

VERIFY ALL DIMENSIONS IN FIELD

PROPOSED ALTERATIONS & ADDITIONS:

59 TWEED BLVD - ORANGETOWN, NEW YORK

HAMLET OF UPPER GRANDVIEW IN VILLAGE OF ORANGETOWN SECTION 71.13 | BLOCK 1 | LOT 40

DRAWING LIST - ISSUED FOR CONSTRUCTION

Table with columns: NUMBER, SCALE, DESCRIPTION, TITLE SHEET. Lists architectural, civil, foundation, and structural drawings.

KLIGERMAN ARCHITECTURE & DESIGN

500 FIFTH AVENUE, 45TH FLOOR NEW YORK, NEW YORK 10110 212 260 0128

59 TWEED BOULEVARD

Table with columns: No., REMARKS, DATE. Shows revision 1 for PLANNING BOARD.

PROJECT: RESIDENCE 59 TWEED BOULEVARD ORANGETOWN, NY 10960



TITLE SHEET

DATE: PROJECT No.: 20017 DRAWING BY: CO CHK BY: CP DWG No.: T-100

T. O. ORANGETOWN GENERAL NOTES

- 1. ALL DOCUMENTS REGULATED FOR CO AS LISTED ON THE AFFIDAVIT TO BE SUBMITTED TO THE TOWN OF ORANGETOWN.
2. TOWN ENGINEER SHALL BE CONTACTED TO SCHEDULE ALL REQUIRED SEDIMENT & EROSION CONTROL INSPECTIONS, INCLUDING A FINAL SIGN OFF BY THE TOWN ENGINEER.

SYMBOL LEGEND

Table mapping symbols to drawing elements: Drawing Title, Detail Drawing Call-Out, Center Line, Interior Elevation Tag, Section Tag, Elevation Drawing Call-Out, Door Number Tag, Window Number Tag, Floor Elevation Change, Gas Bib & Hose Bib, Elevation Callout, Room Name, Room Tag.

MATERIALS LEGEND

Table mapping material patterns to names: Earth/Soil, Wood Blocking, Gravel/Porous Fill, Plywood, Concrete, Finish Carpentry, Brick Masonry, Plaster/G.W.B./Stucco, Stone, Batt Insulation, C.M.U. Blocks, Spray Foam Insulation, Metals, Glass.

FLOOR PLAN LEGEND

Table mapping floor plan symbols to descriptions: Proposed Frame Wall, Existing Frame Wall to Remain, Building Center Line, Beams/Framing Above, Timber Framing Post.

GENERAL NOTES:

- 1. ALL WORK SHALL COMPLY WITH ALL LOCAL BUILDING CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF THE PUBLIC AUTHORITIES GOVERNING THE WORK.
2. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN.
3. SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, AND/OR CHANGES TO THE ARCHITECT, IN WRITING, FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.

CONSTRUCTION NOTES:

- 1. ALL DIMS AND ELEVATIONS ARE TO BE USED FOR GENERAL INFORMATION ONLY. CONTRACTORS TO VERIFY CONDITIONS AT SPECIFIC LOCATIONS AS REQUIRED TO CONFIRM AND PERFORM ALL WORK AS SPECIFIED.
2. DO NOT SCALE DRAWINGS. FOLLOW WRITTEN DIMENSIONS.
3. IN CASE OF OMISSIONS, OR DISCREPANCIES IN THESE DOCUMENTS, CONSULT WITH THE ARCHITECT PRIOR TO ORDERING ANY PRODUCT, MATERIAL, OR PROPRIETARY SYSTEMS.

ELECTRICAL NOTES:

- 1. COORDINATE INSTALLATION OF TELECOMMUNICATIONS, DATA, AUDIO VISUAL AND SECURITY SYSTEMS.
2. VERIFY EQUIPMENT SPECIFICATIONS, POWER AND INSTALLATION REQUIREMENTS WITH MANUFACTURER TO ENSURE PROPER FIT AND FUNCTION.
3. MOUNT STANDARD WALL OUTLETS, THERMOSTATS AND OTHER DEVICES AS INDICATED ON THE STANDARD MOUNTING HEIGHT ELEVATIONS, UNLESS OTHERWISE NOTED.

PLUMBING NOTES:

- 1. ALL NEW AND REPLACEMENT PLUMBING WORK SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF ALL APPLICABLE PLUMBING CODES.
2. CLEANOUTS SHALL BE PROVIDED AT THE BASE OF ALL SOIL, VENT, AND LEADER STACKS.
3. RELIEF VENTS SHALL BE PROVIDED FOR VERTICAL OFFSETS OF DRAINAGE.

SMOKE & CARBON MONOXIDE DETECTOR NOTES

- 1. SMOKE/CARBON MONOXIDE DETECTORS OR DEVICES SHALL BE INSTALLED IN COMPLIANCE WITH THE 2020 STATE OF NEW YORK RESIDENTIAL EDITION OF THE INTERNATIONAL RESIDENTIAL CODE.
2. SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS MAY BE COMBINED PROVIDED THE DEVICES COMPLY WITH THE PROVISIONS OF THE 2020 STATE OF NEW YORK RESIDENTIAL EDITION OF THE INTERNATIONAL RESIDENTIAL CODE.

- 1. ALL DRAWINGS TO BE SUBMITTED TO THE TOWN OF BEDFORD BUILDING DEPARTMENT FOR APPROVAL PRIOR TO COMMENCING WORK.
2. ANY DETAILS, SYSTEMS, MATERIALS (ARCH, MEP, STRUCT, ETC.) PROPOSED TO BE CHANGED MUST FIRST BE REVIEWED BY THE ARCHITECT, OWNER & OWNER'S REPRESENTATIVE (IF APPLICABLE) PRIOR TO THE PREPARATION OF SHOP DRAWINGS.
3. PROVIDE ADEQUATE WATERPROOFING AS SPECIFIED HEREIN.

ENERGY COMPLIANCE:

"TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THIS APPLICATION IS IN COMPLIANCE WITH THE 2020 NYSECCC."

APPLICABLE BUILDING CODES

- THE FOLLOWING BUILDING CODES SHALL BE IN EFFECT FOR ALL COMPONENTS OF THE WORK:
- NEW YORK STATE RESIDENTIAL CODE 2020
- NEW YORK STATE BUILDING CODE 2020
- NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE 2020/NYS STRETCH CODE 2020

TABLE R402.4.1.1 AIR BARRIER, AIR SEALING AND INSULATION INSTALLATION

Table with columns: COMPONENT, AIR BARRIER CRITERIA, INSULATION INSTALLATION CRITERIA. Details requirements for air barrier and insulation in various building components.

TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

Table with columns: TOWN/COUNTY, GROUND SNOW LOAD, WIND DESIGN, SEISMIC DESIGN CAT., SUBJECT TO DAMAGE FROM WEATHERING, WINTER DES. TEMP, ICE BARRIER REQUIRED, FLOOD HAZARD, AIR FREEZING INDEX, ANNUAL MEAN TEMP.

TABLE R301.5 MINIMUM UNIFORMLY DISTURBED LIVE LOADS (IN PSF)

Table with columns: UNINHABITABLE ATTICS W/ D STOR, BALCONIES (EXT) & DECKS, GUARD INFILL COMPONENTS, UNINHABITABLE ATTICS W/ STOR, FIRE ESCAPES, PASSENGER VEHICLE GARAGES, HABITABLE ATTICS W STAIR, GUARDS AND HALDRAILS, ROOMS OTHER THAN SLEEPING.

TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS

Table with columns: CLIMATE ZONE, FENESTR. U-FACTOR, SKYLIGHT U-FACTOR, GLAZED FENEST., CEILING R-VALUE, WOOD FRAME WALL R-VALUE, MASS WALL R-VALUE, FLOOR R-VALUE, BASEMENT WALL R-VAL., SLAB R-VALUE AND DEPTH, CRAWL SPACE R-VALUE.

FLOOR AREA CALCULATIONS

Table with columns: COMPONENT, EXISTING, PROPOSED. Shows floor area for principal dwelling, main floor, upper floor, total principal dwelling, existing home office pavilion, total floor area.

ZONING CALCULATIONS

Table with columns: COMPONENT, ALLOWED, EXISTING, PROPOSED. Shows zoning calculations for F.A.R. component.

BUILDING INFORMATION

Table with columns: COMPONENT, EXISTING, PROPOSED. Shows building information for bedroom count and bathroom count.

CONSULTANTS

- ARCHITECT: KLIGERMAN ARCHITECTURE & DESIGN
STRUCTURAL ENGINEER: HANINGTON ENGINEERING
CIVIL ENGINEER: DR. PILLA
LANDSCAPE: EDWARD J. HOLLANDER LANDSCAPE ARCHITECT DESIGN, PC
SURVEYOR: CALLAZUOL ENG & SURVEYING



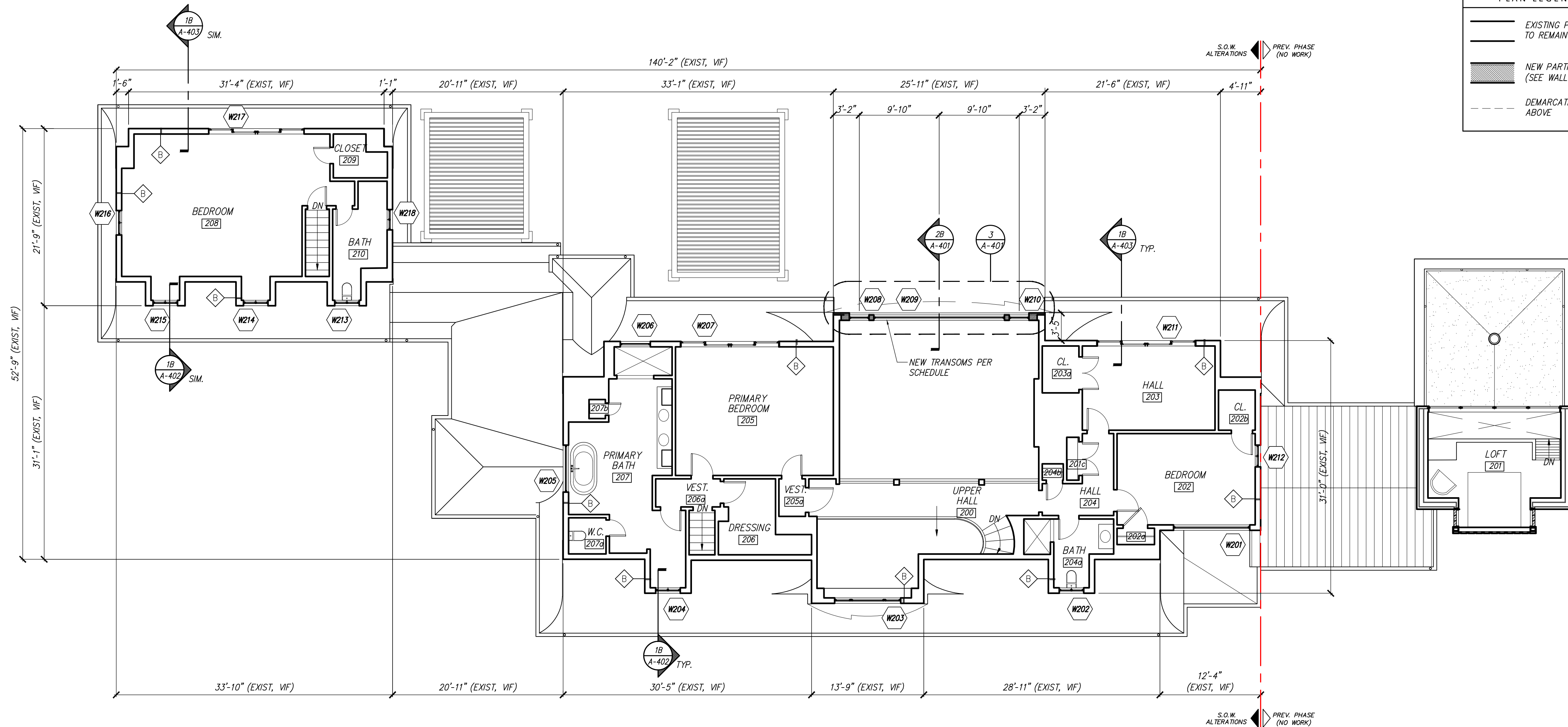




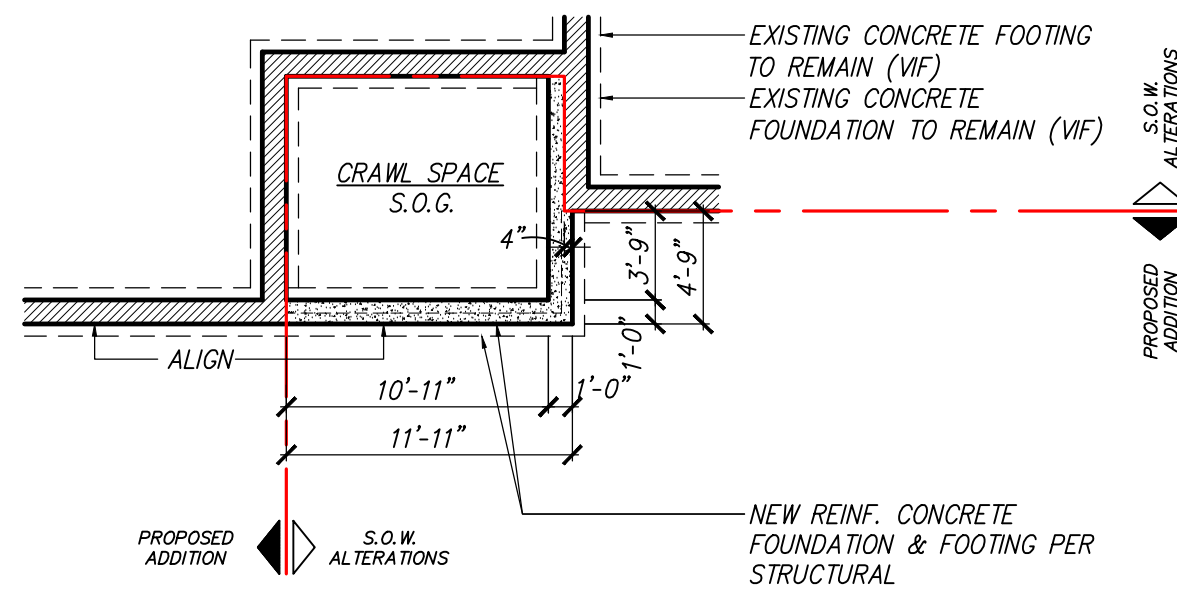
VERIFY ALL DIMENSIONS IN FIELD

| PLAN LEGEND |                                |
|-------------|--------------------------------|
|             | EXISTING PARTITION TO REMAIN   |
|             | NEW PARTITION (SEE WALL TYPES) |
|             | DEMARCATON ABOVE               |

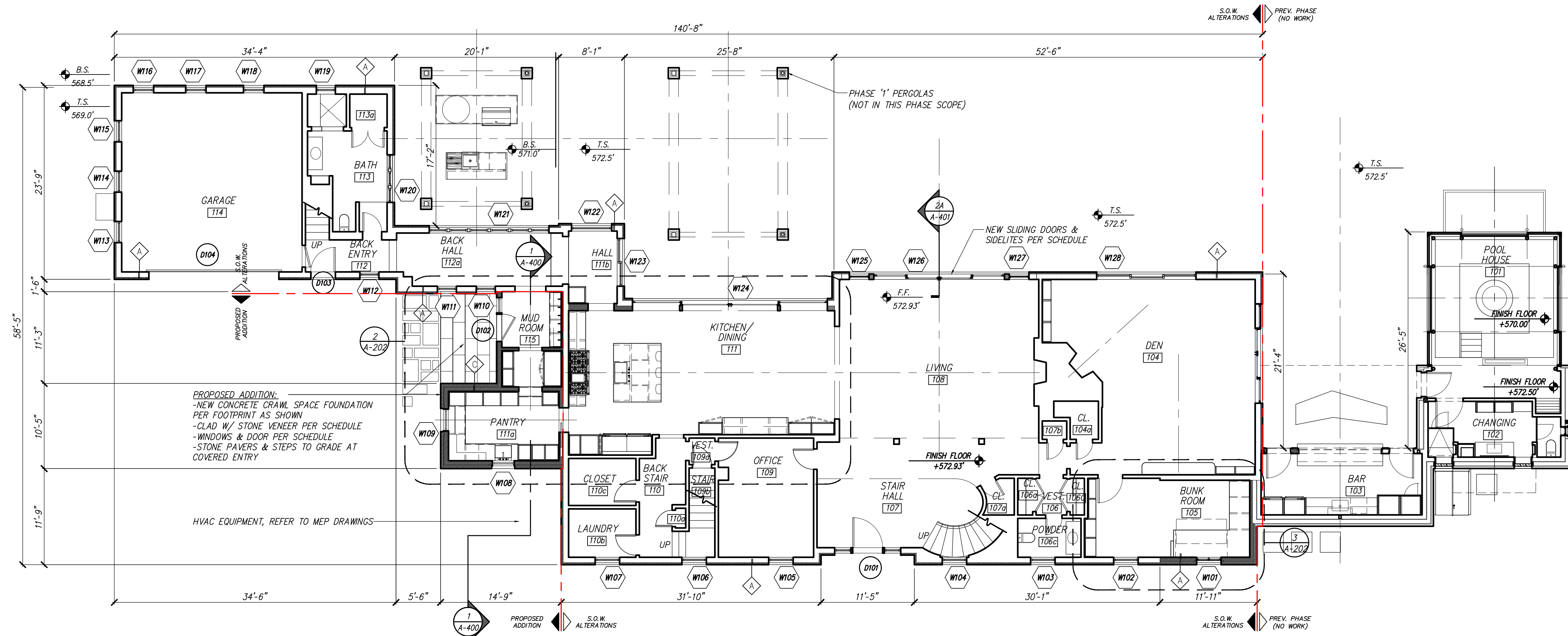
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 NEW YORK, NEW YORK 10110  
 212 260 0128



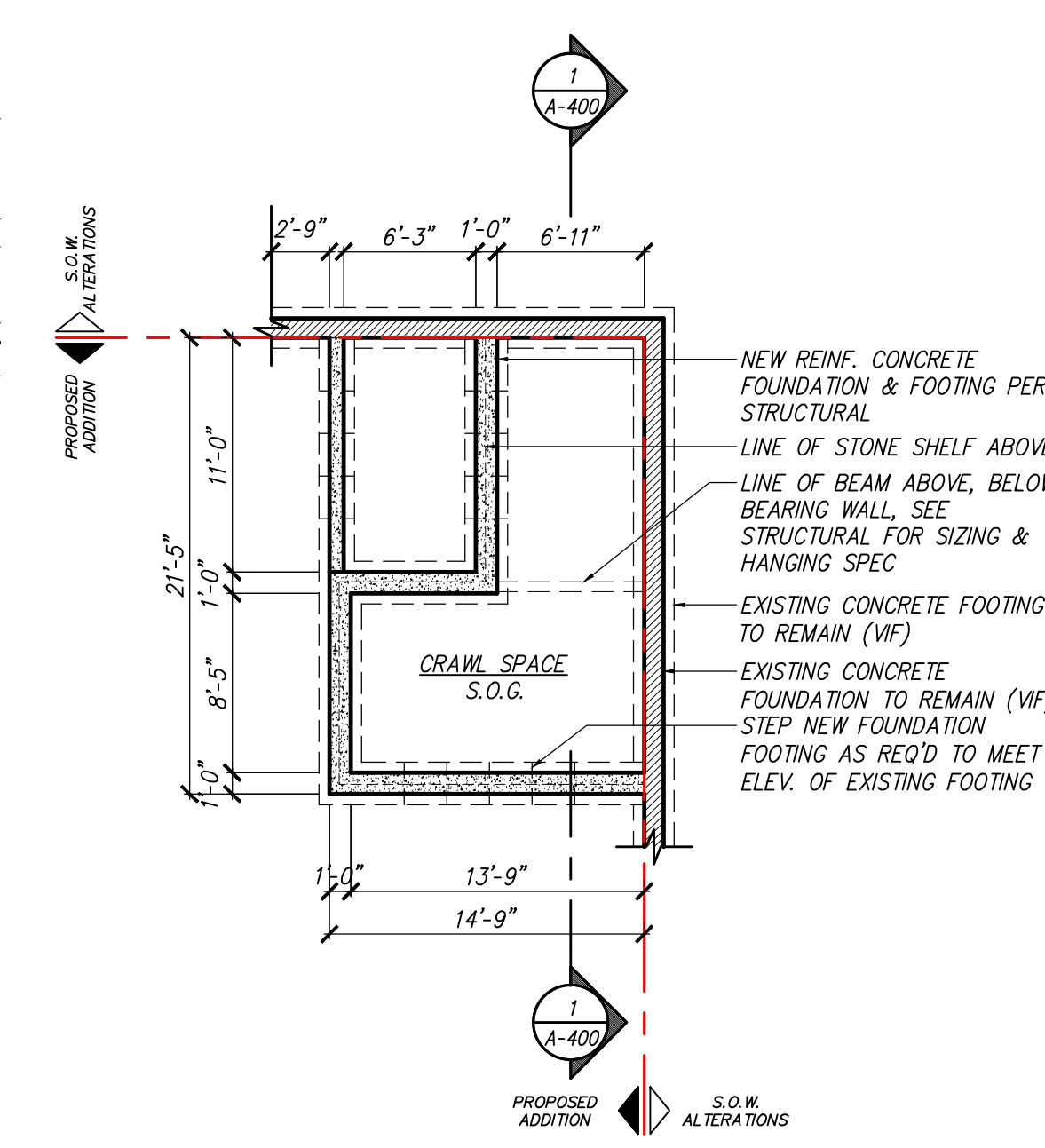
**2 PROPOSED SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



**4 PROP. FOUND. PLAN @ BUNK ROOM**  
 SCALE: 1/8" = 1'-0"



**1 PROPOSED FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



**3 PROP. FOUND. PLAN @ PANTRY**  
 SCALE: 1/8" = 1'-0"

**59 TWEED BOULEVARD**

| No. | REMARKS        | DATE      |
|-----|----------------|-----------|
| 1   | PLANNING BOARD | 11/3/2023 |
|     | PLANNING BOARD | 2/15/2024 |

PROJECT:  
**RESIDENCE**  
 59 TWEED BOULEVARD  
 ORANGEBURG, NY 10960



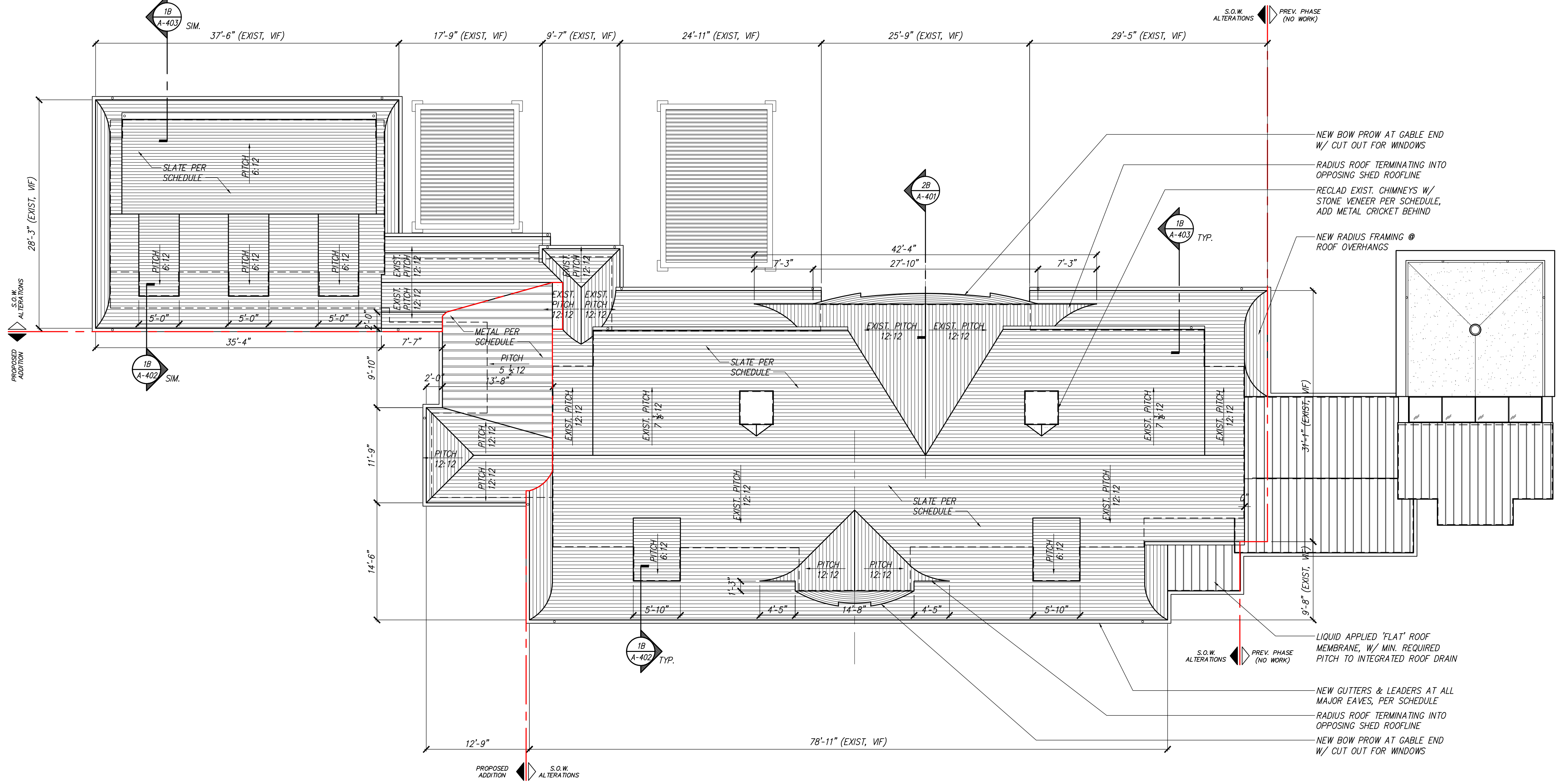
PROPOSED  
**FIRST & SECOND FLOOR PLANS**

DATE:  
 PROJECT No.: 20017  
 DRAWING BY: CO  
 CHK BY: RP  
 DWG No.: A-201

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY. G:\w\2007\1\Phase 2\2007L\_P3\_A210

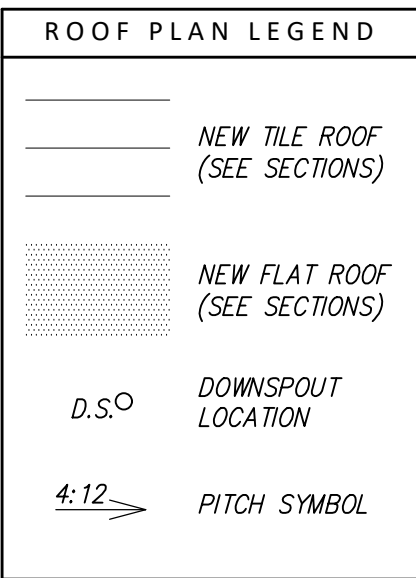


VERIFY ALL DIMENSIONS IN FIELD



**GENERAL ROOF & FLASHING NOTES**

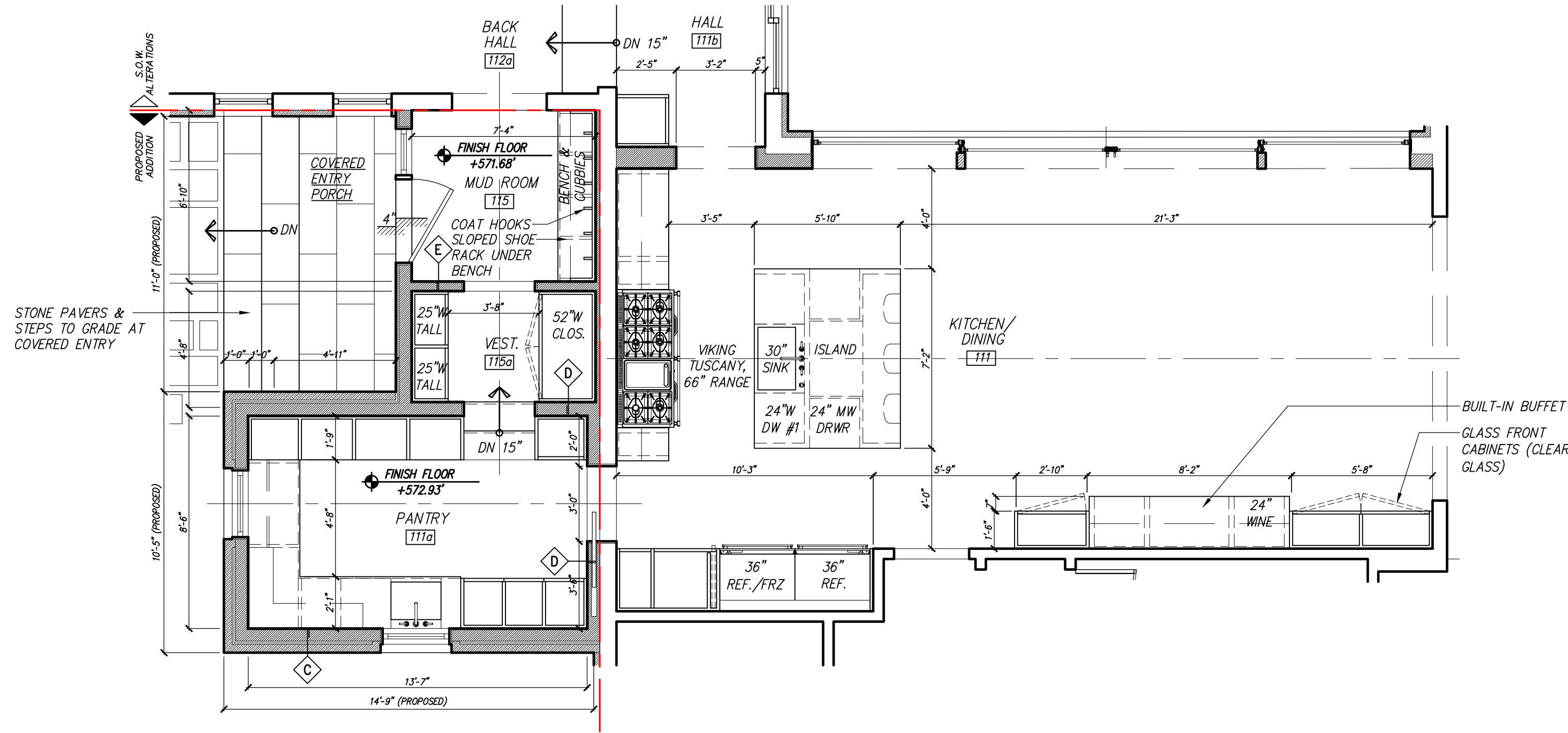
- INSTALL ROOF TILES (PER SCHEDULE) PER DETAILS & MANUFACTURER'S INSTRUCTIONS
- INSTALL PRE-FORMED COPPER RIDGE
- INSTALL ICE & WATER SHIELD MEMBRANE 8' UP FROM ALL EAVES, IN ALL VALLEY CONDITIONS, & OVER ENTIRE DORMER ROOFS
- AT ROOF TO WALL CONDITIONS, INSTALL ICE & WATER SHIELD MEMBRANE MIN. 18" VERTICALLY ONTO WALLS.
- INSTALL METAL DRIP EDGE FLASHING (PER SCHEDULE) AT ALL EAVES W/ METAL GUTTERS & LEADERS (PER SCHEDULE)
- INSTALL STEPPED THROUGH-WALL METAL FLASHING (PER SCHEDULE) AT CHIMNEY PENETRATIONS. FLASHING TO EXTEND MINIMUM 8" HORIZONTALLY ONTO ROOF
- PROVIDE LIGHTING PROTECTION AT HIGH POINTS OF ROOF & PER MANUFACTURER'S INSTRUCTIONS
- INSTALL KEMPER LIQUID APPLIED ROOF AT ALL FLAT ROOF LOCATIONS WHERE INDICATED



