

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

<i>Please check all that apply:</i>	
<input checked="" type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input checked="" type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: SIGN-4311-23
ASSIGNED
INSPECTOR: Glenn
Referred from Planning Board: YES / NO
If yes provide date of Planning Board meeting: _____

Project Name: Rivian Automotive

Street Address: 800 Bradley Hill Road, Blauvelt NY

Tax Map Designation:

Section: 65.18 Block: 1 Lot(s): 3
Section: _____ Block: _____ Lot(s): _____

Directional Location:

On the north side of Bradley Hill Road, approximately
704 feet east of the intersection of Corporate Dr/ Bradley Hill Rd in the
Town of Orangetown in the hamlet/village of Blauvelt.

Acreage of Parcel 4.94
School District South Orangetown
Ambulance District _____
Water District _____

Zoning District LI District
Postal District _____
Fire District _____
Sewer District _____

Project Description: (If additional space required, please attach a narrative summary.)

Install 2 new wall signs to read "RIVIAN" with a total sf of 159.08.

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 01-31-2024 Applicant's Signature: [Signature]

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area NO

Are there **streams** on the site? If yes, please provide the names. NO

Are there **wetlands** on the site? If yes, please provide the names and type:

NO

Project History:

Has this project ever been reviewed before? NO

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

None



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: December 15, 2023 Section: 65.18 Block: 1 Lot: 3

Applicant: Rivian Automotive

Address: 800 Bradley Hill Rd, Blauvelt NY

RE: Application Made at: same

Referred For:

Chapter 43, Table 3.11 LI District, Column 7, paragraph 7, 60 sf total signage allowed with 159.08 sf proposed (79.54 x 2)

One Variance required

Comments:

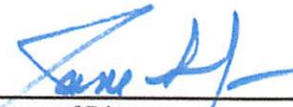
2 new wall signs

Dear Rivian Automotive:

Please be advised that the Building Permit Application # p23-4311, which you submitted on November 8, 2023, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or darbolino@orangetown.com.

Sincerely,


Richard Oliver
Deputy Building Inspector


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023

12.18.23
Date
Liz DeCort
Debbie Arbolino



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangetown, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

**REFERRAL TO THE ARCHITECTURE AND COMMUNITY
APPEARANCE BOARD OF REVIEW**

Date: November 15, 2023 Section: 65.18 Block: 1 Lot: 3

Applicant: Rivian Automotive

Address: 800 Bradley Hill Rd

RE: Application Made at: same

Chapter 2, Section 2-4(a)

Referred For: **§ 2-4 To review applications for building permits.**

A. Every application for a building permit for the construction, reconstruction or alteration of any structure in excess of 1,000 cubic feet of cubical contents proposed for construction, and every application for the development or subdivision of land, and any such application for a building permit, land use or any other development with the Town of Orangetown filed with the Town Board, Planning Board or Building Inspector shall be referred to the Architecture and Community Appearance Board of Review within seven days of the submission of the application, provided that it conforms in all respects to all other applicable laws and ordinances. This law shall not apply to an application for a single- or two-family residence or residential accessory structure on individual property, except that the Building Inspector, in his discretion, may refer such an application to the Board of Review if it appears, in the light of the standards set forth in § 2-5, that there is a need for such referral.

Comments: 2 New Wall Signs

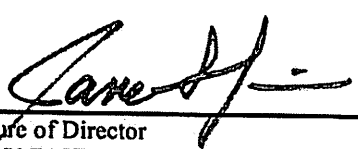
Dear Rivian Automotive :

Please be advised that the Building Permit Application # p23-4311, which you submitted on November 8, 2023, has been referred to the Orangetown Architecture and Community Appearance Board of Review, ACABOR. The Clerk to ACABOR, will assist you in the preparation necessary to appear before the board. Please call the office at 845-359-8410 ext. 4316 or email Katlyn Bettmann at kbettmann@orangetown.com.

Sincerely,


Richard Oliver
Deputy Building Inspector

12/15/23


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023

12-18.23
Date
Liz DeCort
Cheryl Coopersmith

APPLICATION REVIEW FORM

AFFIDAVIT

State of New York)
County of Suffolk) SS.:
Town/Village of Babylon)

I, Kelim Cifuentes being duly sworn deposes and says that he is the applicant, agent or attorney for applicant, in the matter of the petition before the Zoning Board of Appeals (board) in the town/village of Orangetown affecting property located at 800 Bradley Hill Rd, Blauvelt, Rockland County, New York.

That the following are all of the owners of property 200' (distance) from the premises as to which this application is being taken.

SECTION-BLOCK-LOT	NAME	ADDRESS
65.14-1-1	PG-OE 900 BRADLEY HILL RD LLC	900 ROUTE 9 NORHT STE 400, WOODBRIDGE NJ 07095
65.18-1-1	PG-OE 877 WESTERN HIGHWAY	900 ROUTE 9 NORHT STE 400, WOODBRIDGE NJ 07095
65.18-1-3	PG-OE 800 BRADLEY HILL RD LLC	900 ROUTE 9 NORHT STE 400, WOODBRIDGE NJ 07095
65.18-1-4	PG-OE 700 BRADLEY HILL RD LLC	900 ROUTE 9 NORHT STE 400, WOODBRIDGE NJ 07095
65.18-1-5	PG-OE 300 CORPORATE DR LLC	900 ROUTE 9 NORHT STE 400, WOODBRIDGE NJ 07095
65.18-1-22	RLIF ORITANI SPE LLC	201 WEST ST, ANNAPOLIS MD 21401
65.14-1-11.1	ARC 3 FEORTNYOOL LLC	11995 EL CAMINO REAL, SAN DIEGO CA 92130
65.14-1-11.2	622 RT 303 LLC	505 FLUSHING AVE, STE 1D, BROOKLYN NY 11211
65.14-1-11.3	622 RT 303 LLC	505 FLUSHING AVE, STE 1D, BROOKLYN NY 11211

LETTER OF AUTHORIZATION

RE: **RIVIAN AUTOMOTIVE** located at 800 Bradley Hill Rd, Blauvelt NY 10913

This is to certify that I, Adam Iannelli - As agent of the owner, am the owner of the property containing the business known as **Rivian Automotive** located at the aforementioned address. Hereby authorize **Tri State Signs and Awnings Inc** to appear on my behalf in front of the Zoning Board of Appeals to obtain a variance for Rivian Automotive.

This authorization includes the power to submit and discuss any necessary documents, plans, or information related to the variance application process. Tri State Signs and Awnings Inc further agrees that all work will be done in compliance with all applicable laws, codes, ordinances, and any other stipulations or restrictions listed on the permits.

Site address:

RIVIAN AUTOMOTIVE
800 Bradley Hill Road
Blauvelt NY 10913

(PG-OE 800 Bradley Hill Road Owner, LLC)

Name: Adam Iannelli

Address: 900 Route 9 North, Suite 400 Woodbridge, NJ 07095

Signature: Adam Iannelli

Date: 1/30/2024

Clerk of Boards Review:

Date: _____ Initials: _____

Building Dept. (Accepted By):

Date: _____ Initials: _____

ENTITY DISCLOSURE FORM

TOWN OF ORANGETOWN
Office of Building, Zoning, Planning Administration and Enforcement (OBZPAE)
20 Greenbush Road
Orangeburg, New York 10962
Tel: (845) 359-8410
Website: www.orangetown.com

THIS FORM MUST ACCOMPANY ALL LAND USE APPLICATIONS SUBMITTED BY AN ENTITY AS DEFINED IN CHAPTER 43, ARTICLE 16 OF THE TOWN CODE OF THE TOWN OF ORANGETOWN.

PROJECT NAME: Rivian Automotive
PROPERTY ADDRESS: 800 Bradley Hill Rd, Blauvelt NY 10913
TAX LOT ID: 65.18-1-3
NAME OF APPLICANT: Onyx Management Group, LLC
OWNER OF PROPERTY: PG-OE 800 Bradley Hill Road Owner, LLC
Land Use Application/Brief Description of Project: Installation of 2 wall signs "Rivian" 79.54 sqft each.

