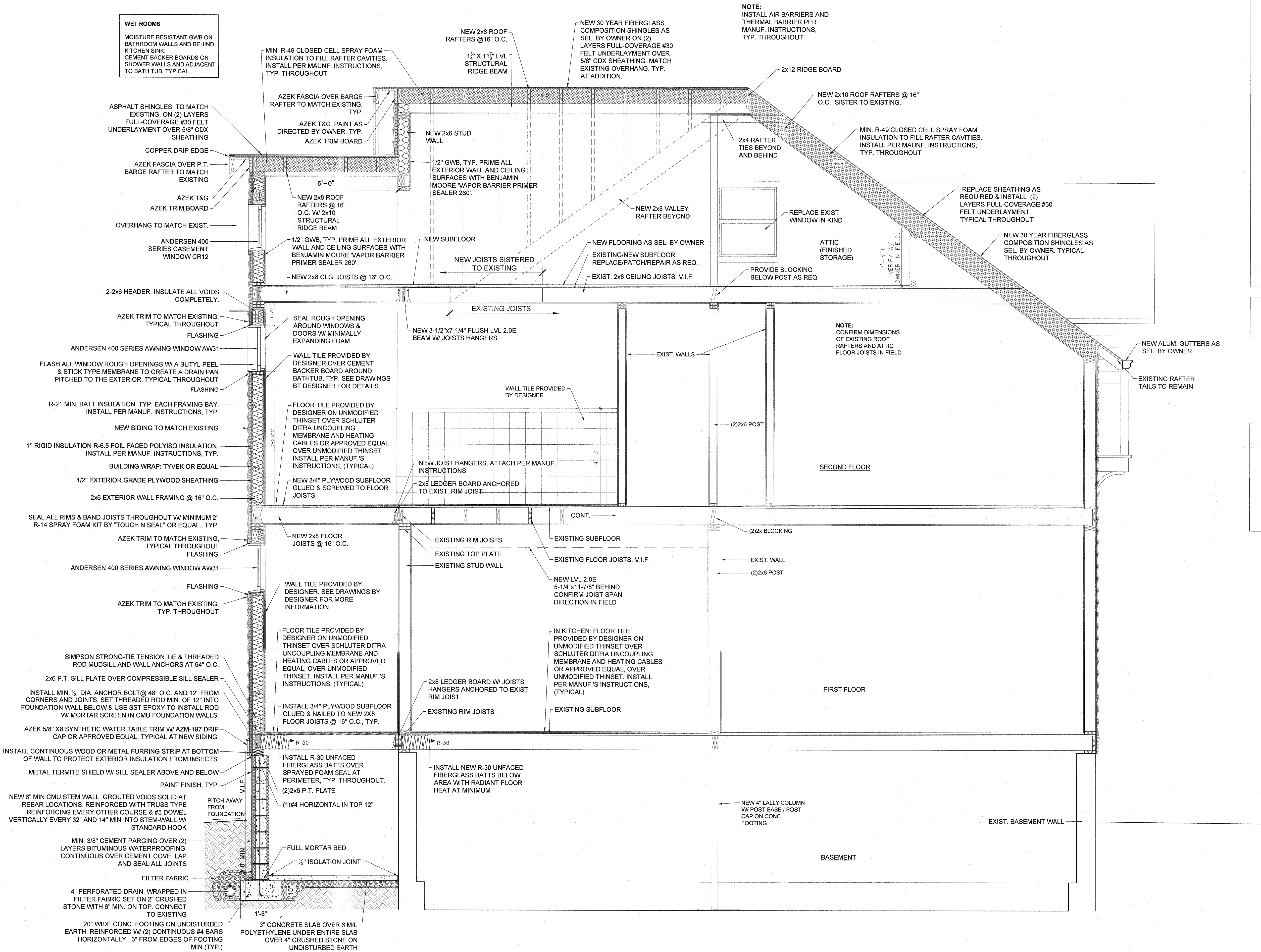
DRAWN BY
MCR

SCALE
AS NOTED

DATE
FEBRUARY 1, 2024

A-6

WET ROOMS
MOISTURE RESISTANT GWB ON BATHROOM WALLS AND BEHIND KITCHEN SINK.
CEMENT BACKER BOARDS ON SHOWER WALLS AND ADJACENT TO BATH TUB, TYPICAL.



MATERIAL LEGEND

- EARTH
- GRAVEL
- CONCRETE
- CONCRETE MASONRY
- BRICK
- STONE
- STEEL
- ROUGH WOOD, CONT.
- BLOCKING
- FINISHED WOOD
- PLYWOOD
- PLYWOOD
- BATT INSULATION
- BOARD INSULATION
- SPRAY FOAM INSULATION
- GYPSUM BOARD
- STUCCO W/ LATH

ABBREVIATIONS

- CLG. CEILING
- CONC. CONCRETE
- DET. DETECTOR
- EQ. EQUAL
- EX'G EXISTING
- EXIST. EXISTING
- GWB GYPSUM WALL BOARD
- GYP. BD GYPSUM WALL BOARD
- HT. HEIGHT
- MANUF. MANUFACTURER
- MAX. MAXIMUM
- MIN. MINIMUM
- PREP. PREPARE
- REQ. REQUIRED
- SEL. SELECTED
- TYP. TYPICAL
- WD. WOOD

TWO-STORY REAR ADDITION

**MICHELLE DIAZ
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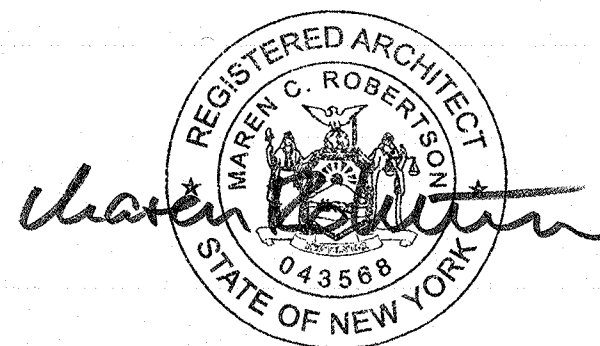
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2/1/24



DRAWING TITLE
SECTION 1

PROJECT NO. 2337
DRAWN BY MCR
SCALE AS NOTED
DATE FEBRUARY 1, 2024

A-7

SECTION 1
SCALE: 1/2" = 1'-0"

TWO-STORY REAR
ADDITION

MICHELLE DIAZ
COREY PAYRAUDEAU

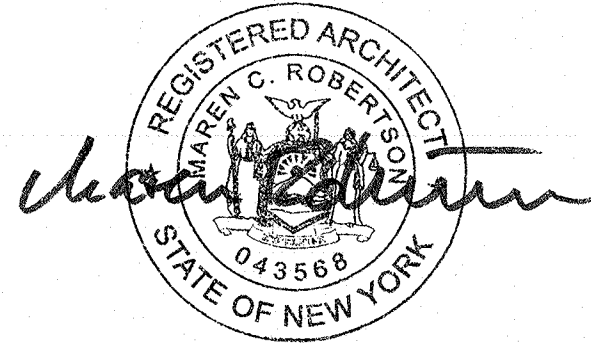
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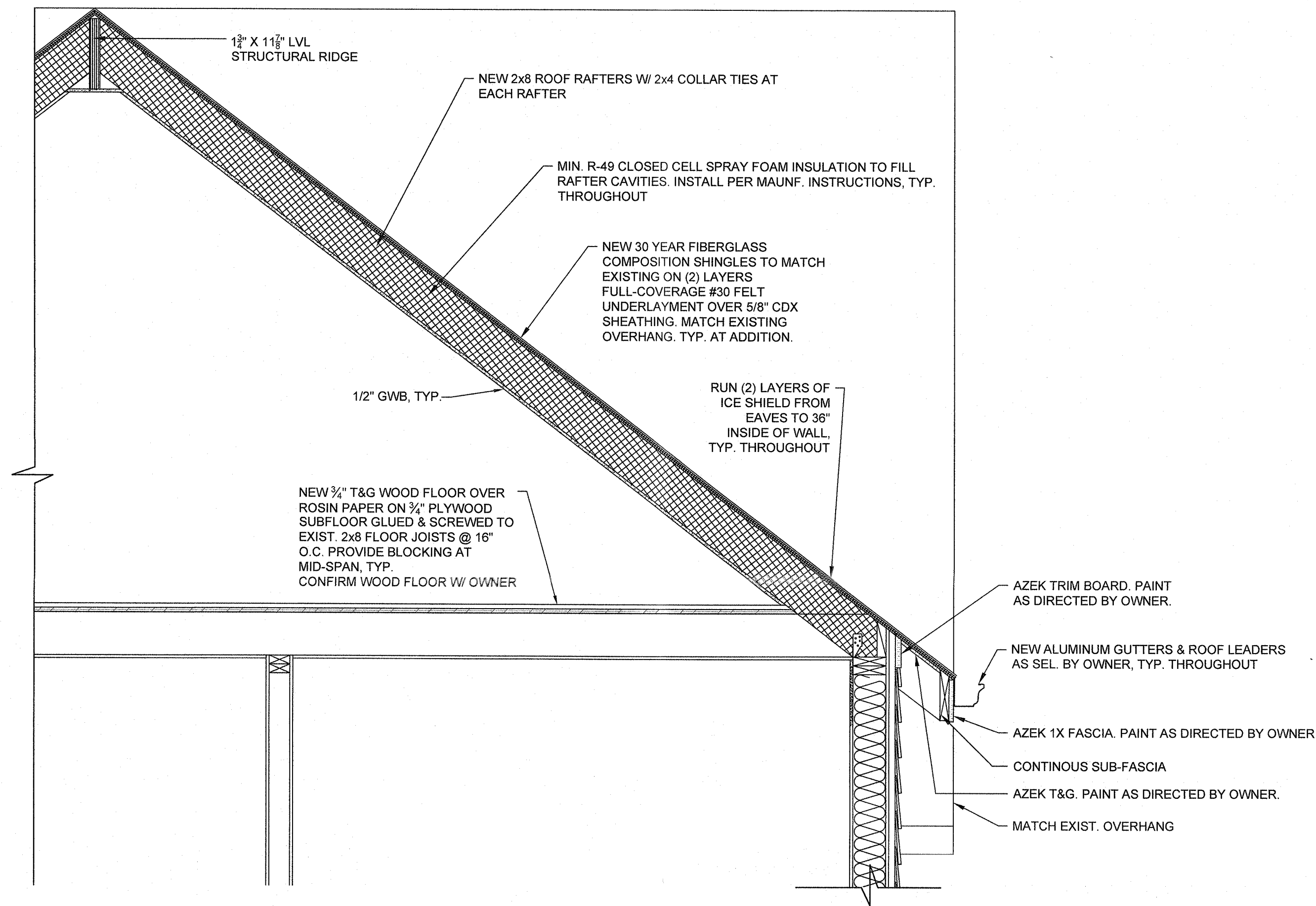
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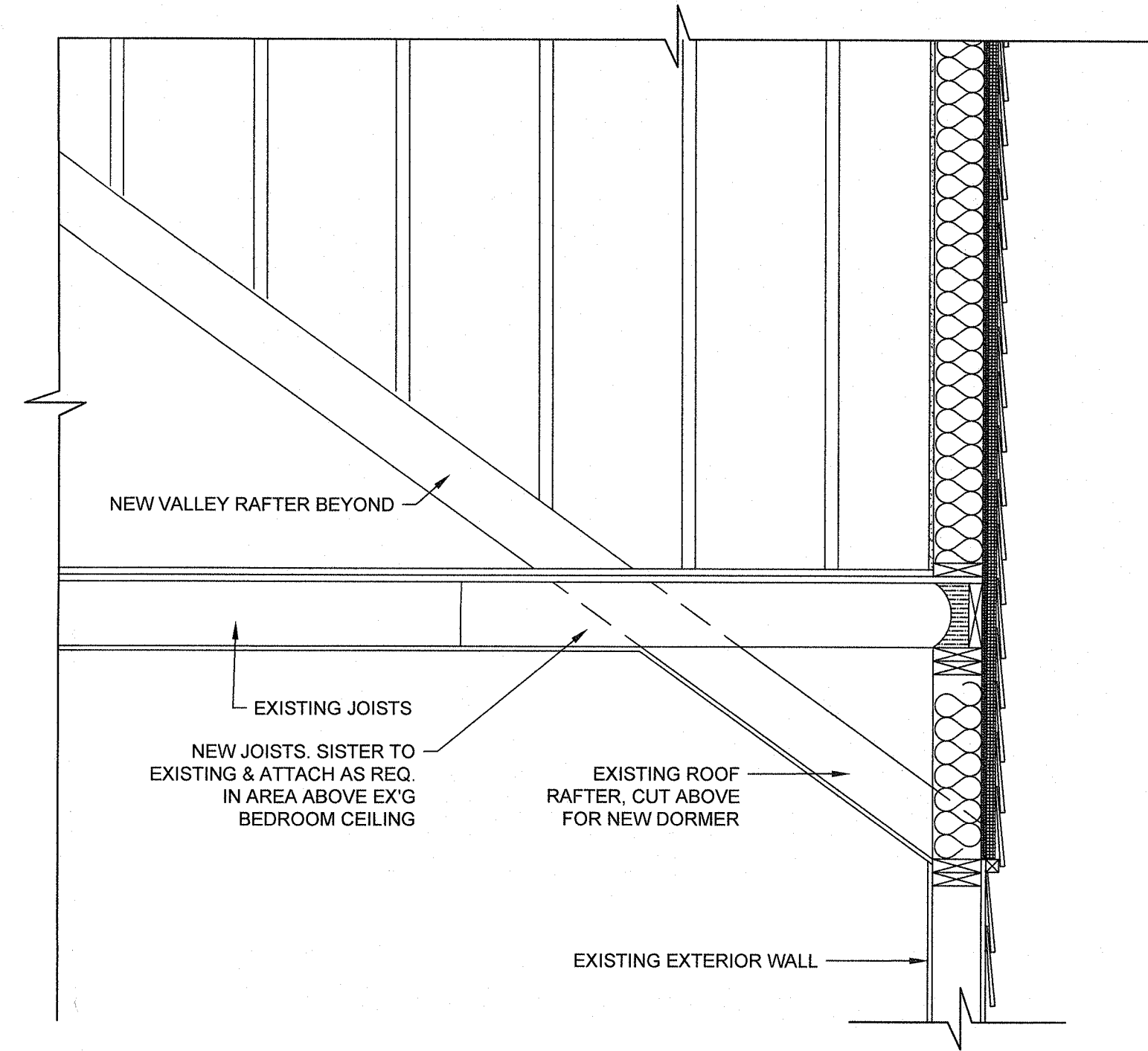
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DETAILS

