

ZONING BOARD OF APPEALS Town of Orangetown 20 Greenbush Road
Orangeburg, New York 10962
(914) 359-8410 (ex. 4331)

Date: March 8, 2024

TO: OBAPAE

Environmental Management and Engineering
✓ Rockland County Sewer District #1
New York State Dept. of Transportation
Palisades Interstate Park Commission
Orange and Rockland Utilities
Orangetown Highway

Rockland County Drainage ✓
Rockland County Health ✓
Rockland County Planning ✓
Rockland County Highway ✓

Village of Nyack

Review of Plans: Patrick Cremin, 120 Piermont Avenue, South Nyack, NY

Section 66.46 Block 2 Lot 19 RG-6 zone

This matter is scheduled for:

Chapter 43, Section RG-6 District, Use Type P, the following variances are required: Maximum lot coverage permitted is 50% with 52% proposed; Front Yard required is 25' with 10.25' and 4.17' proposed; and Side Yard required is 12', 4.1' proposed; and from Section 9.2 (Expansion of non-conforming bulk) for the proposed addition to an existing single-family residence.

Please review the information enclosed and provide comments.

These comments may be mailed , e-mailed or faxed to the Zoning Board Office.

If your Agency does not have any comments at this time, please respond to this office by sending back this sheet.

- US Postal: 20 South Greenbush Road, Orangeburg, NY 10962
- Email to Zoning Board: darbolino@orangetown.com or
- Fax to the Town of Orangetown ZBA @845 359 8526

Zoning Board Meeting Date: April 17, 2024

() Comments attached

() No Comments at this time. Please send future correspondence for review.

() No future correspondence for this site should be sent to this agency. Plans reviewed and this agency does not have any further comments.

() This project is out of the jurisdiction of this agency and has no further comments.

This project is before the Zoning Board on **Wednesday, April 17, 2024**. **Kindly forward your completed review to this office by April 17, 2024.**

Reviewing Agency _____

Name _____ date: _____

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 3/1/24

Please check all that apply:

<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLDR-4658-24
ASSIGNED
INSPECTOR: Ken L

Referred from Planning Board: YES / NO
If yes provide date of Planning Board meeting: _____

Project Name: CREMIN

Street Address: 120 PIERMONT AVE
S. NYACK, NY

Tax Map Designation:
Section: 66.46 Block: 2 Lot(s): 19
Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the WEST side of PIERMONT AVE, approximately
230 feet SOUTH of the intersection of CEDAR HILL AVE, in the
Town of ORANGETOWN in the hamlet/village of S. NYACK
Acreage of Parcel 0.174 Zoning District RG-10
School District _____ Postal District _____
Ambulance District _____ Fire District _____
Water District _____ Sewer District _____

Project Description: (If additional space required, please attach a narrative summary.)
ADDITION TO EXISTING SINGLE FAMILY HOUSE

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 3/1/24 Applicant's Signature: Rabich Cremin

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type: _____

Project History:

Has this project ever been reviewed before? no _____

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: Feb 22, 2024 Section: 66.46 Block: 2 Lot: 19

Applicant: Cremin

Address: 120 Piermont Ave, S Nyack, NY

RE: Application Made at: same

Referred For:

Chapter 43, Table 3.12 RG-6 District...

Max Lot Coverage allowed 50% w/ 52% proposed; Min Front Yrd 25' (ADDITION) w/ 10.25' proposed;

Min Front Yrd (PORCH) 25' w/ 4.17' proposed. Min Side Yrd 12' w/ 4.1' proposed;

Chapter 43, Section 9.2 ...expansion of non-conforming bulk...requires ZBA approval

5 Variances required

Comments:

Addition

Dear Cremin:

Please be advised that the Building Permit Application # p24-4658, which you submitted on Feb 5, 2024, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or darbolino@orangetown.com.

Sincerely,

Richard Oliver
Deputy Building Inspector

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023

Date
Liz DeCort
Debbie Arbolino

IS	PRINT KEY	NAME	ADDRESS
403	66.46-1-18	Lisa Baslow	89 Piermont Ave, Nyack, NY 10960
403	66.46-1-19	Terry A Plank	91 Piermont Ave, Nyack, NY 10960
403	66.46-1-20	Louis H Spitz	93 Piermont Ave, Nyack, NY 10960
403	66.46-1-21	CJT Property Management LLC	47 Jefferson St, Nyack, NY 10960
403	66.46-1-22	Doris Rion	35 Karnell St, Spring Valley, NY 10977
		Diane M. Mena	
489	66.46-2-8	Foxhunt Realty LLC	239 S Greenbush Rd, Orangeburg, NY 10962
489	66.46-2-9	Pierre Chaubard	7 Cedar Hill Ave, South Nyack, NY 10960
489	66.46-2-10	William C Palmer	96 Piermont Ave, So Nyack, NY 10960
489	66.46-2-11	Edward P Boni	99 Piermont Ave, S Nyack, NY 10960
489	66.46-2-12	Town of Orangetown	26 Orangeburg Rd, Orangeburg, NY 10961
489	66.46-2-13	Hendrik Hertzberg	117 Piermont Av, S Nyack, NY 10960
489	66.46-2-14	Jamie Brodman-Matusow	119 Piermont Ave, South Nyack, NY 10960
489	66.46-2-15	Shirley Be	98 Piermont Ave, South Nyack, NY 10960
489	66.46-2-16	Maria Souto	100 Piermont Av, Nyack, NY 10960
489	66.46-2-17	Marcella A Mazzeo	116 Piermont Ave, South Nyack, NY 10960
489	66.46-2-18	Christopher S Hundtofte	118 Piermont Ave, South Nyack, NY 10960
489	66.46-2-19	Megan Vermilyea	120 Piermont Ave, South Nyack, NY 10960
489	66.46-2-20	Matthew Schlanger	117 S Broadway, South Nyack, NY 10960
489	66.46-2-21	Jan Garbarini	107 S Broadway, South Nyack, NY 10960
489	66.46-2-22	Edward Faccioli	228 Valley Rd, Valley Cottage, NY 10989
489	66.46-2-23	Abundance Hall LLC	101 South Broadway, S Nyack, NY 10960
489	66.46-2-26	108 South Broadway LLC	42 Gesner Ave, South Nyack, NY 10960
489	66.46-2-27	Jean P Augustin	114 S Broadway, South Nyack, NY 10960
489	66.46-2-28	Robert Courtwright	120 So Broadway, So Nyack, NY 10960
489	66.54-2-1	127 South Broadway Realty LLC	127 S Broadway, Nyack, NY 10960
489	66.54-2-2	Andrew Juhl	126 Piermont Ave, South Nyack, NY 10960
489	66.54-2-3	Amos Dodi	121 Piermont Ave, Nyack, NY 10960
489	66.54-2-4	Asa Johnson	123 Piermont Ave, So Nyack, NY 10960
489	66.54-2-5	Jacqueline Deriso	125 Piermont Ave, South Nyack, NY 10960
489	66.54-2-6	Paul S Weiss	127 Piermont Ave, So Nyack, NY 10960
489	66.54-2-7	Alfred L Miller	59 Nick Rd, Middlebury, CT 06762
489	66.54-2-8	Bruce D Forrest	135 Piermont St, South Nyack, NY 10960
489	66.54-2-9	JS Ende Piermont Realty LLC	137 Piermont Ave, Nyack, NY 10960
489	66.54-2-23	Paul D White Jr	144 Piermont Ave, South Nyack, NY 10960
489	66.54-2-24	Jacqueline Urria	2 Voorhis Ave, So Nyack, NY 10960
489	66.54-2-25	Rado 1 Inc	107 Cooper Dr, Nyack, NY 10960
489	66.54-2-26	Foundation Properties Inc	4225 University Ave, Columbus, GA 31907
489	66.54-2-27	Charles Mc Carry	138 Piermont Ave, So Nyack, NY 10960
489	66.54-2-28	Laura Checkoway	128 Piermont Ave, South Nyack, NY 10960