PART ONE:

1. Pursuant to Section Chapter 43, Article 16 of the Town Code, the disclosure of the names and address of all persons or entities owning any interest or controlling position of any limited liability company, limited liability partnership, general or limited partnership, professional corporation, joint venture, doing business as name or venture, association, business trust, or non-publically traded corporation, (hereinafter referred to as the "Entity") is required when filing a land-use application.
2. Set forth the names of all members, officers, shareholders, directors, partners or other authorized persons of the Entity for the past year from the date of filing of any land-use board application.
3. Attach a copy of all Entity documents filed with the NYS Secretary of State, or in any other State of formation, including:
 - a. All records regarding membership interests in the Entity;
 - b. Records regarding the transfer of membership interests since the date of formation.
4. If a member of the Entity is not a natural person, please provide the name(s) and address(es) for the of the non-natural person member of that Entity, and provide the formation filing documents for such Entity.
5. Provide supplemental sheets if the information does not fit below; (kindly label the supplemental sheets).



PART THREE:

10. Is any person identified in Part TWO currently employed by or hold a paid or unpaid position with a department, agency or land use board of the Town of Orangetown? Please circle: YES ☒ NO
11. Is any person identified in PART TWO the spouse, sibling, parent, child, or grandchild of any individual who is employed by or holds a paid or unpaid position with a department, agency or land use board of the Town of Orangetown? Please circle: YES ☒ NO
12. Does any person identified in PART TWO perform services for or have a contract, or employed by an entity that has a contract to perform services for the Town of Orangetown? Please circle: YES ☒ NO
13. If the answer is "YES" to any of the above, please provide a supplement sheet and list every Board, Department, Office, agency or other position with the Town of Orangetown in which the party has a position, paid or unpaid, or provides services for, and identify the agency, title and date of hire.

PART FOUR:

14. The information contained herein shall be updated with the Clerk of the Boards no later than THIRTY (30) DAYS after any change in information.
15. **NOTE: Any person who (a) provides false or fraudulent beneficial ownership information; (b) willfully fails to provide complete or updated information; or (c) during the application process, fails to obtain or maintain credible, legible and updated beneficial ownership information shall be subject to suspension of any pending application by the applicant entity, or a "stop work" order on any work relating to the application, or both, in addition to any other applicable penalties under the Town Code, or State and Federal Statute, or both.**

STATE OF NEW YORK)
) ss.:
COUNTY OF ROCKLAND)
 DJ Venn

I, DJ Venn, being duly sworn, deposes and says that I am (Title) SVP, Asset Management Onyx Equities LLC an active or qualified member of the Onyx Equities LLC, a business duly authorized by law to do business in the State of New York, and that the statements made in the foregoing Affidavit are true, accurate and complete. I further understand that Land Use Applications may have a significant impact upon the health, safety and general welfare of the Town of Orangetown and its inhabitants and visitors; and that the Town Board is required to be certain that anyone with an interest or controlling position of an Entity, who applies for any land use approval or permission must have no conflict of interest as that term is described in NYS Town Law, as well as NYS General Municipal Law, and that the disclosure of any officers, directors, members, shareholders, managers, authorized persons, beneficial owners, any other controlling parties with the above entity, and all persons with a membership or voting interest in the entity is required to be made in any land use application or request for any approval from the Town, to be certain no conflict of interest exists and without the disclosure, a full review of any conflict cannot take place.

DJ Venn

Signature

Sworn to and subscribed in my presence

This 25TH day of JANUARY

[Signature]
NOTARY PUBLIC



Clerk of Boards Review:

Date: _____ Initials: _____

Building Dept. (Accepted By):

Date: _____ Initials: _____

ENTITY DISCLOSURE FORM

TOWN OF ORANGETOWN
Office of Building, Zoning, Planning Administration and Enforcement (OBZPAE)
20 Greenbush Road
Orangeburg, New York 10962
Tel: (845) 359-8410
Website: www.orangetown.com

THIS FORM MUST ACCOMPANY ALL LAND USE APPLICATIONS SUBMITTED BY AN ENTITY AS DEFINED IN CHAPTER 43, ARTICLE 16 OF THE TOWN CODE OF THE TOWN OF ORANGETOWN.

PROJECT NAME: Rivian
PROPERTY ADDRESS: 800 Bradley Hill Rd, Blauvelt NY 10913
TAX LOT ID: 65.18-1-3
NAME OF APPLICANT: Rivian, LLC
OWNER OF PROPERTY: PG-OE 800 Bradley Hill Road Owner LLC
Land Use Application/Brief Description of Project: Installation of 2 wall signs "Rivian" 79.54 sqft each.

PART ONE:

1. Pursuant to Section Chapter 43, Article 16 of the Town Code, the disclosure of the names and address of all persons or entities owning any interest or controlling position of any limited liability company, limited liability partnership, general or limited partnership, professional corporation, joint venture, doing business as name or venture, association, business trust, or non-publically traded corporation, (hereinafter referred to as the "Entity") is required when filing a land-use application.
2. Set forth the names of all members, officers, shareholders, directors, partners or other authorized persons of the Entity for the past year from the date of filing of any land-use board application.
3. Attach a copy of all Entity documents filed with the NYS Secretary of State, or in any other State of formation, including:
 - a. All records regarding membership interests in the Entity;
 - b. Records regarding the transfer of membership interests since the date of formation.
4. If a member of the Entity is not a natural person, please provide the name(s) and address(es) for the of the non-natural person member of that Entity, and provide the formation filing documents for such Entity.
5. Provide supplemental sheets if the information does not fit below; (kindly label the supplemental sheets).



PART THREE:

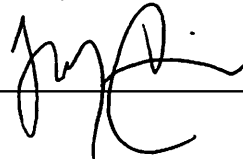
10. Is any person identified in Part TWO currently employed by or hold a paid or unpaid position with a department, agency or land use board of the Town of Orangetown? Please circle: YES NO
11. Is any person identified in PART TWO the spouse, sibling, parent, child, or grandchild of any individual who is employed by or holds a paid or unpaid position with a department, agency or land use board of the Town of Orangetown? Please circle: YES NO
12. Does any person identified in PART TWO perform services for or have a contract, or employed by an entity that has a contract to perform services for the Town of Orangetown? Please circle: YES NO
13. If the answer is "YES" to any of the above, please provide a supplement sheet and list every Board, Department, Office, agency or other position with the Town of Orangetown in which the party has a position, paid or unpaid, or provides services for, and identify the agency, title and date of hire.

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STATE OF NEW YORK)
) ss.:
~~COUNTY OF ROCKLAND)~~

I, _____, being duly sworn, deposes and says that I am (Title) _____, an active or qualified member of the _____, a business duly authorized by law to do business in the State of New York, and that the statements made in the foregoing Affidavit are true, accurate and complete. I further understand that Land Use Applications may have a significant impact upon the health, safety and general welfare of the Town of Orangetown and its inhabitants and visitors; and that the Town Board is required to be certain that anyone with an interest or controlling position of an Entity, who applies for any land use approval or permission must have no conflict of interest as that term is described in NYS Town Law, as well as NYS General Municipal Law, and that the disclosure of any officers, directors, members, shareholders, managers, authorized persons, beneficial owners, any other controlling parties with the above entity, and all persons with a membership or voting interest in the entity is required to be made in any land use application or request for any approval from the Town, to be certain no conflict of interest exists and without the disclosure, a full review of any conflict cannot take place.



Signature

Sworn to and subscribed in my presence

This _____ day of _____, 20____

NOTARY PUBLIC

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

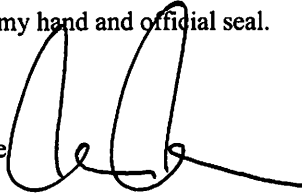
STATE OF CALIFORNIA)
) ss.
COUNTY OF Los Angeles)

On March 5, 2024, before me, Eve Carter, notary public, personally appeared Tommy Carrillo, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

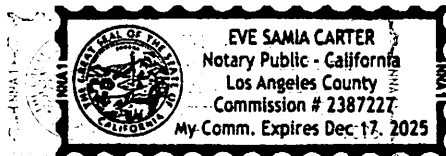
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

Witness my hand and official seal.