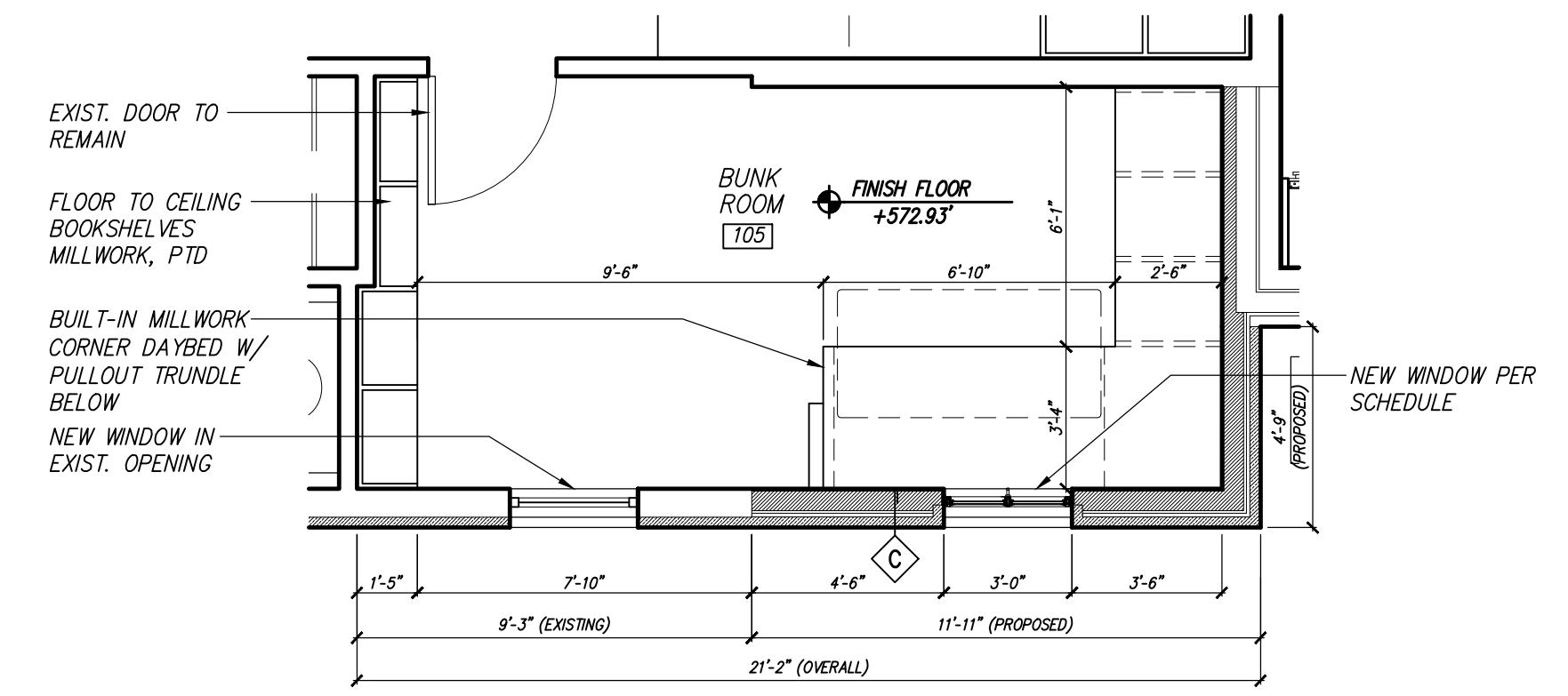
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212.260.0128

**59 TWEED BOULEVARD**

**1 PROPOSED ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**2 ENLARGED PLAN - MUD ROOM / PANTRY / KITCHEN / DINING**  
SCALE: 1/4" = 1'-0"



**3 ENLARGED PLAN - BUNK ROOM**  
SCALE: 1/4" = 1'-0"

| No. | REMARKS        | DATE      |
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PROJECT:  
**RESIDENCE**  
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**PROPOSED ROOF PLAN & ENLARGED PLANS**

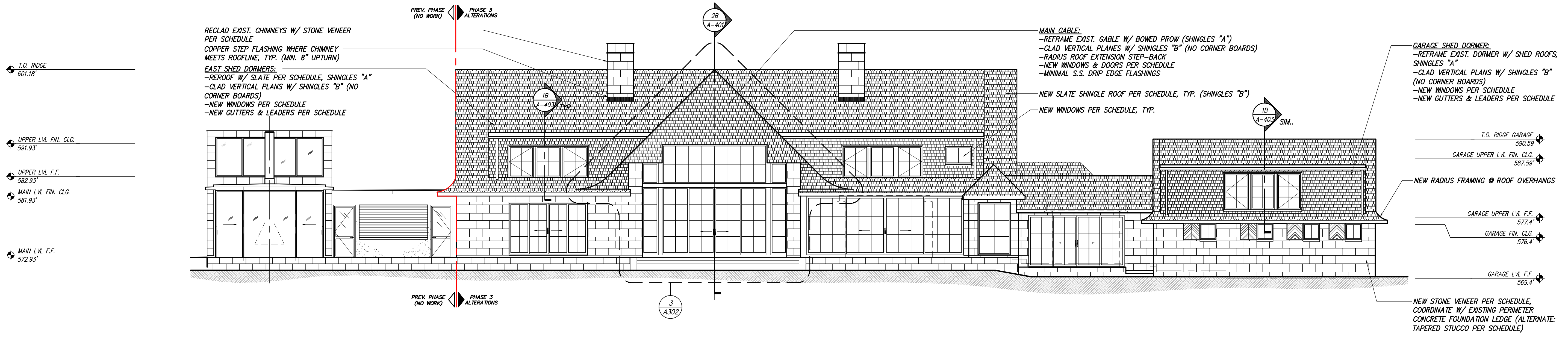
DATE:  
PROJECT No.: 20017  
DRAWING BY: CO  
CHK BY: RP  
DWG No.: A-202



VERIFY ALL DIMENSIONS IN FIELD



**1 PROP. WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 PROP. EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

| EXTERIOR FINISH SCHEDULE |  |                  |
|--------------------------|--|------------------|
| COMPONENT                | DESCRIPTION & COLOR  | MANUFACTURER     |
| SHINGLES A (ROOF)        | UNFADING SPANISH BLACK SLATE / 1/2" THICK  | GREENSTONE SLATE |
| SHINGLES B (SIDING)      | VERMONT CLEAR GRAY (SEMI-WEATHERING) / 1/2" THICK  | GREENSTONE SLATE |
| STONE VENEER             | CEPPO DI GRE / HEAVILY SANDBLASTED / 1 1/2" THICK / 24"W x VARYING HEIGHTS PER ELEVATIONS (15 1/4", 13 1/4", @ 3 1/4") | ABC STONE        |
| STUCCO (ALTERNATE)       | 3-COAT PORTLAND CEMENT STUCCO / 1" THICK / COLOR TBD   | -                |
| METAL ROOFING            | 16" WIDE TYPE 316 STAINLESS STEEL STANDING SEAM METAL  | -                |
| GUTTERS                  | CUSTOM BOX GUTTER / 6" STAINLESS STEEL   | -                |
| LEADERS                  | 3" ROUND STAINLESS STEEL   | -                |
| SNOW GUARDS              | COPPER   | -                |
| WINDOWS                  | STAINLESS STEEL / INSUL. IGU / TDL / CLEAR GLASS   | TISCHLER         |
| DOORS                    | MAHOGANY / CUSTOM PATTERN / STAINED / HARDWARE TBD   | TISCHLER         |
| GARAGE DOORS             | STAINLESS STEEL / FROST GLASS PANELS   | TISCHLER         |
| SHUTTERS                 | MAHOGANY / CUSTOM PATTERN / PTD. / HARDWARE TBD  | TIMBERLANE       |
| PAVERS                   | MAHOGANY / CUSTOM PATTERN / PTD. / HARDWARE  | -                |

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ORANGEBURG, NY 10960



PROPOSED  
WEST & EAST  
ELEVATIONS

DATE:  
PROJECT No.: 20017  
DRAWING BY: CO  
CHK BY: RP

DWG No.:  
**A-301**

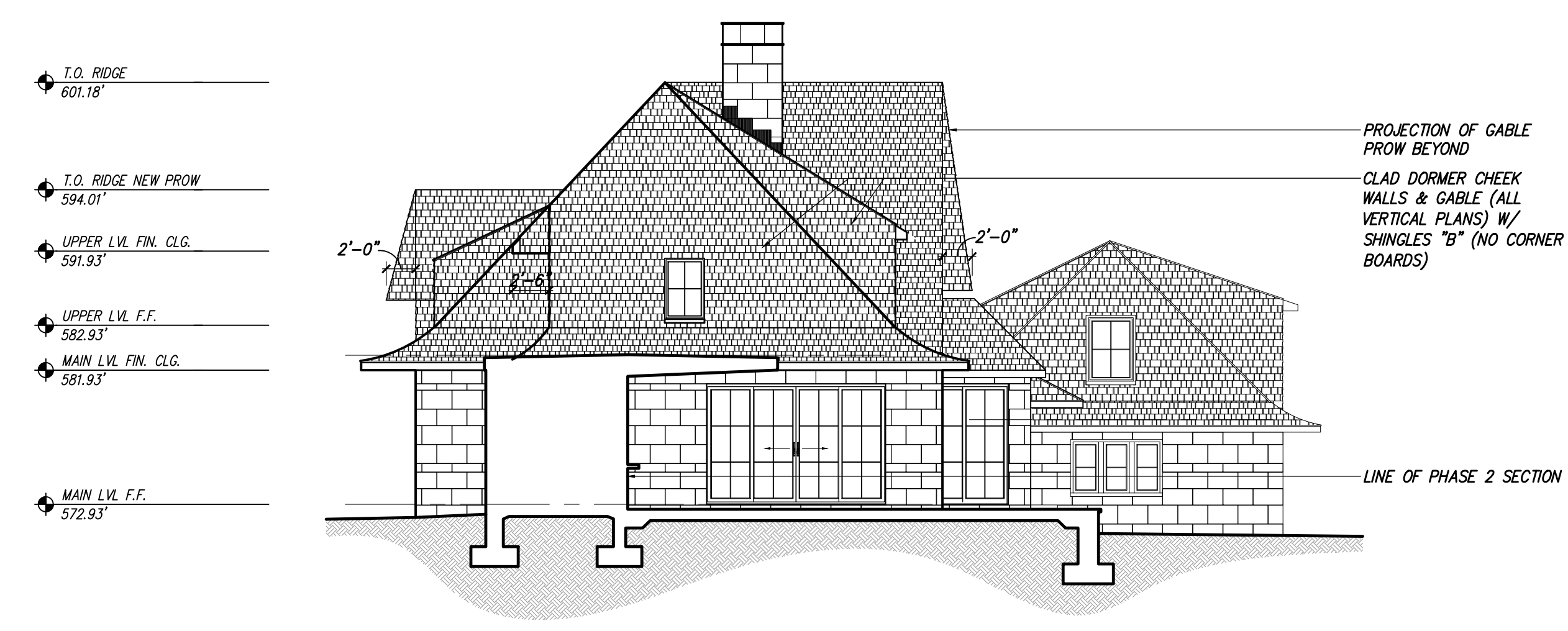


**NOTE:**  
SEE A-301 FOR EXTERIOR FINISH & MATERIALS SCHEDULE, & ADDITIONAL TYPICAL ELEVATION NOTES.

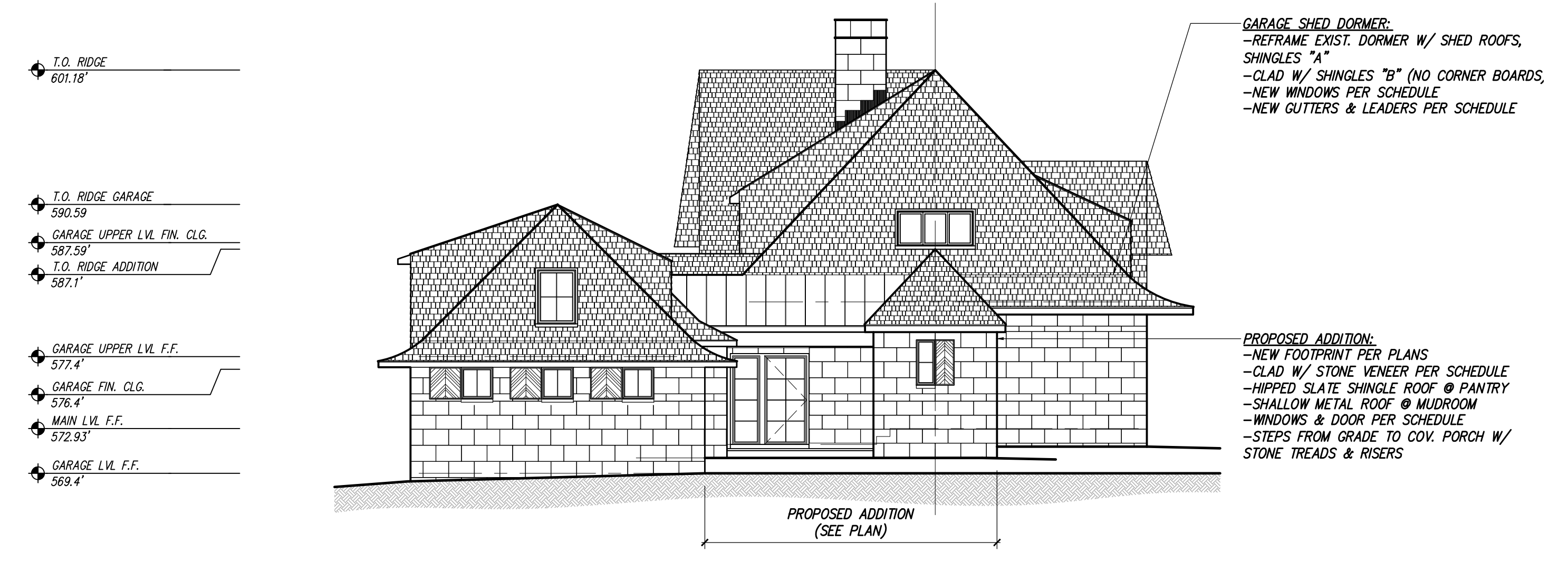
**KLIGERMAN ARCHITECTURE & DESIGN**

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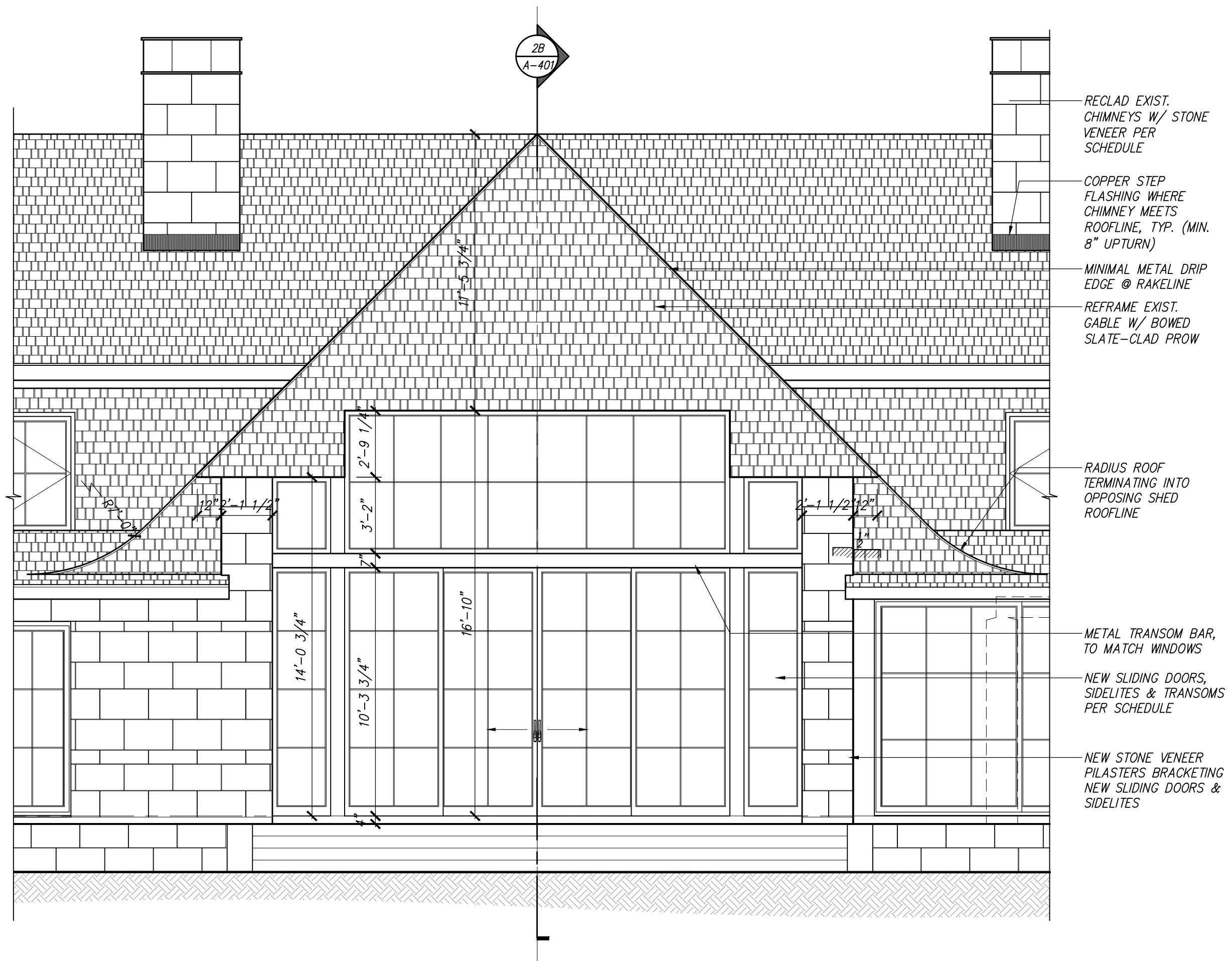
**59 TWEED BOULEVARD**



**1 PROP. SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 PROP. NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 DETAIL ELEVATION @ EAST GABLE**  
SCALE: 1/4" = 1'-0"

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|     | PLANNING BOARD | 2/15/2024 |

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ORANGEBURG, NY 10960

SEAL & SIGNATURE:

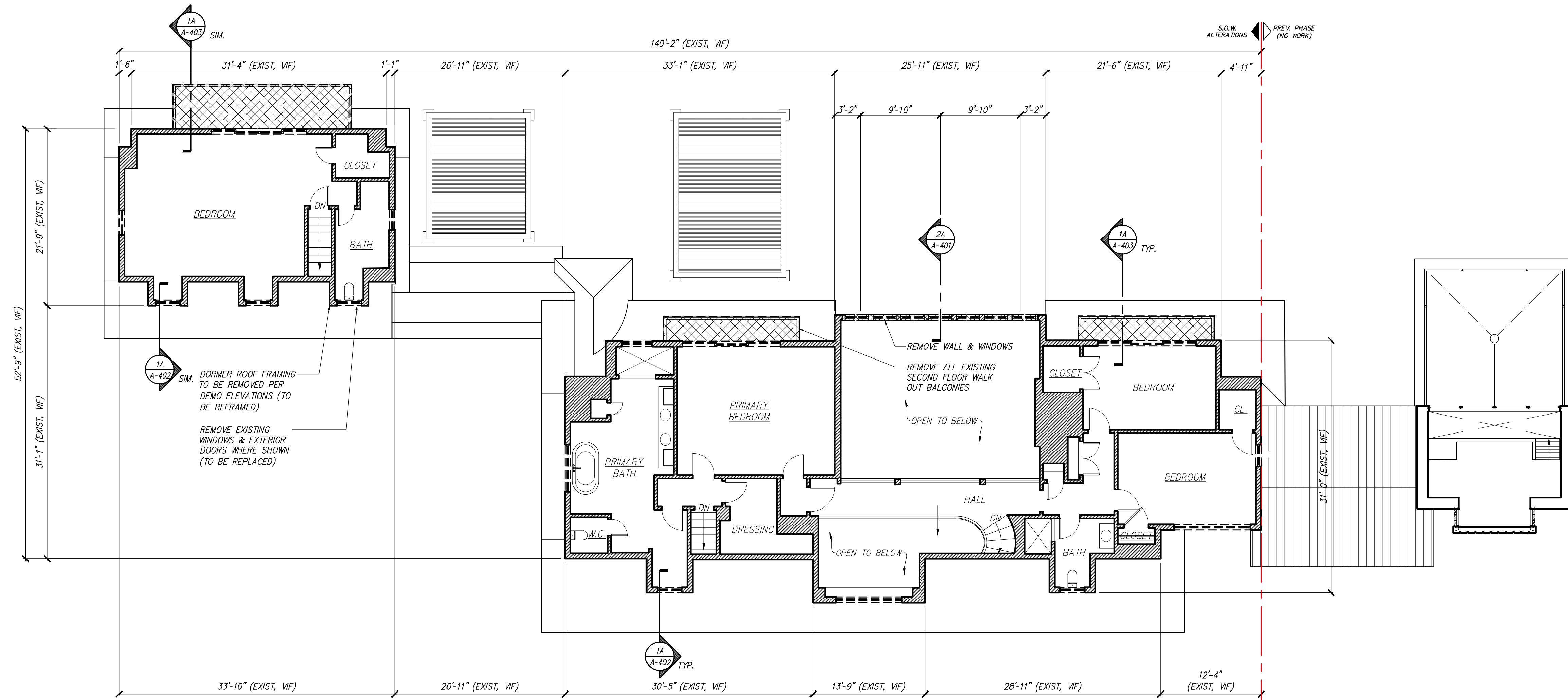
PROPOSED SOUTH, NORTH & DETAIL ELEVATIONS

DATE:  
PROJECT No.: 20017  
DRAWING BY: CO  
CHK BY: RP  
DWG No.:

**A-302**



VERIFY ALL DIMENSIONS IN FIELD

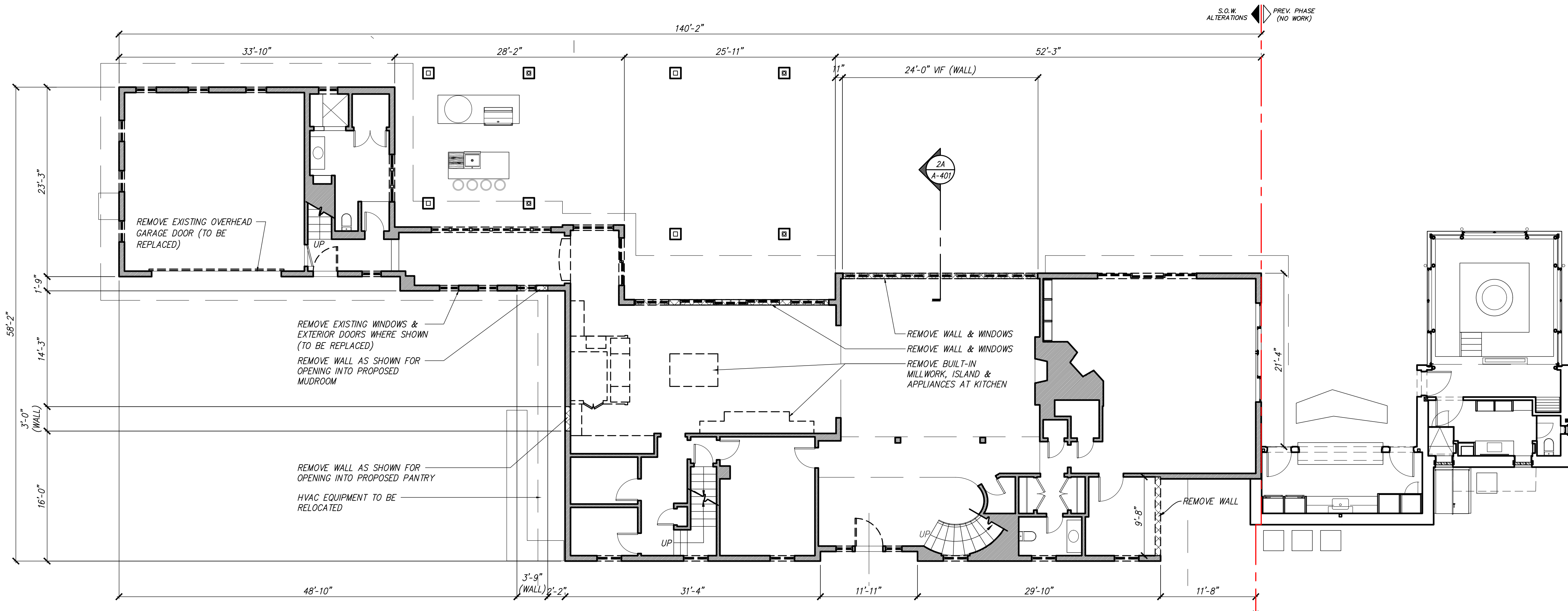


**DEMOLITION LEGEND**

- ELEMENT TO BE DEMOLISHED
- AREA TO BE DEMOLISHED
- EXISTING WALLS TO REMAIN

- GENERAL DEMOLITION NOTES**
- ALL WINDOWS & DOORS WHERE SHOWN TO BE REMOVED, AND EXISTING OPENINGS TO BE PREPARED FOR REPLACEMENT UNITS PER SCHEDULE
  - EXISTING ROOFING TO BE REMOVED DOWN TO SHEATHING. RAKE OVERHANGS AND DORMER ROOF FRAMING TO BE REMOVED PER EXTERIOR ELEVATIONS
  - CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL AS INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, AND IN A SYSTEMATIC MANNER.
  - ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
  - NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
  - THE SITE SHALL BE LEFT BROOM SWEEP CLEAN AT THE COMPLETION OF DEMOLITION.
  - THE CONTRACTOR SHALL REMOVE ALL EXISTING EXTERIOR FINISHES, SHINGLES, MOISTURE PROTECTION, INSULATION, FLASHING AND REPLACE WITH NEW AS SPECIFIED.
  - ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF THE NEW YORK STATE AND VILLAGE OF SAGAPONACK BUILDING AND LOCAL CODES.
  - THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY PARTITIONS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPARTMENT OF BUILDING RULES AND REGULATIONS.
  - THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
  - CONTRACTOR TO VERIFY IN THE FIELD AND REPORT DISCREPANCIES TO THE ARCHITECT. DEMOLITION DRAWINGS ARE APPROXIMATE AND NOT LIMITED TO THE AREAS SHOWN. FIELD OBSERVATION IS REQUIRED BY THE CONTRACTOR TO DETERMINE THE EXTENT OF THE DEMOLITION WORK.
  - CONTRACTOR IS TO COORDINATE WITH OTHER TRADES FOR EXTEND WITH DEMOLITION WORK, SALVAGING AND PROTECTION OF EXISTING AND NEW WORK TO BE PERFORMED.
  - THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.
  - REFER TO STRUCTURAL, ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK. REFER TO ARCHITECTS DRAWINGS FOR THE EXTENT OF NEW WORK.