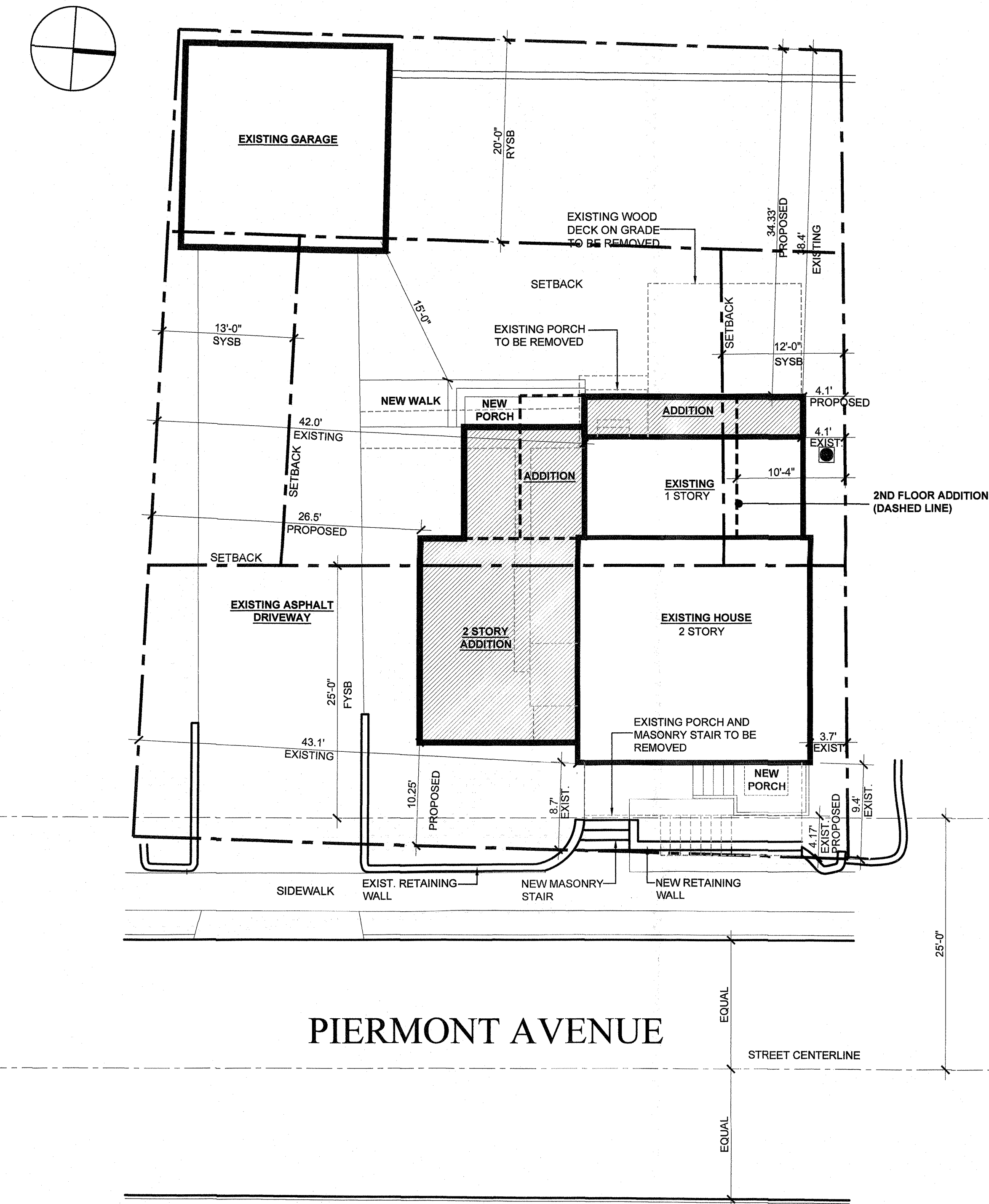
https://www.rocklandgis.com/webapps/GML_Map_Internal/

CREMIN RESIDENCE
ADDITION/ ALTERATION
120 PIERMONT AVE.
NYACK, NY

APPLICABLE CODES:
2020 RCNYS
SCOPE OF WORK:
ADDITION TO EXISTING SINGLE FAMILY HOUSE, AND INTERIOR
ALTERATION



GOOGLE EARTH
SCALE: NTS



A SITE PLAN
SCALE: 1/8"= 1'-0"