PROJECT NO. 2337
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SCALE AS NOTED
DATE FEBRUARY 1, 2024

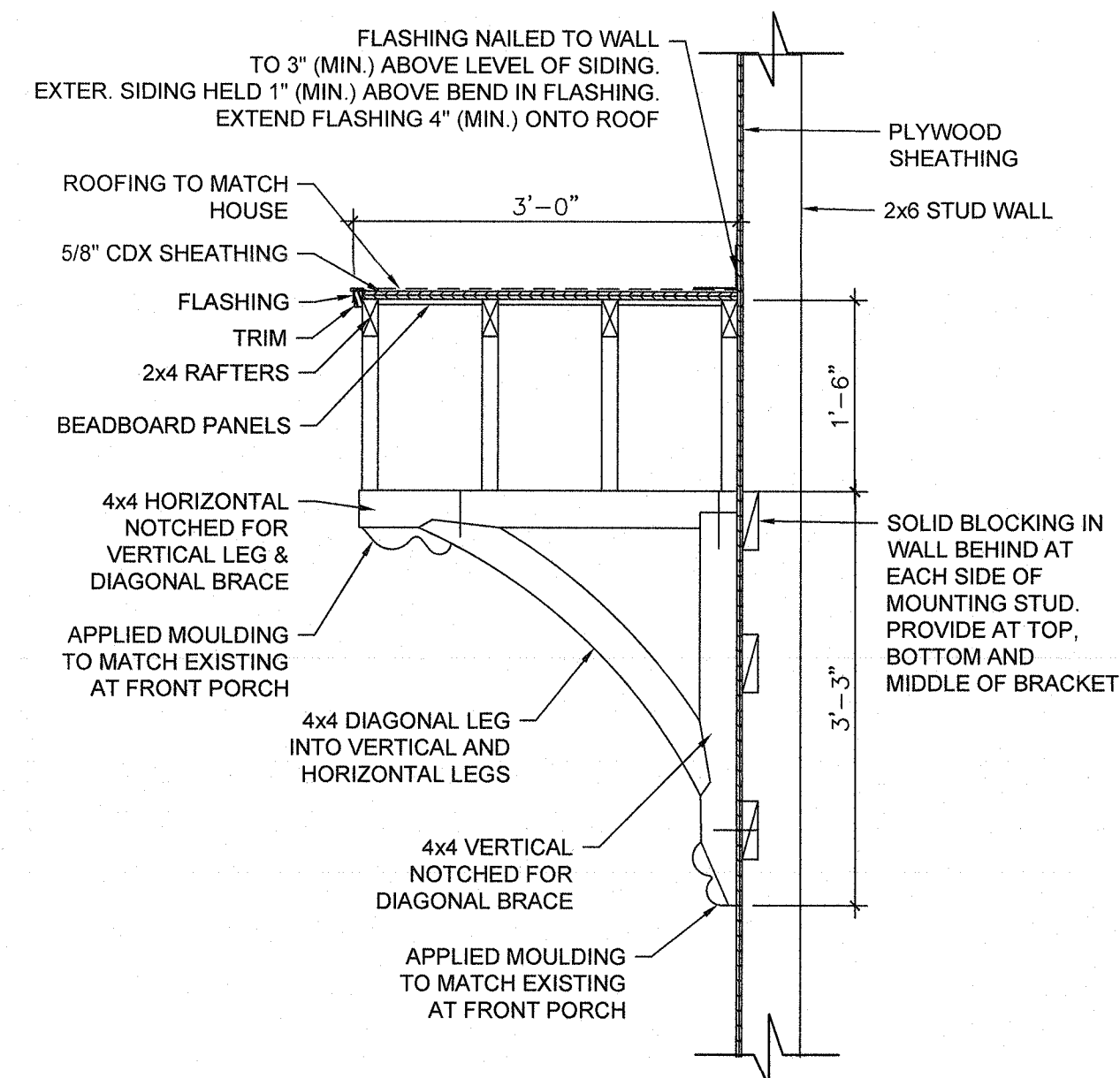
A-8



1
A-9
SECTION 2 NEW DORMER
SCALE: 3/4" = 1'-0"



2
A-9
SECTION 3 DETAIL NEW DORMER OVER EXISTING BEDROOM 1
SCALE: 3/4" = 1'-0"



3
A-9
DETAIL ROOF CANOPY AT REAR DOOR
SCALE: 3/4" = 1'-0"

ABBREVIATIONS

CLG.	CEILING
CONC.	CONCRETE
DET.	DETECTOR
EQ.	EQUAL
EX'G	EXISTING
EXIST.	EXISTING
GWB	GYPSUM WALL BOARD
GYP. BD	GYPSUM WALL BOARD
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PREP.	PREPARE
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MATERIAL LEGEND

	EARTH
	GRAVEL
	CONCRETE
	CONCRETE MASONRY
	BRICK
	STONE
	STEEL
	ROUGH WOOD, CONT.
	BLOCKING
	FINISHED WOOD
	PLYWOOD
	PLYWOOD
	BATT INSULATION
	BOARD INSULATION
	SPRAY FOAM INSULATION
	GYPSUM BOARD