**2 EXISTING SECOND FLOOR PLAN WITH DEMOLITION**  
SCALE: 1/8" = 1'-0"



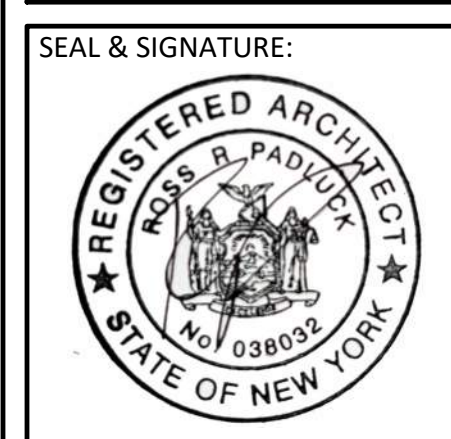
**1 EXISTING FIRST FLOOR PLAN WITH DEMOLITION**  
SCALE: 1/8" = 1'-0"

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212.260.0128

**59 TWEED BOULEVARD**

| No. | REMARKS        | DATE      |
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| 1   | PLANNING BOARD | 11/3/2023 |
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**FIRST & SECOND FLOOR DEMO PLANS**

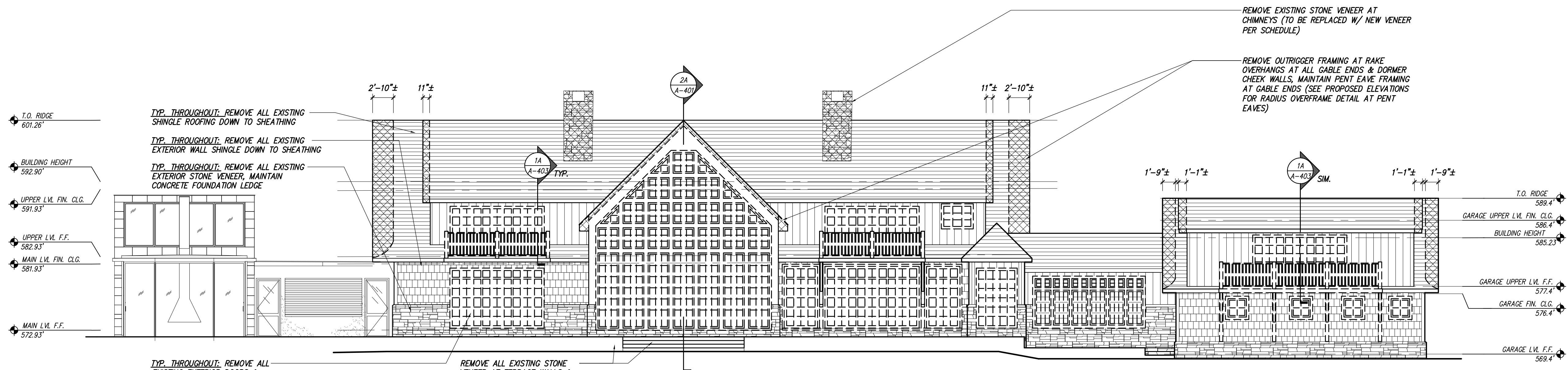
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PROJECT No.: 20017  
**DRAWING BY:** CO  
**CHK BY:** RP  
**DWG No.:**

**D-200**

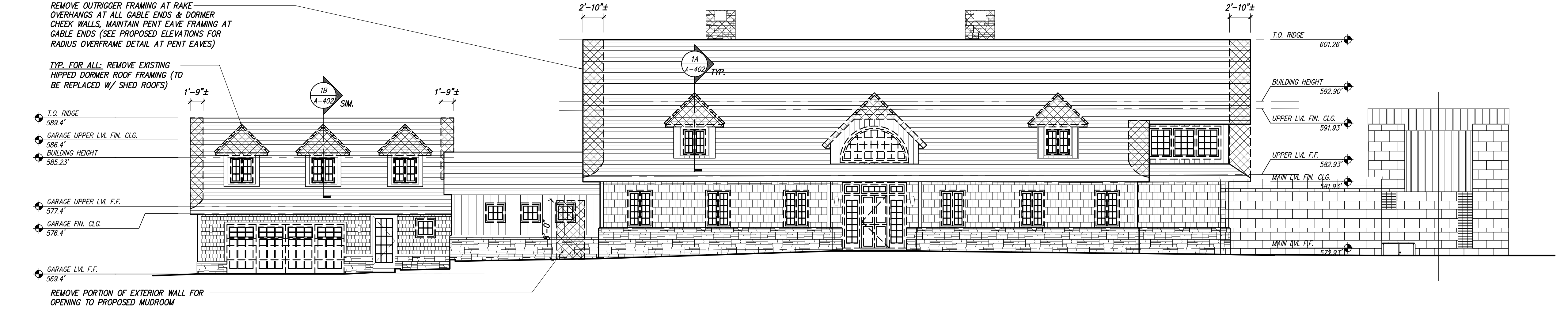
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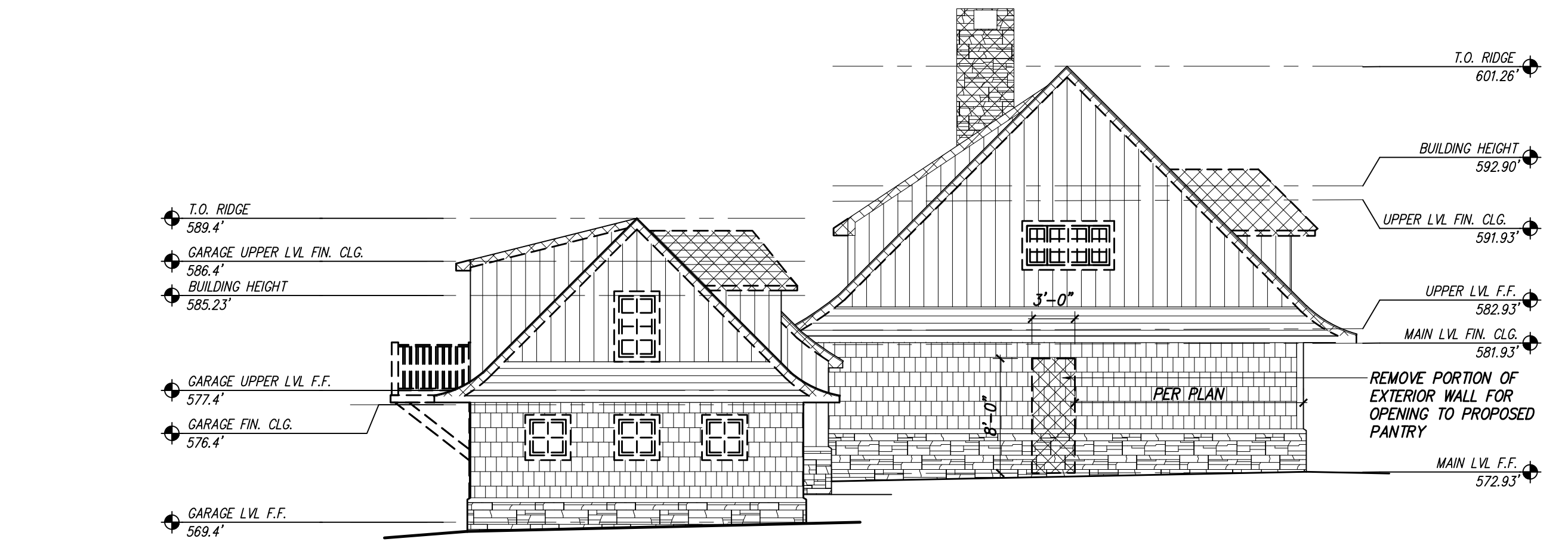
VERIFY ALL DIMENSIONS IN FIELD



1 EXISTING EAST ELEVATION  
SCALE: 1/8" = 1'-0"



2 EXISTING WEST ELEVATION  
SCALE: 1/8" = 1'-0"



3 EXISTING NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



4 EXISTING SOUTH ELEVATION WITH DEMOLITION  
SCALE: 1/8" = 1'-0"

**DEMOLITION LEGEND**

|  |                          |
|--|--------------------------|
|  | ELEMENT TO BE DEMOLISHED |
|  | AREA TO BE DEMOLISHED    |

- GENERAL DEMOLITION NOTES**
- ALL WINDOWS & DOORS WHERE SHOWN TO BE REMOVED, AND EXISTING OPENINGS TO BE PREPPED FOR REPLACEMENT UNITS PER SCHEDULE
  - EXISTING ROOFING TO BE REMOVED DOWN TO SHEATHING. RAKE OVERHANGS AND DORMER ROOF FRAMING TO BE REMOVED PER EXTERIOR ELEVATIONS
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  - REFER TO STRUCTURAL, ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK. REFER TO ARCHITECTS DRAWINGS FOR THE EXTENT OF NEW WORK.

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500 FIFTH AVENUE, 45TH FLOOR  
NEW YORK, NEW YORK 10110  
212.260.0128

**59 TWEED BOULEVARD**

| No. | REMARKS        | DATE      |
|-----|----------------|-----------|
| 1   | PLANNING BOARD | 11/3/2023 |
|     | PLANNING BOARD | 2/15/2024 |

PROJECT:  
**RESIDENCE**  
59 TWEED BOULEVARD  
ORANGEBURG, NY 10960



**DEMOLITION ELEVATIONS**

DATE:  
PROJECT No.: 20017  
DRAWING BY: CO  
CHK BY: RP  
DWG No.:

**D-300**

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY. G:\dwg\2007\1\Phase 2\2007L\_P3\_D300





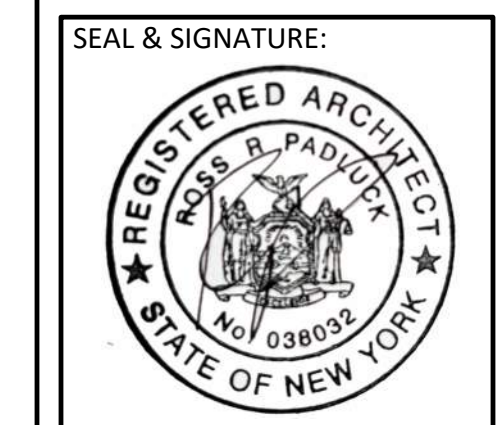
**KLIGERMAN  
ARCHITECTURE  
& DESIGN**

500 FIFTH AVENUE, 45TH FLOOR  
NEW YORK, NEW YORK 10110  
212 260 0128

59  
TWEED BOULEVARD

| No. | REMARKS        | DATE      |
|-----|----------------|-----------|
| 1   | PLANNING BOARD | 11/3/2023 |
|     | PLANNING BOARD | 2/15/2024 |
|     |                |           |
|     |                |           |
|     |                |           |
|     |                |           |

PROJECT:  
**RESIDENCE**  
59 TWEED BOULEVARD  
ORANGEBURG, NY 10960



EXTERIOR VIEW  
WEST FACADE

DATE:

PROJECT No.: 20017

DRAWING BY: CO

CHK BY: RP

DWG No.:

**EV-001**



VERIFY ALL DIMENSIONS IN FIELD



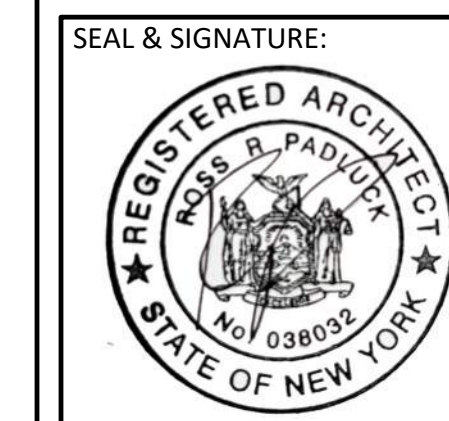
**KLIGERMAN  
ARCHITECTURE  
& DESIGN**

500 FIFTH AVENUE, 45TH FLOOR  
NEW YORK, NEW YORK 10110  
212 260 0128

59  
TWEED BOULEVARD

| No. | REMARKS        | DATE      |
|-----|----------------|-----------|
| 1   | PLANNING BOARD | 11/3/2023 |
|     | PLANNING BOARD | 2/15/2024 |
|     |                |           |
|     |                |           |
|     |                |           |
|     |                |           |

PROJECT:  
**RESIDENCE**  
 59 TWEED BOULEVARD  
 ORANGEBURG, NY 10960



EXTERIOR VIEW  
WEST FACADE

DATE:  
 PROJECT No.: 20017  
 DRAWING BY: CO  
 CHK BY: RP

DWG No.:  
**EV-002**

# -





59  
TWEED BOULEVARD

| No. | REMARKS        | DATE      |
|-----|----------------|-----------|
| 1   | PLANNING BOARD | 11/3/2023 |
|     | PLANNING BOARD | 2/15/2024 |
|     |                |           |
|     |                |           |
|     |                |           |
|     |                |           |

PROJECT:  
**RESIDENCE**  
59 TWEED BOULEVARD  
ORANGEBURG, NY 10960



EXTERIOR VIEW  
NORTH FACADE

DATE:  
PROJECT No.: 20017  
DRAWING BY: CO  
CHK BY: RP

DWG No.:  
**EV-003**





**59  
TWEED BOULEVARD**

| No. | REMARKS        | DATE      |
|-----|----------------|-----------|
| 1   | PLANNING BOARD | 11/3/2023 |
|     | PLANNING BOARD | 2/15/2024 |
|     |                |           |
|     |                |           |
|     |                |           |
|     |                |           |

PROJECT:  
**RESIDENCE**  
59 TWEED BOULEVARD  
ORANGEBURG, NY 10960



**EXTERIOR VIEW  
EAST FACADE**

DATE:  
PROJECT No.: 20017  
DRAWING BY: CO  
CHK BY: RP  
DWG No.:  
**EV-004**



# PROJECT NAME: 59 TWEED BOULEVARD

PROJECT ARCHITECT: KLIGERMAN ARCHITECTURE & DESIGN  
 CIVIL ENGINEER: DOMINICK R. PILLA ASSOCIATES PC

PROJECT ADDRESS: 59 TWEED BOULEVARD, NYACK, NY 10965

ISSUED: FOR BUILDING PERMIT

## CIVIL PLANS-PHASE 3 SITE PLAN

DATE: 02/15/2024

**KLIGERMAN  
ARCHITECTURE  
& DESIGN**

500 FIFTH AVENUE, 45TH FLOOR  
 NEW YORK, NEW YORK 10110  
 212.260.0128

**DRPILLA  
CONSULTING ENGINEERS**  
 - DOMINICK R. PILLA ASSOCIATES -  
 845.727.7793 212.224.9520  
 143 Main Street 5 Columbus Circle  
 Nyack, NY 10960 11th Fl  
 @drpilla.com New York, NY 10019

59 TWEED BOULEVARD

| INDEX OF DRAWINGS |       |            |  |
|-------------------|-------|------------|--|
| PAGE #            | DWG # | REVISION # | DRAWING TITLE                              |
| 1                 | C-001 | 00         | TITLE SHEET                                |
| 2                 | C-002 | 00         | GENERAL NOTES                              |
| 3                 | C-100 | 00         | EXISTING AND PREVIOUSLY APPROVED SITE PLAN |
| 4                 | C-110 | 00         | PROPOSED SITE PLAN                         |
| 5                 | C-120 | 00         | PROPOSED DETENTION SYSTEM                  |
| 6                 | C-130 | 00         | SOIL EROSION AND SEDIMENT CONTROL PLAN     |
| 7                 | C-200 | 00         | SOIL EROSION AND SEDIMENT CONTROL DETAILS  |

**PROPERTY INFORMATION:**

ADDRESS: 59 TWEED BOULEVARD, NYACK, NY 10965  
 SECTION: 71.13  
 BLOCK: 1  
 LOT: 40  
 LOT AREA: 47,906 SQFT

ZONING DISTRICT: R-22  
 SCHOOL DISTRICT: SOUTH ORANGETOWN CENTRAL DISTRICT 1  
 FIRE DISTRICT: BLAUVELT  
 WATER DISTRICT: VEOLIA  
 SEWER DISTRICT: ORANGETOWN SEWER DISTRICT  
 LIGHTING DISTRICT: ORANGETOWN

NEW IMPERV. COVERAGE: 361 SQFT  
 AREA OF DISTURBANCE: 889 SQFT

**PHASE 3 SCOPE OF WORK:**

NEW ROOF AREA AT SOUTHWEST CORNER OF HOUSE PROVIDES NO NEW IMPERVIOUS COVERAGE. NEW ROOF AREA AND PAVED AREA AT NORTHWEST CORNER OF HOUSE ADDS 361 SQFT OF NEW IMPERVIOUS COVERAGE. PREVIOUSLY APPROVED PERMAVOID ZONE 1 AND ZONE 2 HAVE BEEN UPDATED TO DRYWELLS (SEE PAA#1 DATED 02/02/2024). DRYWELL ZONE 1 IS LARGE ENOUGH TO ACCOMMODATE ADDED COVERAGE AT THE NORTHWEST CORNER OF THE HOUSE. SEE PAA#1 DATED 02/02/2024 FOR STORMWATER PROFILES AND DRYWELL DETAILS.

| LEGEND |   | ABBREVIATION |  |
|--------|---|--------------|--|
|        | SECTION #   | AESS         | ARCHITECTURALLY EXPOSED STRUCTURAL STEEL       |
|        | DETAIL #  | B            | BOTTOM REINFORCEMENT                           |
|        | SECTION OR DETAIL #                                       | BOC          | BOTTOM OF CURB                                 |
|        | TITLE   | BM           | BEAM   |
|        | IF SHOWN POINT TO SHEET WHERE SECTION OR DETAIL WAS TAKEN | BS           | BOTH SIDES                                     |
|        |   | BU           | BUILT UP MEMBER                                |
|        |   | C            | COMPRESSION FORCE IN KIPS                      |
|        |   | CANT.        | CANTILEVER                                     |
|        |   | CL           | CENTER LINE                                    |
|        |   | CG           | CENTER OF GRAVITY                              |
|        |   | COL          | COLUMN   |
|        |   | CONT         | CONTINUOUS                                     |
|        |   | COMP LAP     | COMPRESSION REINF LAP SLICE                    |
|        |   | CP           | COMPLYR PENETRATION ERF                        |
|        |   | DB           | FISMRYRT OF REINFORCEMENT BAR                  |
|        |   | DEL          | DELTA OR CHANGE IN ELEVATION                   |
|        |   | (E)          | EXISTING CONSTRUCTION                          |
|        |   | EF           | EACH FACE                                      |
|        |   | EL           | ELEVATION                                      |
|        |   | EW           | EACH WAY                                       |
|        |   | F            | FINISHED SURFACE                               |
|        |   | GB           | GRADE BEAM                                     |
|        |   | H            | HORIZONTAL REINFORCEMENT                       |
|        |   | H            | HORIZONTAL FORCE IN KIPS                       |
|        |   | JLJ2         | NEW CODE FORMED STEEL JOISTS                   |
|        |   | LAP          | FULL TENSION CAPACITY LAP SPLICE               |
|        |   | LD           | TENSION DEVELOPMENT LENGTH FOR REINFORCINGBARS |
|        |   | LDC          | COMPRESSION SPLICE LENGTH FOR REINFORCE BARS   |
|        |   | LLBB         | LONG LEGS BACK-TO-BACK                         |
|        |   | LW           | LIGHTWEIGHT CONCRETE                           |
|        |   | M            | BENING MOMENT IN FOOT-KIPS                     |
|        |   | MC           | MOMENT CONNECTION SHOWN ON DRAWING             |
|        |   | MIN          | MINIMUM  |
|        |   | (N)          | NEW CONSTRUCTION                               |
|        |   | N            | BEARING BOLTS THREADS INCLUDED IN SHEAR PLANE  |
|        |   | NTS          | NOT TO SCALE                                   |
|        |   | OC           | ON CENTER                                      |
|        |   | PC           | PILE CAP                                       |
|        |   | PL           | PLATE  |
|        |   | PP           | PARTIAL PENETRATION WELD                       |
|        |   | PEOP         | PROPERTY LINE                                  |
|        |   | SAD          | SEE ARCHITECTURAL DRAWINGS/DETAILS             |
|        |   | SL,S2        | SLAB ON DECK TYPE                              |
|        |   | SC           | SLIP CRITICAL BOLT                             |
|        |   | SIM          | SIMILAR  |
|        |   | T            | TENSION FORCE IN KIPS                          |
|        |   | T            | THICKNESS                                      |
|        |   | T            | TOP REINFORCEMENT                              |
|        |   | TBC          | TO BE CONFIRMED                                |
|        |   | TOC          | TOP OF CURB                                    |
|        |   | TOF          | TOP OF FOOTING                                 |
|        |   | TOS          | TOP OF STEEL                                   |
|        |   | TYP          | TYPICAL  |
|        |   | UNO,UON      | UNLESS OTHERWISE NOTED                         |
|        |   | M            | VERTICAL REINFORCEMENT                         |
|        |   | V            | VERTICAL BEAM END REACTION IN KIPS             |
|        |   | VIF          | VERIFY IN FIELD                                |
|        |   | WP           | WORKPOINT                                      |
|        |   | WWF          | WELDED WIRE FABRIC                             |

**CONSTRUCTION NOTES:**

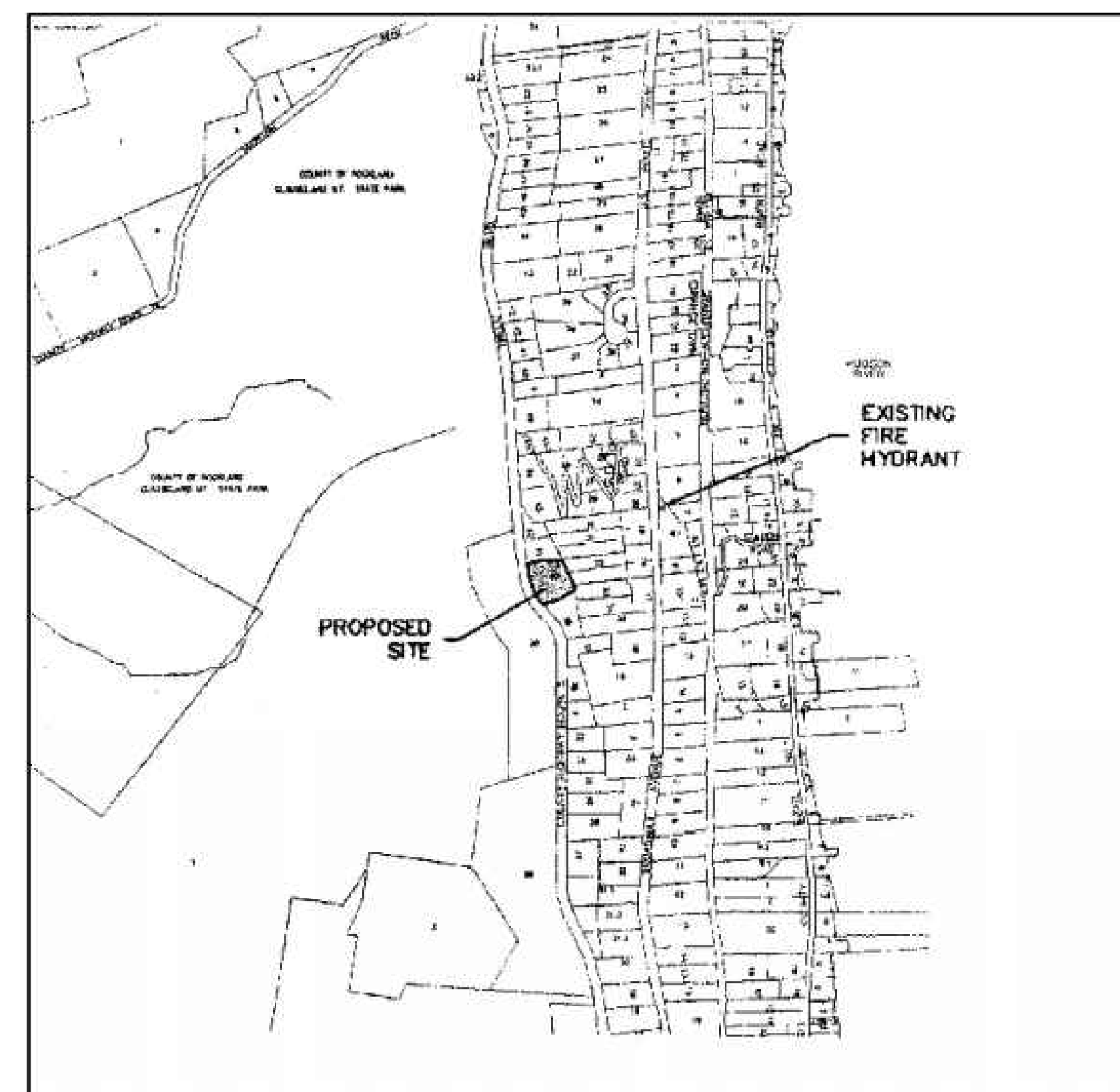
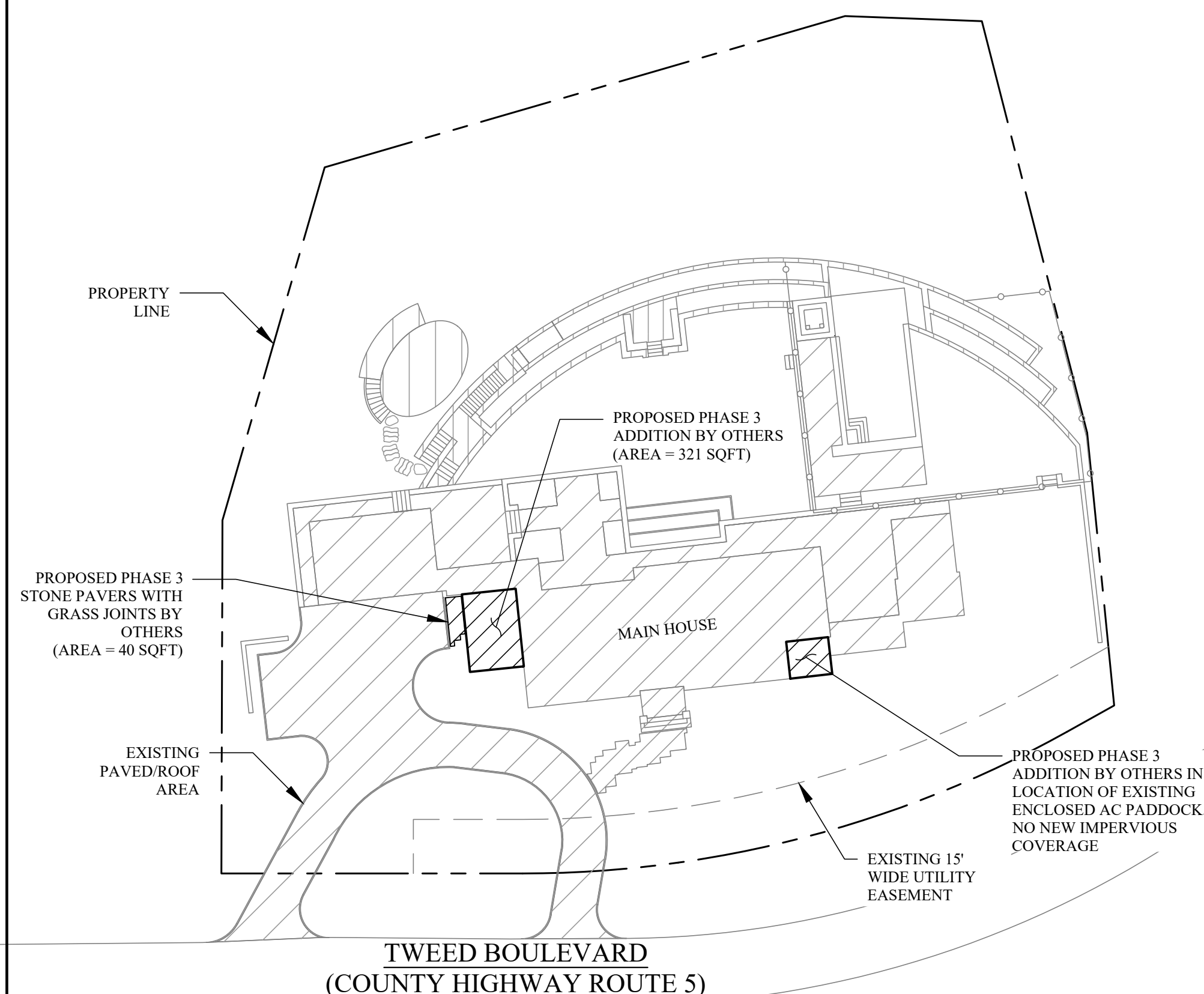
- ANY EXISTING UTILITIES AND UNDERGROUND STRUCTURES SHOWN ON THE PLAN ARE BASED UPON THE BEST AVAILABLE PUBLIC RECORDS, PRIVATE RECORDS AS SUPPLIED BY THE OWNER, OR DATA OBTAINED VERBALLY FROM OWNERS OR OFFICIALS FAMILIAR WITH THE PROJECT SITE. NEITHER THE OWNER NOR THE ENGINEER GUARANTEE ACCURACY OR COMPLETENESS OF THIS INFORMATION AND ASSUME NO RESPONSIBILITY FOR IMPROPER LOCATIONS ON THE CONSTRUCTION PLANS. OTHER UNDERGROUND FACILITIES NOT SHOWN ON THE DRAWINGS MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL INVERT ELEVATIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- IF CHANGED CONDITIONS ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF EITHER (1) PREEXISTING SUBSURFACE CONDITIONS DIFFERING FROM THOSE INDICATED IN THE PLANS, OR (2) PREEXISTING UNKNOWN SUBSURFACE CONDITIONS OF AN UNUSUAL NATURE, DIFFERING MATERIALLY FROM THOSE ORIGINALLY ENCOUNTERED AND GENERALLY RECOGNIZED AS INHERENT IN THE CHARACTER OF THE WORK PROVIDED FOR IN THE CONTRACT. THE CONTRACTOR AND/OR OWNER SHALL MAKE NO CLAIMS TO THE ENGINEER FOR RECOMPENSATION FOR EXTRA WORK RESULTING FROM CHANGED CONDITIONS UNLESS THE ENGINEER HAS APPROVED THE WORK IN WRITING.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND APPROVED CITY ORDINANCES AND SHALL POST SUCH DOCUMENTS AT VISIBLE LOCATIONS AND MAINTAIN UPDATED DOCUMENTATION ACCORDINGLY.
- CONTRACTOR SHALL CALL THE UTILITIES UNDERGROUND LOCATION CENTER FOR FIELD LOCATIONS OF ALL UTILITIES AND SHALL NOT BEGIN EXCAVATION UNTIL ALL KNOWN UNDERGROUND FACILITIES IN THE VICINITY OF THE PROPOSED WORK HAVE BEEN LOCATED AND MARKED. IF THE UTILITY IS NOT A SUBSCRIBER OF THE UTILITIES UNDERGROUND LOCATION CENTER, THEN THE CONTRACTOR SHALL GIVE NOTICE TO THAT UTILITY.
- THE CONTRACTOR IS RESPONSIBLE FOR REVIEW OF ALL INFORMATION PROVIDED BY UTILITY PURVEYORS, AND CITY OR STATE RECORDS RELATED TO THE EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR AVOIDING DAMAGE TO THESE FACILITIES AND SHALL RESTORE ALL UTILITIES AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL NOTIFY ALL UTILITY SERVICES FOR TEMPORARY SHUT OFF AS REQUIRED. CONTRACTOR SHALL MAINTAIN AND PROTECT SERVICES AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
- NO PUBLIC WAYS OR WALKS MAY BE OBSTRUCTED WITHOUT THE WRITTEN PERMISSION OF GOVERNING AUTHORITIES AND OF THE OWNER. WHERE ROUTES ARE PERMITTED TO BE CLOSED, PROVIDE ALTERNATE ROUTES AND SIGNAGE IF REQUIRED.
- WET DEBRIS WITH WATER AS NECESSARY TO LIMIT DUST TO LOWEST PRACTICAL LEVEL. DO NOT WET TO THE EXTENT OF FLOODING, CONTAMINATED RUNOFF, OR ICING.
- ANY PORTIONS OF PAVEMENT TO BE REMOVED MUST BE SEPARATED BY MAKING A NEAT VERTICAL SAW CUT ALONG THE BOUNDARIES OF THE AREA TO BE REMOVED. MAKE CUTS AT CLOSEST PAVING JOINT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT, AND SERVICES TO PROPERLY EXECUTE THE DEMOLITION AND REMOVAL WORK INDICATED ON THESE CONSTRUCTION DOCUMENTS
- ALL DEMOLITION WORK SHALL BE PERFORMED WITH MINIMUM DAMAGE TO THE EXISTING WORK TO REMAIN. IT SHALL BE RECOGNIZED THAT THE UTMOST CARE BE TAKEN WHEN PERFORMING THE DEMOLITION WORK. PROVIDE BARRICADES, BARRIERS, AND SHORING WHERE REQUIRED TO PROTECT THE PUBLIC, PERSONNEL, CONSTRUCTION, AND VEGETATION TO REMAIN. COMPLY WITH ALL STATE AND LOCAL AGENCY REQUIREMENTS.
- PROVISIONS SHALL BE MADE TO ALLEVIATE THE SPREAD OF DEBRIS, DIRT, AND DUST TO THE ADJACENT PROPERTIES. THE PROPERTY SHALL BE KEPT AS CLEAN AS POSSIBLE AT ALL TIMES. MAINTAIN HAULING ROUTES CLEAN AND FREE OF ANY DEBRIS RESULTING FROM DEMOLITION WORK ON THIS PROJECT. ANY HAZARDOUS MATERIAL REMOVAL, SUCH AS ASBESTOS REMOVAL, SHALL BE PERFORMED PRIOR TO ANY DEMOLITION ACTIVITY. THE HAZARDOUS MATERIAL REMOVAL SHALL BE PERFORMED BY A LICENSED ABATEMENT COMPANY.
- THE REFUSE RESULTING FROM ANY CLEARING AND GRUBBING AND ALL DEBRIS AND MATERIALS FROM ANY STRUCTURE(S) TO BE DEMOLISHED SHALL BE DISPOSED OF BY THE CONTRACTOR IN A MANNER CONSISTENT WITH ALL GOVERNMENT REGULATIONS. IN NO CASE SHALL REFUSE MATERIAL BE LEFT ON THE PROJECT SITE, PUSHED ONTO ADJUTING PRIVATE PROPERTIES, OR BE BURIED IN EMBANKMENTS OR TRENCHES ON THE PROJECT SITE. DEBRIS SHALL NOT BE DEPOSITED IN ANY STREAM, LAKE, WETLAND, BODY OF WATER, OR IN ANY STREET OR ALLEY, OR UPON ANY PRIVATE PROPERTY EXCEPT BY WRITTEN CONSENT OF THE PRIVATE PROPERTY OWNER. NO RECLAIMED LUMBER OR MATERIALS SHALL BE RE-USED EXCEPT AS SPECIFICALLY APPROVED BY THE ARCHITECT OR OWNER.
- WHERE DEMOLITION AND CUTTING WORK HAS OCCURRED OR WHERE EXISTING SURFACES, MATERIALS, OR OTHER ITEMS HAVE BEEN DAMAGED OR DISTURBED AS A RESULT OF THE CONTRACTED WORK, THE SAID SURFACES AND AREAS SHALL BE CAREFULLY CLOSED UP, PATCHED, REPAIRED, FINISHED, OR RESTORED AS REQUIRED TO BE CONTIGUOUS TO EXISTING SURROUNDING SURFACES.
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION, INCLUDING GAS LINE REMOVAL IS TO BE PERFORMED BY A CONTRACTOR OR SUB-CONTRACTOR LICENSED IN THE PARTICULAR TRADE.