Signature



[Seal]



PARCEL DATE: February 2023
 SWIS: 392489
 PRINT_KEY: 65.18-1-3
 OLD_ID: 45-101-841.14/1
 OWNER1: PG-OE 800 BRADLEY HILL ROAD OWNER
 OWNER2:
 ADDITIONAL OWNERS:
 ADDRESS: 800 BRADLEY HILL RD
 ADDRESS2:
 ALTERNATE ADDRESS:
 CITY: BLAUVELT
 STATE: NY
 ZIP: 10913
 BOOK-PAGE:
 INSTRUMENT: 2021-00017550
 DEED_DATE: 04/18/2021
 MUNICIPALITY: Orangetown
 TOWN: Orangetown
 VILLAGE: -
 DEED_ACRES: 4.88
 GIS_ACRES: 5.26790449
 GML_REVIEW: NO
 ROW - PALISADES INTERSTATE PARKWAY: NO
 ROW - NYS THRUWAY: NO
 ROW - COUNTY HWY: NO
 ROW - STATE HWY: NO
 COUNTY REGULATED STREAM: NO
 LONG PATH TRAIL: NO
 COUNTY PARK: NO
 STATE PARK: NO
 STATE FACILITY: NO
 COUNTY FACILITY: NO
 VILLAGE BOUNDARY: NO
 TOWN BOUNDARY: NO
 ORANGE COUNTY: NO
 SPLIT ZONE: NO
 ZONES: 1
 ZONE1: LI
 ZONE1 DESCRIPTION: Light Industrial District
 ZONE2: -
 ZONE2 DESCRIPTION: -
 ZONE3: -
 ZONE3 DESCRIPTION: -
 ZONE OVERLAY: -
 LAND USE: Light Industrial/Warehouse
 NATIONAL HISTORIC SITE: NO
 HISTORIC REVIVAL SITE: NO
 HISTORIC DUTCH SITE: NO
 HISTORIC DISTRICT: NO
 ELECTION DISTRICT: 40

RIVIAN | Blauvelt Service & Delivery Center

Architectural Renderings

Town of Orangetown
MEETING OF:

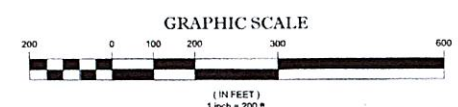
APR 3 2024

ZONING BOARD OF APPEALS





Partial Table						Partial Table							
Line #	Curve #	Radius	Length	Direction	Chord Bearing	Chord Distance	Line #	Curve #	Radius	Length	Direction	Chord Bearing	Chord Distance
125		1.02	142' 30" S 27°				140		20.00	120' 00" S 27°			
126		1.02	142' 30" S 27°				141		15.00	145' 00" S 27°			
127		1.02	142' 30" S 27°				142		15.00	145' 00" S 27°			
128		12.00	122.07' N 65° 15' E 27°				143		12.00	145.07' N 65° 15' E 27°			
129		76.00	142' 30" S 27°				144		12.00	145' 00" S 27°			
130		12.00	122.07' N 65° 15' E 27°				145		12.00	145' 00" S 27°			
131		12.00	122' 30" S 27°				146		12.00	145' 00" S 27°			
132		12.00	122' 30" S 27°				147		12.00	145' 00" S 27°			
133		200.00	6' 00" N 30° 30'				148		12.00	145' 00" S 27°			
134		14.00	122' 30" S 27°				149		12.00	145' 00" S 27°			
135		200.00	2' 00" N 30° 30'				150		12.00	145' 00" S 27°			
136		16.00	142' 30" S 27°				151		12.00	145' 00" S 27°			
137		12.00	122' 30" S 27°				152		12.00	145' 00" S 27°			
138		12.00	122' 30" S 27°				153		12.00	145' 00" S 27°			
139		12.00	122' 30" S 27°				154		12.00	145' 00" S 27°			
140		12.00	122' 30" S 27°				155		12.00	145' 00" S 27°			
141		12.00	122' 30" S 27°				156		12.00	145' 00" S 27°			
142		12.00	122' 30" S 27°				157		12.00	145' 00" S 27°			
143		12.00	122' 30" S 27°				158		12.00	145' 00" S 27°			
144		12.00	122' 30" S 27°				159		12.00	145' 00" S 27°			
145		12.00	122' 30" S 27°				160		12.00	145' 00" S 27°			



2	REVISED CERTIFIED PARTIES		-	BTW	JDS	11-13-2022
1	REVISED PER CLINT COMMENTS DATED 12-07-2022		-	BTW	JDS	12-08-2022
No.	DESCRIPTION OF REVISION	FIELD CROWN	DRAWN	APPROVED	DATE	
FIELD DATE	<div style="text-align: center;">  <h2 style="margin: 0;">CONTROL POINT</h2> <p style="margin: 0;">ASSOCIATES, INC. PC</p> <p style="margin: 0;">30 INDEPENDENCE BOULEVARD, SUITE 100</p> <p style="margin: 0;">WARREN, NJ 07079</p> <p style="margin: 0;">REGISTRATION: 0000000000 FAX: 201-253-0000</p> <p style="margin: 0;">011-1-253-0000</p> </div>					
FIELD BOOK NO.						
FIELD BOOK PG.						
FIELD CROWN						
DRAWN	<div style="text-align: right;"> <small>*SCHEDULE PER DATED MAY 04 NOT LATER THAN 12:00 PM PROCESSED PER PER 04/01/2022 11/17/2022 PER PER 04/01/2022 PER 04/01/2022 PER 04/01/2022 PER 04/01/2022 PER 04/01/2022 PER 04/01/2022 PER 04/01/2022</small> </div>					
BTW/CWF						
REVISED	APPROVED	DATE	SCALE	F.R.E NO.	DWG. NO.	
KVG	JDS	11-23-2022	1"=200'	01-190059-00	3	OF 3



THE STATE OF NEW JERSEY REQUIRES NOTIFICATION BY EXCAVATORS,
DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S
SURFACE ANYWHERE IN THE STATE.

SCHEDULE A

ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, SITUATE LYING AND BEING IN THE TOWN OF ORANGETOWN, COUNTY OF ROCKLAND, STATE OF NEW YORK, SHOWN AND DESIGNATED AS PART OF LOT #14 ON A CERTAIN MAP ENTITLED "BRADLEY INDUSTRIAL PARK" IN THE TOWN OF ORANGETOWN MADE BY ADLER, CARUSO & YOUNG, P.C. DATED 5/17/24 AND FILED IN THE OFFICE OF THE CLERK OF THE COUNTY OF ROCKLAND ON 10/20/24 IN BOOK 95 OF MAPS AT PAGE 35 AS MAP 4773 AND AS LOT #14 ON "AMENDMENT TO MAP NO. 4773" DATED 5/17/24 AND FILED IN THE OFFICE OF THE CLERK OF THE COUNTY OF ROCKLAND ON 10/20/24 IN BOOK 95 OF MAPS AT PAGE 73 AS MAP 5468, SAID LOT BEING BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERLY LINE OF LANDS OF CONSOLIDATED RAIL CORP. (F.K.A. WEST SHORE RAILROAD) WHERE THE SAME IS INTERSECTED BY THE DIVISION LINE BETWEEN PREMISES BEING DESCRIBED HEREIN AND SECTION 65.18, BLOCK 1, LOT 4, LANDS NOW OR FORMERLY OF AG-CE 700 BRADLEY HILL ROAD OWNER, L.L.C.;

THENCE THE FOLLOWING THREE (3) COURSES ALONG THE LANDS OF CONSOLIDATED RAIL CORP.;

- NORTH 28 DEGREES - 23 MINUTES - 13 SECONDS WEST, A DISTANCE OF 831.58 FEET TO A POINT, THENCE;
- NORTH 23 DEGREES - 15 MINUTES - 37 SECONDS EAST, A DISTANCE OF 0.43 FEET TO A POINT, THENCE;
- NORTH 31 DEGREES - 53 MINUTES - 31 SECONDS WEST, A DISTANCE OF 8.03 FEET TO A POINT AND CORNER TO SECTION 65.18, BLOCK 1, LOT 1, LANDS NOW OR FORMERLY OF AG-CE 700 BRADLEY HILL ROAD OWNER, L.L.C., THENCE;
- ALONG THE LINE OF LOT 1, NORTH 32 DEGREES - 01 MINUTES - 03 SECONDS EAST, A DISTANCE OF 82.49 FEET TO A POINT AND CORNER TO SECTION 65.18, BLOCK 1, LOT 1, LANDS NOW OR FORMERLY OF AG-CE 700 BRADLEY HILL ROAD OWNER, L.L.C., THENCE THE FOLLOWING SIX (6) COURSES ALONG LOT 1, 1;
- NORTH 89 DEGREES - 22 MINUTES - 34 SECONDS EAST, A DISTANCE OF 147.31 FEET TO A POINT, THENCE;
- SOUTH 57 DEGREES - 11 MINUTES - 56 SECONDS EAST, A DISTANCE OF 148.43 FEET TO A POINT, THENCE;
- NORTH 71 DEGREES - 48 MINUTES - 04 SECONDS EAST, A DISTANCE OF 149.82 FEET TO A POINT, THENCE;
- SOUTH 49 DEGREES - 11 MINUTES - 56 SECONDS EAST, A DISTANCE OF 74.58 FEET TO A POINT, THENCE;
- SOUTH 27 DEGREES - 11 MINUTES - 56 SECONDS EAST, A DISTANCE OF 186.12 FEET TO A POINT, THENCE;
- SOUTH 10 DEGREES - 12 MINUTES - 02 SECONDS EAST, A DISTANCE OF 100.32 FEET TO A POINT AND CORNER TO SECTION 65.18, BLOCK 1, LOT 5, LANDS NOW OR FORMERLY OF AG-CE 700 BRADLEY HILL ROAD OWNER, L.L.C., THENCE;
- ALONG THE LINE OF LOT 5, SOUTH 35 DEGREES - 42 MINUTES - 31 SECONDS EAST, A DISTANCE OF 39.87 FEET TO A POINT AND CORNER TO SECTION 65.18, BLOCK 1, LOT 4, THENCE;
- NORTH 36 DEGREES - 02 MINUTES - 51 SECONDS WEST, A DISTANCE OF 16.38 FEET TO A POINT, THENCE;
- SOUTH 55 DEGREES - 23 MINUTES - 25 SECONDS WEST, A DISTANCE OF 12.83 FEET TO A POINT IN THE NORTHEASTERLY LINE OF A 20' WIDE SANITARY SEWER EASEMENT TO THE TOWN OF ORANGETOWN AS REFERENCED IN INSTRUMENT D 2008-21930, THENCE;