- EXISTING TO BE REMOVED
- NEW CONSTRUCTION
- NEW PAVED WALK
- GRASS

TOWN OF ORANGETOWN			
ZONE:	RG-6		
TABLE BUILDING REQUIREMENTS			
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	6,000 SF	5,422 SF	NO CHANGE
LOT COVERAGE	50%(2,711 SF)	49.8% (2,701SF)	52.0% (2,822 SF)
MAXIMUM HEIGHT	35/ 36'	25/ 29'-8"	25/ 29'-8"
LOT FRONTAGE	60'	70.31'	NO CHANGE
SETBACK REQUIREMENTS			
MIN. FRONT (EAST) HOUSE	25'	0' *	10.25'
MIN. FRONT (EAST) PORCH	25'	0' *	4.17'
MIN. REAR (WEST)	20'	38.4'	34.33'
MIN. SIDE (NORTH)	12'	3.7'	4.1'
SIDE (BOTH)	25'	45.7'	30.2'

* REFER TO SURVEY. EXISTING MASONRY STAIR IS BEYOND THE PROPERTY LINE.

VARIANCE ALSO REQUIRED FOR CHAPTER 43, SECTION 9.2- DEGREE OF NON CONFORMING BULK NOT TO BE INCREASED

EXISTING LOT COVERAGE	
HOUSE	725
GARAGE	408
PORCH/STOOP	196
BILCO DOOR	44
DRIVE/WALK	1098
DECK ON GRADE	230
TOTAL	2,701

PROPOSED LOT COVERAGE	
EXISTING	2701
HOUSE	529
PORCH BACK	62
PORCH FRONT	116
WALK BACK	40
EXIST WALK	-156
BILCO DOOR	-44
DECK	-230
PORCH/STOOP	-198
TOTAL	2,822

DO NOT SCALE DRAWINGS. REFER TO WRITTEN MEASUREMENTS FOR ACCURACY. OR CONTACT ARCHITECT. CONTACT ARCHITECT IF THERE ARE ANY DISCREPANCIES. UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF NEW YORK STATE EDUCATION LAW.
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No.	DATE:	ISSUE:
1	2/4/24	ISSUED FOR DENIAL
2	2/14/24	REVISED
3	2/26/24	REVISED