**STORM WATER SYSTEM CLEANING AND MAINTENANCE:**

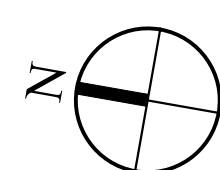
STORM WATER SYSTEM, INCLUDING ANY ROOF GUTTERS AND UNDERGROUND PIPING, SHOULD BE CLEANED OF LEAVES, SAND, DIRT, SEDIMENT, TRASH AND OTHER DEBRIS BY HAND OR BY VACTOR TRUCK. THE SYSTEM IS TO BE EVALUATED, CLEANED AND MAINTAINED AT LEAST TWO TIMES PER YEAR. SURFACE GRATES AND INTERIOR SUMPS SHOULD BE MAINTAINED TO FUNCTION AS ORIGINALLY DESIGNED. SEE MAINTENANCE PLAN ON FILE WITH BOTH THE PROPERTY OWNER AND THE LOCAL BUILDING DEPARTMENT FOR MORE DETAILS.

| ZONING ANALYSIS (ZONE R-22, USE GROUP 1, SINGLE FAMILY RESIDENCE) |          |                       |                      |                      |
|---|----------|-----------------------|----------------------|----------------------|
| USE GROUP 0   | REQUIRED | EXISTING              | PREVIOUSLY APPROVED  | PROPOSED             |
| LOT GROSS AREA (SQFT)   | 22,500   | 47,906                | 47,906               | 47,906               |
| AREAS WITH SLOPES > 25% (SQFT)                                    | -        | 15,625.80             | 15,625.80            | 15,625.80            |
| SLOPE DEDUCTION SLOPES > 25% (SQFT)                               | -        | 7,812.90              | 7,812.90             | 7,812.90             |
| NET AREA (SQFT)   | -        | 40,078.10             | 40,078.10            | 40,078.10            |
| FLOOR AREA RATIO  | 0.20     | 0.13 <sup>2</sup>     | 0.158 <sup>2</sup>   | 0.167 <sup>2</sup>   |
| LOT WIDTH (FT)  | 125      | 249.41                | 249.41               | 249.41               |
| STREET FRONTAGE (FT)  | 75       | 256.14                | 256.14               | 256.14               |
| FRONT YARD SETBACK (FT)   | 40       | 43.5                  | 40.6                 | 40.6                 |
| SIDE YARD (ONE) SETBACK (FT)                                      | 25       | 24.3                  | 24.3                 | 24.3                 |
| SIDE YARD (BOTH) SETBACK (FT)                                     | 60       | 100.7                 | 63.3                 | 63.3                 |
| REAR YARD SETBACK (FT)  | 45       | 98.6                  | 98.6                 | 98.6                 |
| BLDG. HEIGHT 9"/FT FROM LOT LINE                                  | 9"/FT    | 28'-10"<br>(7.95') FT | 19'-2"<br>(5.67') FT | 19'-2"<br>(5.67') FT |
|   |          | MAIN HOUSE            | POOL HOUSE           |                      |

<sup>1</sup> EXISTING NON-CONFORMING CONDITIONS  
<sup>2</sup> BASED ON FLOOR AREA OF 6,168 SQFT EXISTING, 7,587 PREVIOUSLY APPROVED, 8,027 PROPOSED, AND GROSS LOT AREA  
<sup>3</sup> ALLOWABLE BUILDING HEIGHT IS 9"/FT FROM LOT LINE (DSL)  
 EXISTING BUILDING IS 43.5' FROM DSL  
 EXISTING 9"/FT X 43.5" = 393.5" = 32.77'  
 EXISTING HEIGHT OF HOUSE 28'-10" = 346"/43.5" = 7.95 IN/FT  
 EXISTING APPROVED BUILDING IS 40.6' FROM DSL  
 PREVIOUSLY APPROVED 9"/FT X 40.6" = 365.4" = 30.45'  
 PREVIOUSLY APPROVED HEIGHT OF POOL HOUSE 19'-2" = 230"/40.6" = 5.67 IN/FT



**A** PLOT PLAN  
 SCALE: 1/32" = 1'-0"



**A** VICINITY MAP

| No. | REMARKS            | DATE       |
|-----|--------------------|------------|
| 1   | ISSUED FOR PRICING | 03.06.2023 |
| 2   | PRICING REV 1      | 03.20.2023 |
| 3   | ISSUED FOR PERMIT  | 02.15.2024 |
|     | PLANNING BOARD     | 2/15/2024  |

PROJECT:  
**RESIDENCE**  
 59 TWEED BOULEVARD  
 ORANGETOWN, NY 10960

SEAL & SIGNATURE:

TITLE SHEET

DATE: 02/15/2024  
 PROJECT No.: 21-077  
 DRAWING BY: JB  
 CHK BY: GF  
 DWG No.:

C-001.00



**GENERAL NOTES**

UNLESS OTHERWISE NOTED OR SHOWN ON THE CIVIL DRAWINGS, THE FOLLOWING REQUIREMENTS, TOGETHER WITH THE PROJECT PLANS, SPECIFICATIONS AND GEOTECHNICAL REPORT APPLY TO THE STRUCTURES IN THIS CONTRACT.

1. CONSTRUCTION IS TO COMPLY WITH THE REQUIREMENTS OF THE GOVERNING BUILDING CODE AND ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
2. THE CIVIL DOCUMENTS SHALL BE USED IN CONJUNCTION WITH AND COORDINATED WITH THE ARCHITECTURAL, STRUCTURAL, AND MEP CONTRACT DOCUMENTS AS WELL AS ANY OTHER TRADES. IF A CONFLICT EXISTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER AND OBTAIN CLARIFICATION PRIOR TO BIDDING AND PROCEEDING WITH WORK.
3. THE GENERAL CONTRACTOR SHALL COORDINATE ALL CONTRACT DOCUMENTS WITH FIELD CONDITIONS, DIMENSIONS, ELEVATIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS; USE ONLY PRINTED DIMENSIONS. REPORT ANY DISCREPANCIES IN WRITING TO THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH WORK. DO NOT CHANGE SIZE OR LOCATION OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE STRUCTURAL ENGINEER OF RECORD.
4. CONTRACTORS WHO DISCOVER DISCREPANCIES, OMISSIONS OR VARIATIONS IN THE CONTRACT DOCUMENTS DURING BIDDING SHALL IMMEDIATELY NOTIFY THE ARCHITECT. THE ARCHITECT WILL RESOLVE THE CONDITION AND ISSUE A WRITTEN CLARIFICATION.
5. THE CONTRACTOR SHALL PROTECT ADJACENT PROPERTY, HIS OWN WORK AND THE PUBLIC FROM HARM. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, AND JOBSITE SAFETY INCLUDING ALL OSHA REQUIREMENTS.
6. DETAILS LABELED "TYPICAL" APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY REFERENCED, WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. QUESTIONS REGARDING THE APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.

**CODES AND SPECIFICATIONS**

THE DESIGN SHOWN ON THESE DRAWINGS IS BASED ON THE FOLLOWING CODES, SPECIFICATIONS AND STANDARDS:

1. " BUILDING CODE OF NEW YORK STATE," 2020.  
ASCE 7-16: "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES."

**SHOP DRAWINGS AND OTHER SUBMITTALS**

1. INCOMPLETE SUBMITTALS WILL BE RETURNED WITHOUT REVIEW.
2. ON FIRST SUBMITTAL, CLEARLY FLAG AND CLOUD ALL DIFFERENCES FROM THE CONTRACT DOCUMENTS. ON RE-SUBMITTALS, FLAG AND CLOUD ALL CHANGES AND ADDITIONS TO PREVIOUS SUBMITTAL. ONLY CLOUDED ITEMS WILL BE REVIEWED.
3. A DELEGATED ENGINEER IS DEFINED AS A NEW YORK STATE LICENSED ENGINEER WHO SPECIALIZES IN AND UNDERTAKES THE DESIGN OF CIVIL COMPONENTS OR CIVIL SYSTEMS INCLUDED IN A SPECIFIC SUBMITTAL PREPARED FOR THIS PROJECT AND IS AN EMPLOYEE OR OFFICER OF, OR CONSULTANT TO, THE CONTRACTOR OR FABRICATOR RESPONSIBLE FOR THE SUBMITTAL. THE DELEGATED ENGINEER SHALL SIGN, SEAL AND DATE THE SUBMITTAL, INCLUDING CALCULATIONS AND DRAWINGS. SEE SPECIFICATIONS FOR MORE SPECIFIC CRITERIA.
4. THE TRADE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS AT THE JOB SITES, FOR TOLERANCES, CLEARANCES, QUANTITIES, FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, COORDINATION OF THE WORK WITH OTHER TRADES AND FULL COMPLIANCE WITH THE CONTRACT DOCUMENTS.
5. THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER SHALL REVIEW AND APPROVE SUBMITTALS AND SHALL SIGN AND DATE EACH DRAWING PRIOR TO SUBMITTING TO THE ARCHITECT. THIS APPROVAL IS TO CONFIRM THAT THE SUBMITTAL IS COMPLETE, COMPLIES WITH THE SUBMITTAL REQUIREMENTS AND IS COORDINATED WITH FIELD DIMENSIONS, OTHER TRADES, ERECTION SEQUENCING AND CONSTRUCTABILITY.
6. THE CIVIL ENGINEER REVIEWS SUBMITTALS TO CONFIRM THAT THE SUBMITTAL IS IN GENERAL CONFORMANCE WITH THE DESIGN CONCEPT PRESENTED IN THE CONTRACT DOCUMENTS. QUANTITIES AND DIMENSIONS ARE NOT CHECKED. NOTATIONS ON SUBMITTALS DO NOT AUTHORIZE CHANGES TO THE CONTRACT SUM. CHECKING OF THE SUBMITTAL BY THE CIVIL ENGINEER SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR DEVIATIONS FROM THE CONTRACT DOCUMENTS AND FROM ERRORS OR OMISSIONS IN THE SUBMITTAL.
7. IN ADDITION TO THE ABOVE, THE CIVIL ENGINEER'S REVIEW OF DELEGATED ENGINEER SUBMITTALS IS LIMITED TO VERIFYING THAT THE SPECIFIED CIVIL SUBMITTAL HAS BEEN FURNISHED, SIGNED AND SEALED BY THE DELEGATED ENGINEER AND THAT THE DELEGATED ENGINEER HAS UNDERSTOOD THE DESIGN INTENT AND USED THE SPECIFIED CIVIL CRITERIA. NO DETAILED CHECK OF CALCULATIONS WILL BE MADE. THE DELEGATED ENGINEER IS SOLELY RESPONSIBLE FOR HIS/HER DESIGN, INCLUDING BUT NOT LIMITED TO THE ACCURACY OF HIS/HER CALCULATIONS AND COMPLIANCE WITH THE APPLICABLE CODES AND STANDARDS.
8. CAD FILES OF CIVIL DRAWINGS MAY BE USED AS AN AID IN PREPARING SHOP DRAWINGS ONLY UPON THE CONTRACTOR SIGNING AN AGREEMENT. WHEN CAD FILES OR COPIES OF THE CIVIL DRAWINGS ARE MADE AVAILABLE, IT IS UNDER THE FOLLOWING CONDITIONS:
  - a. ALL INFORMATION CONTAINED IN THE CAD FILES OR COPIES OF THE CIVIL DRAWINGS ARE INSTRUMENTS OF SERVICE OF THE ARCHITECT/ENGINEER AND SHALL NOT BE USED FOR OTHER PROJECTS, ADDITIONS TO THE PROJECT OR THE COMPLETION OF THE PROJECT BY OTHERS. CAD FILES AND COPIES OF THE CIVIL DRAWINGS REMAIN THE PROPERTY OF DOMINICK R. PILLA ASSOCIATES AND IN NO CASE SHALL THEIR TRANSFER BE CONSIDERED A SALE.
  - b. CAD FILES OR COPIES OF THE CIVIL DRAWINGS ARE NOT CONTRACT DOCUMENTS. IN THE EVENT OF A CONFLICT, THE CIVIL DRAWINGS SHALL GOVERN.
  - c. THE USE OF CAD FILES OR COPIES OF THE CIVIL DRAWINGS SHALL NOT IN ANY WAY RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR PROPER CHECKING AND COORDINATION OF DIMENSIONS, DETAILS, SIZES AND QUANTITIES OF MATERIALS AS REQUIRED FOR THE PREPARATION OF COMPLETE AND ACCURATE SHOP DRAWINGS.
  - d. THE CONTRACTOR SHALL REVISE ALL REFERENCES TO CONTRACT DOCUMENT SHEET NUMBERS AND SECTION MARKS AND SHALL REMOVE INFORMATION THAT IS NOT REQUIRED FOR THEIR WORK FROM THE CAD FILES OR COPIES OF THE CIVIL DRAWINGS, INCLUDING THE TITLE BLOCK.
  - e. DIMENSIONS IN THE CAD FILES MAY NOT BE PRECISE AND, IN SOME CASES, HAVE BEEN INTENTIONALLY ALTERED FOR PRESENTATION PURPOSES. DO NOT SCALE DIMENSIONS ELECTRONICALLY OR OTHERWISE.

**SUBMITTALS REQUIRED:**

1. THE FOLLOWING ITEMS REQUIRE SUBMITTAL OF SHOP AND ERECTION DRAWINGS AND STRUCTURAL CALCULATIONS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF NEW YORK:
  - a. SUPPORT OF EXCAVATION.
  - b. DRYWELL SPECIFICATIONS

**EXCAVATION, BACKFILL AND DEWATERING**

1. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT AND OSHA REGULATIONS. DO NOT EXCAVATE WITHIN ONE FOOT OF THE ANGLE OF REPOSE OF ANY SOIL BEARING FOUNDATION UNLESS THE FOUNDATION IS PROPERLY PROTECTED AGAINST SETTLEMENT.
2. DO NOT BACKFILL AGAINST WALLS UNTIL 7 DAYS AFTER THE WALLS ARE BRACED BY THE STRUCTURE OR ARE TEMPORARILY BRACED. DO NOT BACKFILL CANTILEVERED RETAINING WALLS UNTIL CONCRETE IS 7 DAYS OLD. DO NOT BACKFILL UNTIL AFTER COMPLETION AND INSPECTION OF ANY WATERPROOFING.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE DISPOSAL OF ALL ACCUMULATED WATER IN A MANNER THAT DOES NOT INCONVENIENCE OR DAMAGE THE WORK.

**REINFORCED CONCRETE**

1. COMPLY WITH ACI 301 AND 318.
2. ALL CAST-IN-PLACE CONCRETE SHALL BE CONTROLLED CONCRETE AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (F<sub>c</sub>) AT 28 DAYS AS FOLLOWS:
 

|                    |                           |
|--------------------|---------------------------|
| FOOTINGS           | 4,000 PSI                 |
| POURED WALLS       | 4,000 PSI                 |
| SLABS-ON-GRADE     | 4,000 PSI                 |
| SLAB ON METAL DECK | 4,000 PSI (LT. WT. CONC.) |
3. USE NORMAL WEIGHT CONCRETE FOR ALL STRUCTURAL MEMBERS. U.O.N.
4. CONCRETE REINFORCEMENT SHALL BE ASTM A615, GRADE 60 DEFORMED REINFORCING STEEL. LAP BOTTOM STEEL OVER SUPPORTS AND TOP STEEL AT MIDSPAN (U.O.N.). HOOK DISCONTINUOUS ENDS OF ALL TOP BARS AND ALL BARS IN WALLS, U.O.N.
5. USE EPOXY COATED REINFORCEMENT CONFORMING TO ASTM A775 FOR CONCRETE SUBJECT TO WATER AND CHLORITE PENETRATION.
 

A.LOADING DOCK SLABS AND WALLS.
6. WHERE SPECIFIED, PROVIDE PLAIN, COLD-DRAWN ELECTRONICALLY WELDED WIRE REINFORCEMENT (WWF) CONFORMING TO ASTM A185. SUPPLY IN FLAT SHEETS ONLY. LAP SPLICE SHALL BE ONE CROSS WIRE SPACING PLUS TWO INCHES.
7. FOLLOW ACI 117-10 "SPECIFICATION FOR TOLERANCES OF CONCRETE CONSTRUCTION AND MATERIALS" FOR REQUIRED TOLERANCES.
8. UTILITIES SHALL NOT PENETRATE BEAMS OR COLUMNS BUT MAY PASS THROUGH SLABS AND WALLS INDIVIDUALLY, U.O.N. SEE TYPICAL DETAILS.
9. PROVIDE CONSTRUCTION JOINTS IN ACCORDANCE WITH ACI 318, SECTION 6.4. PROVIDE KEYWAYS AND ADEQUATE DOWELS. SUBMIT DRAWINGS SHOWING LOCATION OF CONSTRUCTION JOINTS AND DIRECTION OF POUR FOR REVIEW.
10. PROVIDE 3/4" CHAMFER FOR ALL EXPOSED CORNERS. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL CONCRETE FINISH REQUIREMENTS.

**CONCRETE FIELD TESTING:**

1. TESTING: OWNER WILL ENGAGE A QUALIFIED TESTING AGENCY TO PERFORM FIELD TESTS AND PREPARE TEST REPORTS.
2. CONCRETE TESTS: TESTING OF COMPOSITE SAMPLES OF FRESH CONCRETE OBTAINED ACCORDING TO ASTM C172 AND SECTION BC 1905.6.5 OF NYC BUILDING CODE SHALL BE PERFORMED ACCORDING TO THE FOLLOWING REQUIREMENTS:
  - a. TESTING FREQUENCY: OBTAIN ONE COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIXTURE LESS THAN 25 CU. YD., PLUS ONE SET FOR EACH ADDITIONAL 50 CU. YD. OR FRACTION THEREOF.
  - b. WHEN FREQUENCY OF TESTING WILL PROVIDE FEWER THAN FIVE COMPRESSIVE STRENGTH TESTS OF EACH CONCRETE MIXTURE, TESTING SHALL BE CONDUCTED FROM AT LEAST FIVE RANDOMLY SELECTED BATCHES OR FROM EACH BATCH IF FEWER THAN FIVE ARE USED.
  - c. WATER CONTENT AND SLUMP: VERIFY WATER CONTENT IN ACCORDANCE WITH AASHTO T-318 "STANDARD METHOD OF TESTS FOR WATER CONTENT USING MICROWAVE OVEN DRYING;" TEST SLUMP IN ACCORDANCE WITH ASTM C143; ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIXTURE. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE.
  - d. AIR CONTENT: ASTM C231, PRESSURE METHOD, FOR NORMAL-WEIGHT CONCRETE; ASTM C173, VOLUMETRIC METHOD, FOR LIGHTWEIGHT CONCRETE; ONE TEST FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIXTURE.
  - e. CONCRETE TEMPERATURE: ASTM C1064; ONE TEST HOURLY WHEN AIR TEMPERATURE IS 40 DEG F AND BELOW AND WHEN 80 DEG F AND ABOVE, AND ONE TEST FOR EACH COMPOSITE SAMPLE.
  - f. COMPRESSION TEST SPECIMENS: ASTM C31.
    - i. CAST AND LABORATORY CURE ALL TEST CYLINDER SPECIMENS.
    - ii. WHEN REQUIRED, CAST AND FIELD CURE TWO SETS OF TWO STANDARD CYLINDER SPECIMENS FOR EACH COMPOSITE SAMPLE.
  - g. COMPRESSIVE-STRENGTH TESTS: ASTM C39 AND SECTION BC 1905.6.2 OF THE NYC BUILDING CODE; TEST FIRST SET OF TWO LABORATORY-CURED SPECIMENS AT 7 DAYS FOR INFORMATION, SECOND SET OF TWO LABORATORY-CURED SPECIMENS AT 28 DAYS FOR ACCEPTANCE AND THIRD SET OF TWO SPECIMENS AT 56 DAYS IF NECESSARY.
    - i. TEST ONE SET OF FIELD-CURED SPECIMENS AT 7 DAYS AND ONE SET OF TWO SPECIMENS AT 28 DAYS.
    - ii. A COMPRESSIVE-STRENGTH TEST SHALL BE THE AVERAGE COMPRESSIVE STRENGTH FROM A SET OF TWO SPECIMENS OBTAINED FROM SAME COMPOSITE SAMPLE AND TESTED AT AGE INDICATED.