- ALONG THE NORTHEASTERLY LINE OF THE SAID 20' SANITARY SEWER EASEMENT, NORTH 34 DEGREES - 44 MINUTES - 59 SECONDS WEST, A DISTANCE OF 29.50 FEET TO A POINT IN THE LINE OF SECTION 65.18, BLOCK 1, LOT 2, LANDS NOW OR FORMERLY OF THE TOWN OF ORANGETOWN, THENCE THE FOLLOWING THREE (3) COURSES ALONG LOT 2;
- NORTH 61 DEGREES - 32 MINUTES - 44 SECONDS EAST, A DISTANCE OF 11.46 FEET TO A POINT, THENCE;
- NORTH 24 DEGREES - 37 MINUTES - 18 SECONDS WEST, A DISTANCE OF 50.20 FEET TO A POINT, THENCE;
- SOUTH 61 DEGREES - 32 MINUTES - 44 SECONDS WEST, A DISTANCE OF 50.00 FEET TO A POINT, THENCE;
- ALONG THE LINE OF LOT 2, AND ALONG THE LINE OF LAND ACQUISITION "A" PER INSTRUMENT 2008-21830, SOUTH 28 DEGREES - 27 MINUTES - 18 SECONDS EAST, A DISTANCE OF 101.38 FEET TO A POINT IN THE LINE OF LOT 4, THENCE;
- ALONG THE LINE OF LOT 4, SOUTH 54 DEGREES - 17 MINUTES - 29 SECONDS WEST, A DISTANCE OF 334.62 FEET TO THE POINT AND PLACE OF BEGINNING;

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS AND FOR UTILITY PURPOSES AS SET FORTH IN INSTRUMENT NO. 1997-0049484 OVER THE FOLLOWING DESCRIBED PROPERTY:

ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, SITUATE LYING AND BEING IN THE TOWN OF ORANGETOWN, COUNTY OF ROCKLAND, STATE OF NEW YORK, SHOWN AND DESIGNATED AS PART OF LOTS #14-1 AND 14-2 ON A CERTAIN MAP ENTITLED "BRADLEY INDUSTRIAL PARK" IN THE TOWN OF ORANGETOWN MADE BY ADLER, CARUSO & YOUNG, P.C. DATED 5/17/24 AND FILED IN THE OFFICE OF THE CLERK OF THE COUNTY OF ROCKLAND ON 10/20/24 IN BOOK 95 OF MAPS AT PAGE 35 AS MAP 4773 AND AS PART OF LOTS #14-1 AND 14-2 ON "AMENDMENT TO MAP NO. 4773" DATED 5/17/24 AND FILED IN THE OFFICE OF THE CLERK OF THE COUNTY OF ROCKLAND ON 10/20/24 IN BOOK 95 OF MAPS AT PAGE 73 AS MAP 5468, SAID LOT BEING BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT FORMED BY THE INTERSECTION OF THE NORTHERLY LINE OF BRADLEY PARKWAY EXTENSION WITH THE WESTERLY LINE OF LOT #14-2 AS IT APPEARS ON THE AFORESAID MAP;

RUNNING THENCE ALONG THE WESTERLY LINE OF SAID LAND AND THE EASTERLY LINE OF LANDS NOW OR FORMERLY OF THE PENN CENTRAL COMPANY THE FOLLOWING COURSES AND DISTANCES:

- NORTH 29° 33' 26" WEST 267.34 FEET;
- NORTH 81° 25' 20" WEST 75.26 FEET;
- NORTH 28° 28' 18" WEST 864.44 FEET;
- NORTH 28° 23' 12" WEST 213.61 FEET TO THE SOUTHERLY LINE OF LOT #14 ON SAID MAP;

RUNNING THENCE ALONG THE SOUTHERLY SIDE OF SAID LOT NORTH 54° 17' 28" EAST 52.16 FEET TO A POINT;

THENCE SOUTH 28° 24' 26" EAST 187.48 FEET TO A POINT;

THENCE SOUTH 24° 33' 26" EAST 797.28 FEET TO A POINT OF CURVATURE;

THENCE SOUTHEASTERLY ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 120.00 FEET AN ARC DISTANCE OF 69.12 FEET TO A POINT;

THENCE SOUTHERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 160.00 FEET AN ARC DISTANCE OF 92.15 FEET TO A POINT;

THENCE NORTHERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 160.00 FEET AN ARC DISTANCE OF 92.15 FEET TO A POINT;

THENCE NORTHERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 160.00 FEET AN ARC DISTANCE OF 92.15 FEET TO A POINT;

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THENCE NORTHERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 160.00 FEET AN ARC DISTANCE OF 92.15 FEET TO A POINT;

THENCE NORTHERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 160.00 FEET AN ARC DISTANCE OF 92.15 FEET TO A POINT;

15. ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 140.00 FEET, A CENTRAL ANGLE OF 30 DEGREES - 03 MINUTES - 57 SECONDS, AN ARC LENGTH OF 73.46 FEET, A CHORD BEARING OF NORTH 89 DEGREES - 59 MINUTES - 26 SECONDS WEST, AND A CHORD DISTANCE OF 72.92 FEET TO A POINT OF TANGENCY, THENCE;

16. SOUTH 74 DEGREES - 58 MINUTES - 35 SECONDS WEST, A DISTANCE OF 177.36 FEET TO A POINT, THENCE;

17. ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 51 DEGREES - 20 MINUTES - 10 SECONDS, AN ARC LENGTH OF 44.81 FEET, A CHORD BEARING OF SOUTH 48 DEGREES - 13 MINUTES - 10 SECONDS WEST, AND A CHORD DISTANCE OF 43.32 FEET TO A POINT OF TANGENCY, THENCE;

18. SOUTH 23 DEGREES - 37 MINUTES - 45 SECONDS WEST, A DISTANCE OF 30.24 FEET TO A POINT, THENCE;

19. ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 200.00 FEET, A CENTRAL ANGLE OF 22 DEGREES - 41 MINUTES - 19 SECONDS, AN ARC LENGTH OF 79.20 FEET, A CHORD BEARING OF SOUTH 34 DEGREES - 54 MINUTES - 24 SECONDS WEST, AND A CHORD DISTANCE OF 78.68 FEET TO A POINT OF TANGENCY, THENCE;

20. ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 200.00 FEET, A CENTRAL ANGLE OF 13 DEGREES - 26 MINUTES - 51 SECONDS, AN ARC LENGTH OF 46.84 FEET, A CHORD BEARING OF SOUTH 53 DEGREES - 02 MINUTES - 28 SECONDS WEST, AND A CHORD DISTANCE OF 46.83 FEET TO A POINT OF TANGENCY, THENCE;

21. SOUTH 58 DEGREES - 45 MINUTES - 54 SECONDS WEST, A DISTANCE OF 349.86 FEET TO A POINT, THENCE;

22. ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 20.00 FEET, A CENTRAL ANGLE OF 89 DEGREES - 48 MINUTES - 19 SECONDS, AN ARC LENGTH OF 31.38 FEET, A CHORD BEARING OF SOUTH 14 DEGREES - 51 MINUTES - 49 SECONDS WEST, AND A CHORD DISTANCE OF 28.24 FEET TO A POINT OF TANGENCY, THENCE;