TWO-STORY REAR
ADDITION

MICHELLE DIAZ
COREY PAYRAUDEAU

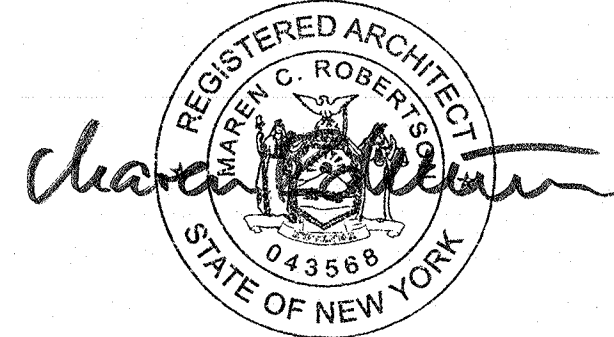
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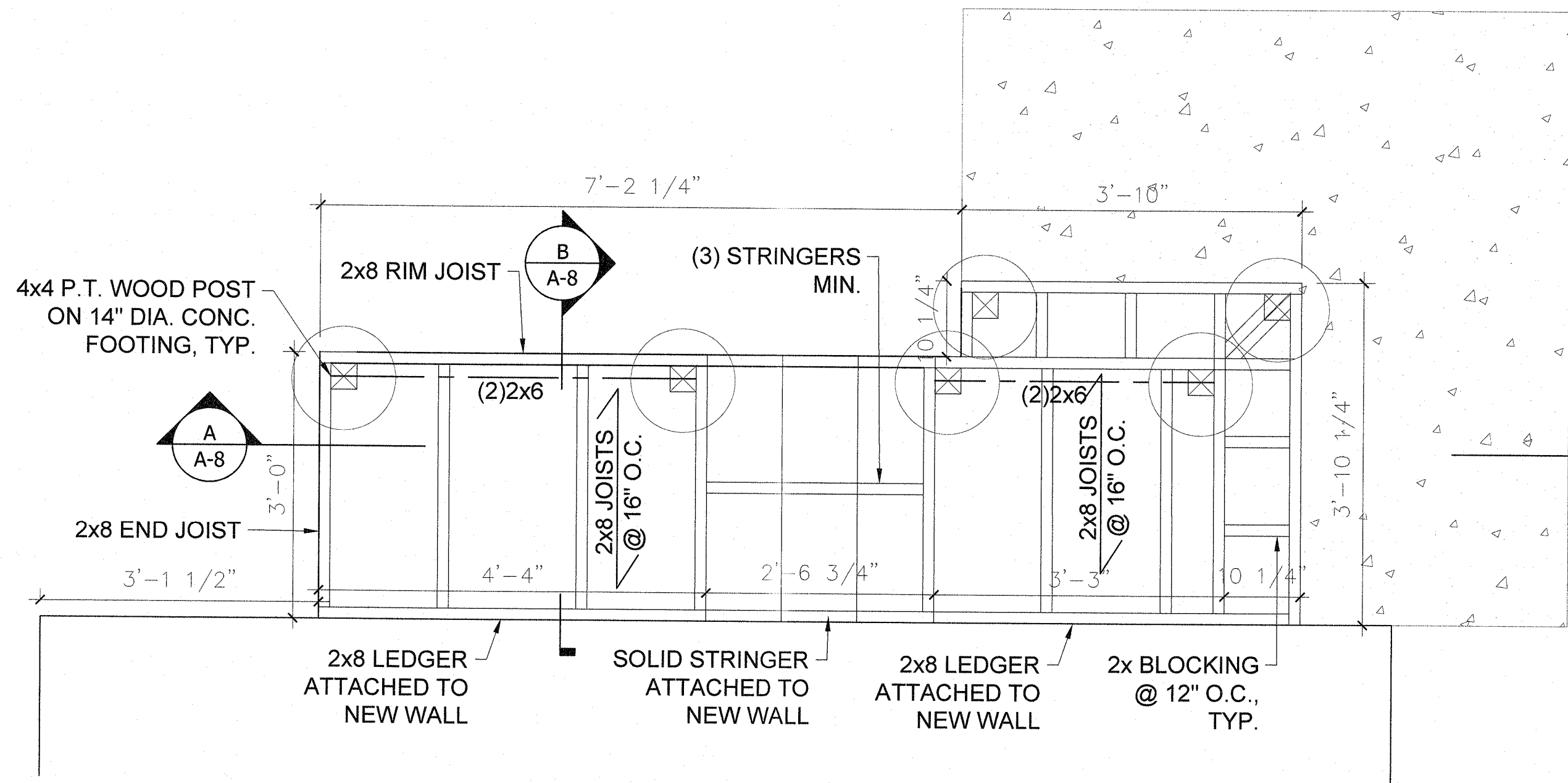
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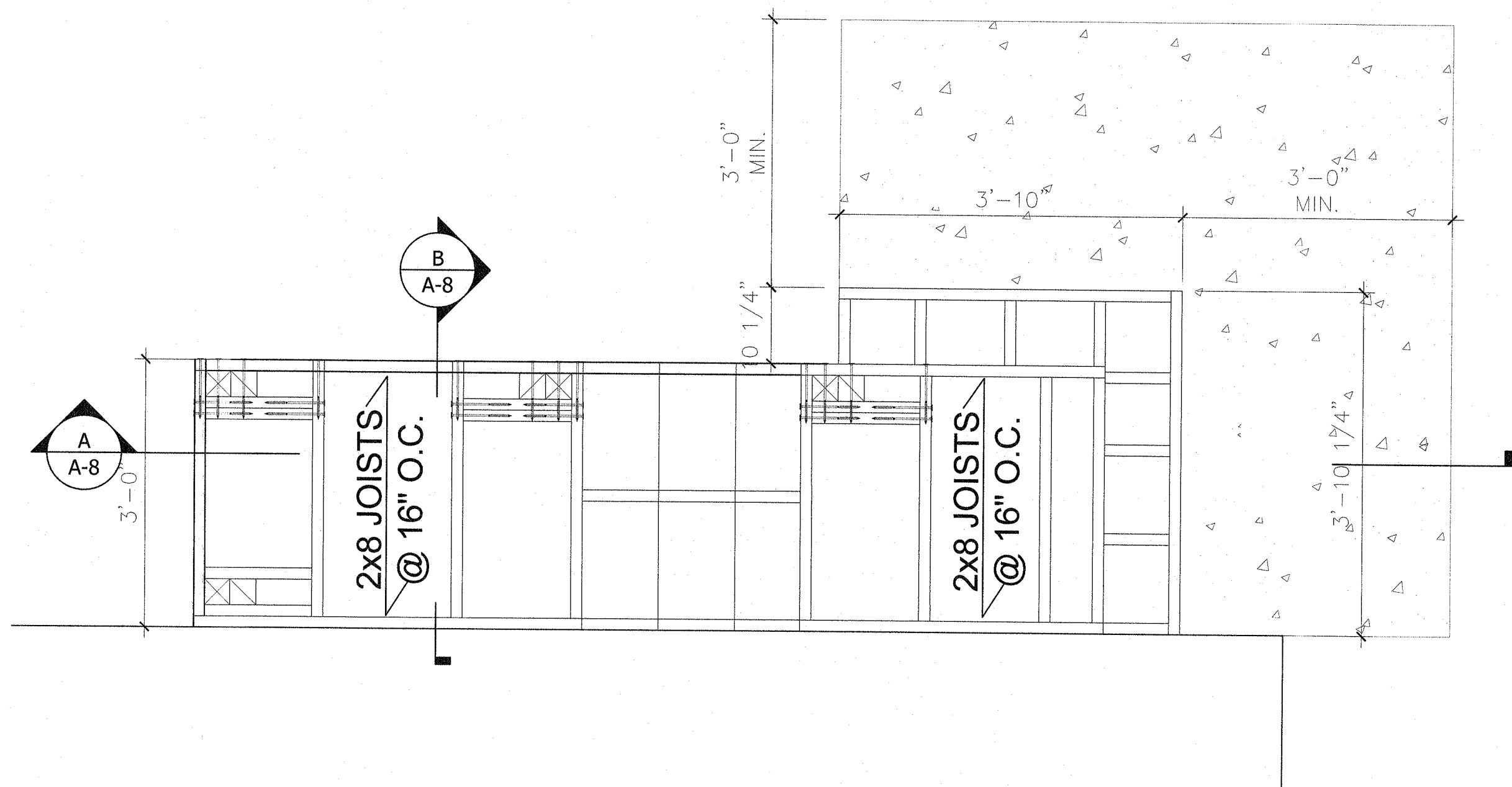
DRAWING TITLE
**REAR STAIR & DECK
DETAILS**