**AREA OF DISTURBANCE & IMPERVIOUS COVERAGE**

NEW IMPERVIOUS COVERAGE = 361 SQFT  
 AREA OF DISTURBANCE = 889 SQFT

**KLIGERMAN ARCHITECTURE & DESIGN**

500 FIFTH AVENUE, 45TH FLOOR  
 NEW YORK, NEW YORK 10110  
 212.260.0128

**DRPILLA CONSULTING ENGINEERS**  
 -DOMINICK R. PILLA ASSOCIATES-  
 415.727.7793 212.224.9520  
 143 Main Street 5 Columbus Circle  
 Nyack, NY 10960 11th Fl  
 drpilla.com New York, NY 10019

**59 TWEED BOULEVARD**

| No. | REMARKS            | DATE       |
|-----|--------------------|------------|
| 1   | ISSUED FOR PRICING | 03.06.2023 |
| 2   | PRICING REV 1      | 03.20.2023 |
| 3   | ISSUED FOR PERMIT  | 02.15.2024 |
|     | PLANNING BOARD     | 2/15/2024  |
|     |                    |            |
|     |                    |            |
|     |                    |            |
|     |                    |            |
|     |                    |            |

PROJECT:  
**RESIDENCE**  
 59 TWEED BOULEVARD  
 ORANGEBURG, NY 10960

SEAL & SIGNATURE:  


GENERAL NOTES

DATE: 02/15/2024  
 PROJECT No.: 21-077  
 DRAWING BY: JB  
 CHK BY: GF  
 DWG No.:

**C-002.00**



**LEGEND**

- PROPERTY LINE
- EXISTING ROOF AREA
- PREVIOUSLY APPROVED IMPERVIOUS AREA
- TRENCH DRAIN
- EXISTING CONTOURS
- PREVIOUSLY APPROVED STORMWATER DRAIN LINE
- EXISTING OVERHEAD WIRES
- PREVIOUSLY APPROVED PLANTING BED
- PREVIOUSLY APPROVED FENCE
- CATCH BASIN
- DRYWELL ZONE

NEW IMPERVIOUS COVERAGE = 361 SQFT  
 AREA OF DISTURBANCE = 889 SQFT

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 500 FIFTH AVENUE, 45TH FLOOR  
 NEW YORK, NEW YORK 10110  
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**59 TWEED BOULEVARD**

| No. | REMARKS            | DATE       |
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| 1   | ISSUED FOR PRICING | 03.06.2023 |
| 2   | PRICING REV 1      | 03.20.2023 |
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|     | PLANNING BOARD     | 2/15/2024  |
|     |                    |            |
|     |                    |            |
|     |                    |            |

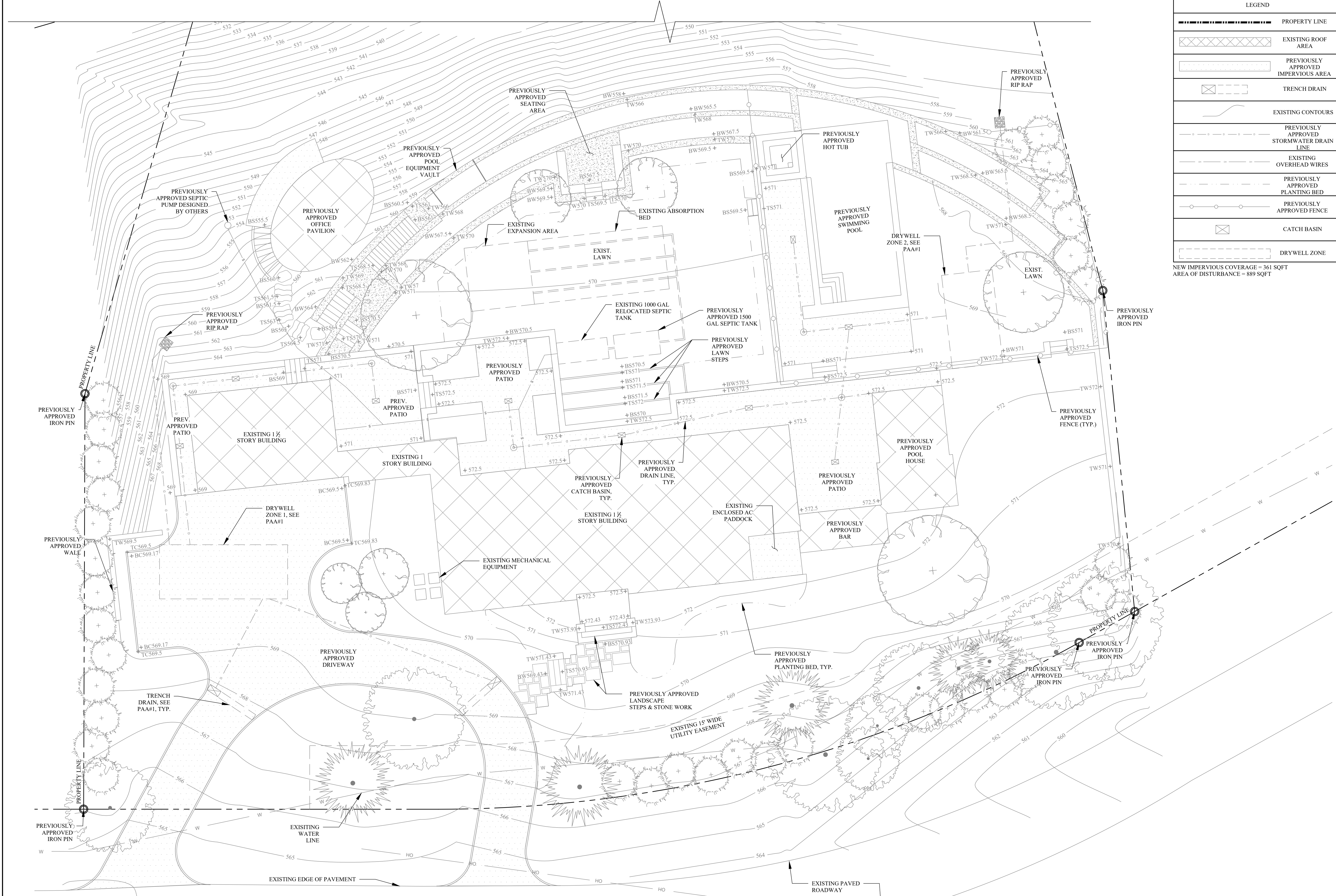
**PROJECT:**  
**RESIDENCE**  
 59 TWEED BOULEVARD  
 ORANGEBURG, NY 10960



EXISTING AND PREVIOUSLY APPROVED SITE PLAN

DATE: 02/15/2024  
 PROJECT No.: 21-077  
 DRAWING BY: JB  
 CHK BY: GF  
 DWG No.:

**C-100.00**



**A EXISTING/PREVIOUSLY APPROVED SITE PLAN**  
 SCALE: 1" = 10'  
**TWEED BOULEVARD**  
 (COUNTY HIGHWAY ROUTE 5)  
 (60' WIDE)



| LEGEND |   |
|--------|---|
|        | PROPERTY LINE                             |
|        | EXISTING ROOF AREA                        |
|        | PREVIOUSLY APPROVED IMPERVIOUS AREA       |
|        | PROPOSED ROOF AREA                        |
|        | PROPOSED IMPERVIOUS AREA                  |
|        | TRENCH DRAIN                              |
|        | EXISTING CONTOURS                         |
|        | PREVIOUSLY APPROVED STORMWATER DRAIN LINE |
|        | EXISTING OVERHEAD WIRES                   |
|        | PREVIOUSLY APPROVED PLANTING BED          |
|        | PREVIOUSLY APPROVED FENCE                 |
|        | CATCH BASIN                               |
|        | DRYWELL ZONE                              |
|        | DETENTION SYSTEM ZONE 1                   |
|        | DETENTION SYSTEM ZONE 2                   |

- GENERAL NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH NEW YORK DOT REGULATIONS AND CODES AND OSHA STANDARDS. THE CONTRACTOR SHALL OBTAIN FINAL PERMITTING AND APPROVAL/INSPECTIONS AS REQUIRED FROM THE LOCALITY.
  - THE CONTRACTOR SHALL VERIFY ELEVATIONS AT CONNECTION POINTS OR ANY EXISTING UTILITY CROSSING PRIOR TO ORDERING STRUCTURES. REPORT ANY CONFLICTS TO THE ENGINEER.
  - LINE UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED PRIOR TO BACKFILLING.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIRS TO UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
  - STORM SEWER CATCH BASINS, CURB INLETS, MANHOLES AND ENDWALLS SHALL CONFORM TO NEW YORK DOT STANDARD CONSTRUCTION DRAWINGS.
  - ALL SPOT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATION UNLESS OTHERWISE NOTED.
  - PROVIDE 2% MAXIMUM CROSS SLOPE ON ALL SIDEWALKS AND ADA PARKING AREAS.
  - CONTRACTOR SHALL APPLY EROSION CONTROL BLANKET AND LOW MAINTENANCE GRASS SEED MIX TO ALL SLOPES 3H:1V OR GREATER. REFER TO SOIL EROSION AND SEDIMENT CONTROL DETAIL FOR LOW MAINTENANCE GRASS SEED MIXTURE SPECIFICATION.
  - REFER TO GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION.
  - IRON PINS SHALL BE INSTALLED AT EACH PROPERTY CORNER IF THEY DO NOT ALREADY EXIST THERE.
  - AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
  - WITH REGARDS TO THE STORMWATER MANAGEMENT PHASE II REGULATIONS, ADDITIONAL CERTIFICATION, BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH THE STORMWATER MANAGEMENT PHASE II REGULATIONS.
  - ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.
  - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239L&M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
  - THE CLOSEST FIRE HYDRANT IS LOCATED APPROXIMATELY 700' NORTHEAST OF THE SITE ON ROUTE 9W. SEE VICINITY MAP ON C-001.
  - OWNERS:  
ADAM AND JORDANA GRUNFELD  
59 TWEED BOULEVARD  
NYACK, NY 10965
  - NEW IMPERVIOUS COVERAGE = 361 SQFT
  - AREA OF DISTURBANCE = 889 SQFT

| No. | REMARKS            | DATE       |
|-----|--------------------|------------|
| 1   | ISSUED FOR PRICING | 03.06.2023 |
| 2   | PRICING REV 1      | 03.20.2023 |
| 3   | ISSUED FOR PERMIT  | 02.15.2024 |
|     | PLANNING BOARD     | 2/15/2024  |

PROJECT:  
**RESIDENCE**  
59 TWEED BOULEVARD  
ORANGETOWN, NY 10960

SEAL & SIGNATURE:

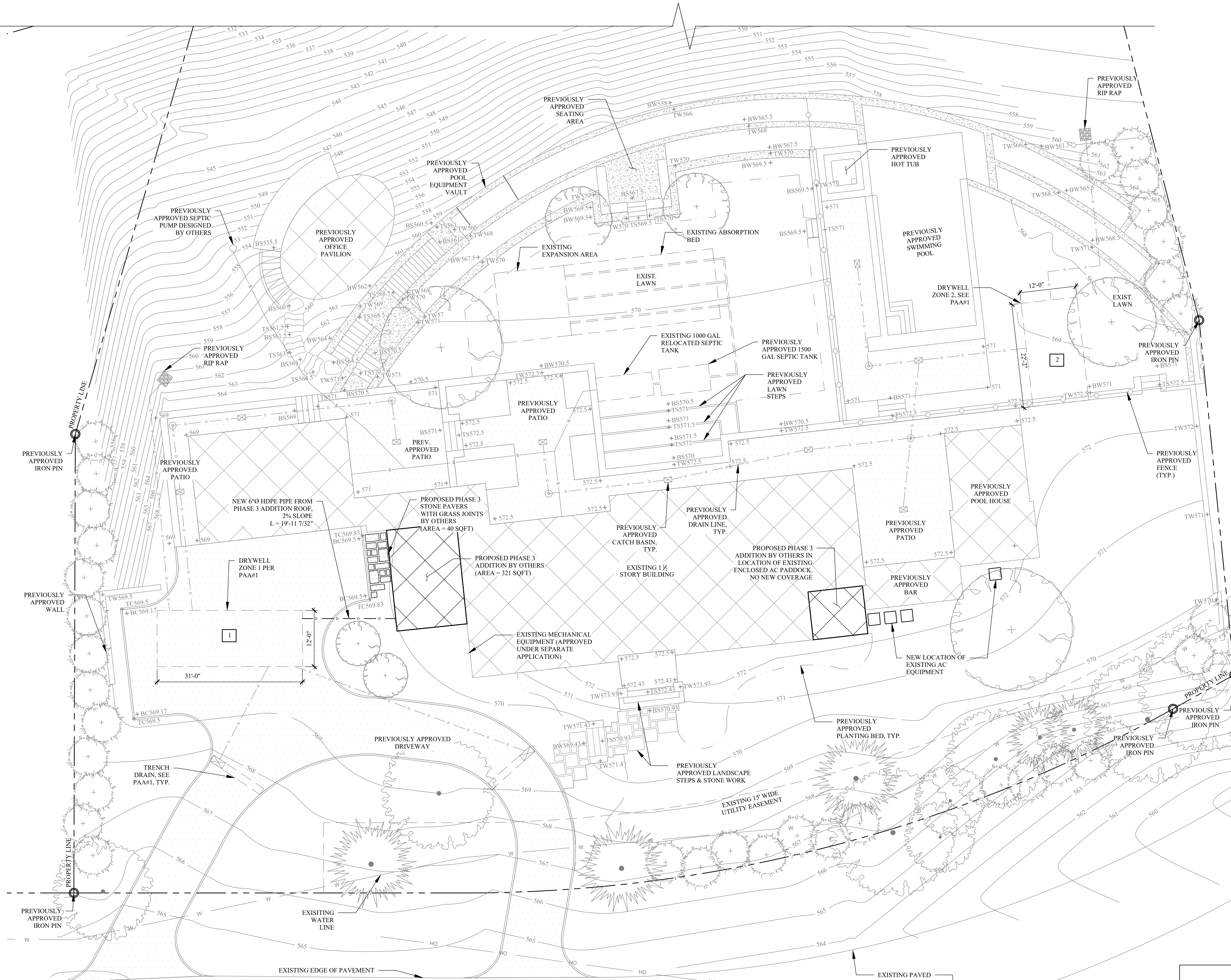
PROPOSED SITE PLAN

DATE: 02/15/2024  
PROJECT No.: 21-077  
DRAWING BY: JB  
CHK BY: GF  
DWG No.:

**C-110.00**

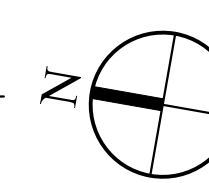
| SUBCATCHMENT AREAS                 |                        |                    |
|------------------------------------|------------------------|--------------------|
| AREAS (SQFT)                       | PROPOSED PHASE I & II* | PROPOSED PHASE III |
| TOTAL AREA                         | 47,906                 | 47,906             |
| ROOF AREA                          | 5,584                  | 5,905              |
| PAVED AREA                         | 9,508                  | 9,548              |
| GRASS AREA                         | 32,814                 | 32,453             |
| TOTAL ADDED IMPERVIOUS AREA (SQFT) | 361                    |                    |

\*FROM PREVIOUSLY APPROVED SITE PLAN DATED 10/12/2022 AND PAA#1 DATED 02/02/2024



**PROPOSED SITE PLAN**  
SCALE: 1" = 10'

**TWEED BOULEVARD**  
(COUNTY HIGHWAY ROUTE 5)  
(60' WIDE)





GENERAL NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH NEW YORK DOT REGULATIONS AND CODES AND OSHA STANDARDS. THE CONTRACTOR SHALL OBTAIN FINAL PERMITTING AND APPROVAL/INSPECTIONS AS REQUIRED FROM THE LOCALITY.
2. THE CONTRACTOR SHALL VERIFY ELEVATIONS AT CONNECTION POINTS OR ANY EXISTING UTILITY CROSSING PRIOR TO ORDERING STRUCTURES. REPORT ANY CONFLICTS TO THE ENGINEER.
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4. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIRS TO UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
5. STORM SEWER CATCH BASINS, CURB INLETS MANHOLES AND ENDWALLS SHALL CONFORM TO NEW YORK DOT STANDARD CONSTRUCTION DRAWINGS.
6. ALL SPOT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATION UNLESS OTHERWISE NOTED.
7. PROVIDE 2% MAXIMUM CROSS SLOPE ON ALL SIDEWALKS AND ADA PARKING AREAS.
8. CONTRACTOR SHALL APPLY EROSION CONTROL BLANKET AND LOW MAINTENANCE GRASS SEED MIX TO ALL SLOPES 3H:1V OR GREATER. REFER TO SOIL EROSION AND SEDIMENT CONTROL DETAIL FOR LOW MAINTENANCE GRASS SEED MIXTURE SPECIFICATION.
9. REFER TO GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION.
10. NEW IMPERVIOUS COVERAGE = 361 SQFT
11. AREA OF DISTURBANCE = 889 SQFT

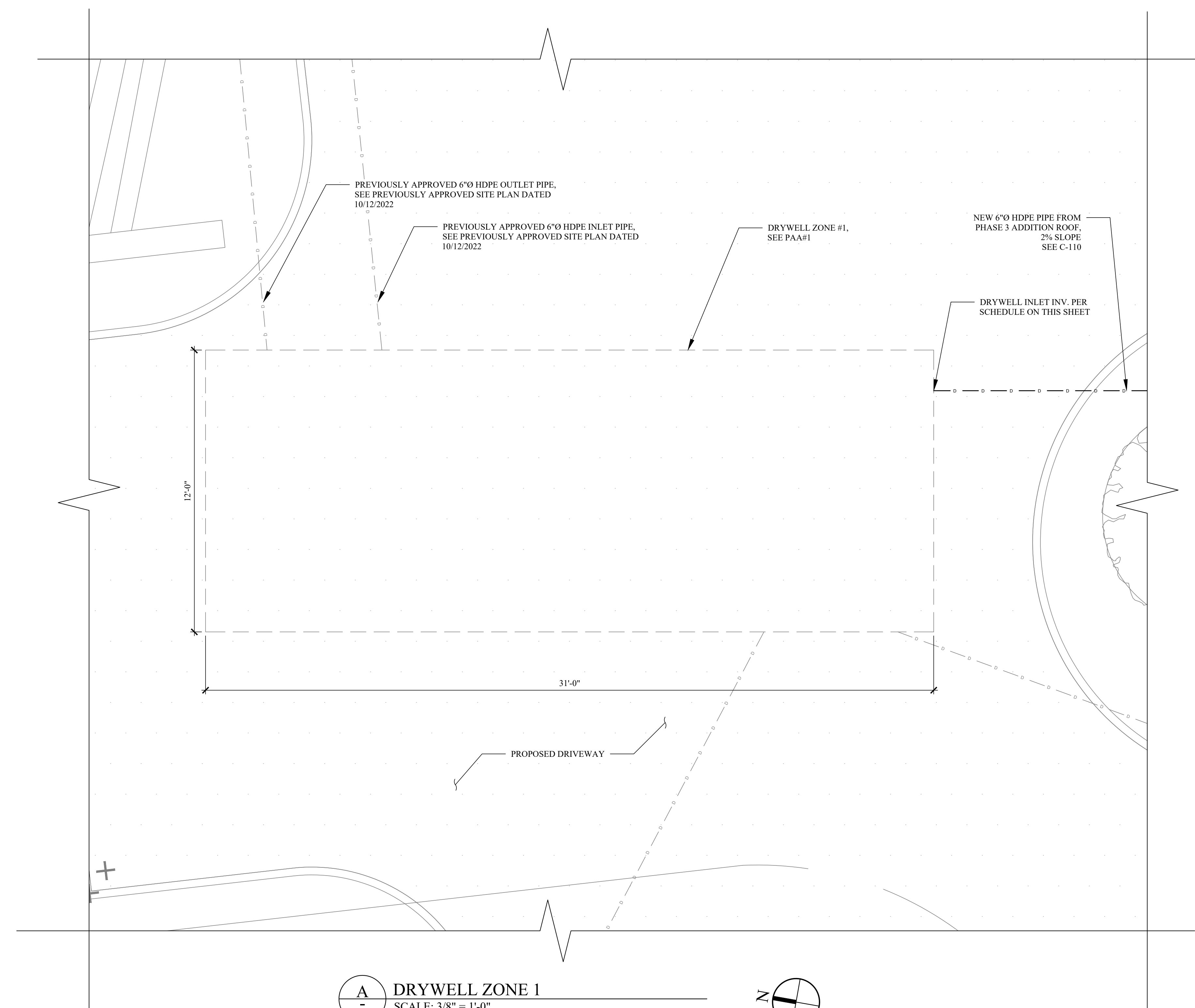
| LEGEND |   |
|--------|---|
|        | PROPERTY LINE                             |
|        | NEW CONCRETE WALL                         |
|        | IMPERVIOUS AREA                           |
|        | DRYWELL PER PAA#1                         |
|        | NEW CONTOURS                              |
|        | EXISTING CONTOURS                         |
|        | NEW STORMWATER DRAIN LINE                 |
|        | PREVIOUSLY APPROVED STORMWATER DRAIN LINE |

**KLIGERMAN ARCHITECTURE & DESIGN**

500 FIFTH AVENUE, 45TH FLOOR  
NEW YORK, NEW YORK 10110  
212.260.0128

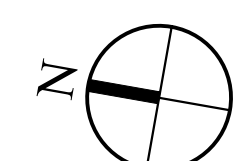
**DRPILLA CONSULTING ENGINEERS**  
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Nyack, NY 10960 11th Fl  
New York, NY 10019  
@drpilla.com

59 TWEED BOULEVARD



**NOTE TO CONTRACTOR:**  
THIS PROPOSED DRYWELL SUPERCEDES THE PREVIOUSLY APPROVED PERMAVOID SHOWN ON THE PREVIOUSLY APPROVED SITE PLAN DATED 10/12/2022.

**A** DRYWELL ZONE 1  
SCALE: 3/8" = 1'-0"



| DRYWELL SCHEDULE |   |                             |             |                        |                         |                              |                         |                        |
|------------------|---|-----------------------------|-------------|------------------------|-------------------------|------------------------------|-------------------------|------------------------|
| ZONE             | SOURCE                                    | SIZE                        | GRADE ELEV. | T.O. GRAVEL ELEV. (FT) | T.O. DRYWELL ELEV. (FT) | INLET/OUTLET INV. ELEV. (FT) | B.O. DRYWELL ELEV. (FT) | B.O. GRAVEL ELEV. (FT) |
| 1                | DRIVEWAY, PATIO (1), AND PHASE 3 ADDITION | (3) 8'-0" DIA. X 4'-0" DEEP | 569.00      | 566.42                 | 565.59                  | 565.09                       | 561.26                  | 559.26                 |

| No. | REMARKS            | DATE       |
|-----|--------------------|------------|
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| 3   | ISSUED FOR PERMIT  | 02.15.2024 |
|     | PLANNING BOARD     | 2/15/2024  |

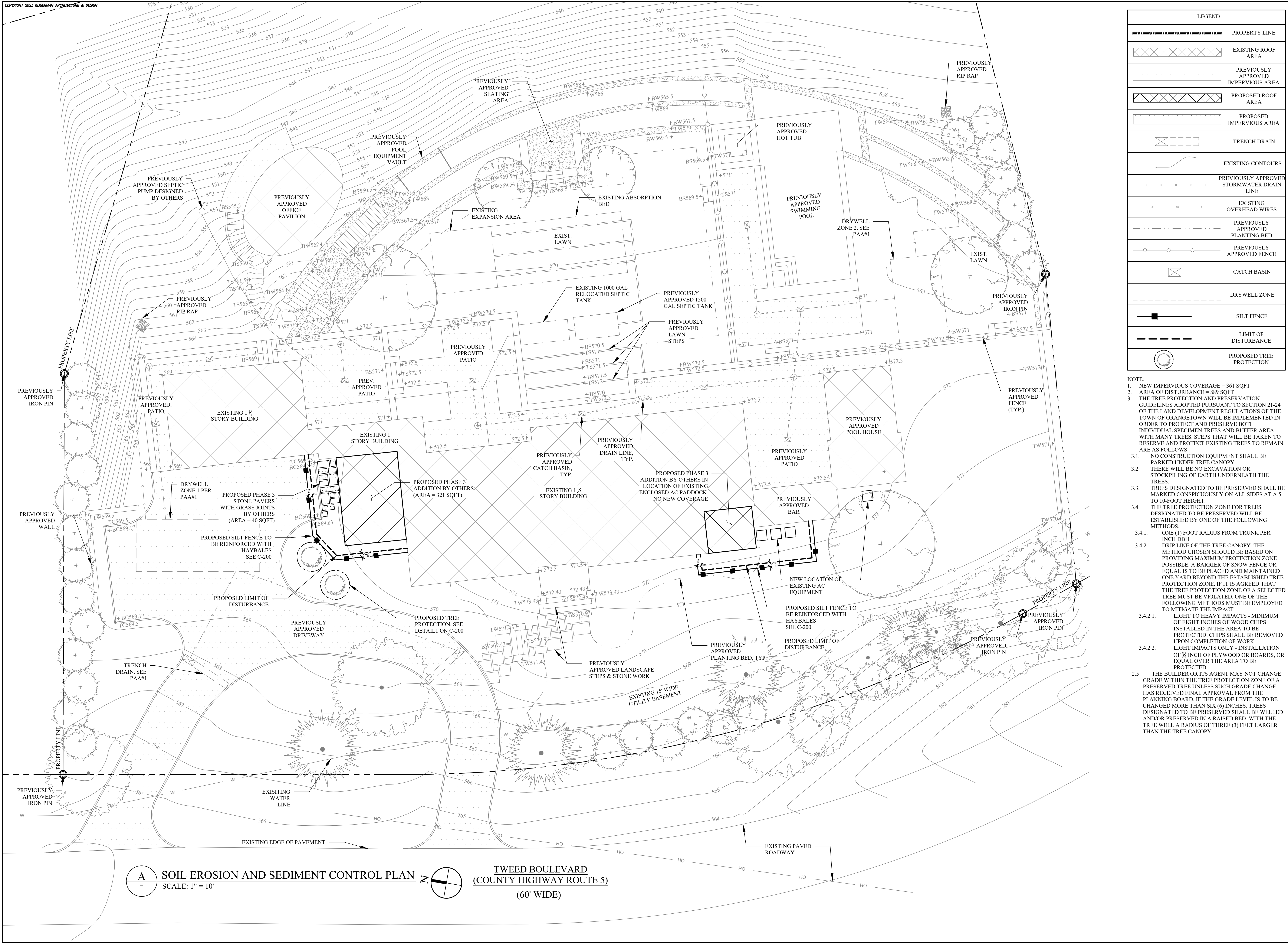
PROJECT:  
**RESIDENCE**  
59 TWEED BOULEVARD  
ORANGEBURG, NY 10960



PROPOSED DETENTION SYSTEM

DATE: 02/15/2024  
PROJECT No.: 21-077  
DRAWING BY: JB  
CHK BY: GF  
DWG No.: C-120.00





**A** SOIL EROSION AND SEDIMENT CONTROL PLAN  
SCALE: 1" = 10'

TWEED BOULEVARD  
(COUNTY HIGHWAY ROUTE 5)  
(60' WIDE)

| LEGEND |   |
|--------|---|
|        | PROPERTY LINE                             |
|        | EXISTING ROOF AREA                        |
|        | PREVIOUSLY APPROVED IMPERVIOUS AREA       |
|        | PROPOSED ROOF AREA                        |
|        | PROPOSED IMPERVIOUS AREA                  |
|        | TRENCH DRAIN                              |
|        | EXISTING CONTOURS                         |
|        | PREVIOUSLY APPROVED STORMWATER DRAIN LINE |
|        | EXISTING OVERHEAD WIRES                   |
|        | PREVIOUSLY APPROVED PLANTING BED          |
|        | PREVIOUSLY APPROVED FENCE                 |
|        | CATCH BASIN                               |
|        | DRYWELL ZONE                              |
|        | SILT FENCE                                |
|        | LIMIT OF DISTURBANCE                      |
|        | PROPOSED TREE PROTECTION                  |

- NOTE:
- NEW IMPERVIOUS COVERAGE = 361 SQFT
  - AREA OF DISTURBANCE = 889 SQFT
  - THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGEBURG WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO RESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
    - NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER TREE CANOPY.
    - THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
    - TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10-FOOT HEIGHT.
    - THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
      - ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH
      - DRIP LINE OF THE TREE CANOPY. THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:
        - LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
        - LIGHT IMPACTS ONLY - INSTALLATION OF 1/2 INCH OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED
    - THE BUILDER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL A RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.