PROJECT NAME:
CREMIN
ADDITION
PROJECT ADDRESS:
120 PIERMONT AVE.
NYACK, NY



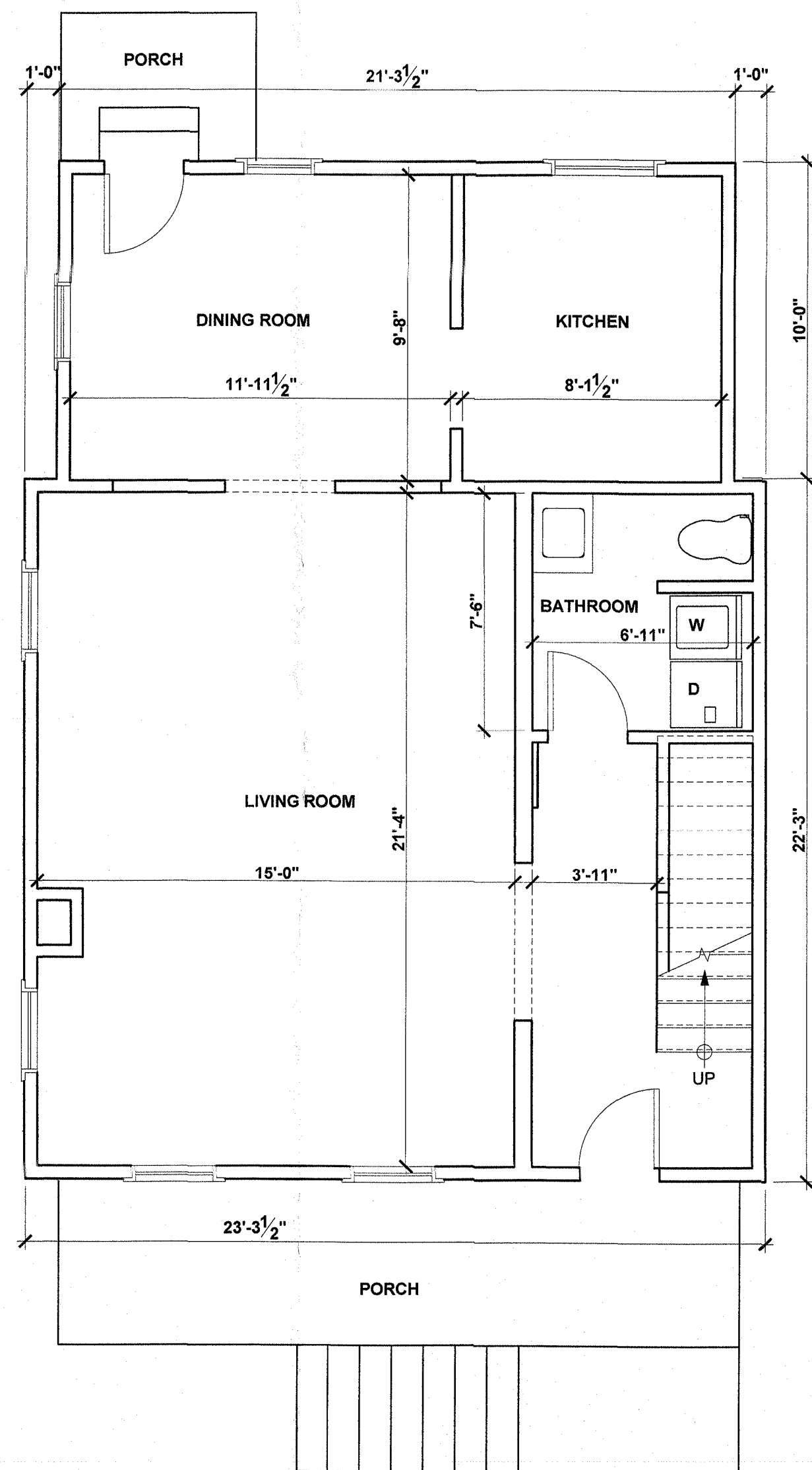
VLADIMIR LEVIN, RA

115 SWENDSEN DR
MONROE, CT 06468
TELEPHONE: 914-263-8050
VBLEVINI@YAHOO.COM

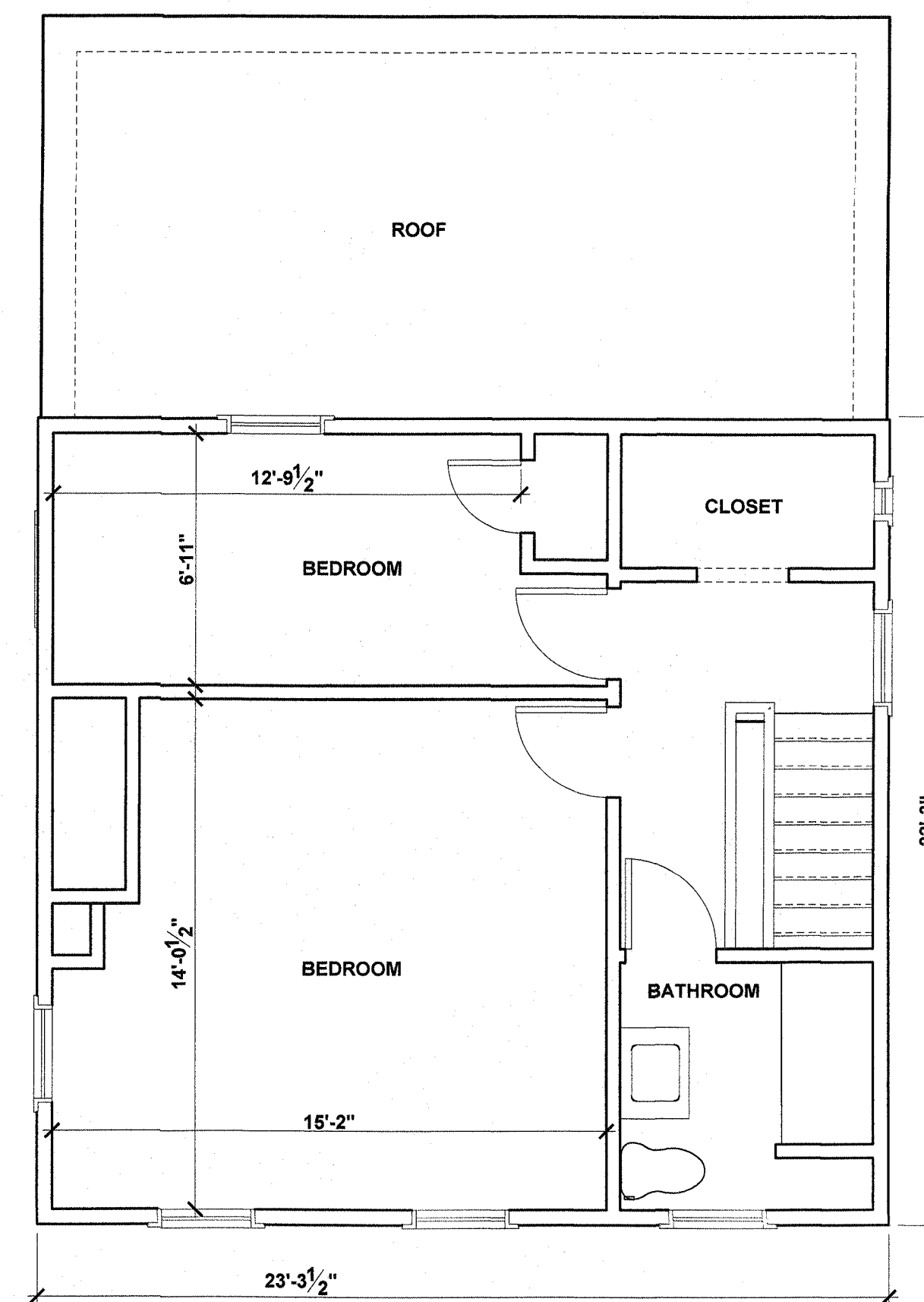
SITE PLAN

A002

Town of Orangetown
MEETING OF:
APR 17 2024
ZONING BOARD OF APPEALS



1 EXISTING 1ST FLOOR PLAN
SCALE: 1/4"= 1'-0"



2 EXISTING 2ND FLOOR PLAN
SCALE: 1/4"= 1'-0"

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No.	DATE:	ISSUE:
1	2/4/24	ISSUED FOR DENIAL