PROJECT NO. 2337
DRAWN BY MCR
SCALE AS NOTED
DATE FEBRUARY 1, 2024

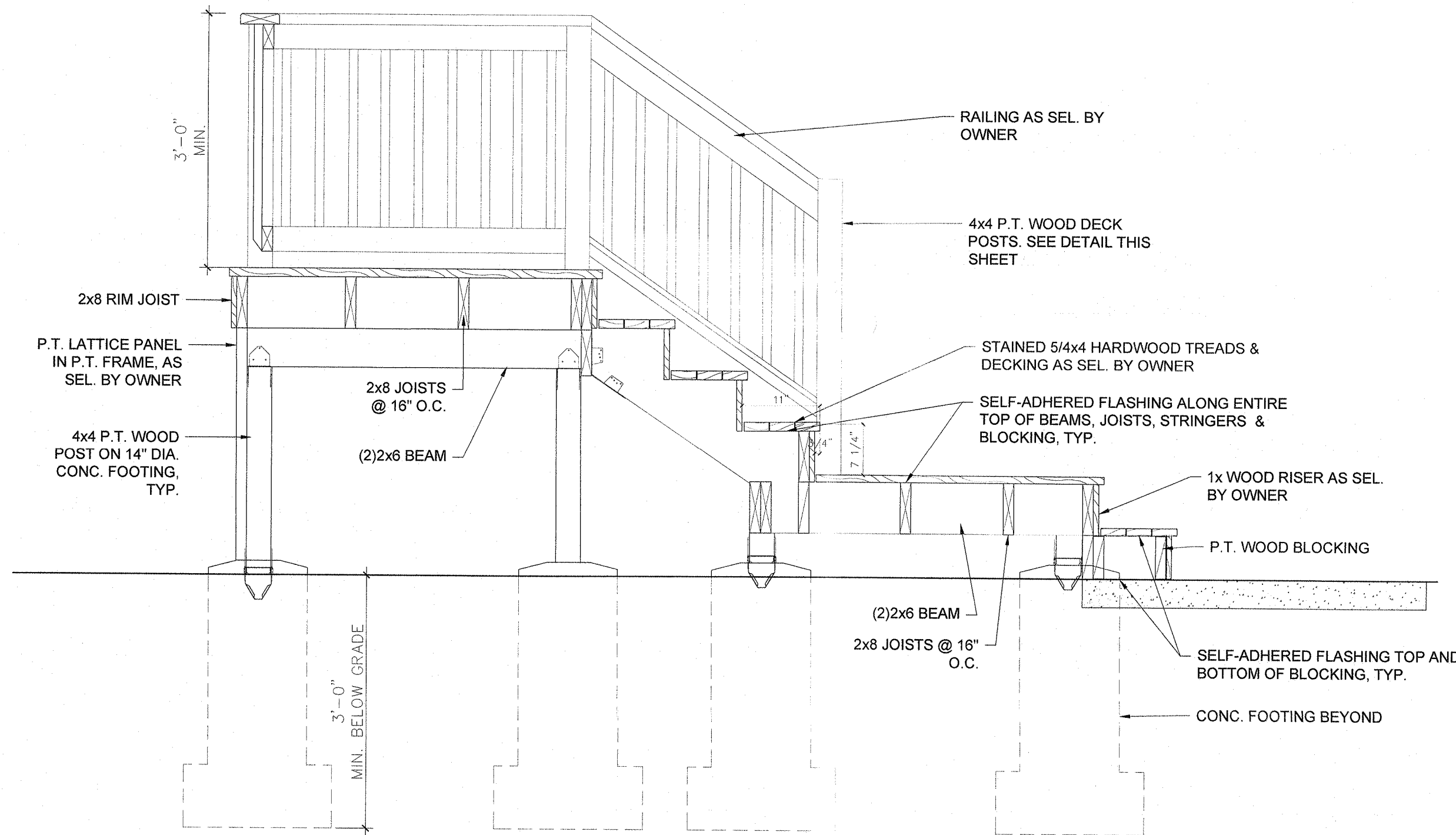
A-9



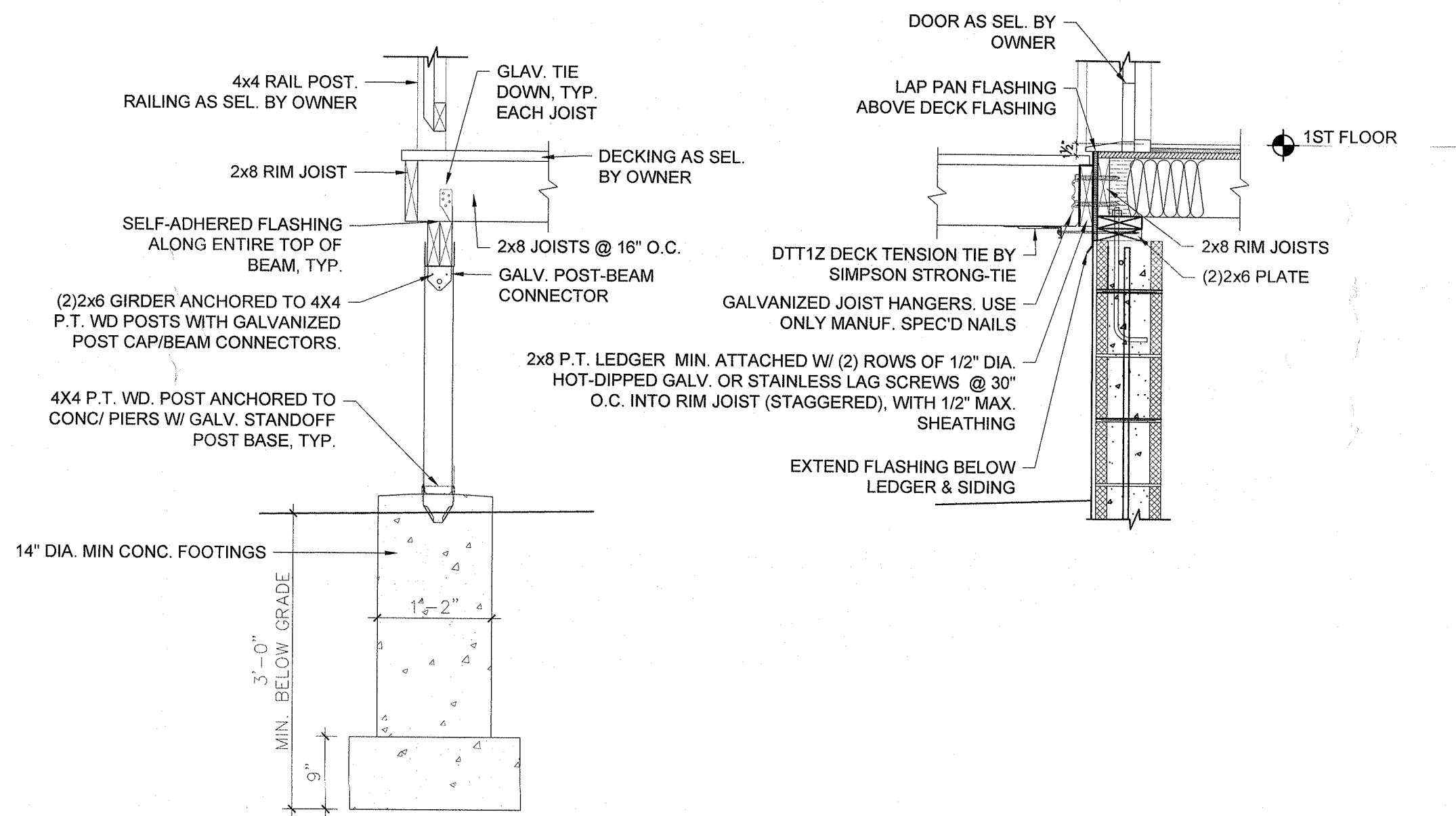
1 DETAIL 1 REAR STAIR & DECK FRAMING PLAN
SCALE: 3/4" = 1'-0"



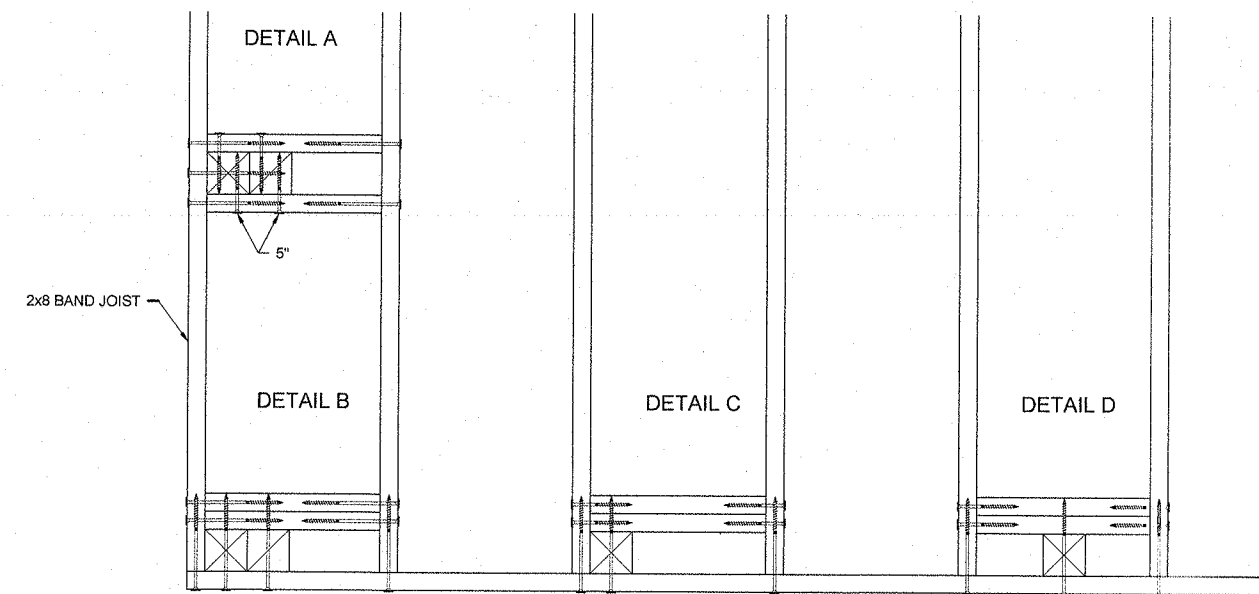
2 DETAIL 1 REAR STAIR & DECK POST CONNECTION PLAN
SCALE: 3/4" = 1'-0"



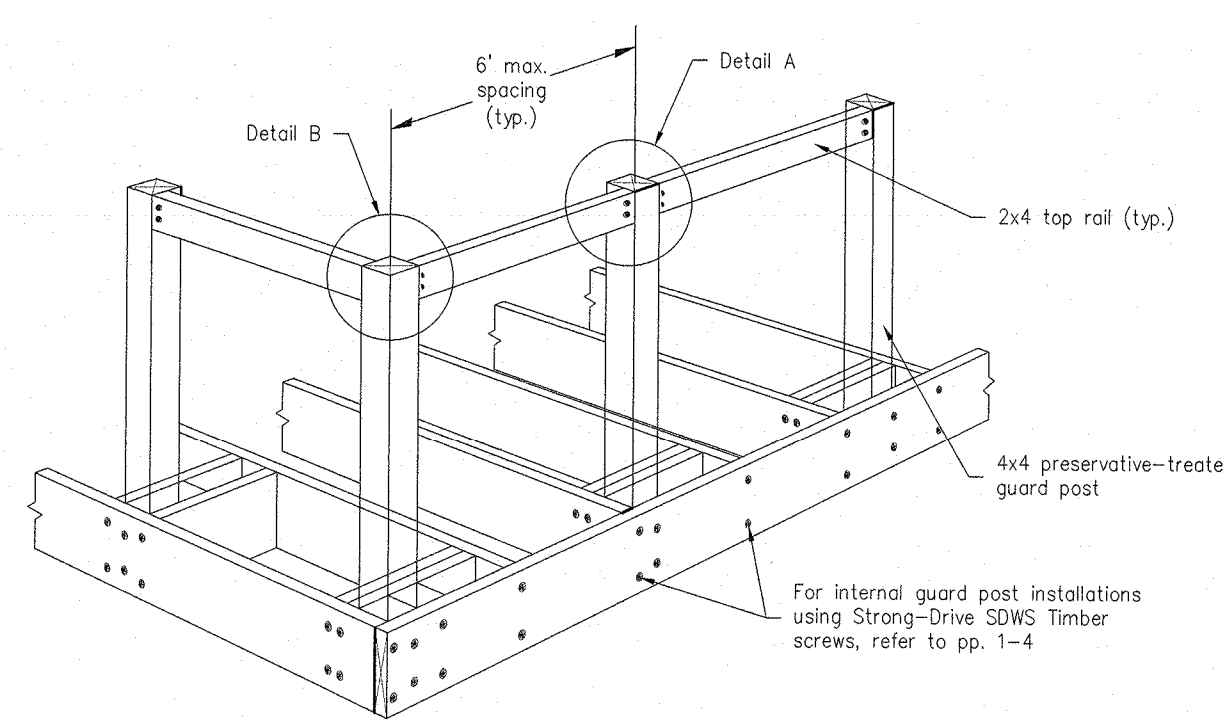
3 SECTION A REAR STAIR & DECK
SCALE: 3/4" = 1'-0"



4 REAR STAIR & DECK SECTION B
SCALE: 3/4" = 1'-0"



5 DECK POST CONNECTION DETAILS BY SIMPSON STRONG-TIE
N.T.S.



ABBREVIATIONS

CLG.	CEILING
CONC.	CONCRETE
DET.	DETECTOR
EQ.	EQUAL
EX'G	EXISTING
EXIST.	EXISTING
GWB	GYPSUM WALL BOARD
GYP. BD	GYPSUM WALL BOARD
HT.	HEIGHT
MANUF.	MANUFACTURER
MAX.	MAXIMUM
MIN.	MINIMUM
PREP.	PREPARE
REQ.	REQUIRED
SEL.	SELECTED
TYP.	TYPICAL
WD.	WOOD