23. SOUTH 30 DEGREES - 02 MINUTES - 19 SECONDS EAST, A DISTANCE OF 401.48 FEET TO A POINT, THENCE;

24. ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 153.00 FEET, A CENTRAL ANGLE OF 28 DEGREES - 20 MINUTES - 53 SECONDS, AN ARC LENGTH OF 78.88 FEET, A CHORD BEARING OF NORTH 44 DEGREES - 12 MINUTES - 42 SECONDS WEST, AND A CHORD DISTANCE OF 76.17 FEET TO A POINT OF TANGENCY, THENCE;

25. SOUTH 59 DEGREES - 23 MINUTES - 09 SECONDS EAST, A DISTANCE OF 53.61 FEET TO A POINT, THENCE;

26. ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 100.00 FEET, A CENTRAL ANGLE OF 26 DEGREES - 14 MINUTES - 28 SECONDS, AN ARC LENGTH OF 49.29 FEET, A CHORD BEARING OF SOUTH 44 DEGREES - 21 MINUTES - 54 SECONDS EAST, AND A CHORD DISTANCE OF 48.79 FEET TO A POINT OF TANGENCY, THENCE;

27. SOUTH 30 DEGREES - 14 MINUTES - 42 SECONDS EAST, A DISTANCE OF 252.40 FEET TO A POINT, THENCE;

28. ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 100.00 FEET, A CENTRAL ANGLE OF 34 DEGREES - 43 MINUTES - 48 SECONDS, AN ARC LENGTH OF 60.82 FEET, A CHORD BEARING OF SOUTH 47 DEGREES - 36 MINUTES - 36 SECONDS EAST, AND A CHORD DISTANCE OF 59.89 FEET TO A POINT OF NON-TANGENCY, THENCE;

29. NORTH 83 DEGREES - 48 MINUTES - 59 SECONDS WEST, A DISTANCE OF 77.28 FEET TO A POINT, THENCE;

30. ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 120.00 FEET, A CENTRAL ANGLE OF 40 DEGREES - 07 MINUTES - 41 SECONDS, AN ARC LENGTH OF 18.04 FEET, A CHORD BEARING OF NORTH 12 DEGREES - 51 MINUTES - 26 SECONDS EAST, AND A CHORD DISTANCE OF 16.38 FEET TO A POINT OF NON-TANGENCY, THENCE;

31. NORTH 30 DEGREES - 12 MINUTES - 25 SECONDS WEST, A DISTANCE OF 226.05 FEET TO A POINT, THENCE;

32. ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 170.00 FEET, A CENTRAL ANGLE OF 28 DEGREES - 41 MINUTES - 43 SECONDS, AN ARC LENGTH OF 88.16 FEET, A CHORD BEARING OF NORTH 44 DEGREES - 12 MINUTES - 16 SECONDS WEST, AND A CHORD DISTANCE OF 84.23 FEET TO A POINT OF TANGENCY, THENCE;

33. NORTH 58 DEGREES - 54 MINUTES - 08 SECONDS EAST, A DISTANCE OF 53.42 FEET TO A POINT, THENCE;

34. ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 100.00 FEET, A CENTRAL ANGLE OF 20 DEGREES - 25 MINUTES - 49 SECONDS, AN ARC LENGTH OF 51.37 FEET, A CHORD BEARING OF NORTH 44 DEGREES - 12 MINUTES - 16 SECONDS WEST, AND A CHORD DISTANCE OF 50.89 FEET TO A POINT OF TANGENCY, THENCE;

35. NORTH 29 DEGREES - 28 MINUTES - 18 SECONDS WEST, A DISTANCE OF 327.19 FEET TO A POINT, THENCE;

36. NORTH 28 DEGREES - 23 MINUTES - 13 SECONDS WEST, A DISTANCE OF 213.61 FEET TO A POINT, THENCE;

37. NORTH 54 DEGREES - 17 MINUTES - 29 SECONDS EAST, A DISTANCE OF 42.82 FEET TO A POINT, THENCE;

38. SOUTH 30 DEGREES - 08 MINUTES - 11 SECONDS EAST, A DISTANCE OF 57.25 FEET TO A POINT, THENCE;

39. SOUTH 29 DEGREES - 42 MINUTES - 20 SECONDS EAST, A DISTANCE OF 340.89 FEET TO A POINT, THENCE;

40. SOUTH 31 DEGREES - 13 MINUTES - 21 SECONDS EAST, A DISTANCE OF 42.84 FEET TO A POINT, THENCE;

41. ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 20.00 FEET, A CENTRAL ANGLE OF 46 DEGREES - 15 MINUTES - 35 SECONDS, AN ARC LENGTH OF 16.15 FEET, A CHORD BEARING OF SOUTH 54 DEGREES - 51 MINUTES - 08 SECONDS EAST, AND A CHORD DISTANCE OF 15.71 FEET TO A POINT OF TANGENCY, THENCE;

42. CONTINUING ALONG THE PREVIOUS CURVE TO THE LEFT HAVING A RADIUS OF 20.00 FEET, A CENTRAL ANGLE OF 42 DEGREES - 48 MINUTES - 19 SECONDS, AN ARC LENGTH OF 14.92 FEET, A CHORD BEARING OF NORTH 11 DEGREES - 58 MINUTES - 29 SECONDS EAST, AND A CHORD DISTANCE OF 14.54 FEET TO A POINT OF TANGENCY, THENCE;

43. NORTH 58 DEGREES - 50 MINUTES - 22 SECONDS EAST, A DISTANCE OF 372.64 FEET TO A POINT, THENCE;

44. NORTH 86 DEGREES - 53 MINUTES - 15 SECONDS EAST, A DISTANCE OF 15.47 FEET TO A POINT, THENCE;

45. SOUTH 35 DEGREES - 42 MINUTES - 31 SECONDS EAST, A DISTANCE OF 0.47 FEET TO A POINT, THENCE;

46. ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 50.00 FEET, A CENTRAL ANGLE OF 32 DEGREES - 54 MINUTES - 03 SECONDS, AN ARC LENGTH OF 28.42 FEET, A CHORD BEARING OF NORTH 39 DEGREES - 54 MINUTES - 47 SECONDS EAST, AND A CHORD DISTANCE OF 28.14 FEET TO A POINT OF TANGENCY, THENCE;

47. NORTH 23 DEGREES - 37 MINUTES - 45 SECONDS EAST, A DISTANCE OF 62.82 FEET TO A POINT, THENCE;

48. ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 90.00 FEET, A CENTRAL ANGLE OF 50 DEGREES - 31 MINUTES - 29 SECONDS, AN ARC LENGTH OF 79.30 FEET, A CHORD BEARING OF NORTH 48 DEGREES - 53 MINUTES - 30 SECONDS EAST, AND A CHORD DISTANCE OF 76.82 FEET TO A POINT OF TANGENCY, THENCE;

49. NORTH 74 DEGREES - 09 MINUTES - 14 SECONDS EAST, A DISTANCE OF 182.70 FEET TO A POINT, THENCE;

50. ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 130.00 FEET, A CENTRAL ANGLE OF 28 DEGREES - 04 MINUTES - 38 SECONDS, AN ARC LENGTH OF 61.71 FEET, A CHORD BEARING OF NORTH 18 DEGREES - 11 MINUTES - 23 SECONDS EAST, AND A CHORD DISTANCE OF 63.87 FEET TO A POINT OF TANGENCY, THENCE;

51. SOUTH 77 DEGREES - 46 MINUTES - 08 SECONDS EAST, A DISTANCE OF 54.02 FEET TO A POINT, THENCE;

52. SOUTH 72 DEGREES - 54 MINUTES - 23 SECONDS EAST, A DISTANCE OF 89.23 FEET TO A POINT, THENCE;

53. SOUTH 72 DEGREES - 54 MINUTES - 23 SECONDS EAST, A DISTANCE OF 74.73 FEET TO A POINT, THENCE;

54. ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 21.11 FEET, A CENTRAL ANGLE OF 31 DEGREES - 40 MINUTES - 18 SECONDS, AN ARC LENGTH OF 11.87 FEET, A CHORD BEARING OF SOUTH 57 DEGREES - 22 MINUTES - 55 SECONDS EAST, AND A CHORD DISTANCE OF 11.52 FEET TO A POINT OF TANGENCY, THENCE;

55. SOUTH 73 DEGREES - 13 MINUTES - 04 SECONDS EAST, A DISTANCE OF 125.63 FEET TO A POINT, THENCE;

56. ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 80.00 FEET, A CENTRAL ANGLE OF 80 DEGREES - 36 MINUTES - 48 SECONDS, AN ARC LENGTH OF 84.42 FEET, A CHORD BEARING OF NORTH 88 DEGREES - 28 MINUTES - 35 SECONDS EAST, AND A CHORD DISTANCE OF 77.63 FEET TO A POINT OF TANGENCY, THENCE;