PROJECT NAME:
CREMIN ADDITION

PROJECT ADDRESS:
**120 PIERMONT AVE
NYACK, NY**



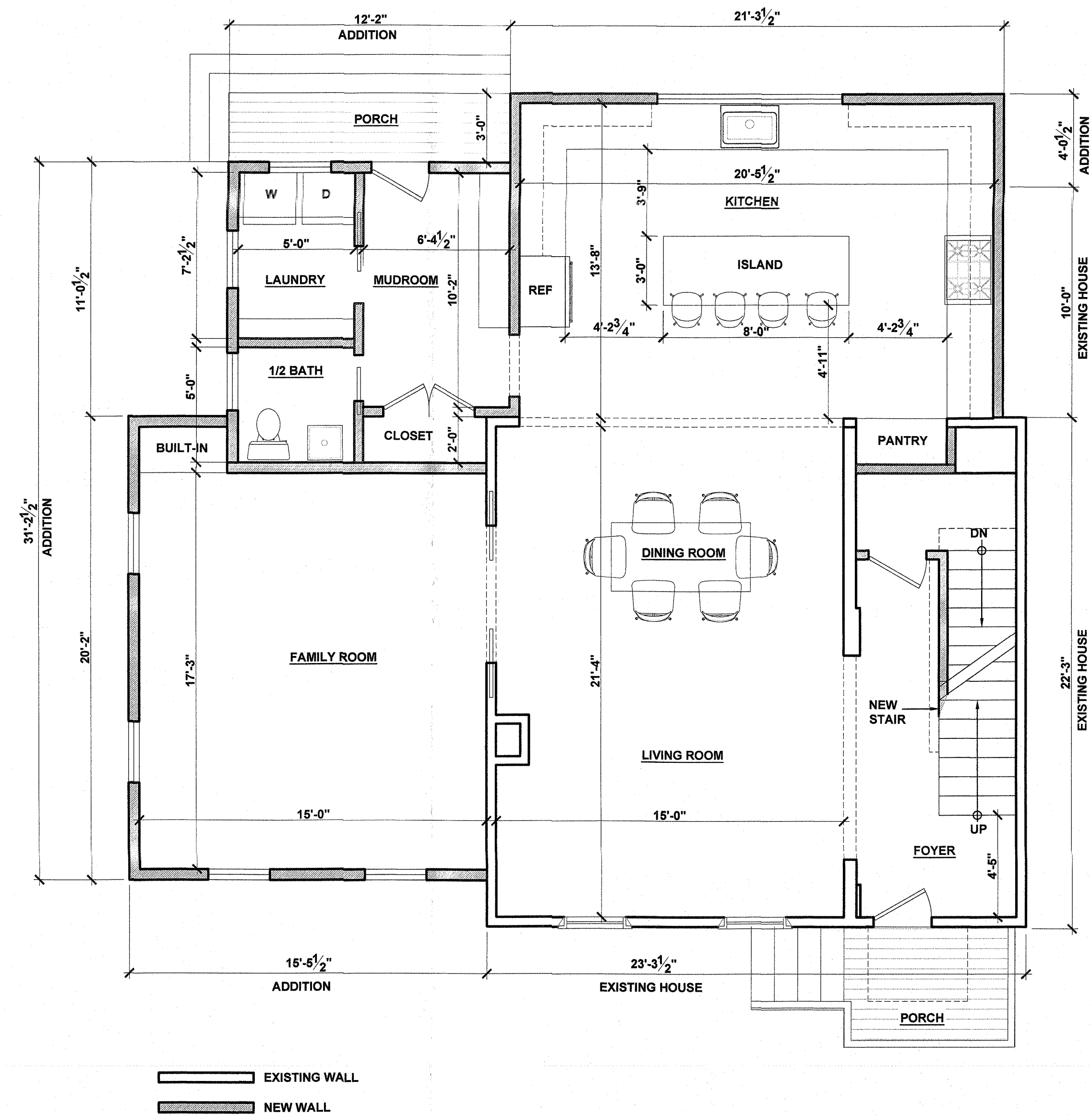
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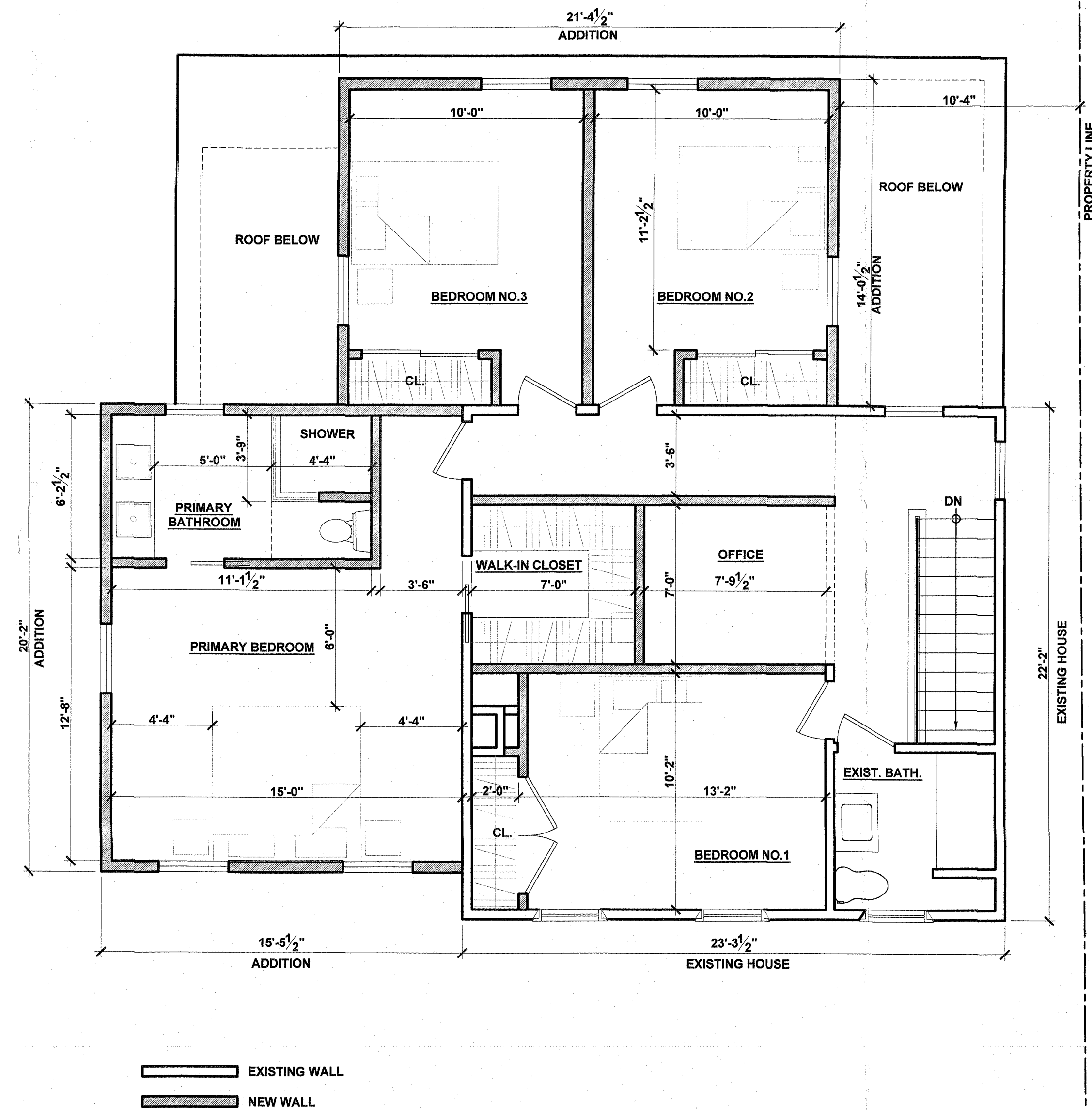
EXISTING PLANS

A050

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1 PROPOSED 1ST FLOOR PLAN
SCALE: 1/4"= 1'-0"