MATERIAL LEGEND

[Pattern]	EARTH
[Pattern]	GRAVEL
[Pattern]	CONCRETE
[Pattern]	CONCRETE MASONRY
[Pattern]	BRICK
[Pattern]	STONE
[Pattern]	STEEL
[Pattern]	ROUGH WOOD, CONT.
[Pattern]	BLOCKING
[Pattern]	FINISHED WOOD
[Pattern]	PLYWOOD
[Pattern]	PLYWOOD
[Pattern]	BATT INSULATION

GENERAL NOTES

1. ALL WORK AND MATERIALS FURNISHED SHALL COMPLY WITH ALL APPLICABLE CODES IN THE VILLAGE OF NYACK, THE NEW YORK STATE UNIFORM FIRE PREVENTION AND RESIDENTIAL BUILDING CODE, THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE, THE NEW YORK STATE STRETCH CODE, AND ALL OTHER FEDERAL, STATE, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER THE WORK AS CURRENTLY IN EFFECT.
2. MATERIALS, WORKMANSHIP AND INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH NOT ONLY THE MANUFACTURERS' PRINTED INSTRUCTIONS, BUT ALSO THE STANDARDS OF RECOGNIZED AGENCIES OR ASSOCIATIONS.
3. ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE SPECIFIED.
4. PROVIDE TEMPORARY PROTECTION OF MATERIALS AND EQUIPMENT.
5. CONTRACTOR SHALL PROTECT EXISTING PREMISES FROM DAMAGE DURING CONSTRUCTION.
6. IT IS INTENDED THAT THE GENERAL CONTRACTOR PROVIDE A COMPLETE JOB. ANY OMISSIONS IN THESE GENERAL INSTRUCTIONS OR THE OUTLINE OF WORK ARE NOT TO BE CONSTRUED AS REMOVING SUCH ITEMS FROM THE RESPONSIBILITIES OF THE GENERAL CONTRACTOR.
7. NO SUBSTITUTIONS WILL BE ACCEPTED UNLESS SUBMITTED IN WRITING TO ARCHITECT/OWNER & APPROVED BY ARCHITECT/OWNER.
8. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN THE APPROPRIATE TRADES. CONTRACTOR SHALL KEEP SUFFICIENT WORKMEN ON THE JOB AT ALL TIMES TO PERFORM THE WORK IN THE MOST EXPEDITIOUS MANNER CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE AND IN THE BEST INTERESTS OF THE PROJECT.
9. ALL ELECTRICAL WORK TO BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE LOCAL UNDERWRITERS. A CERTIFICATE IS TO BE PRESENTED TO THE OWNER AT THE COMPLETION OF THE JOB.
10. CONTRACTOR SHALL PROVIDE PROPER PROTECTION FOR ALL EXISTING WORK, FURNISHINGS AND FIXTURES LIKELY TO BE DAMAGED, WHEN THE EXTERIOR OPENINGS ARE MADE IN EXISTING WORK, THEY SHALL BE COVERED WITH WATER-TIGHT PROTECTION AT THE END OF THE DAY'S WORK.
11. PATCH, REPAIR AND REPLACE ALL EXISTING WALLS, CEILINGS AND FLOORS DAMAGED DUE TO NEW CONSTRUCTION.
12. DAILY STARTING TIME AND COMPLETION FOR CONSTRUCTION IS TO BE COORDINATED WITH OWNER AND AGREED UPON BY BOTH PARTIES.
13. CONTRACTOR IS EXPECTED TO WORK ON JOB WITHOUT ANY UNREASONABLE DELAY. IF A DELAY IS TO OCCUR, NOTIFICATION TO THE OWNER SHALL BE REQUIRED.
14. WORK PERFORMED OVER ANY SURFACE CONSTITUTES ACCEPTANCE OF THAT SURFACE FOR THE SPECIFIED QUALITY OF THE WORK BEING PERFORMED THEREON.
15. THE CONTRACTOR IS TO NOTIFY ARCHITECT IN WRITING OF ANY ADAPTATIONS TO THESE DRAWINGS OR SPECIFICATIONS REQUIRED BY LOCAL LIFE AND SAFETY CODES OR ANY OTHER GOVERNING AGENCY.
16. THE CONTRACTOR SHALL REPORT TO ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK OF THIS CONTRACT.
17. ALL CONSTRUCTION AND SUBCONTRACTED WORK IS TO BE PERFORMED BY CONTRACTORS LICENSED IN THE STATE/COUNTY WHERE THE WORK IS BEING EXECUTED.
18. ALL CONTRACTORS ARE RESPONSIBLE TO CONFORM TO THE OWNER'S AND TOWN'S INSURANCE REQUIREMENTS AND TO PROVIDE A CERT. OF INSURANCE TO ALL PARTIES UPON AWARD OF CONTRACT.
19. ALL CONTRACTORS ARE TO CONFORM WITH THE BUILDING OWNER'S REQUIREMENTS FOR DELIVERY TO THE SITE AND LOCATION FOR STORAGE OF ALL CONSTRUCTION MATERIALS.
20. REMOVE DEBRIS AND ABANDONED ITEMS FROM AREA AND FROM CONCEALED SPACES. CONTRACTOR TO COORDINATE REMOVAL OF DEBRIS FROM SITE SO THAT IT DOES NOT INTERFERE WITH OWNER'S ACTIVITIES.
21. ANY CHANGES, WHETHER INTENTIONAL OR DUE TO UNEXPECTED EXISTING CONDITIONS THAT AFFECT THE CONTRACT SUM OR CONTRACT TIME SHOULD BE MADE IN WRITING AS A CHANGE ORDER. CHANGE ORDERS MUST BE APPROVED PRIOR COMMENCING THE WORK FOR THAT CHANGE ORDER.
22. EXECUTE PRIOR TO FINAL INSPECTION: CLEAN INTERIOR AND EXTERIOR SURFACES EXPOSED TO VIEW, REMOVE TEMPORARY LABELS, STAINS AND FOREIGN SUBSTANCES.

PERMITS

- A. GENERAL CONTRACTOR / SUBCONTRACTOR IS RESPONSIBLE FOR ALL INFORMATION AND DESIGN (INCLUDING ELECTRICAL, SPRINKLER, AND MECHANICAL) REQUIRED BY LOCAL BUILDING OFFICIAL TO OBTAIN ALL NECESSARY BUILDING PERMITS FOR CONSTRUCTION.
- B. GENERAL CONTRACTOR SHALL PAY FOR ALL PERMITS REQUIRED, UNLESS OTHERWISE SPECIFIED BY OWNER.
- C. GENERAL CONTRACTOR SHALL OBTAIN FINAL CERTIFICATE OF OCCUPANCY UPON COMPLETION OF WORK AND SHALL FORWARD SAME TO OWNER.

CLEANING

- A. MAINTAIN PREMISES AND PUBLIC PROPERTIES FREE FROM ACCUMULATIONS OF WASTE, DEBRIS AND RUBBISH, CAUSED BY OPERATIONS.
- B. AT COMPLETION OF WORK, REMOVE WASTE MATERIALS, RUBBISH, TOOLS, EQUIPMENT, MACHINERY AND SURPLUS MATERIALS AND CLEAN ALL SIGHT-EXPOSED SURFACES. LEAVE PROJECT CLEAN AND READY FOR OCCUPANCY.

WARRANTIES

- A. CONTRACTOR SHALL WARRANTY THE WORK WILL BE FREE FROM DEFECTIVE MATERIALS AND WORKMANSHIP WITHIN A PERIOD OF ONE YEAR AFTER THE DATE OF OWNER'S ACCEPTANCE OR WITHIN SUCH PERIOD OF TIME AS MAY BE PRESCRIBED BY THE TERMS OF ANY APPLICABLE SPECIAL WARRANTY REQUIRED BY THE CONTRACT DOCUMENTS.
- B. BY SUBMITTING A PROPOSAL OR AGREEMENT TO PERFORM WORK, THE CONTRACTOR AGREES THAT HE IS SKILLED AND EXPERIENCED IN THE USE AND INTERPRETATION OF PLANS AND SPECIFICATIONS. HE HAS CAREFULLY REVIEWED THE PLANS AND SPECIFICATIONS FOR HIS PROJECT AND HAS FOUND THEM TO BE FREE OF AMBIGUITIES AND SUFFICIENT FOR BID PURPOSES. FURTHER, HE HAS CAREFULLY EXAMINED THE SITE OF THE WORK AND FROM HIS OWN OBSERVATIONS HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK, THE CHARACTER, QUALITY, AND QUANTITY OF MATERIALS, THE DIFFICULTIES LIKELY TO BE ENCOUNTERED AND OTHER ITEMS FOUND ON THE JOB.

SITE WORK

1. PROTECT EXISTING TREES AND SHRUBS.
2. PROTECT EXISTING ASPHALT AREAS AND CONCRETE WALKS AND WALLS TO REMAIN.
3. PROVIDE ADEQUATE NUMBER OF CARTING CONTAINERS TO SUFFICIENTLY REMOVE ALL DEBRIS ASSOCIATED WITH THE WORK. COORDINATE LOCATION OF CARTING CONTAINER ON PREMISES WITH OWNER.

SITE IMPROVEMENTS

1. PROVIDE ALL CONCRETE SIDEWALKS, CURBS, STEPS, RETAINING WALLS, ASPHALT PAVING, SITE DRAINING SYSTEM, ETC. AS MAY BE REQUIRED BY THE SCOPE OF THIS PROJECT.
2. CONCRETE WALKS SHALL BE CONSTRUCTED 4 IN. THICK, WIDTHS SHOWN ON DRAWINGS. PROVIDE 1/2 IN. TRANSVERSE EXPANSION JOINTS WITH PREMOULDED FILLER, WHERE SHOWN ON THE DRAWINGS. WHERE NOT SHOWN ON THE DRAWINGS, LOCATE EXPANSION JOINTS NOT MORE THAN 5 FT. APART. ALSO AT WALK JUNCTIONS AND INTERSECTIONS, AT TOP AND BOTTOM OF STEPS, AND WHERE WALKS ABUT CURB RETURNS, BUILDINGS, PLATFORMS OR OTHER FIXED STRUCTURES, OR TERMINATE AT CURBS.