**KLIGERMAN ARCHITECTURE & DESIGN**  
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@drpilla.com

**59 TWEED BOULEVARD**

| No. | REMARKS            | DATE       |
|-----|--------------------|------------|
| 1   | ISSUED FOR PRICING | 03.06.2023 |
| 2   | PRICING REV 1      | 03.20.2023 |
| 3   | ISSUED FOR PERMIT  | 02.15.2024 |
|     | PLANNING BOARD     | 2/15/2024  |

PROJECT:  
**RESIDENCE**  
59 TWEED BOULEVARD  
ORANGEBURG, NY 10960

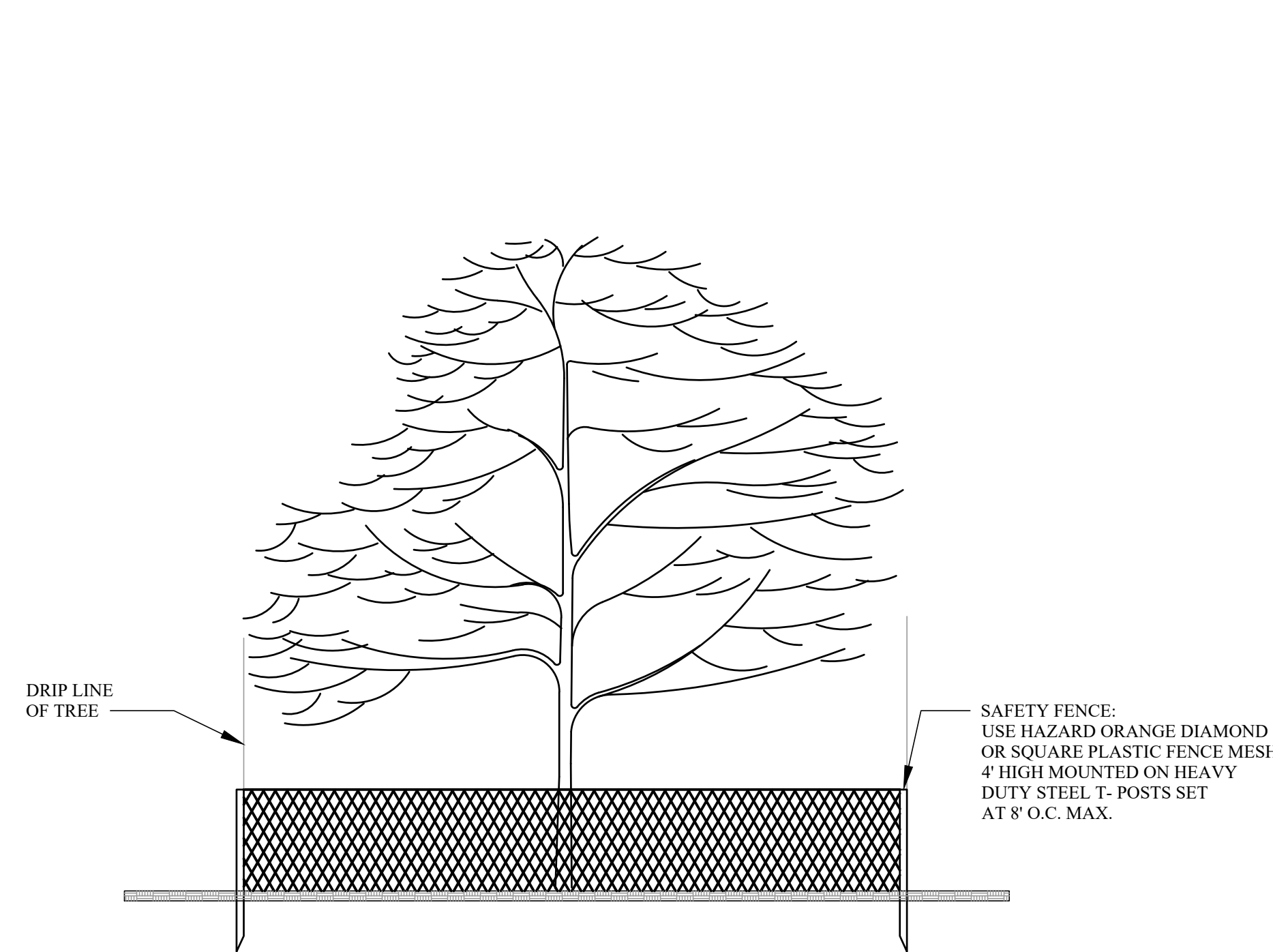
SEAL & SIGNATURE:

SOIL EROSION AND SEDIMENT CONTROL PLAN

DATE: 02/15/2024  
PROJECT No.: 21-077  
DRAWING BY: JB  
CHK BY: GF  
DWG No.:

**C-130.00**

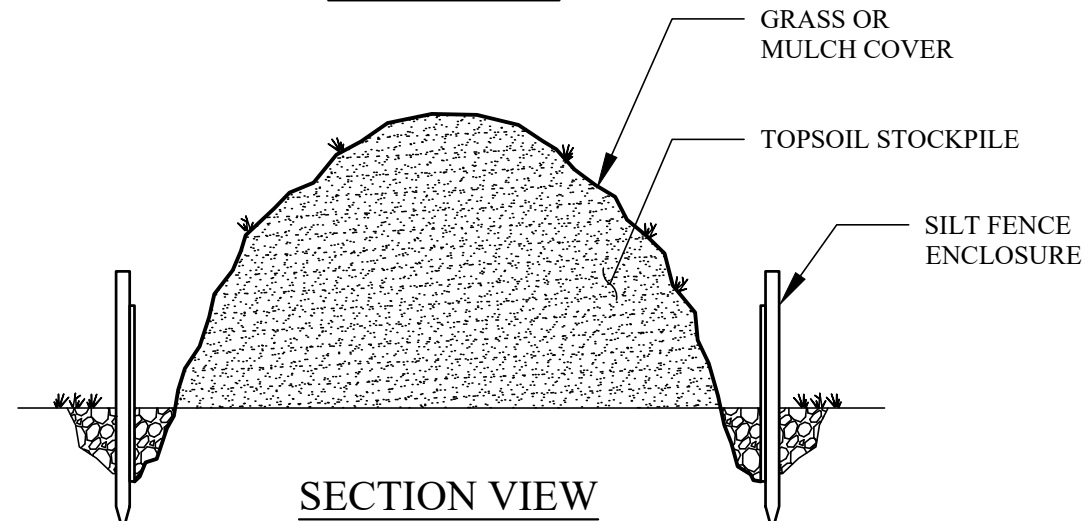
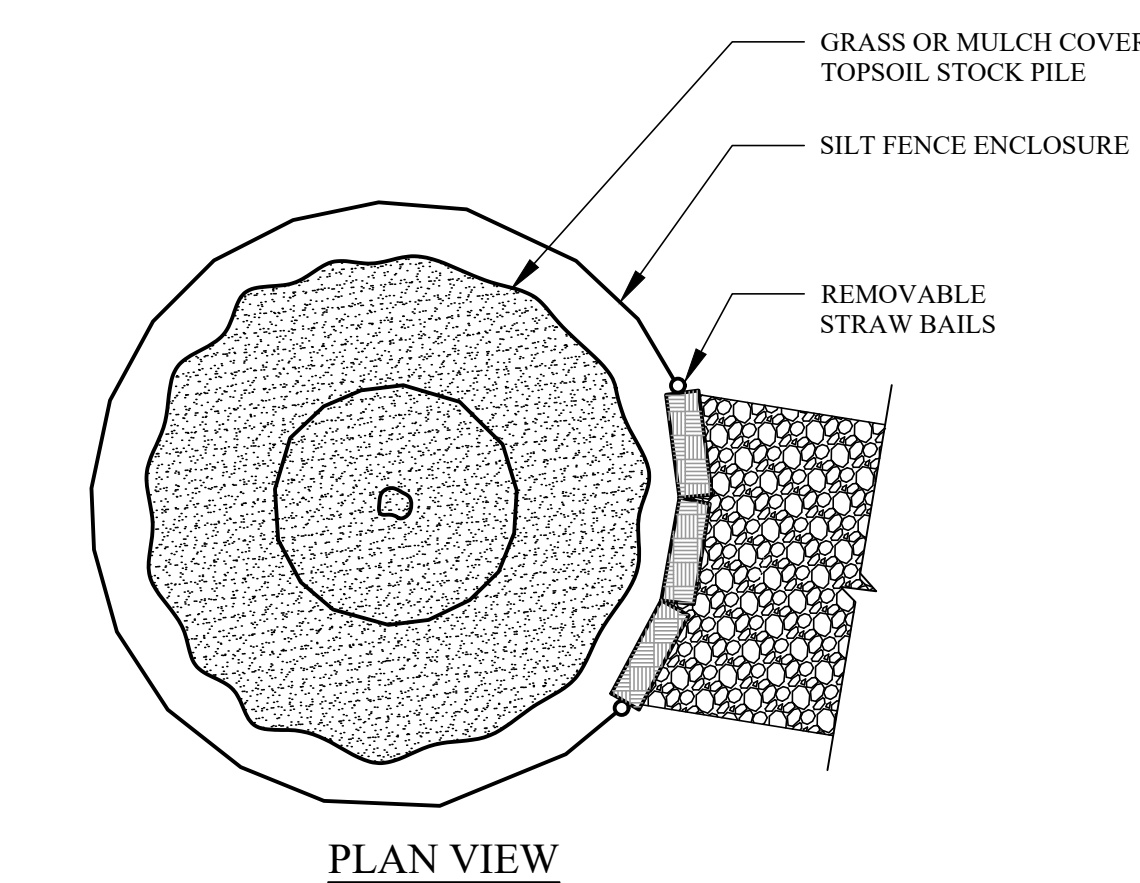




- 1- THE PROJECT DEVELOPER SHALL TAKE REASONABLE PRECAUTION TO TAKE SPECIMEN QUALITY TREES IN AREAS NOTED ON THE PLANS FOR CLEARING. WHEN POSSIBLE, THE DEVELOPER SHALL PROTECT INDIVIDUAL SPECIMEN TREES THROUGH THE INSTALLATION OF SAFETY FENCING AROUND THE DRIP LINE PERIMETER OF THE TREE.
- 2- SAFETY FENCING SHALL BE INSTALLED AT THE ONSET OF SITE CONSTRUCTION TO PREVENT VEHICLE TRAFFIC FROM COMPACTING THE SOILS IN THE VICINITY OF THE TREE ROOT STRUCTURE.

TREE PROTECTION DETAIL

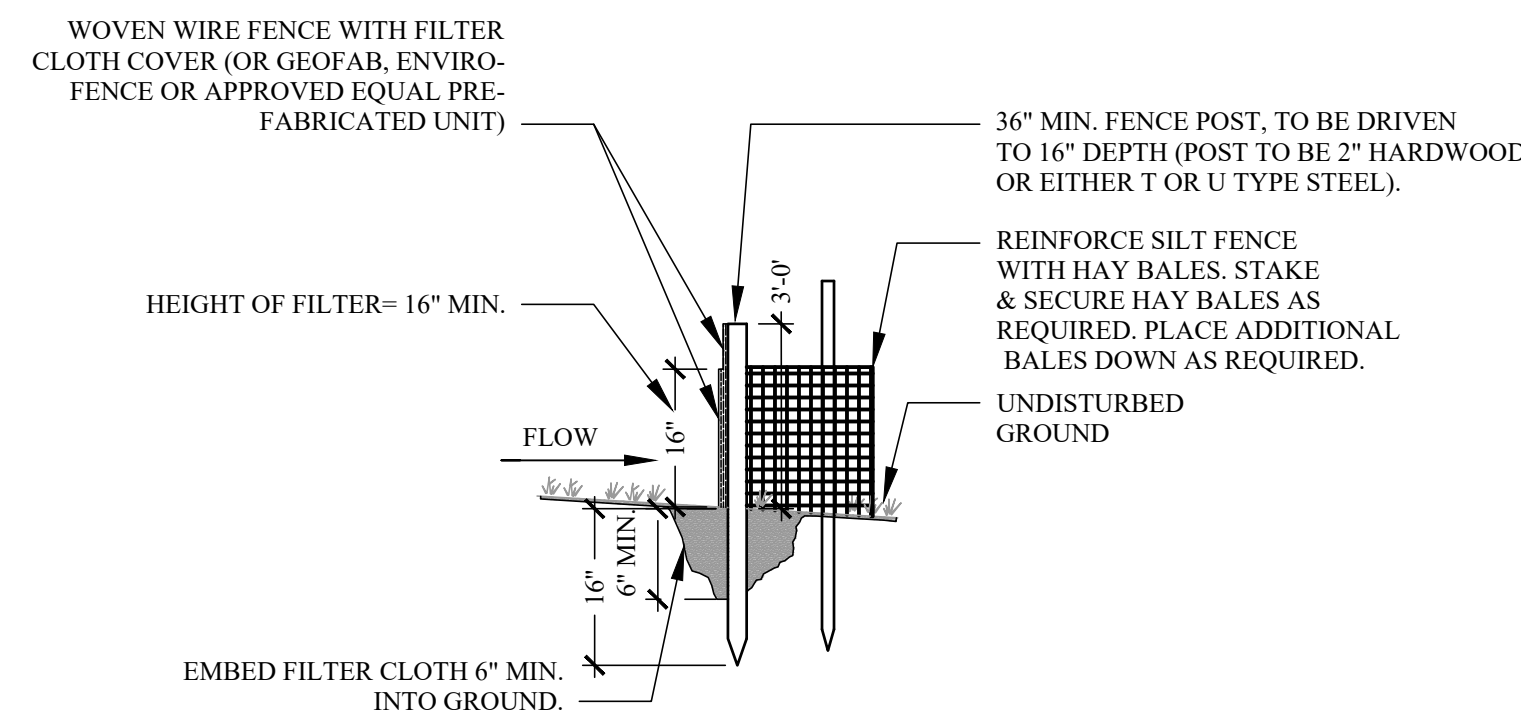
1 TREE PROTECTION DETAIL  
NOT TO SCALE



NOTES:

1. SOIL STOCKPILE SHALL BE ENCLOSED WITH SILT FENCING WITH PASSAGEWAY PROVIDED FOR EQUIPMENT ACCESS.
2. PROVIDE TEMPORARY GRASS OR MULCH COVER IF STOCKPILE IS TO REMAIN UNDISTURBED FOR THIRTY DAYS OR MORE. TEMPORARY COVER SHALL CONSIST OF ONE OF THE FOLLOWING MEASURES:
  3. - GRASS SEED: 1/2 LB. RYE GRASS /1000S.F
  4. - MULCH: 100LBS OF STRAW OR HAY/1000S.F

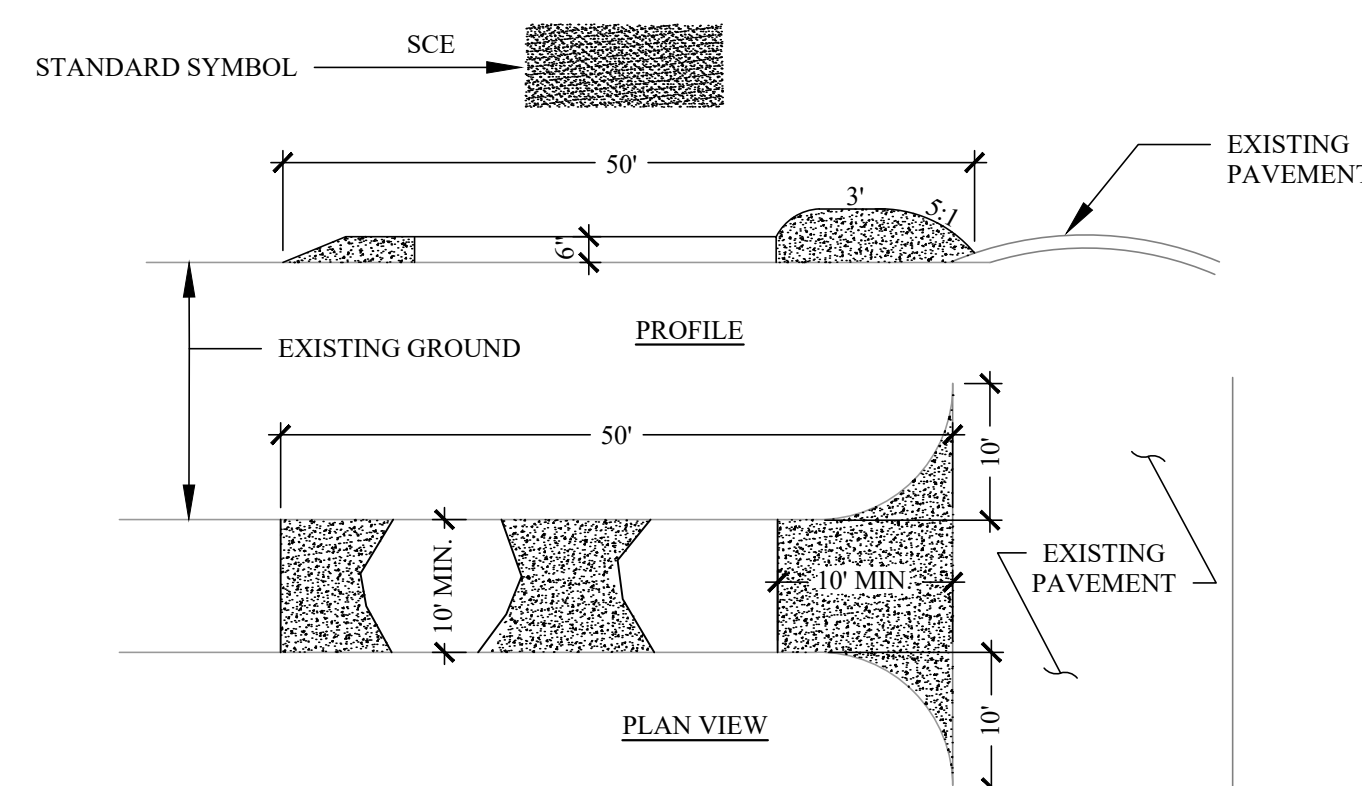
3 SOIL STOCK PILE DETAIL  
NOT TO SCALE



NOTES:

- 1- POST SPACING TO BE 10' MAX. O.C.
- 2- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- 3- WOVEN WIRE FENCE TO BE 14 GA. MIN., 6" MAX. SPACING.
- 4- FILTER CLOTH TO BE FILTER X, MIRAFLI 100XOR APPROVED EQUAL.
- 5- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE, WITH WIRE TIES SPACED EVERY 24" AT TOP AND MID SECTION.
- 6- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED OR TIED TO A POST (PROVIDE POST AT SPLICE).
- 7- MAINTENANCE SHALL BE PERFORMED AS NEEDED, AND MATERIAL REMOVED WHEN BULGES DEVELOP IN THE SILT FENCE.
- 8- BALES SHALL BE PLACED AT THE TOE OF SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- 9- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
- 10- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN 1 1/2' TO 2' INTO THE GROUND AND FLUSH WITH THE BALE.
- 11- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- 12- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

2 TYPICAL SILT FENCE DETAIL  
NOT TO SCALE



CONSTRUCTION SPECIFICATIONS:

- 1- STONE SIZE - USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- 2- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- 3- THICKNESS - NOT LESS THAN (6) INCHES.
- 4- WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- 5- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
- 6- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPE WILL BE PERMITTED.
- 7- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANING OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.
- 8- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- 9- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

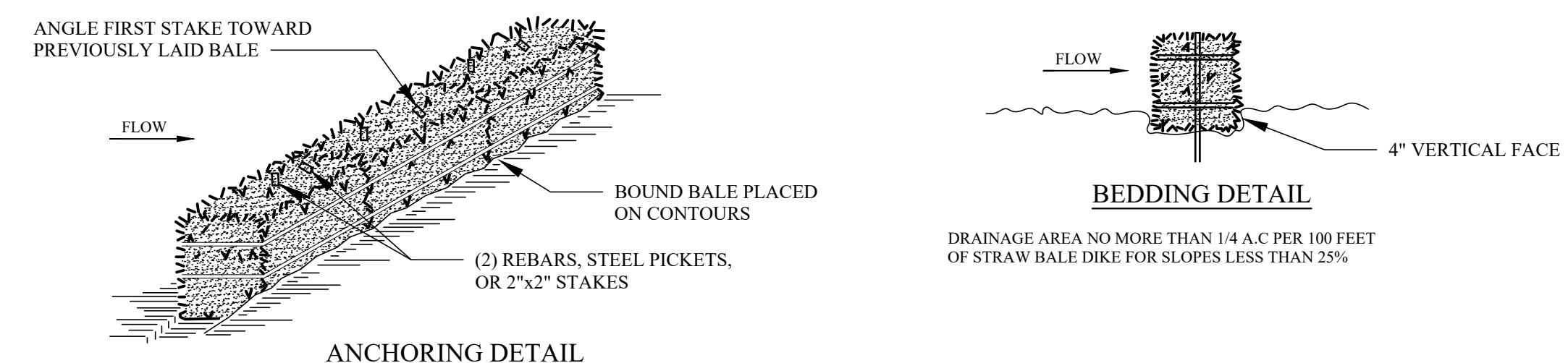
4 STABILIZED CONSTRUCTION ENTRANCE  
NOT TO SCALE

EROSION CONTROL:

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN STATE STANDARDS AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECTED TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING AND MULCHING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BOUND IN ACCORDANCE WITH THE NY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
3. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECTED TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO NY STANDARDS.
4. STABILIZATION SPECIFICATIONS:
  - A. TEMPORARY SEEDING AND MULCHING:
    - LIME - 90 LBS./ 1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS./1,000 SF, 10-20-10 OR EQUIVALENT WORKED INTO THE SOIL A MINIMUM OF 4".
    - SEED - PERENNIAL RYE GRASS 40 LBS./ACRE (1 LB / 1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
    - MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS./1,000 SF TO BE APPLIED ACCORDING TO THE NY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
  - B. PERMANENT SEEDING AND MULCHING:
    - TOPSOIL - UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED).
    - LIME - 90 LBS./1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS./ 1,000 SF, 10-20-10 OR EQUIVALENT WORKED INTO THE SOIL A MINIMUM OF 4".
    - SEED TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 150 LBS./ACRE (3.5 LBS./1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND OCTOBER 15.
    - MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS./1,000 SF TO BE APPLIED ACCORDING TO THE NY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
5. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
6. SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
7. STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOOD PLAIN SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A STRAW BALE SEDIMENT BARRIER AND/OR SILT FENCE.
8. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1" - 2" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30' X 100' AND SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.
9. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE ENGINEER.
10. DRIVEWAYS MUST BE STABILIZED WITH 1" - 2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
11. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR INTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
12. CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER DESIGNED IN ACCORDANCE WITH NY STANDARDS.
13. STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL. DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAG OR OTHER APPROVED FILTER IN ACCORDANCE WITH NY STANDARDS.
14. DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH NY STANDARDS.
15. TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH NY STANDARDS.
16. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORM WATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
17. ANY REVISION TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.
18. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT CONSTRUCTION.
19. SILT FENCING SHALL BE ADJUSTED IN FIELD AND NOT ENCRUACH ONTO EXISTING TREES TO REMAIN AND SHALL ENCOMPASS LIMITS OF DISTURBANCE INCLUDING SEEPAGE PIT LOCATIONS.
20. THE TREE PROTECTION AND PRESERVATION WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO RESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
  - A. NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY.
  - B. THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
  - C. TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT.
  - D. THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
    - ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH.
    - DRIP LINE OF THE TREE CANOPY.

THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:

  - LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
  - LIGHT IMPACT ONLY - INSTALLATION OF 1/2 INCH OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED. THE BUILDER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN (6) INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL A RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.
21. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE CONTRACTOR SHALL INSTALL THE SOIL EROSION AND SEDIMENTATION CONTROL AS REQUIRED BY THE DRAWINGS. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE ENGINEER SHALL BE NOTIFIED IN ADVANCE TO INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE CONTRACTOR SHALL CONTACT THE ENGINEER AT LEAST 48 HOURS IN ADVANCE FOR AN INSPECTION.
22. ALL LANDSCAPING SHOWN ON THE SITE PLANS SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
23. IF THE CONTRACTOR, DURING THE COURSE OF CONSTRUCTION, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREA, UNDERGROUND WATER, SOFT OR SILTY AREAS, IMPROPER DRAINAGE, OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL PLANNING, SUCH CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER OF RECORD. THE CONTRACTOR MAY SUBMIT THEIR RECOMMENDATIONS AS TO THE SPECIAL TREATMENT TO BE GIVEN SUCH AREAS TO SECURE ADEQUATE, PERMANENT AND SATISFACTORY CONSTRUCTION.
24. THE CONTRACTOR'S TRAILER, IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE MUNICIPALITY.
25. PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE COMPLETION OF CONSTRUCTION.



CONSTRUCTION SPECIFICATIONS:

- 1- BALES SHALL BE PLACED AT THE TOE OF SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- 2- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THE BINDINGS ARE HORIZONTAL.
- 3- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN 1 1/2' TO 2' INTO THE GROUND AND FLUSH WITH THE BALE.
- 4- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- 5- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

5 TYPICAL HAY BALE DETAIL  
NOT TO SCALE

| No. | REMARKS            | DATE       |
|-----|--------------------|------------|
| 1   | ISSUED FOR PRICING | 03.06.2023 |
| 2   | PRICING REV 1      | 03.20.2023 |
| 3   | ISSUED FOR PERMIT  | 02.15.2024 |
|     | PLANNING BOARD     | 2/15/2024  |
|     |                    |            |
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PROJECT:  
**RESIDENCE**  
59 TWEED BOULEVARD  
ORANGEBURG, NY 10960

SEAL & SIGNATURE:  
DOMINICK RICHARD PILLA  
074213  
LICENSED PROFESSIONAL ENGINEER

SOIL EROSION AND SEDIMENT CONTROL DETAILS

DATE: 02/15/2024  
PROJECT No.: 21-077  
DRAWING BY: JB  
CHK BY: GF  
DWG No.:

C-200.00



VERIFY ALL DIMENSIONS IN FIELD

FOUNDATION CONSTRUCTION SPECIFICATIONS

- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE 2020 OF NEW YORK STATE AND THE APPLICABLE CONCRETE, MASONRY, AND REINFORCEMENT SPECIFICATIONS.
- THE FOUNDATION DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS, ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS, AND ALL SUBCONTRACTOR SHOP DRAWINGS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS BEFORE EXCAVATION, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL LOCATE ANY UNDERGROUND UTILITY LINES AND REPORT FINDINGS TO ENGINEER PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL COORDINATE FOUNDATION WORK WITH DIMENSIONS, OPENINGS, SLEEVE BLOCK OUTS, AND EMBEDDED ITEMS REQUIRED BY OTHER TRADES AND DRAWINGS, AND SUBMIT FOR APPROVAL COMPOSITE DRAWINGS SHOWING THE SIZE AND LOCATION OF THESE ELEMENTS.
- THE CONTRACTOR SHALL ENGAGE A GEOTECHNICAL ENGINEER WITH APPROPRIATE FIELD AND LABORATORY TESTING SUPPORT FOR INSPECTION OF THE FOLLOWING WORK:
  - EXCAVATION AND PREPARATION OF FOOTING SUBGRADE.
  - SELECTION, PLACEMENT, AND COMPACTION OF CONTROLLED FILL.
  - PREPARATION OF SLAB SUBGRADE.
- ALL FOOTINGS ARE TO BEAR ON UNDISTURBED SOIL WITH AN ALLOWABLE BEARING PRESSURE OF 4,000 PSF. IF PREDOMINATELY CLAYEY AND/OR SILTY SOILS OR FILL ARE ENCOUNTERED BENEATH FOOTINGS, THE MATERIAL SHALL BE REMOVED AND REPLACED WITH COMPACTED STRUCTURAL FILL. DO NOT PLACE FOOTINGS ON LOOSE FILL, FROZEN GROUND, MUD, INORGANIC MATERIAL, OR ANY OTHER UNSUITABLE OR UNAPPROVED MATERIAL.
- STRUCTURAL FILL SHALL CONSIST OF INORGANIC SOIL, FREE OF CLAY, LOAM, ICE, SNOW, TREE STUMPS, ROOTS, AND OTHER ORGANIC MATERIALS, GRADED WITHIN THE FOLLOWING LIMITS:
 

| SIEVE SIZE | PERCENT BY WEIGHT |
|------------|-------------------|
| #4         | 100               |
| #10        | 85-100            |
| #20        | 45-95             |
| #40        | 25-80             |
| #60        | 10-65             |
| #100       | 0-10              |
- STRUCTURAL FILL SHALL BE PLACED IN MAXIMUM LIFTS OF 6 INCHES BEFORE COMPACTION. EACH LIFT SHALL BE COMPACTED AT OR NEAR OPTIMUM MOISTURE WITH APPROPRIATE EQUIPMENT TO 95% OF MAXIMUM DENSITY.
- BACKFILLING AGAINST FOUNDATION OR RETAINING WALLS SHALL NOT BE UNDERTAKEN UNTIL CONCRETE HAS REACHED 85% OF DESIGN STRENGTH. PROVIDE TEMPORARY BRACING FOR ALL FOUNDATION WALLS UNTIL FLOOR SLABS ON GRADE AND BRACING WALLS HAVE REACHED 75% OF DESIGN STRENGTH.
- BOTTOM ELEVATIONS OF FOOTINGS SHOWN ON PLANS ARE FOR ESTIMATING PURPOSES ONLY. THE ACTUAL FOOTING ELEVATIONS SHALL BE BASED ON THE REQUIRED BEARING STRATA, AS DETERMINED BY THE GEOTECHNICAL ENGINEER, FOLLOWING EXCAVATION.
- VERTICAL CONSTRUCTION JOINTS IN FOUNDATION WALLS SHALL BE PLACED:
  - 40 FT ON CENTER (MAX.)
  - 4'-6" FROM ANY OPENING
  - 10'-0" FROM ANY CORNER
- ALL ELECTRICAL SLOTS, PLUMBING SLOTS, SLEEVES, AND DEPRESSIONS FOR LEAD BENDS SHALL BE FILLED WITH CONCRETE TO THE DEPTH OF SLABS AFTER PIPING IS INSTALLED.
- SLABS ON GRADE SHALL BE PLACED ON 15 MIL POLYETHYLENE VAPOR BARRIER ON A COMPACTED 6 IN. THICK BED OF CRUSHED STONE OR GRAVEL, UNLESS OTHERWISE SPECIFIED.

CONCRETE SPECIFICATIONS

- THE LATEST EDITION OF THE FOLLOWING STANDARDS APPLY:
 

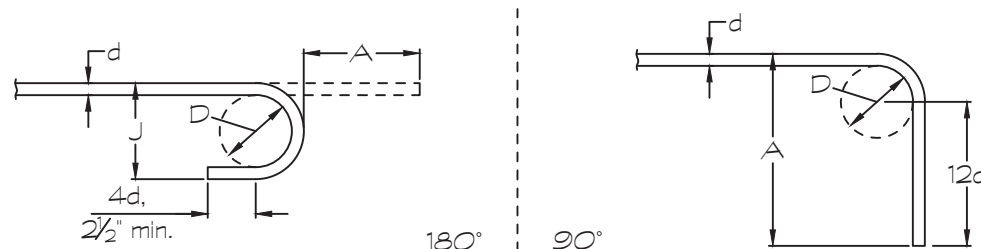
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|----------------------------------|--------------------------|
| ACI 318 (CODE)                   | ACI 304 (PLACING)        |
| ACI 308 (WINTER CONCRETING)      | ACI 315 (DETAILING)      |
| ACI 305 (HOT WEATHER CONCRETING) | ACI 347 (FORMWORK)       |
| ACI 211 (MIX PROPORTIONING)      | ACI 301 (SPECIFICATIONS) |
- THE CONTRACTOR SHALL PROVIDE CERTIFIED DESIGN MIX DATA TO THE ENGINEER PRIOR TO THE PLACING OF ANY CONCRETE.
- ALL CONCRETE SHALL BE READY MIXED, CONTROLLED CONCRETE BASED ON APPROVED DESIGN MIXES HAVING A MINIMUM 28-DAY COMPRESSIVE CYLINDER STRENGTH AS LISTED BELOW. SPECIAL DESIGN MIXES SHALL BE MADE FOR ALL PUMPED CONCRETE. FLY ASH MAY BE USED AS A PLASTICIZER TO REDUCE WATER CONTENT, BUT CANNOT BE USED TO REDUCE CEMENT CONTENT. AGGREGATE SHALL BE LIMITED TO A MAXIMUM OF 3/4".
 

| LOCATION           | 28-DAY COMPRESSIVE STRENGTH (PSI) |
|--------------------|-----------------------------------|
| MISC. FILL         | 2,500                             |
| FOOTINGS           | 3,500                             |
| FOUND. WALLS       |                                   |
| SLAB ON GRADE      |                                   |
| FRAMED SLABS, ETC. |                                   |
- NO ADMIXTURES SHALL BE USED UNLESS SPECIFIED OR APPROVED BY THE ARCHITECT AND ENGINEER. APPROVED ADMIXTURES SHALL COMPLY WITH ACI SPECIFICATIONS. THE USE OF CALCIUM CHLORIDE IS STRICTLY FORBIDDEN.
- PROVIDE ALL PUMPING, SHORING AND BRACING AS NECESSARY.
- ALL FORMWORK SHALL BE DESIGNED, ERECTED, SUPPORTED, BRACED, AND MAINTAINED ACCORDING TO ACI 347.
- NO ALUMINUM METAL IN ANY FORM SHALL BE PERMITTED IN CONCRETE.
- SLABS ON GRADE SHALL BE CAST IN ALTERNATE POURS IN A CHECKERBOARD PATTERN. THE MAXIMUM AREA OF EACH POUR SHALL NOT EXCEED 900 SQ. FT. WITH SIDE LENGTHS NOT EXCEEDING 30 FT. ALLOW A MINIMUM OF 3 DAYS BEFORE MAKING ADJACENT POURS.