57. NORTH 26 DEGREES - 10 MINUTES - 09 SECONDS EAST, A DISTANCE OF 282.15 FEET TO A POINT, THENCE;

58. ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 100.00 FEET, A CENTRAL ANGLE OF 36 DEGREES - 21 MINUTES - 47 SECONDS, AN ARC LENGTH OF 63.82 FEET, A CHORD BEARING OF NORTH 44 DEGREES - 21 MINUTES - 29 SECONDS EAST, AND A CHORD DISTANCE OF 62.48 FEET TO A POINT, THENCE;

59. SOUTH 26 DEGREES - 10 MINUTES - 09 SECONDS WEST, A DISTANCE OF 16.86 FEET TO A POINT, THENCE;

60. ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 75.00 FEET, A CENTRAL ANGLE OF 80 DEGREES - 40 MINUTES - 16 SECONDS, AN ARC LENGTH OF 63.82 FEET, A CHORD BEARING OF SOUTH 18 DEGREES - 21 MINUTES - 29 SECONDS EAST, AND A CHORD DISTANCE OF 103.25 FEET TO A POINT OF TANGENCY, THENCE;

61. SOUTH 73 DEGREES - 13 MINUTES - 04 SECONDS EAST, A DISTANCE OF 70.97 FEET TO A POINT, THENCE;

62. SOUTH 68 DEGREES - 23 MINUTES - 02 SECONDS EAST, A DISTANCE OF 115.94 FEET TO A POINT, THENCE;

63. SOUTH 64 DEGREES - 07 MINUTES - 01 SECONDS EAST, A DISTANCE OF 73.41 FEET TO A POINT, THENCE;

64. SOUTH 68 DEGREES - 30 MINUTES - 31 SECONDS EAST, A DISTANCE OF 50.29 FEET TO A POINT, THENCE;

65. SOUTH 25 DEGREES - 18 MINUTES - 25 SECONDS WEST, A DISTANCE OF 21.85 FEET TO THE POINT AND PLACE OF BEGINNING;

THE LAND SHOWN ON THIS SURVEY IS THE SAME AS THAT DESCRIBED IN A TITLE REPORT PREPARED BY ADVANTAGE TITLE AGENCY, INC., TITLE NO. 22-CR-09473, WITH AN EFFECTIVE DATE OF 09-30-2022.

DETAIL D SCALE: 1" = 40'

DETAIL B SCALE: 1" = 20'

FM LOT 14 (FM 5466)
SECTION 65.18
BLOCK 1
LOT 3
NF LANDS OF
PG-OE 800 BRADLEY HILL ROAD OWNER, L.L.C.

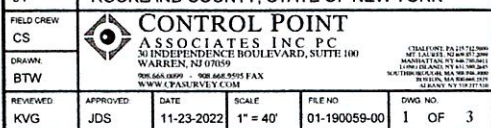
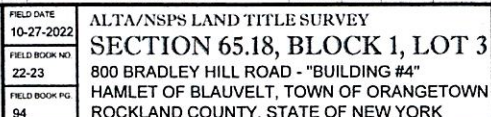
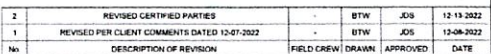
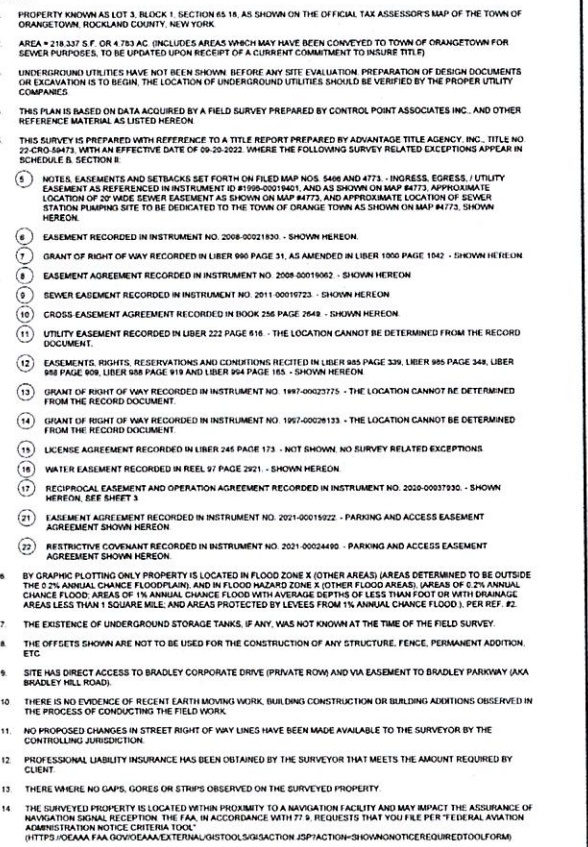
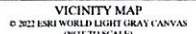
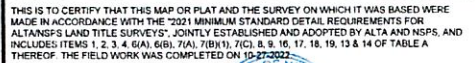
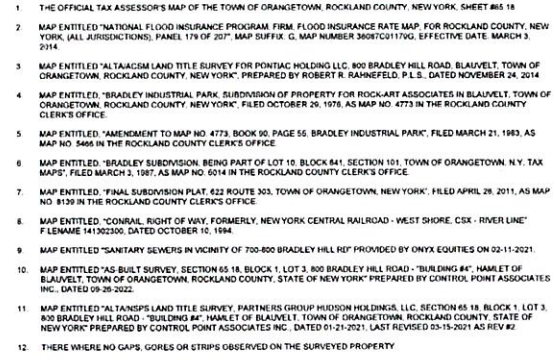
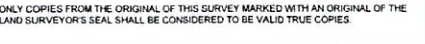
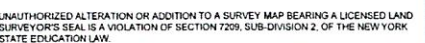
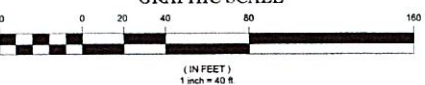
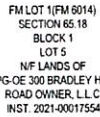
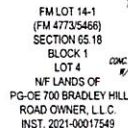
FM LOT 14-1 (FM 4773/5466)
SECTION 65.18
BLOCK 1
LOT 4
NF LANDS OF
PG-OE 700 BRADLEY HILL ROAD OWNER, L.L.C.

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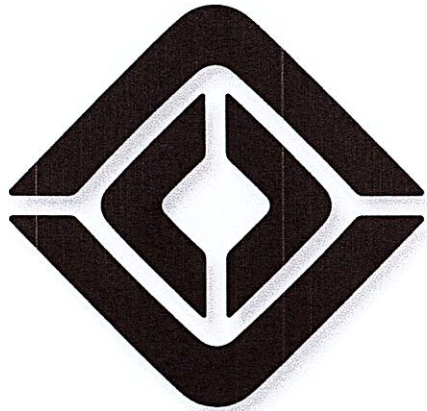
FM LOT 14-1 (FM 4773/5466)
SECTION 65.18
BLOCK 1
LOT 4
NF LANDS OF
PG-OE 700 BRADLEY HILL ROAD OWNER, L.L.C.

FM LOT 14-1 (FM 4773/5466)
SECTION 65.18





WALTON



RIVIAN

800 BRANDLEY HILL ROAD

BLAUVELT, NY

Town of Orangetown
MEETING OF:

APR 3 2024

ZONING BOARD OF APPEALS



WALTON

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San Antonio, TX 78216

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Client: RIVIAN
Address: 800 BRANDLEY HILL RD.
Location: BLAUVELT, NY
Sales: -- Designer: TVS
PM: BB Date: 7/21/23

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Revision Notes

R1)
R2)
R3)
R4)
R5)
R6)

\\ACTIVE JOBS\Rivian\Locations\NEW YORK\Blauvelt, NY\03 Design\CDR Files

Signs will be manufactured with 120 Volts A/C. All Primary electrical service to the sign and final connection thereof, is the responsibility of the buyer. All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.
