MASONRY AND CONCRETE

1. PROVIDE ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES NECESSARY TO COMPLETE ALL CONCRETE AND MASONRY WORK AS INDICATED ON THE DRAWINGS, AND AS SPECIFIED HEREIN.
2. REMOULDED JOINT FILLERS USED WHEREVER EDGES OF CONCRETE SLABS ABUT A VERTICAL SURFACE SHALL BE RIGID NON-EXPANDING APPROVED TYPE PRE-MOLDED ASPHALT IMPREGNATED FIBERBOARD, 1/2 IN. THICK.
3. SOIL UNDER SLABS ON GROUND SHALL BE COMPACTED TO A FIRM, UNYIELDING SURFACE. NO CONCRETE SHALL BE LAID ON FROZEN SOIL. AND ADEQUATE PROTECTION AGAINST FROST ACTION SHALL BE PLACED ON EARTH WHICH HAS BEEN BACKFILLED OR OTHERWISE DISTURBED.
4. SAWCUT EXISTING BRICK FOR NEW OR ENLARGED OPENINGS AS SHOWN ON THE DRAWINGS, NOTIFY ARCHITECT IF CONDITION OF EXISTING MASONRY IS NOT SUITABLE FOR PROPOSED WORK IN THAT AREA.
5. ALL WORKMEN SHALL BE EXPERIENCED TRADESMEN, TRAINED AND QUALIFIED TO DO THE WORK AT HAND.

WOOD

1. PROVIDE AND INSTALL ROUGH CARPENTRY ITEMS AS NEEDED FOR BLOCKING, NAILERS, SLEEPERS, PLYWOOD BACKING PANELS, AND OTHER MISCELLANEOUS USES.
2. PROVIDE PLYWOOD UNDERLAYMENT OF APPROPRIATE THICKNESS FOR LEVEL AND EVEN FINISH FLOORS AT AREAS WHERE EXISTING FLOORS ARE NOT PLANE OR SOLID.
3. PROVIDE AND INSTALL MISCELLANEOUS WOOD TRIM TO MATCH EXISTING WHERE EXISTING FINISHES ARE TO BE MAINTAINED AND NEW TRIM WHERE SHOWN ON DRAWINGS.
4. ALL CLOSET SHELVING WHERE SHOWN TO BE 3/4" PARTICLEBOARD OR MEDIUM-DENSITY FIBERBOARD WITH SOLID 1 X 2 WOOD FRONT EDGE. INSTALL FIXED SHELVES ON 1 X 1 WOOD CLEATS ALL THREE SIDES. INSTALL ADJUSTABLE SHELVES ON SLOTTED STANDARDS AND BRACKETS MOUNTED TO LIMIT SHELF SPAN TO 36 INCHES OR LESS.

THERMAL AND MOISTURE PROTECTION

1. ROOF INSULATION AT ADDITION SHALL BE EXTRUDED POLYSTYRENE BOARD, ASTM C 578 TYPE IV OR DENSER BY A RECOGNIZED MANUFACTURER. SUBMIT PRODUCT LITERATURE.
2. GLASS-FIBER BLANKET INSULATION SHALL BE KRAFT-FACED, OF THICKNESS SHOWN, BY RECOGNIZED MANUFACTURER. SUBMIT PRODUCT LITERATURE.
3. INSTALL ALL INSULATION ACCORDING TO MANUFACTURER'S DIRECTIONS.
4. MEMBRANE ROOFING SHALL BE MECHANICALLY FASTENED EPDM, SYNTHETIC RUBBER, OR THERMOPLASTIC ROOFING OF A RECOGNIZED MANUFACTURER SUCH AS CARLISLE, JOHNS MANVILLE, TREMCO, OR SARNAFIL, AT CONTRACTOR'S OPTION. PROVIDE A COMPLETE INSTALLATION WITH MANUFACTURER'S STANDARD FLASHING, DRIP EDGE, FASTENERS, AND OTHER ACCESSORIES FOR A COMPLETE AND WARRANTABLE INSTALLATION. WARRANTY SHALL BE MANUFACTURER'S STANDARD WARRANTY FOR 15 YEARS FROM DATE OF SUBSTANTIAL COMPLETION. SUBMIT MANUFACTURER'S PRODUCT LITERATURE, SAMPLES OF ROOFING MEMBRANE AND ACCESSORIES, AND SAMPLE WARRANTY.
5. PROVIDE FIRESTOP SYSTEMS APPROPRIATE FOR EACH USE FROM A RECOGNIZED MANUFACTURER, SUCH AS W.R. GRACE, HILTI, JOHNS MANVILLE, 3M, OR USG. SUBMIT MANUFACTURER'S PRODUCT LITERATURE INCLUDING UL FIRE RESISTANCE DIRECTORY LISTING.

ROOFING, WATERPROOFING AND VAPOR BARRIER NOTES

1. PROVIDE AND INSTALL ALUMINUM DRIP EDGE CONTINUOUS AT THE ENTIRE ROOF EDGE. COLOR TO MATCH ROOF.
2. INSTALL ALUMINUM GUTTERS AND DOWN SPOUTS AS REQUIRED AT NEW ROOF EAVES. GUTTER COLOR TO MATCH TRIM. DOWN SPOUTS TO BE WHITE.
3. FLASH ALL WINDOW ROUGH OPENINGS WITH A PEEL & STICK TYPE BUTYL MEMBRANE FLASHING. FLASH SILLS TO CREATE A DRAIN PAN PITCHED TO THE EXTERIOR SIDE. RUN PAN CONTINUOUS OVER CORNERS AND UP JAMBS MINIMUM 6" FLASH SILL PAN OUT OVER HYDROGAP HOUSE WRAP AT EXTERIOR FACE OF CONTINUOUS INSULATION.
4. APPLY BENJAMIN MOORE LATEX VAPOR BARRIER PRIMER SEALER #260 PAINT ON THE INTERIOR FACE OF ALL EXTERIOR WALLS AND CEILINGS.
5. SEAL ALL PENETRATIONS THROUGH CEILINGS, EXTERIOR WALLS OR FOUNDATION WALLS WITH LOW-EXPANSION POLYURETHANE FOAM SEALER AND CAULK THE EXTERIOR JOINT FOR A TIGHT AIR SEAL.
6. SEAL ALL RIMS & BAND JOISTS THROUGHOUT WITH MINIMUM 27YR14 SPRAY FOAM KIT BY TOUCH N SEAL OR EQUAL. INSTALL FIBERGLASS BATTS AS NOTED OVER SPRAYED FOAM SEAL AT PERIMETER.
7. FLASH ALL ROOF EAVES WITH 2 COURSES OF 36" WIDE ICE & WATER SHIELD.

DOORS AND WINDOWS

1. U-FACTORS ARE DETERMINED IN ACCORDANCE WITH THE NFRC TEST PROCEDURE.
2. EXTERIOR DOOR TO BE LISTED AND LABELED AS MEETING AAMA WDMA/CSA 1011.8.2/A440 OR HAS INFILTRATION RATES PER NFRC 400.
3. ALL WINDOWS TO BE ANDERSEN 100 SERIES.
4. INSTALL ALL WINDOWS PLUMB AND SQUARE, APPLY SEALANT PER SEALANT MANUFACTURERS DIRECTIONS. ADJUST AS NECESSARY FOR SMOOTH AND WATER-TIGHT OPERATION.

FINISH NOTES

1. INSTALL NEW INTERIOR DOORS AS CHOSEN BY OWNER.
2. INSTALL NEW INTERIOR WINDOW AND DOOR TRIM TO MATCH EXISTING AND APPROVED BY OWNER.
3. INSTALL NEW INTERIOR BASE TRIM TO MATCH EXISTING AND APPROVED BY OWNER.
4. INSTALL NEW HARD WOOD FLOORING AS CHOSEN BY OWNER AND AS NOTED ON THE DRAWINGS. INSTALL ALL WOOD FLOORS OVER ROBIN PAPER OR BUILDING PAPER. SAND AND SEAL NEW FLOOR AND APPLY 3 COATS OF A WATER-BASED POLYURETHANE FINISH. FINISH TEXTURE AND COLOR TO BE CHOSEN BY OWNER.
5. CERAMIC AND STONE TILE FLOORS SHALL BE THIN-SET ON SOUND SUB-FLOORING. BATHROOM TILE FLOORS SHALL BE THIN-SET ON CONCRETE BACKER BOARD OVER PLYWOOD SUB-FLOOR. TILE STYLES AND COLORS TO BE CHOSEN BY OWNER.
6. BATHROOM WALL BASE SHALL BE TILE TO MATCH THE FLOOR OR AS CHOSEN BY OWNER. INSTALL WALL TILE FULL HEIGHT AT SHOWERS. INSTALL SHOWER WALL TILE OVER CONCRETE BACKER BOARD.
7. ALL DOOR HARDWARE SHALL BE CHOSEN BY THE OWNER. THE CONTRACTOR SHALL PURCHASE AND INSTALL ALL REQUIRED HARDWARE FOR A COMPLETE AND PROPER INSTALLATION.
8. FINISH HARDWARE, LIGHTING FIXTURES, AND SWITCH PLATES SHALL BE PROTECTED OR REMOVED BEFORE PAINTING IS STARTED, AND SHALL BE REPLACED AFTER PAINTING AND FINISHING ARE COMPLETED.
9. ALL NEW SURFACES TO RECEIVE FINISHES SHALL BE PREPARED IN STRICT ACCORDANCE TO THE PAINT OR FINISH MANUFACTURERS SPECIFICATIONS.
10. ALL PAINTING SHALL CONSIST OF ONE PRIME COAT OVER NEW MATERIAL AND TWO FINISH COATS. WALLS AND CEILINGS ARE TO RECEIVE A FLAT ANY DOORS, TRIM OR WOODWORK TO BE PAINTED SHALL RECEIVE A SEMI-GLOSS ENAMEL. ALL PAINTING SHALL BE SANDED BETWEEN COATS. COLORS TO BE CHOSEN BY OWNER.
11. COORDINATE AND INSTALL ALL OWNERS FIXTURES AND CABINETS AS CHOSEN BY OWNER.