2 PROPOSED 2ND FLOOR PLAN
SCALE: 1/4"= 1'-0"

No.	DATE:	ISSUE:
1	2/4/24	ISSUED FOR DENIAL
2	2/14/24	REVISED

PROJECT NAME:
CREMIN
ADDITION
PROJECT ADDRESS:
120 PIERMONT AVE
NYACK, NY



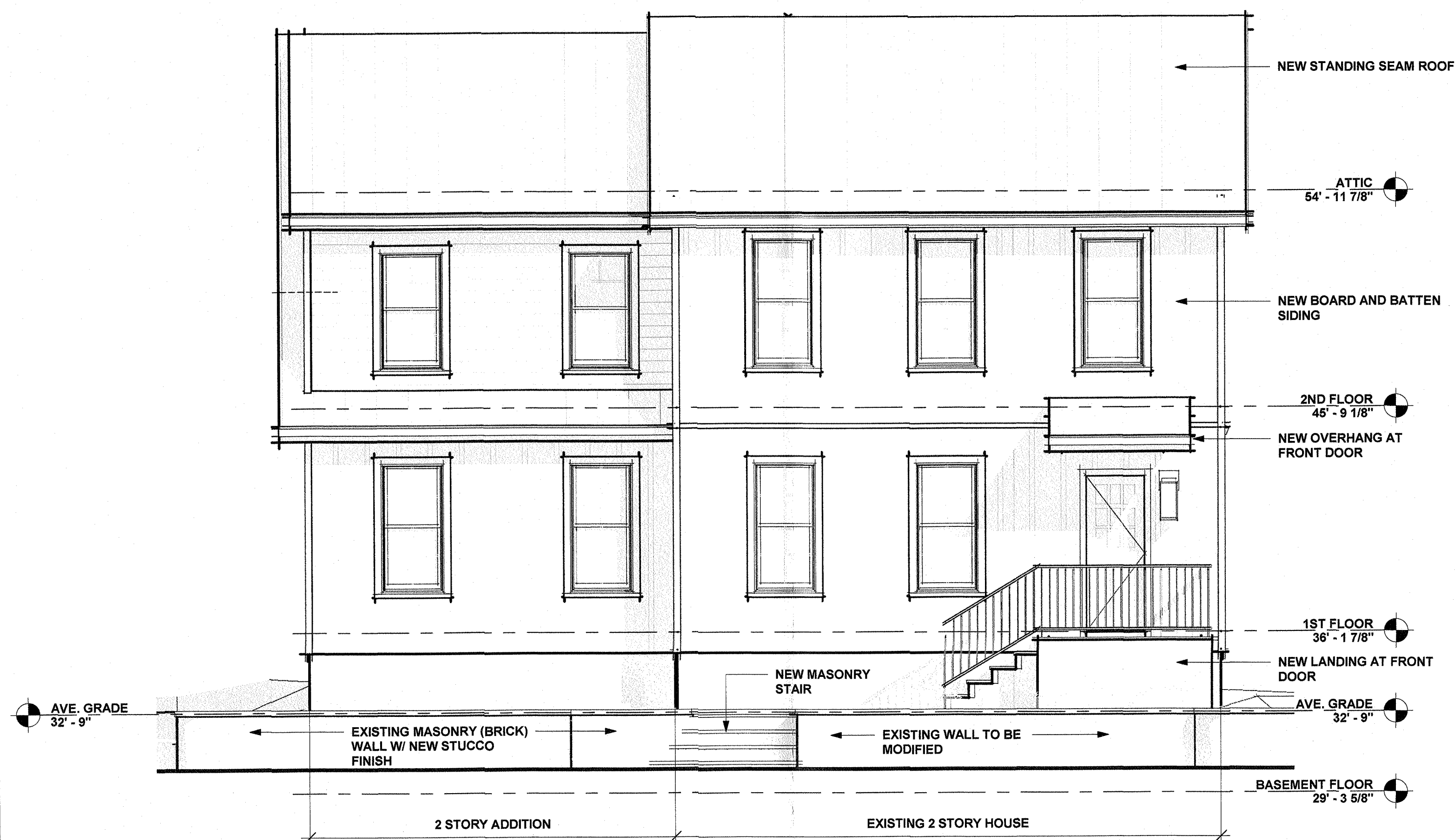
VLADIMIR LEVIN, RA

115 SWENDSEN DR