This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.
The location of the disconnect switch after installation shall comply with Article 600.5(A)(1) of the National Electrical Code

CID335481

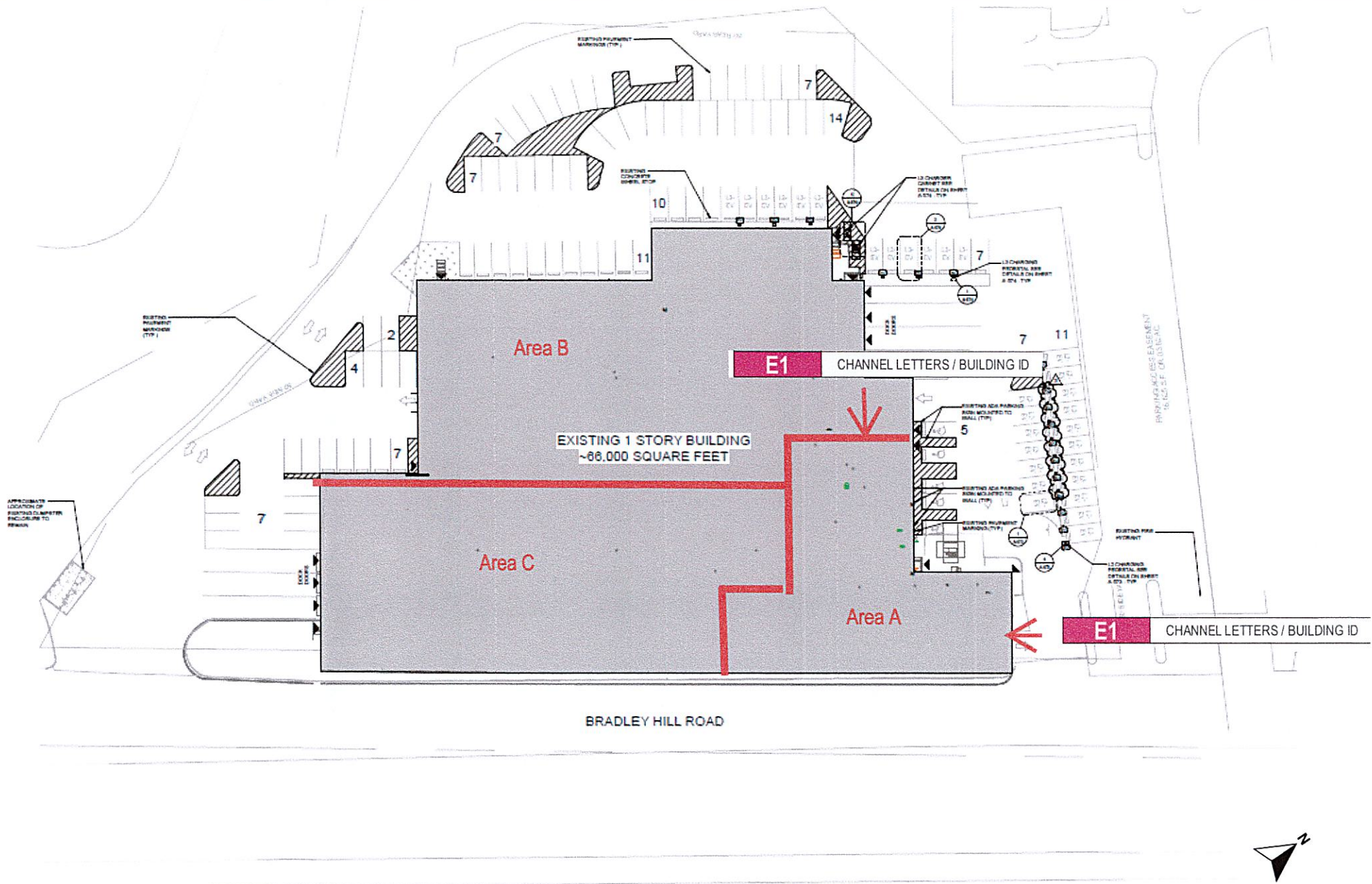
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Sheet: 1

SITE PLAN / BUILDING SIGNAGE - AREA 'A' GROUND FLOOR

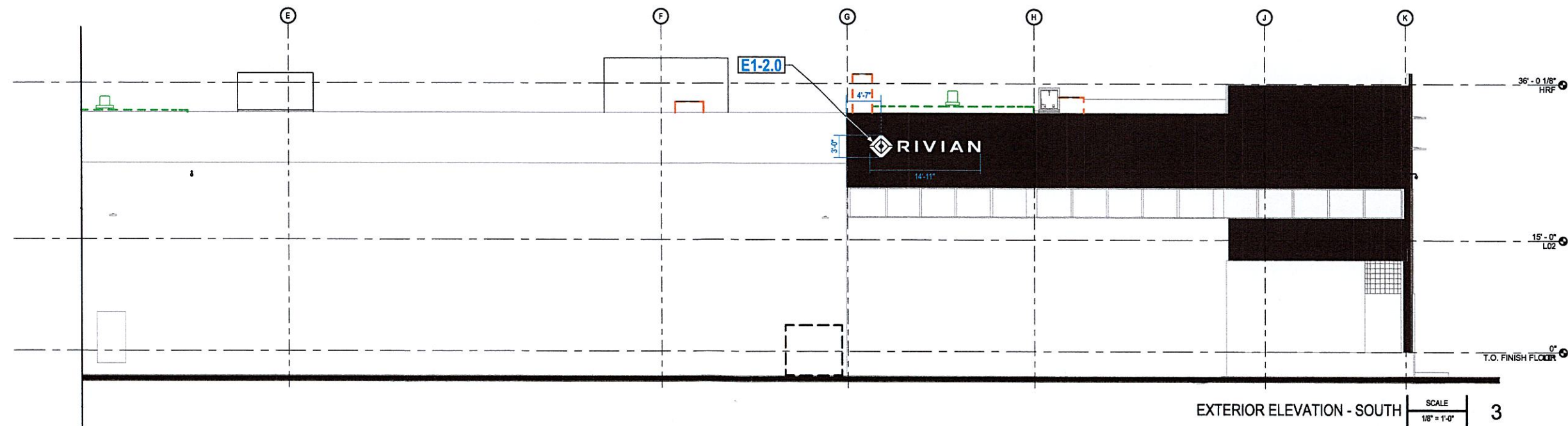
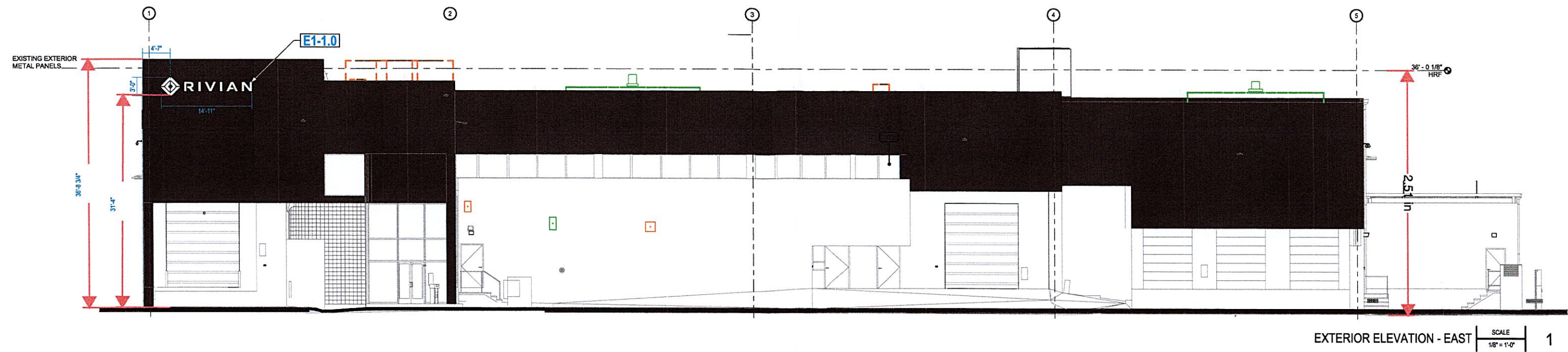
TYPE	DESCRIPTION	QTY	IMAGE	TOTAL SF
C1	ADA ROOM ID	10		1.5 SQ.FT.
C2	ADA AMENITY ROOM ID	4		1.52 SQ.FT.
C4	CODE BLADE SIGN	1		.34 SQ.FT.
C5	CODE BLADE SIGN	4		1.36 SQ.FT.
C7	ADA EXIT LEVEL ID	4		.6 SQ.FT.
C11	CODE BLADE SIGN	4		1.36 SQ.FT.
E1	CHANNEL LETTERS / BUILDING ID	2		159.12 SQ.FT.
E5	GUEST LOUNGE ID	1		2 SQ.FT.
E8	KEY DROP ID	1		.21 SQ.FT.
N1	RECEPTION ID	1		5 SQ.FT.
N2	MEETING ROOM ID	2		.34 SQ.FT.
N3	TRC DECALS	2		.2 SQ.FT.
U1	ENTRY DOOR GRAPHICS	1		2.24 SQ.FT.
U2	INTERIOR DOOR HEADER GRAPHIC	1		.19 SQ.FT.
U4	STAFF EXIT	1		2 SQ.FT.