GYPSUM BOARD ASSEMBLIES

1. PROVIDE STEEL STUDS, FURRING, CHANNELS, ANCHORS, FASTENERS, HANGERS, AND OTHER ACCESSORIES FOR COMPLETE INTERIOR PARTITION AND FINISH WORK. COMPLY WITH UL DESIGNATIONS FOR RATED WALLS. PROVIDE SUPPLEMENTARY BLOCKING FOR ATTACHMENT OF RAILINGS, GRAB BARS, AND OTHER WALL-MOUNTED ACCESSORIES. MAXIMUM STUD SPACING TO BE 16" O.C. AT ALL AREAS TO BE TILED.
2. PROVIDE SUSPENSION SYSTEM FOR CEILINGS COMPLYING WITH ASTM C 645.
3. PROVIDE INTERIOR GYPSUM WALLBOARD COMPLYING WITH ASTM C 36 AS DESCRIBED IN THE DRAWINGS FOR THE PARTICULAR APPLICATION REQUIRED, IN MAXIMUM LENGTHS AND WIDTHS AVAILABLE THAT WILL MINIMIZE JOINTS IN EACH AREA AND CORRESPOND WITH THE SUPPORT SYSTEM.
4. GYPSUM WALLBOARD: 5/8" THICKNESS WITH LONG EDGES TAPERED UNLESS OTHERWISE INDICATED ON PARTITION TYPE DRAWINGS AND SCHEDULES.
5. TILE BACKING PANELS: CEMENTITIOUS BACKER UNITS, DUROCK (USG) OR WONDERBOARD, 1/2" THICK. INSTALL AT ALL CERAMIC FLOOR AND WALL TILE AREAS.
6. WATER-RESISTANT GYPSUM BACKING BOARD TO COMPLY WITH ASTM C 630/C 630M.
7. TRIM AND ACCESSORIES TO COMPLY WITH ASTM C 1047 AND MAY INCLUDE GALVANIZED OR ALUMINUM-COATED STEEL SHEET, ROLLED ZINC, PLASTIC, OR PAPER-FACED GALVANIZED STEEL SHEET.
8. SHAPES TO INCLUDE CORNERBEAD AND L-BEAD: USE AT ALL CORNERS.
9. JOINT TREATMENT MATERIALS TO COMPLY WITH ASTM C 475.
10. JOINT TAPE AT INTERIOR GYPSUM WALLBOARD TO BE PAPER. AT TILE BACKING PANELS FOLLOW MANUFACTURER'S RECOMMENDATIONS.
11. FOR JOINT COMPOUND AT INTERIOR GYPSUM WALLBOARD, FOR EACH COAT USE FORMULATION THAT IS COMPATIBLE WITH OTHER COMPOUNDS APPLIED ON PREVIOUS OR FOR SUCCESSIVE COATS.
12. FOR JOINT COMPOUND AT TILE BACKING PANELS, USE SETTING-TYPE SANDABLE TOPPING COMPOUNDS COMPATIBLE WITH TILE ADHESIVE.
13. INSTALL FIBERGLASS INSULATION SOUND ATTENUATING BLANKETS AT NEW INTERIOR PARTITIONS UNLESS OTHERWISE INDICATED.
14. INSTALL CEILING BOARD PANELS ACROSS FRAMING TO MINIMIZE ABUTTING END JOINTS AND TO AVOID ABUTTING END JOINTS IN THE CENTRAL AREA OF EACH CEILING. STAGGER END JOINTS OF ADJACENT PANELS NOT LESS THAN ONE FRAMING MEMBER.
15. TREAT GYPSUM BOARD JOINTS, INTERIOR ANGLES, EDGE TRIM, CONTROL JOINTS, PENETRATIONS, FASTENER HEADS, SURFACE DEFECTS, AND ELSEWHERE AS REQUIRED TO PREPARE GYPSUM BOARD SURFACES FOR PAINTING. PREFILL OPEN JOINTS, ROUNDED OR BEVELED EDGES, AND DAMAGED SURFACE AREAS.
16. FINISH PANELS TO LEVELS INDICATED BELOW, ACCORDING TO ASTM C 840, FOR LOCATIONS INDICATED:
LEVEL 1: EMBED TAPE AT JOINTS IN CEILING PLENUM AREAS AND CONCEALED AREAS. UNLESS A HIGHER LEVEL OF FINISH IS REQUIRED FOR FIRE-RESISTANCE-RATED ASSEMBLIES AND SOUND-RATED ASSEMBLIES.
LEVEL 2: EMBED TAPE AND APPLY SEPARATE FIRST COAT OF JOINT COMPOUND TO TAPE, FASTENERS, AND TRIM FLANGES WHERE PANELS ARE SUBSTRATE FOR TILE.
LEVEL 3: EMBED TAPE AND APPLY SEPARATE FIRST, FILL, AND FINISH COATS OF JOINT COMPOUND TO TAPE, FASTENERS, AND TRIM FLANGES AT PANEL SURFACES THAT WILL BE EXPOSED TO VIEW.

ELECTRICAL NOTES

1. THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND APPROVALS ON ALL OF HIS WORK, FROM ALL LOCAL AUTHORITIES, AND COMPLY WITH ALL NEW YORK STATE AND LOCAL CODE REQUIREMENTS.
2. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL AND LABOR TO INSTALL SERVICE REQUIREMENTS FROM THE UTILITY COMPANY'S TRANSFORMER AS REQUIRED BY CODE.
3. ALL FEEDERS AND LINES SHALL BE OF A SIZE AS REQUIRED BY THE LOCAL AND STATE CODE, AND THE POWER COMPANIES DIRECTIVES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE, AND THE STATE OF NEW YORK.
5. THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL OUTLETS, SWITCHES AND COVER PLATES TO COMPLETE THE JOB. SUBMIT SAMPLES OF PROPOSED MATERIALS.
6. SMOKE DETECTORS SHALL BE INSTALLED IN LOCATIONS REQUIRED BY CODE AND AS INDICATED ON THE DRAWINGS.
7. AT THE COMPLETION OF THE JOB, THE ELECTRICAL CONTRACTOR SHALL SECURE ALL REQUIRED CERTIFICATIONS AS REQUIRED BY THE LOCAL AUTHORITIES.
8. REVIEW ALL LIGHTING AND SWITCH LOCATIONS WITH THE OWNER.
9. SUBMIT CUTS OF ALL PROPOSED LIGHT FIXTURES, PRIOR TO PURCHASE, TO THE OWNER FOR APPROVAL.
10. THE CONTRACTOR SHALL VERIFY THAT THE REQUIRED SPACE IS AVAILABLE FOR ALL RECESSED LIGHT FIXTURES, AND SHALL INFORM THE ARCHITECT OF ANY OBSTRUCTION WHICH WOULD INTERFERE WITH THE PROPER INSTALLATION OF THE FIXTURES AS SHOWN.
11. RECESSED LIGHT FIXTURES INSTALLED IN INSULATED CEILINGS SHALL BE PROVIDED WITH AN AIR-SEALED, INSULATION CONTACT HOUSING FROM THE MANUFACTURER.
12. COORDINATE DIMMER SWITCHES WITH LED MANUFACTURER'S APPROVED DIMMER SWITCH LIST. DO NOT INSTALL NON-COMPATIBLE DIMMER SWITCHES.
13. FIELD VERIFY SCONCE HEIGHTS ON WALL WITH OWNER AND FIXTURE CHOSEN.

PLUMBING NOTES

1. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND APPROVALS ON ALL OF HIS WORK, FROM ALL LOCAL AUTHORITIES AND COMPLY WITH ALL STATE AND LOCAL REQUIREMENTS.
2. PROVIDE AND INSTALL ALL PIPING, WATER SERVICE FROM STREET, TANKS, PUMPS, DRAINS, SUB-SURFACE DRAINAGE PIPE, VALVING, INSULATION, FITTINGS AND TESTING AS REQUIRED AND AS SHOWN ON THE DRAWINGS.
3. ALL PIPING SHALL BE PRESSURE TREATED FOR LEAKS BEFORE BACKFILLING OR ENCLOSING WALLS.
4. DO ALL TRENCHING AND BACKFILLING OF ALL SOIL LINES.
5. ALL INTERIOR WATER PIPE SHALL BE TYPE L COPPER PIPE, WITH HARD DRAWN PLAIN ENDS, IN ACCORDANCE WITH ASTM SPECIFICATIONS, OR PEX INSTALLED ACCORDING TO THE MANUFACTURERS SPECIFICATIONS. FITTINGS FOR COPPER PIPE SHALL BE THOROUGHLY CLEANED AND FITTED. SOLDERED AND PRESSURE TESTED BEFORE BLOCKING OVER OR BURYING. ALL COPPER WATER SERVICE PIPING PLACED BELOW CONCRETE SLABS OR IN CRAWL SPACES SHALL BE INSULATED AND PROTECTED FROM ADJACENT MATERIALS.
6. ALL SOIL AND WASTE PIPING SHALL BE CAST IRON OR PVC, SIZED AND INSTALLED ACCORDING TO CODE, AND ALL VENT PIPING SHALL BE COPPER OR PVC, INSTALLED ACCORDING TO CODE.
7. PROVIDE SOUND INSULATION AROUND ALL WASTE LINES, AND OTHER PIPING OR AS INDICATED ON THE DRAWINGS.
8. FURNISH ALL VALVES REQUIRED FOR THE PROPER CONTROL OF THE VARIOUS FIXTURES AND MECHANICAL EQUIPMENT, SO THAT ALL FIXTURES MAY BE ISOLATED FOR REPAIR AND SERVICING WITHOUT INTERFERENCE OF SERVICE TO THE REST OF THE SYSTEM.
9. CONNECTIONS BETWEEN DISSIMILAR METALS SHALL BE ISOLATED BY DI-ELECTRIC FITTINGS.
10. ALL PLUMBING FIXTURES SHALL BE AS CHOSEN BY THE OWNER, AND INSTALLED BY THE PLUMBING CONTRACTOR. REFER TO THE DRAWINGS FOR ADDITIONAL INFORMATION.
11. ALL GAS LINES SHALL BE BLACK PIPE AND PRESSURE TESTED.