MONROE, CT 06468
TELEPHONE: 914-263-8050
VBLEVIN1@YAHOO.COM

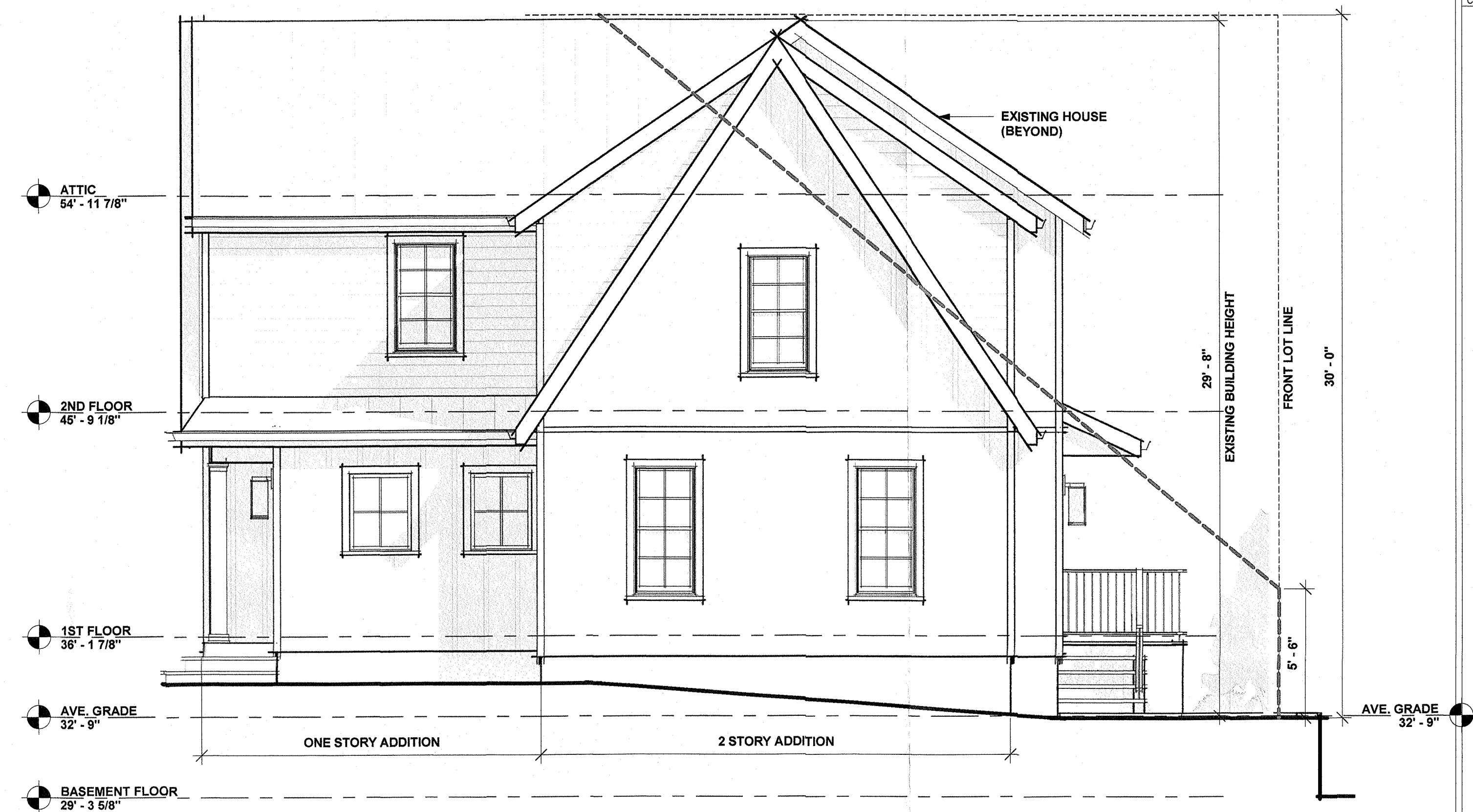
FLOOR PLANS

A100

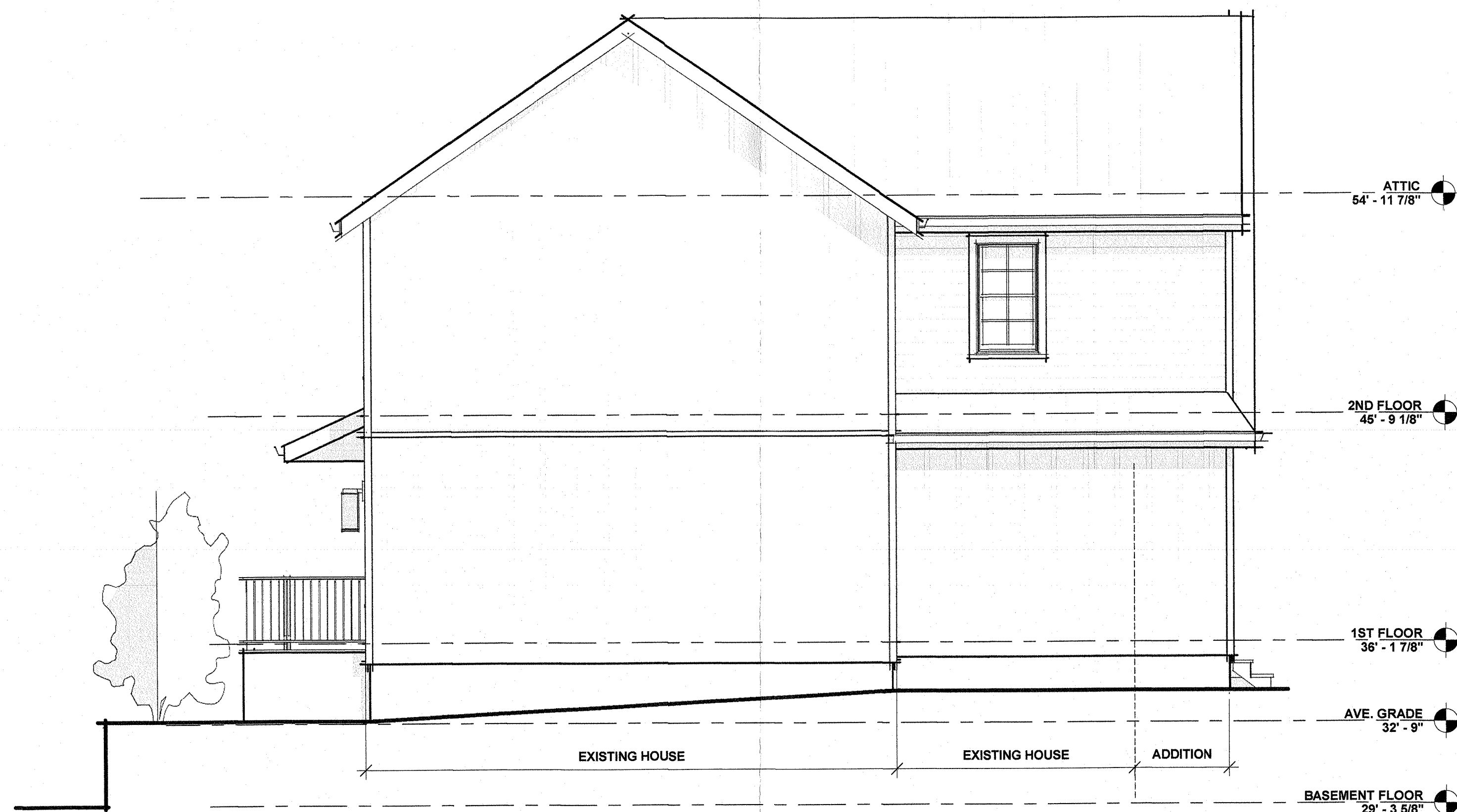
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1 EAST ELEVATION
1/4" = 1'-0"