PAGE TOTAL 177.98 SQ.FT.



SITE PLAN - AREA 'A' GROUND FLOOR
SCALE: 1/32"=1'

EXTERIOR BUILDING ELEVATIONS



Revision Notes

R1)
R2)
R3)
R4)
R5)
R6)

\\ACTIVE JOBS\Rivian\Locations\NEW YORK\Blauvelt, NY\03 Design\CDR Files

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This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.
The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code

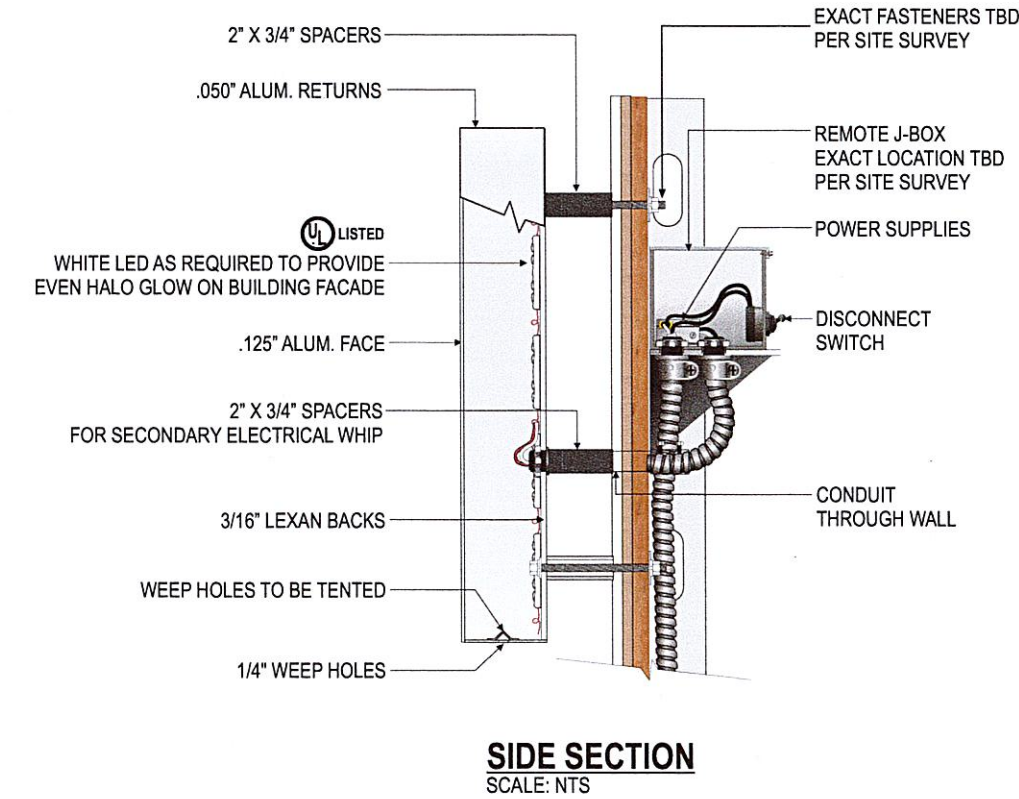
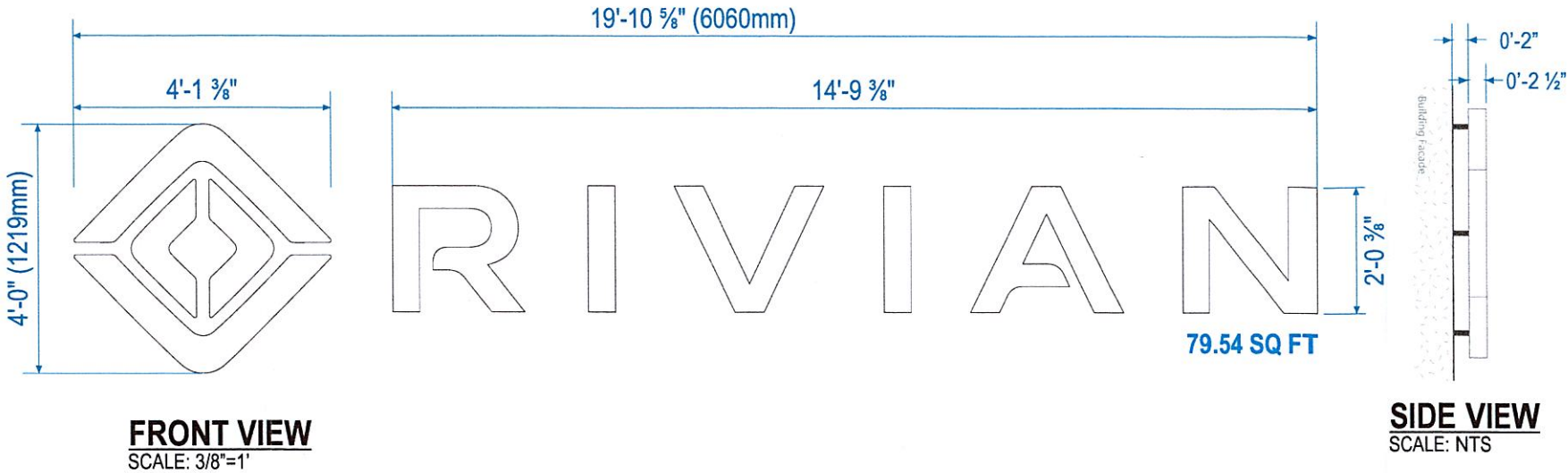
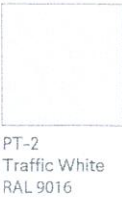
CID335481

E1 / BUILDING ID

HALO-LIT CHANNEL LETTERS

FACES : .125" ALUM. FACE / PAINTED RAL 9016 TRAFFIC WHITE / MATTE CLEAR FINISH
RETURNS : 2 1/2" DEEP / PAINTED RAL 9016 TRAFFIC WHITE / MATTE CLEAR FINISH
BACKS : .177" CLEAR LEXAN BACKS WITH 3M DIFFUSER FILM
SPACERS : 2" DEEP X 3/4" SPACERS / PAINTED TO MATCH BUILDING FACADE / (PT-2.3) SHERWIN WILLIAMS FLAT BLACK
ILLUMINATION / POWER : HANLEY WHITE LED WITH REMOTE POWER SUPPLIES
ATTACHMENT : ATTACHED TO BUILDING FACADE WITH 2" SPACERS / EXACT FASTENERS TO BE CONFIRMED PER SITE SURVEY

SCALE: AS NOTED
QUANTITY (2)



FASTENER SCHEDULE / TBD PER SITE CONDITION		
	3/8" LAG SCREW	FOR USE WITH WOOD OR EIFS WALL SYSTEMS. 1-1/2" MIN PENETRATIONS (EXCL. TIP)
	3/8" LAG & SHIELD	FOR USE WITH WOOD OR EIFS WALL SYSTEMS. 1-1/2" MIN PENETRATIONS (EXCL. TIP)
	3/8" DIA. THREADED ROD & BEARING PLATES	FOR USE WITH WOOD, CONCRETE BLOCK OR EIFS WALL SYSTEMS
	3/8" DIA. THREADED ROD	FOR USE WITH WOOD, CONCRETE BLOCK OR EIFS WALL SYSTEMS
	3/8" RED HEAD L.D.T. (LARGE DIAMETER TAPCON)	FOR USE WITH CONCRETE BLOCK, BRICK OR CONCRETE, EMBED A MIN. OF 2 1/2"
	3/8" DIA. HILTI HIT ROD WITH Hy150 MAX ADHESIVE	FOR USE WITH CONCRETE, EMBED A MIN. OF 2"
	3/8" DIA. HILTI HIT ROD WITH Hy20 ADHESIVE	FOR USE WITH MASONRY AND BRICK EMBED A MIN. OF 3 3/8"
	3/8" DIA. HILTI HIT ROD WITH Hy20 ADHESIVE	FOR USE WITH CONCRETE BLOCK, EMBED A MIN. OF 2"
	3/8" DIA. HILTI HLC SLEEVE ANCHOR	FOR USE WITH CONCRETE, MASONRY AND BRICK EMBED A MIN. OF 3 3/8"