DEMOLITION NOTES

1. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK INCLUDING BUT NOT LIMITED TO WALL AND CEILING DEMOLITION, MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION.
2. ALL WORK SHALL BE DONE CAREFULLY, NEATLY, SAFELY, AND IN A SYSTEMATIC MANNER.
3. ALL EXISTING CONSTRUCTION INDICATED TO REMAIN, INCLUDING BUT NOT LIMITED TO FINISH SURFACES, EQUIPMENT, STRUCTURAL ELEMENTS, FIRE PROOFING, STEEL, AND BUILDING UTILITY LINES, SHALL BE FULLY PROTECTED FROM DAMAGE. IF EXISTING CONSTRUCTION INDICATED TO REMAIN IS IN ANY WAY DISTURBED, WEAKENED, OR DAMAGED, THE CONTRACTOR SHALL RESTORE IT TO ITS ORIGINAL CONDITION WITHOUT ADDITIONAL COST TO THE OWNER.
4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY OR NEW STRUCTURAL ELEMENTS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
5. REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISHED SURFACES AND SHALL BE PROPERLY CAPPED OR PLUGGED. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN AND PROTECT AGAINST DAMAGE DURING DEMOLITION.
6. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION AS WELL AS WILDLIFE.
7. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED.
8. CONTRACTOR SHALL ARRANGE FREIGHT ELEVATOR HOURS OF OPERATION IF APPLICABLE, DUMPSTER LOCATION, AND EXIT ROUTE WITH BUILDING OWNER OR MANAGER IN ADVANCE OF THE WORK.
9. DO NOT USE CUTTING TORCHES FOR REMOVALS.
10. IF UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS CONFLICT WITH DEMOLITION, REPORT THE NATURE AND EXTENT OF THE CONFLICT TO THE ARCHITECT IN WRITTEN, ACCURATE DETAIL, PENDING RECEIPT OF INSTRUCTIONS, REARRANGE DEMOLITION SCHEDULE AND SEQUENCE TO MAINTAIN PROGRESS.
11. IF HAZARDOUS MATERIALS, SUCH AS BUT NOT LIMITED TO ASBESTOS, ARE ENCOUNTERED OR SUSPECTED, NOTIFY OWNER AND ARCHITECT AND CEASE DEMOLITION.

MATERIALS & EQUIPMENT

1. THE PROJECT HAS BEEN DESIGNED AND DETAILED FOR THE EXPLICIT MATERIALS AND EQUIPMENT SPECIFIED. NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT. IF THE SPECIFIED MATERIAL IS NOT AVAILABLE, THE CONTRACTOR SHALL PROPOSE AN ALTERNATE MATERIAL, AND SHALL PROVIDE DRAWINGS, SAMPLES, SPECIFICATIONS, MANUFACTURER'S LITERATURE, PERFORMANCE DATA, AND ANY OTHER NECESSARY INFORMATION, SUCH THAT THE ARCHITECT CAN EVALUATE THE PROPOSED SUBSTITUTION. IF THE SUBSTITUTION AFFECTS A CORRELATED FUNCTION, ADJACENT CONSTRUCTION OR THE WORK OF ANY OTHER CONTRACTOR OR TRADE, THE NECESSARY CHANGES AND MODIFICATION TO THE AFFECTED WORK SHALL BE ACCOMPLISHED AT NO ADDITIONAL EXPENSE TO THE OWNER.
2. NO REQUESTS FOR SUBSTITUTIONS WILL BE ENTERAINED BY THE ARCHITECT DUE TO ANY CONTRACTORS' FAILURE TO ORDER MATERIALS ON TIME.
3. ALL MATERIALS REQUIRED FOR THE PERFORMANCE OF THE CONTRACT SHALL BE NEW AND OF THE BEST QUALITY OF KINDS SPECIFIED, ALL SUBJECT TO THE APPROVAL OF THE ARCHITECT. THE USE OF WORN OR SECOND-HAND MATERIALS IS STRICTLY FORBIDDEN UNLESS SPECIFIED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL, IF REQUIRED, FURNISH SATISFACTORY EVIDENCE OF THE KIND AND QUALITY OF MATERIALS AND WORKMANSHIP.
4. MATERIALS SHALL BE USED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. IF REQUIRED, THE MANUFACTURER'S REPRESENTATIVE SHALL INSTRUCT THE CONTRACTOR IN THE USE OF THE MATERIALS OR SHALL SUPERVISE THEIR USE AT THE CONTRACTOR'S EXPENSE. IN THE CASE THAT MANUFACTURER'S INSTRUCTIONS, DO NOT EXIST, STANDARDS OF RECOGNIZED AGENCIES OR ASSOCIATIONS SHALL BE FOLLOWED.
5. THE STANDARD SPECIFICATIONS OF THE MANUFACTURERS WHICH ARE APPROVED FOR USE ARE TO BE CONSIDERED PART OF THE PROJECT SPECIFICATIONS WITH THE SAME FORCE AND EFFECT AS THOUGH HEREIN WRITTEN OUT IN FULL. WHEREVER THE DRAWINGS OR SPECIFICATIONS REQUIRE HEAVIER MEMBERS, BETTER QUALITY MATERIALS, OR ARE OTHERWISE MORE STRINGENT, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.

CHANGES, SUBSTITUTIONS AN CONDITIONS

1. ALL CHANGES AND SUBSTITUTIONS TO THE DRAWINGS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND COMMENT. ALL MATERIAL CHANGES SHALL BE SUBMITTED WITH SAMPLES AND APPROPRIATE LITERATURE.
2. ALL SUBSTITUTIONS SHALL BE EQUAL IN PERFORMANCE AND WARRANTIES.
3. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR MATERIAL SUBSTITUTIONS AND CHANGES TO THE JOB WHICH ARE NOT AUTHORIZED BY HER IN WRITING.
4. REGARDLESS OF CHANGES, SUBSTITUTIONS AND MODIFICATIONS TO MATERIAL, EQUIPMENT, AND FIXTURES AS THEY PERTAIN TO THE JOB, THE CONTRACTOR WILL BE RESPONSIBLE FOR COMPLIANCE TO THE NEW YORK STATE BUILDING CODE, AND ALL LOCAL CODES AND ORDINANCES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE AND ASSUME ALL RESPONSIBILITY FOR, ALL MATERIALS, METHODS, PROCEDURES, SAFETY REQUIREMENTS, AND DIRECTIVES, IN CONTRACTING AND BUILDING OF THE JOB.
6. THE CONTRACTOR SHALL BE IN DIRECT CHARGE OF ALL CONSTRUCTION, SUPERVISION, AND ALL ERRORS OR OMISSIONS DURING THE COURSE OF CONSTRUCTION. ALL CHANGES AND SUBSTITUTIONS TO THE DRAWINGS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND COMMENT. ALL MATERIAL CHANGES SHALL BE SUBMITTED WITH SAMPLES AND APPROPRIATE LITERATURE. ALL SUBSTITUTIONS SHALL BE EQUAL IN PERFORMANCE AND WARRANTIES. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR MATERIAL SUBSTITUTIONS AND CHANGES TO THE JOB WHICH ARE NOT AUTHORIZED BY HER IN WRITING. REGARDLESS OF CHANGES, SUBSTITUTIONS AND MODIFICATIONS TO MATERIAL, EQUIPMENT, AND FIXTURES AS THEY PERTAIN TO THE JOB, THE CONTRACTOR WILL BE RESPONSIBLE FOR COMPLIANCE TO THE NEW YORK STATE BUILDING CODE, AND ALL LOCAL CODES AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE AND ASSUME ALL RESPONSIBILITY FOR, ALL MATERIALS, METHODS, PROCEDURES, SAFETY REQUIREMENTS, AND DIRECTIVES, IN CONTRACTING AND BUILDING OF THE JOB. THE CONTRACTOR SHALL BE IN DIRECT CHARGE OF ALL CONSTRUCTION, SUPERVISION, AND ALL ERRORS OR OMISSIONS DURING THE COURSE OF CONSTRUCTION.

ENERGY COMPLIANCE NOTES

1. LIGHTING SYSTEM TO COMPLY WITH ENERGY CODE REQUIREMENTS.
2. HEATING SYSTEM SIZED PER ACCA MANUAL 8 BASED ON LOADS CALCULATED PER ACCA MANUAL J OR OTHER METHODS APPROVED BY THE CODE OFFICIAL.
3. HOT WATER PIPES TO BE INSULATED TO MIN R-3.
4. PROTECT INSULATION ON HVAC PIPES.
5. ENERGY CONSERVATION MEASURES FOR SWH SYSTEMS TO FOLLOW GUIDELINES IN SECTION R403.1-5, 2020 ENERGY CONSERVATION CODE OF NYC.
6. PROGRAMMABLE THERMOSTATS TO BE INSTALLED FOR CONTROL OF PRIMARY HEATING SYSTEM AND INITIALLY SET BY MANUFACTURER TO CODE SPECIFICATIONS.
7. INSTALL HEAT PUMP THERMOSTATS ON HEAT PUMP.
8. HOT WATER BOILERS SUPPLYING HEAT THROUGH ONE- OR TWO-PIPE HEATING SYSTEMS HAVE OUTDOOR SETBACK CONTROL TO LOWER BOILER WATER TEMPERATURE BASED ON OUTDOOR TEMPERATURE.
9. PROVIDE MANUFACTURER MANUALS FOR MECHANICAL AND WATER HEATING SYSTEMS.
10. 80% OR MORE OF PERMANENT FIXTURES HAVE LAMPS WITH AN EFFICACY >= 64 LUMENS/WATT OR HAVE A TOTAL LUMINAIRE EFFICACY >= 45 LUMENS/WATT.
11. FUEL GAS LIGHTING SUSTEMS NOT TO HAVE CONTINUOUS PILOT LIGHT.
12. BLOWER DOOR TESTS @ 50 PA <=5 ACH.
13. INSTALL AUTOMATIC OR GRAVITY DAMPERS AT ALL OUTDOOR AIR INTAKES AND EXHAUSTS.
14. IC-RATED RECESSED LIGHTING FIXTURES SEALED AT HOUSING/INTERIOR FINISH AND LABLED TO INDICATE <=2.0 CFM LEAKAGE AT 75 PA.
15. AIR BARRIER AND THERMAL BARRIER INSTALLED PER MANUFACTURER'S INSTRUCTIONS. AN APPROVED THIRD-PARTY WILL INSPECT ALL COMPONENTS AND VERIFY COMPLIANCE.
16. DO NOT USE BUILDING CAVITIES AS DUCTS OR PLENUMS.
17. POST COMPLIANCE CERTIFICATE.

TWO-STORY REAR ADDITION

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ISSUED FOR ZBA MEETING

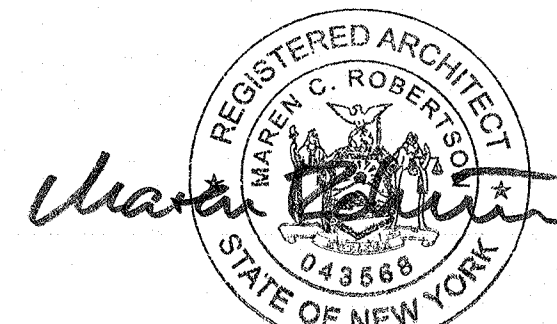
3/7/24

REVISIONS PER
BUILDING INSPECTOR REVIEW

2/27/24

ISSUED FOR PERMIT APPLICATION

2/1/24



DRAWING TITLE
GENERAL NOTES &
SPECIFICATIONS

PROJECT NO.	2337
DRAWN BY	MCR
SCALE	AS NOTED
DATE	FEBRUARY 1, 2024

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