3 SOUTH ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"

No.	DATE:	ISSUE:
1	2/4/24	ISSUED FOR DENIAL
2	2/14/24	REVISED

PROJECT NAME:
CREMIN
ADDITION

PROJECT ADDRESS:
120 PIERMONT AVE
NYACK, NY



VLADIMIR LEVIN, RA

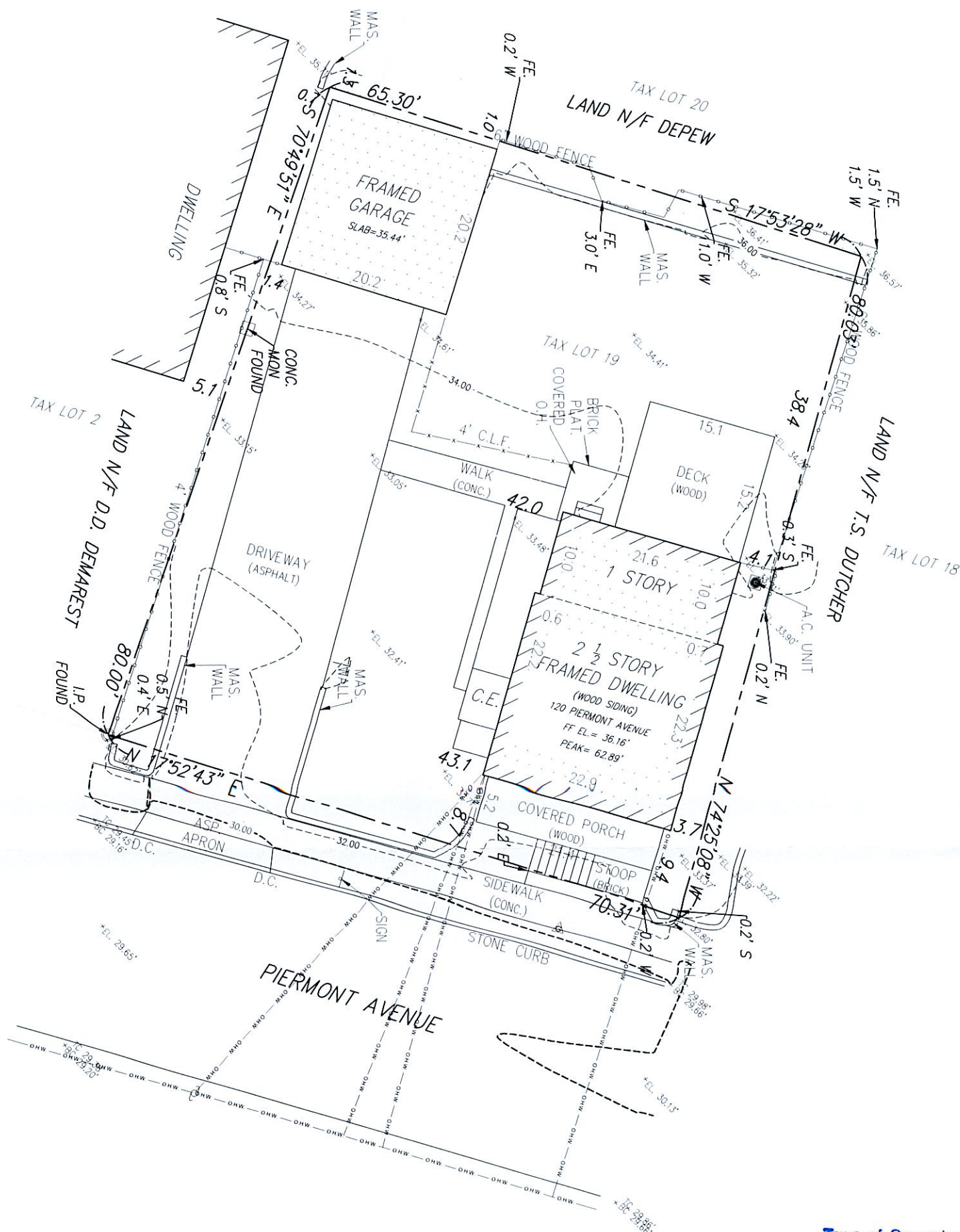
115 SWENDSEN DR
MONROE, CT 06468
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VBLEVIN1@YAHOO.COM

ELEVATIONS

A200

SCALE: 1"=15'

SURVEY NO: 23-0124



Town of Orangetown
MEETING OF:

APR 17 2024

ZONING BOARD OF APPEALS

SURVEYED: 12-27-23

VERTICAL DATUM: NAVD88



MASSAPEQUA ♦ NEW YORK

PHONE: (516)967-3028
EMAIL: LENZELANDSURVEYING@GMAIL.COM

EXISTING CONDITIONS SURVEY

SITUATE AT
VILLAGE OF SOUTH NYACK
TOWN OF ORANGETOWN
COUNTY OF ROCKLAND
STATE OF NEW YORK

DESCRIBED PROPERTY (LAST CONVEYANCE):
PATRICK J. CREMIN
MEGAN VERMILYEA
INST. No. 2022-00010626
DATE: MARCH 14th, 2022

TAX MAP ID: 66.46-2-19

PROPERTY AREA= 0.124 ACRES/ 5,422 SQ. FEET

SURVEY PREPARED FOR AND CERTIFIED TO:

PATRICK J. CREMIN
MEGAN VERMILYEA
VILLAGE OF SOUTH NYACK
TOWN OF ORANGETOWN



GERARD D. LENZE L.S.

PRESIDENT

NYS LICENSED LAND SURVEYOR

LICENSE NO. 051099

SURVEY NOTES ♦ UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW ♦ COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYORS INKED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY ♦ GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, LENDING INSTITUTION, AND GOVERNMENT AGENCY LISTED HEREON ♦ GUARANTEES ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS ♦ ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON ♦ OFFSETS SHOWN ARE FOR INFORMATIONAL PURPOSE ONLY. THEY ARE NOT INTENDED TO ESTABLISH PROPERTY LINES FOR THE ERECTION OF FENCES, STRUCTURES, OR ANY OTHER IMPROVEMENT ♦ SURVEY IS SUBJECT TO ANY STATE OF FACTS WHICH AN UP-TO-DATE TITLE EXAMINATION MAY DISCLOSE ♦ SURVEY PERFORMED IN ACCORDANCE WITH THE EXISTING "CODE OF PRACTICE FOR LAND SURVEYS" ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS ♦ PROPERTY CORNERS WERE NOT SET AS PART OF THIS SURVEY