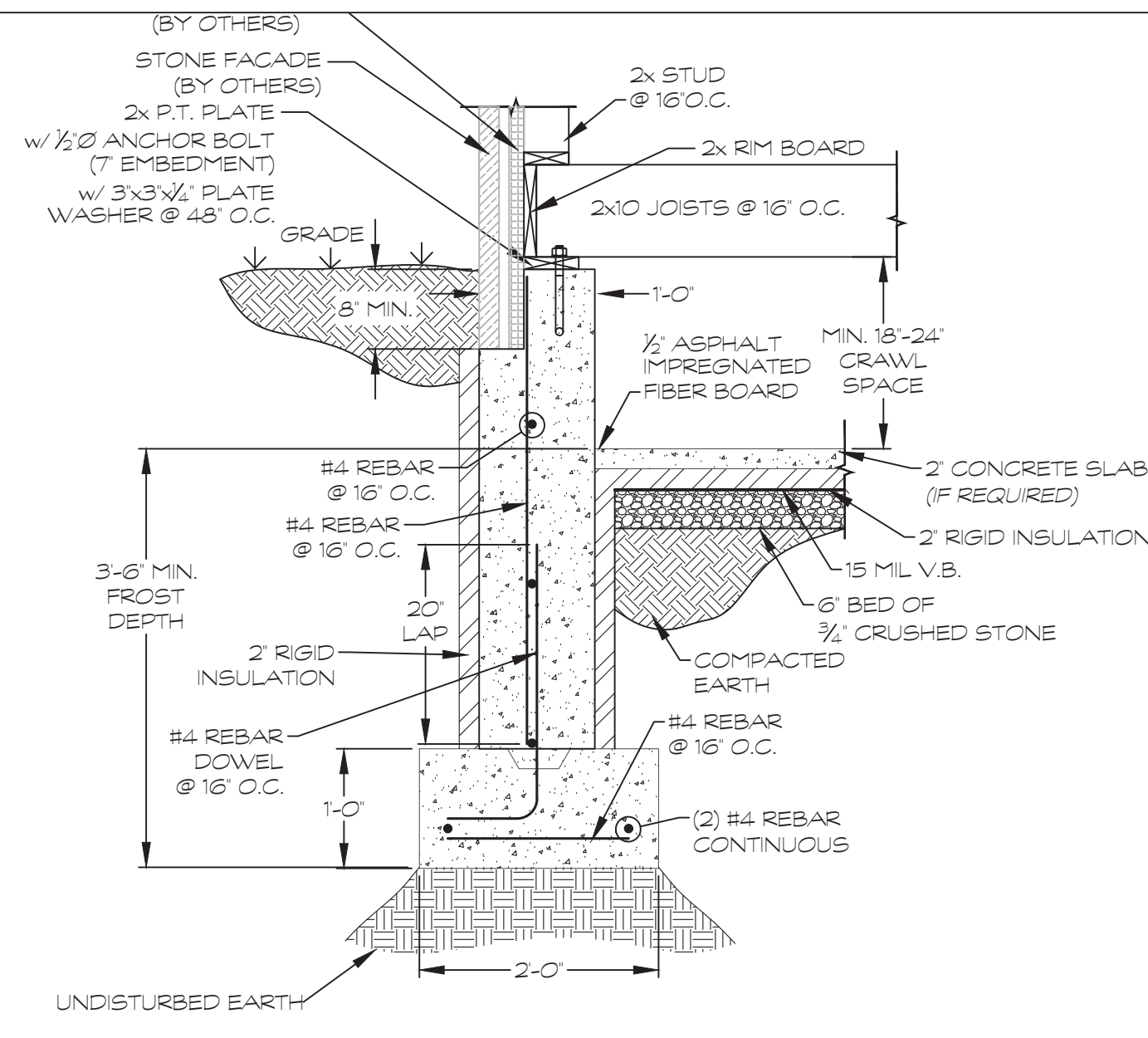
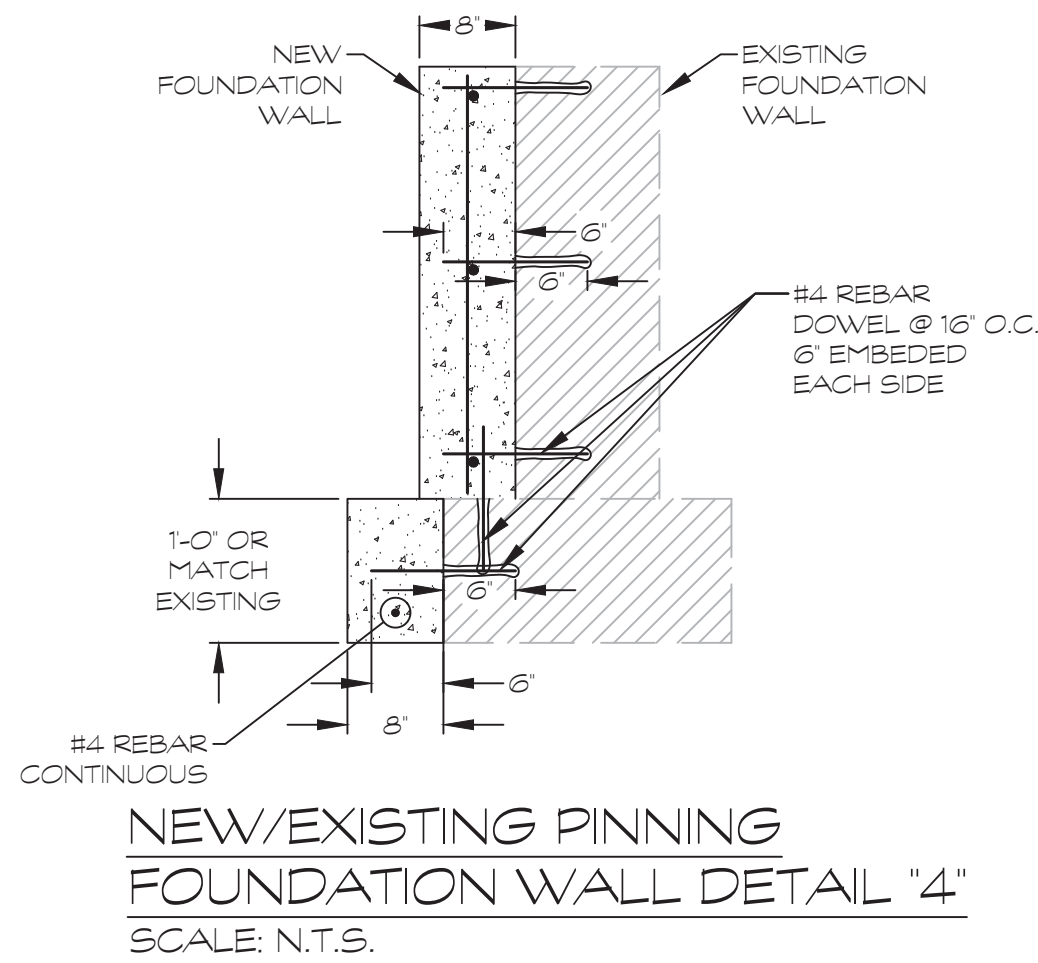
REINFORCEMENT SPECIFICATIONS

- ALL REINFORCING BARS SHALL BE DEFORMED BARS CONFORMING TO ASTM 615, GRADE 60.
- ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185, GRADE 60 AND SHALL BE MADE OF COLD DRAWN WIRE CONFORMING TO ASTM A82.
- ALL REINFORCING BARS AND TAGS SHALL BE FREE OF LOOSE FLAKY RUST, MUD, OIL OR OTHER COATINGS THAT WILL DESTROY, REDUCE OR HANPER FULL BOND CAPACITY.
- ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE AND ADEQUATELY SUPPORTED. ALL BARS MARKED CONT. (CONTINUOUS) ARE TO BE LAPPED OR HOOKED AT NON-CONTINUOUS ENDS. SPLICE CONT. TOP BARS AT CENTER BETWEEN SUPPORTS AND BOTTOM BARS SHALL BE SPLICED AT SUPPORTS.
- ALL WELDED WIRE FABRIC FOR SLAB ON GRADE SHALL BE CONTINUOUS. LAP SPLICE 12" MINIMUM WHERE REQUIRED.
- REBAR SHALL BE LAP SPLICED 40 BAR DIAMETERS IN CAST-IN-PLACE CONCRETE AND 48 BAR DIAMETERS IN MASONRY.

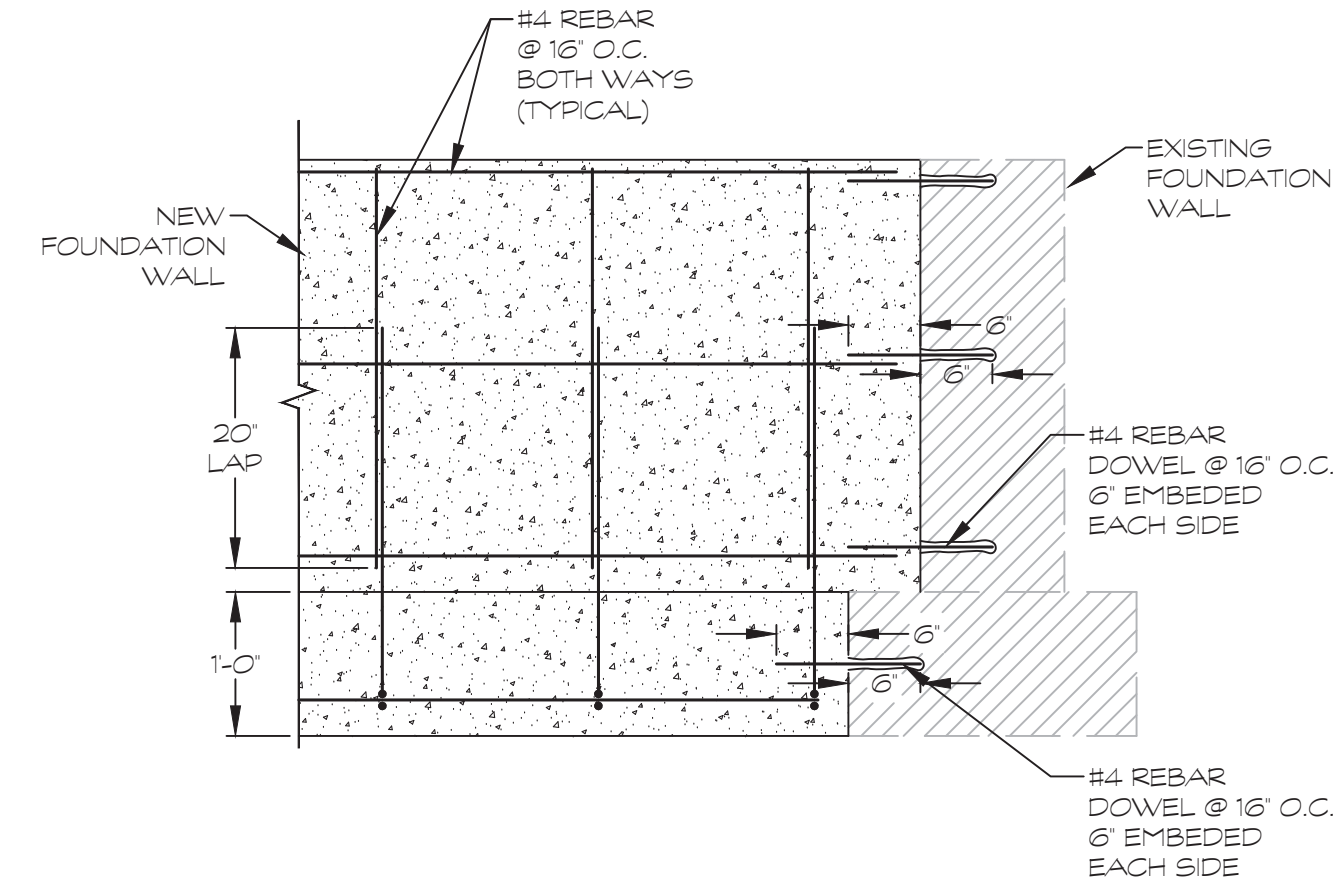
| IMPERIAL BAR SIZE | SOFT METRIC SIZE | NOMINAL DIAMETER (IN.) | SPLICE LENGTH (IN.) |         |
|-------------------|------------------|------------------------|---------------------|---------|
|                   |                  |                        | CONCRETE            | MASONRY |
| #3                | #10              | 0.375                  | 15                  | 18      |
| #4                | #13              | 0.500                  | 20                  | 24      |
| #5                | #16              | 0.625                  | 25                  | 30      |
| #6                | #19              | 0.750                  | 30                  | 36      |
| #7                | #22              | 0.875                  | 35                  | 42      |
| #8                | #25              | 1.000                  | 40                  | 48      |
| #9                | #29              | 1.128                  | 45                  | 54      |
| #10               | #32              | 1.270                  | 51                  | 61      |
| #11               | #36              | 1.410                  | 56                  | 68      |



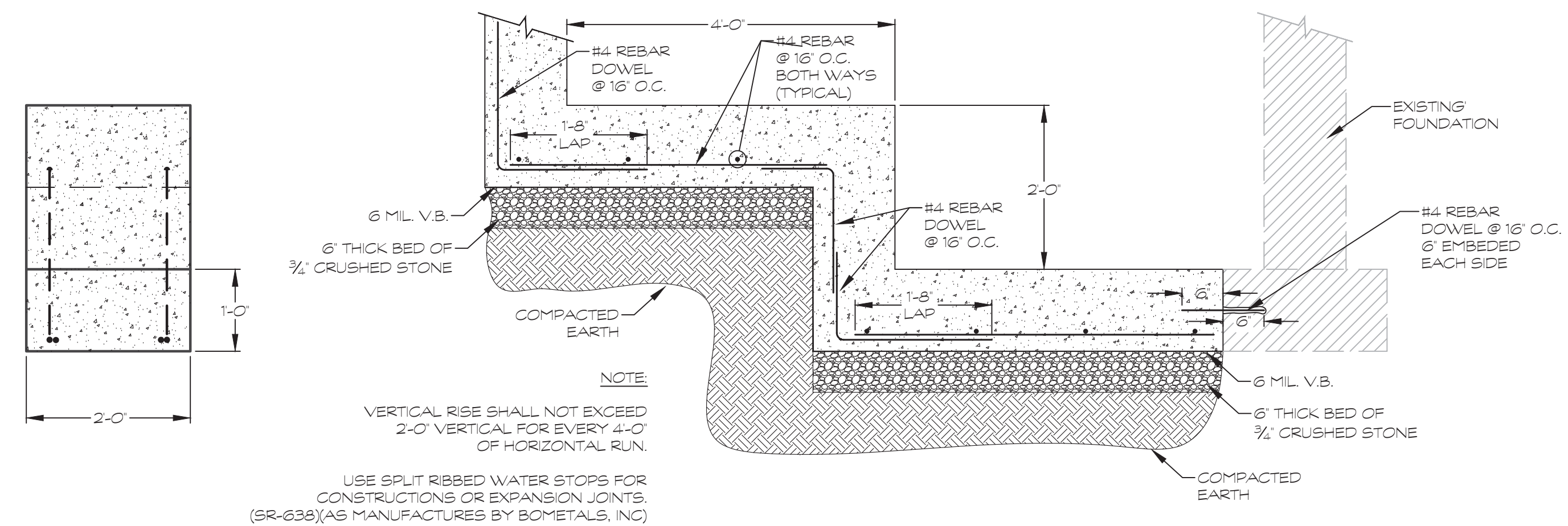
| IMPERIAL BAR SIZE | NOMINAL DIAMETER (IN.) | D       | 180° HOOKS |           | 90° HOOKS |
|-------------------|------------------------|---------|------------|-----------|-----------|
|                   |                        |         | A          | J         | A         |
| #3                | 0.375                  | 2 1/4"  | 0-5"       | 0-3"      | 0-6"      |
| #4                | 0.500                  | 3"      | 0-6"       | 0-4"      | 0-8"      |
| #5                | 0.625                  | 3 3/4"  | 0-7"       | 0-5"      | 0-10"     |
| #6                | 0.750                  | 4 1/2"  | 0-8"       | 0-6"      | 1-0"      |
| #7                | 0.875                  | 5 1/4"  | 0-10"      | 0-7"      | 1-2"      |
| #8                | 1.000                  | 6"      | 0-11"      | 0-8"      | 1-4"      |
| #9                | 1.128                  | 6 3/4"  | 1-3"       | 0-11 3/4" | 1-7"      |
| #10               | 1.270                  | 10 3/4" | 1-5"       | 1-1 1/4"  | 1-10"     |
| #11               | 1.410                  | 12"     | 1-7"       | 1-2 3/4"  | 2-0"      |



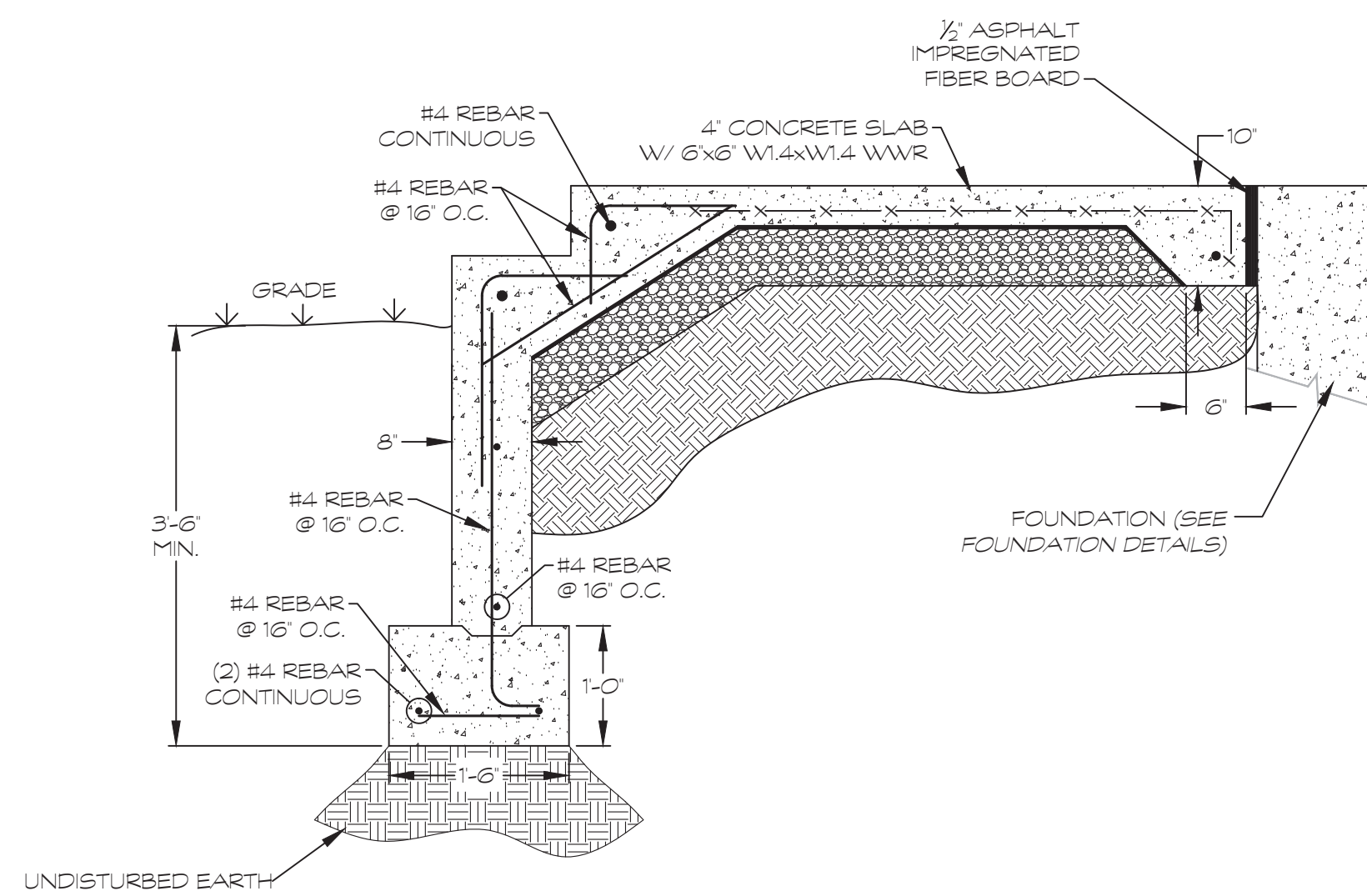
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SCALE: N.T.S.



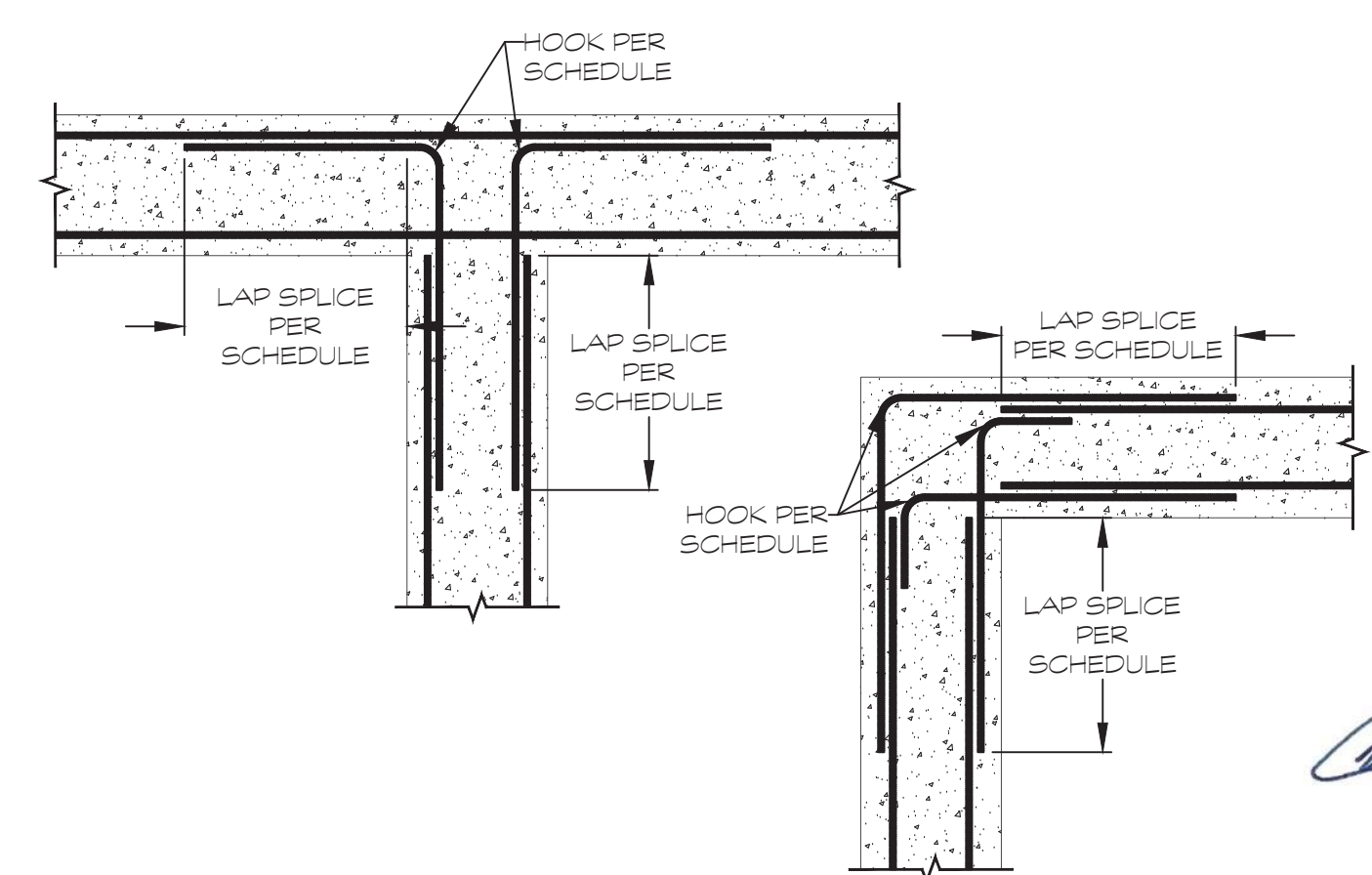
(TYP.) NEW/EXISTING PINNING FOUNDATION WALL DETAIL "2"  
SCALE: N.T.S.



STEPPED FOOTING/FOUNDATION WALL DETAIL "3"  
SCALE: N.T.S.



ENTRY PORCH CONCRETE SLAB/STAIR DETAIL "5"  
SCALE: N.T.S.



(TYP.) CORNER REBAR DETAILS  
SCALE: N.T.S.

| No. | REMARKS            | DATE      |
|-----|--------------------|-----------|
| 1   | ISSUED FOR REVIEW  | 04.21.23  |
| 2   | UPDATED FOR REVIEW | 04.24.23  |
| 3   | ISSUED FOR FILING  | 08.21.23  |
|     | PLANNING BOARD     | 2/15/2024 |

PROJECT:  
**RESIDENCE**  
59 TWEED BOULEVARD  
ORANGEBURG, NY 10960

SEAL & SIGNATURE:

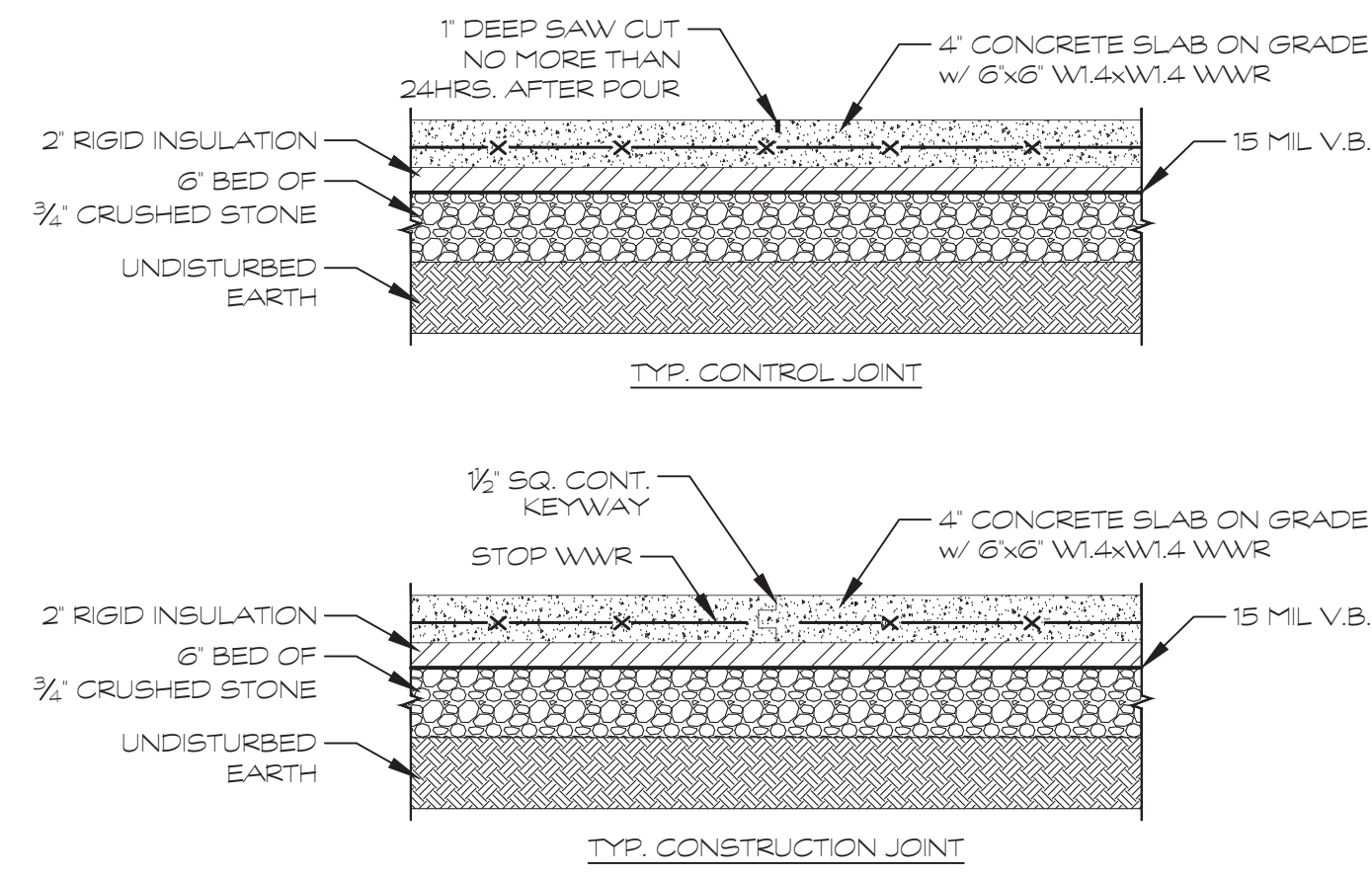
PHASE 3  
FOUNDATION  
SPECIFICATIONS &  
DETAILS

DATE: 03.03.2023  
PROJECT No.: 20017  
DRAWING BY: DRI  
CHK BY:  
DWG No.:

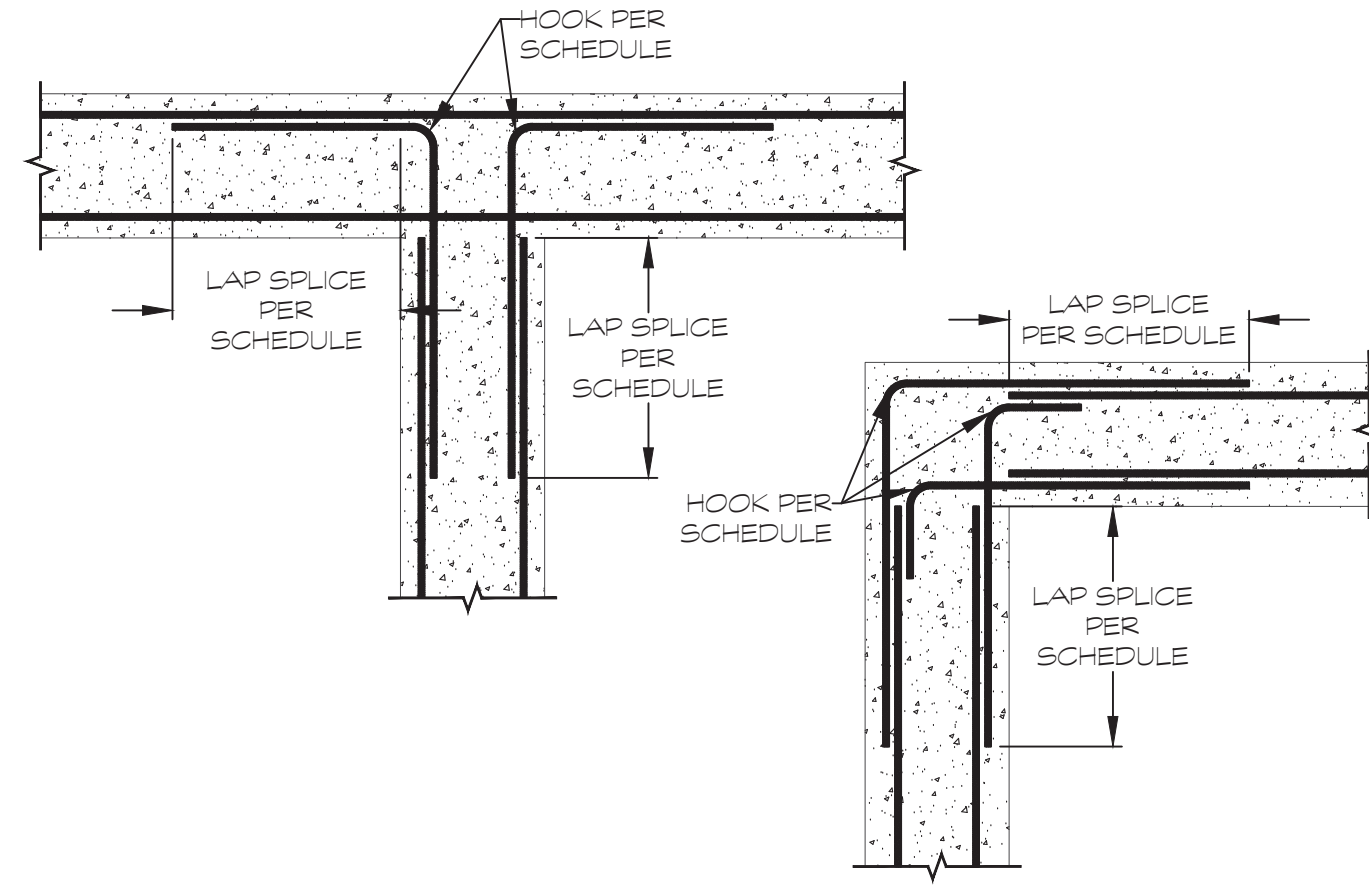
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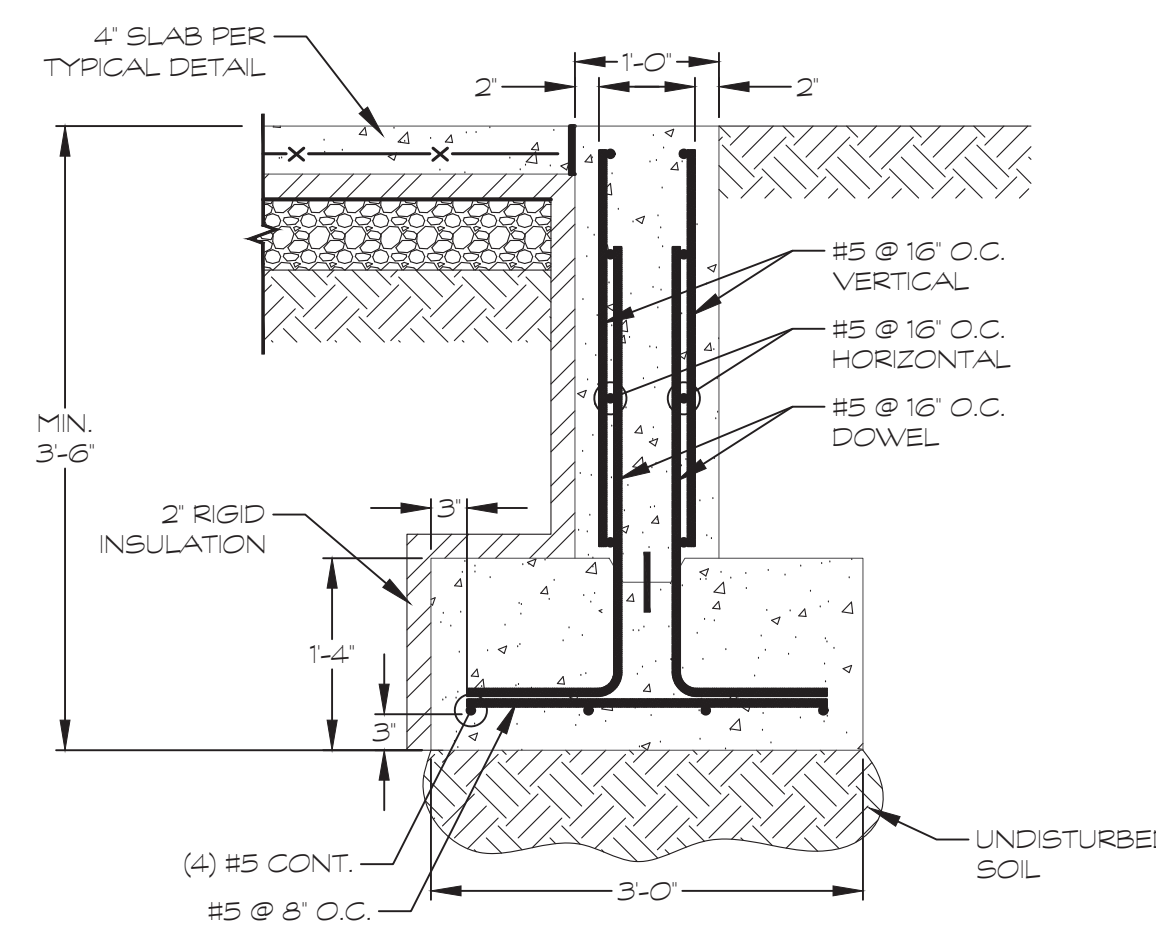
VERIFY ALL DIMENSIONS IN FIELD



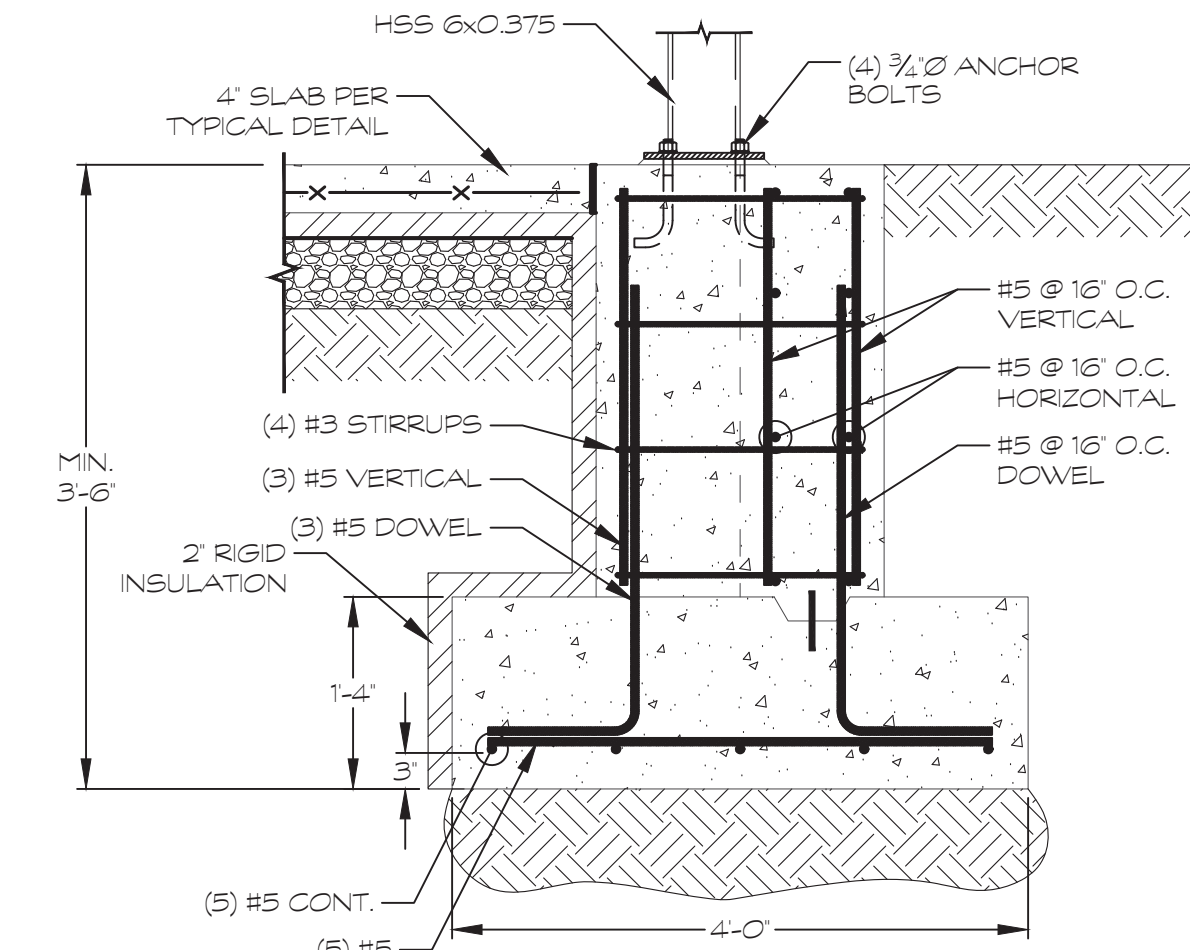
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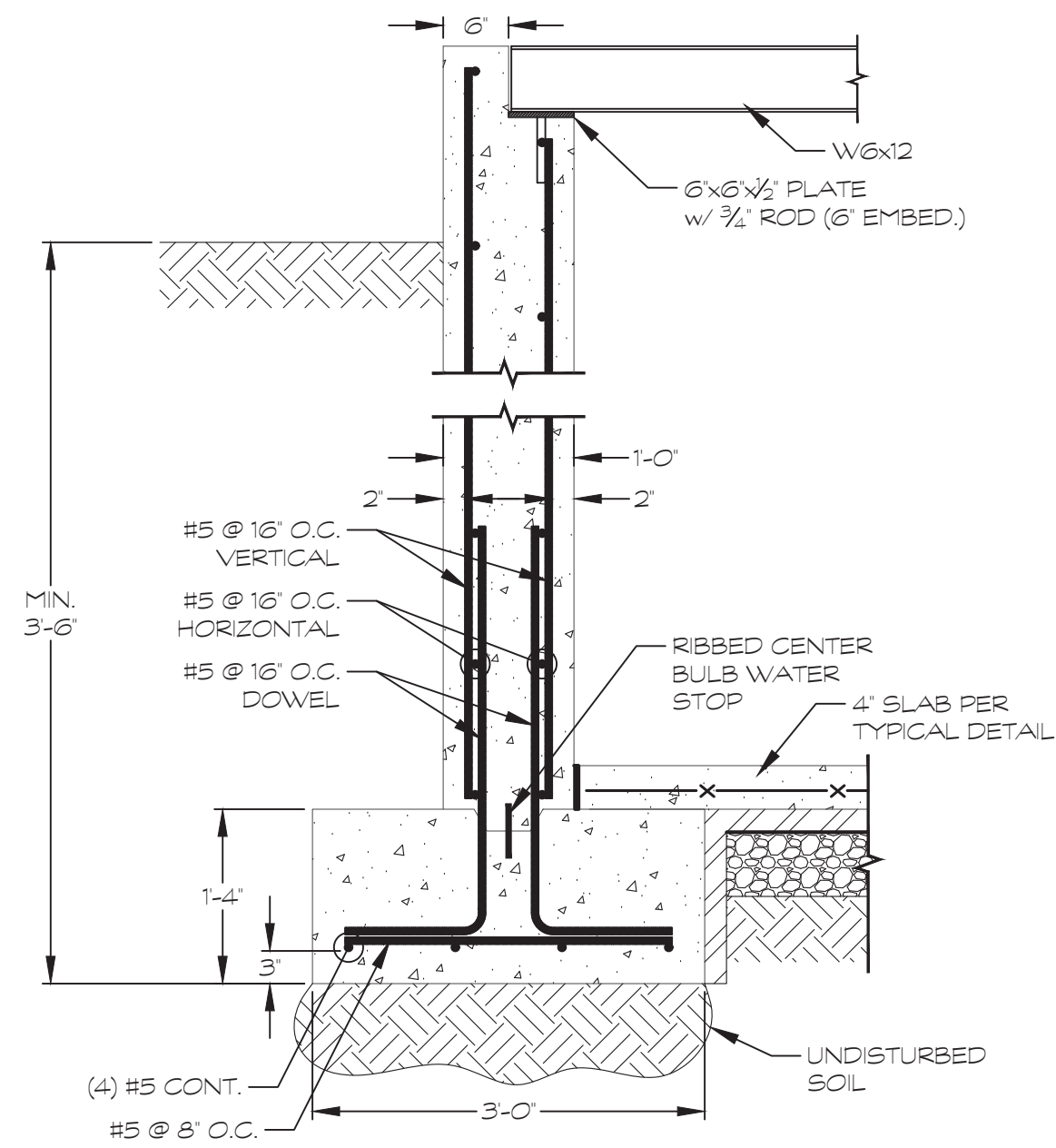
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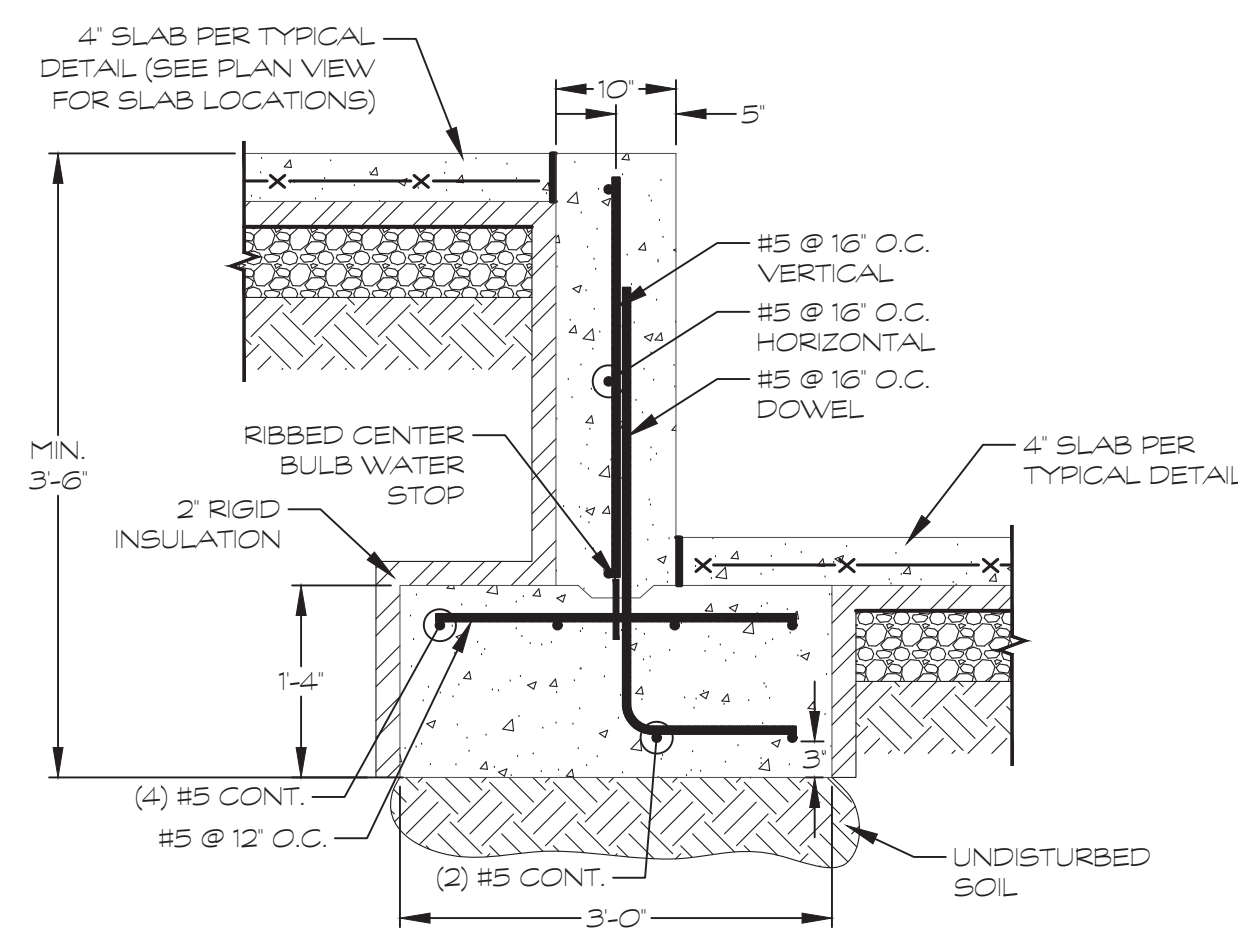
(TYP.) OFFICE PAVILION LOW FOUNDATION DETAIL "3"  
SCALE: N.T.S.



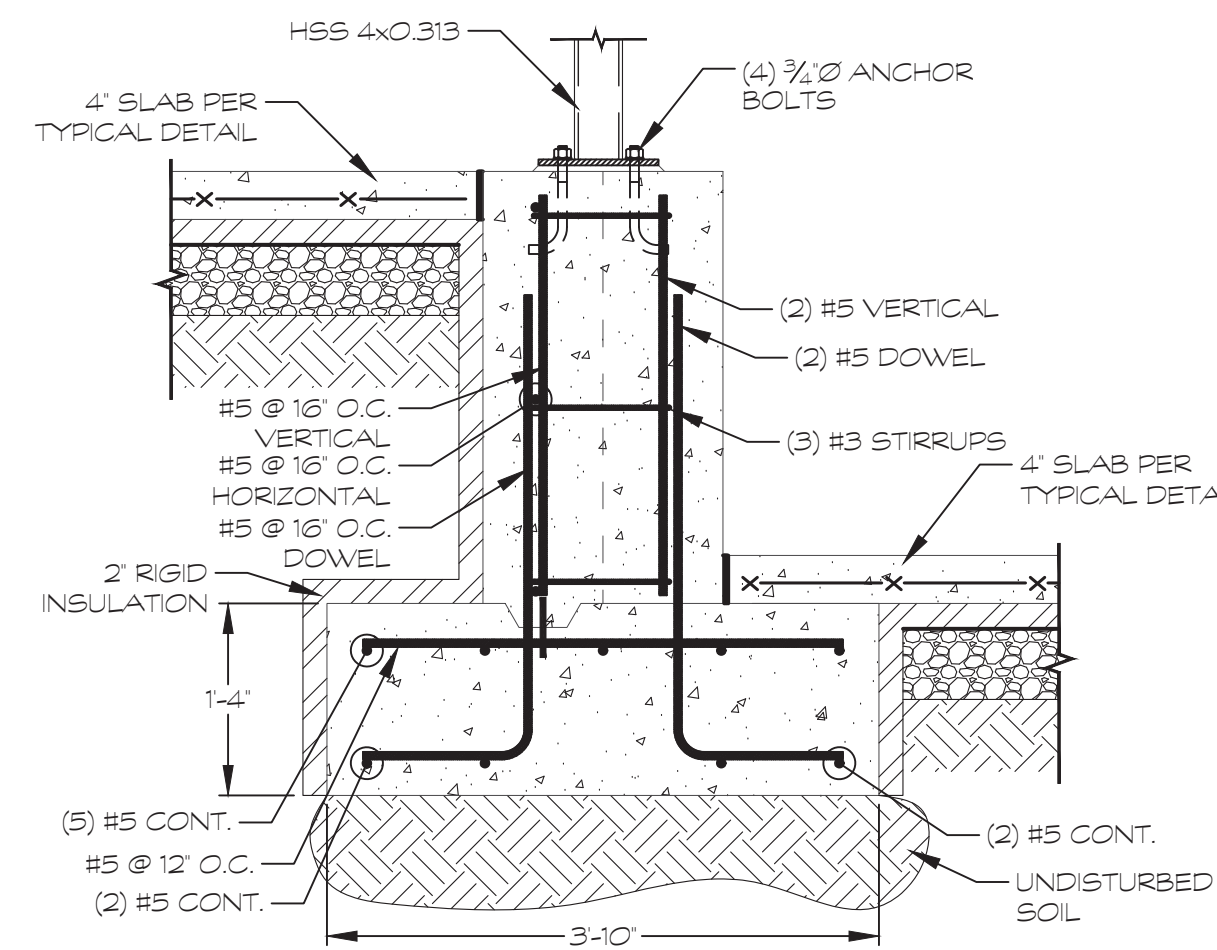
(TYP.) OFFICE PAVILION PIER DETAIL "4"  
SCALE: N.T.S.



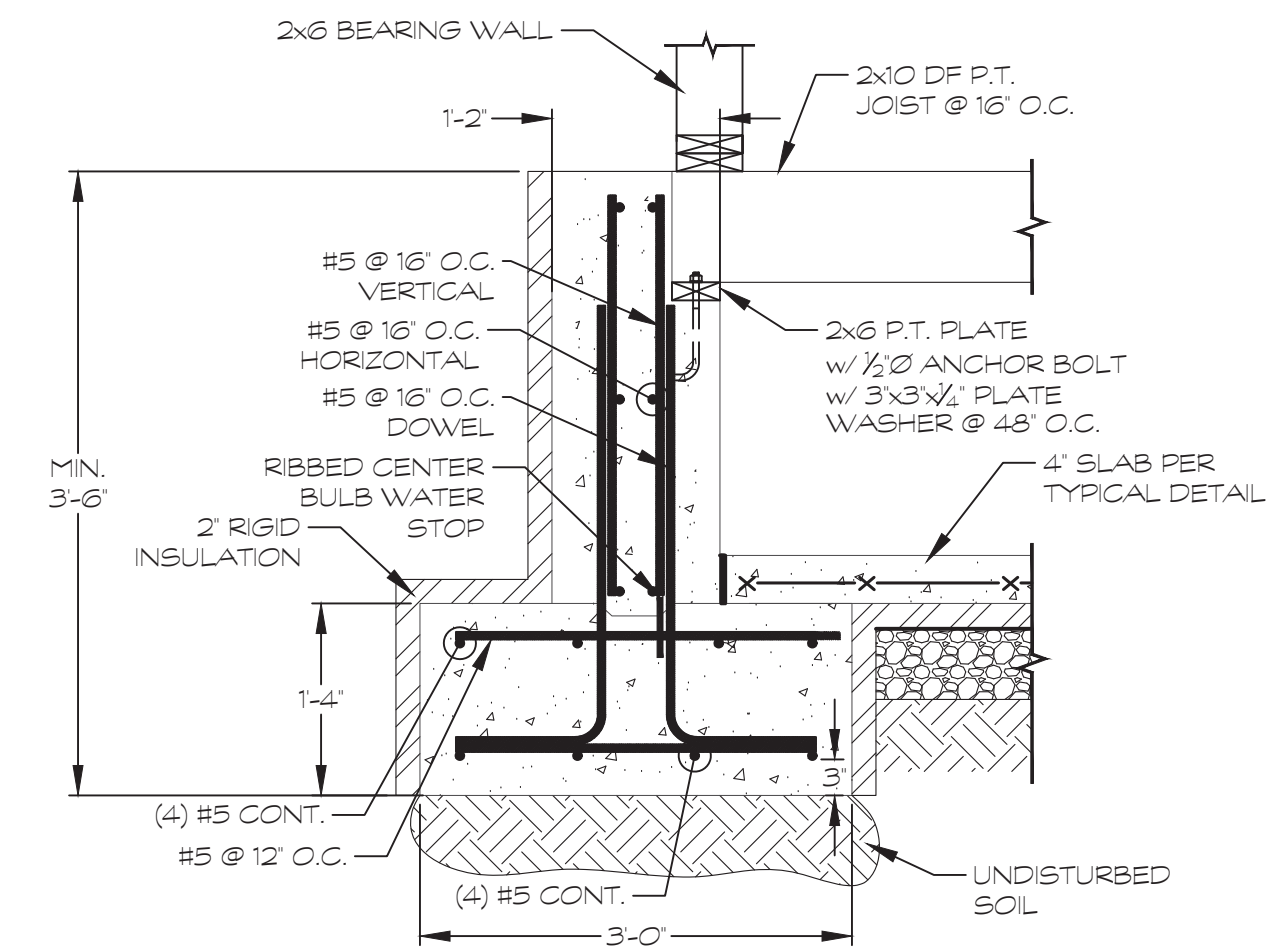
(TYP.) OFFICE PAVILION HIGH FOUNDATION DETAIL "5"  
SCALE: N.T.S.



(TYP.) FOUNDATION WALL DETAIL "6"  
SCALE: N.T.S.



FOUNDATION PIER DETAIL "7"  
SCALE: N.T.S.



FOUNDATION WALL AT CRAWL SPACE DETAIL "8"  
SCALE: N.T.S.

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| No. | REMARKS           | DATE      |
|-----|-------------------|-----------|
| 1   | ISSUED FOR PERMIT | 12.15.22  |
| 2   | ISSUED FOR FILING | 08.21.23  |
|     | PLANNING BOARD    | 2/15/2024 |
|     |                   |           |
|     |                   |           |
|     |                   |           |
|     |                   |           |
|     |                   |           |

PROJECT:  
RESIDENCE  
59 TWEED BOULEVARD  
ORANGEBURG, NY 10960

SEAL & SIGNATURE:  
  
Raymond R. Johnson  
PROFESSIONAL ENGINEER

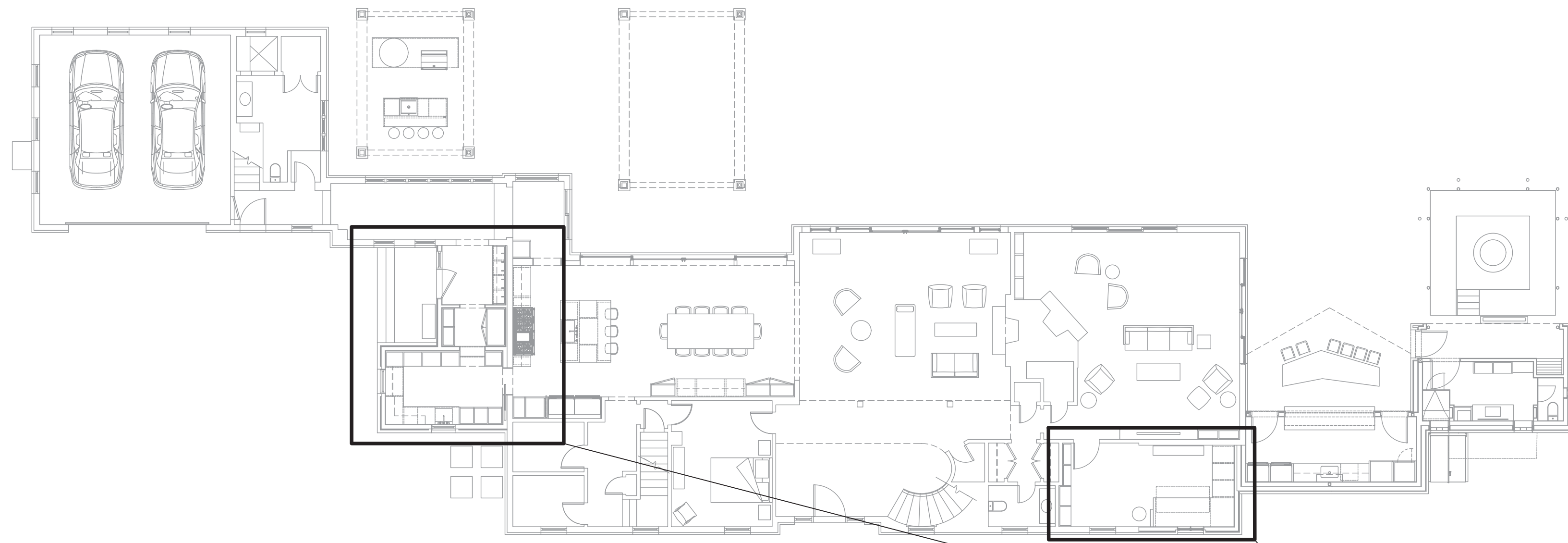
FOUNDATION  
SPECIFICATIONS &  
DETAILS

DATE: 03.03.2023  
PROJECT No.: 20017  
DRAWING BY: JDZ  
CHK BY:  
DWG No.:

FO-101.00



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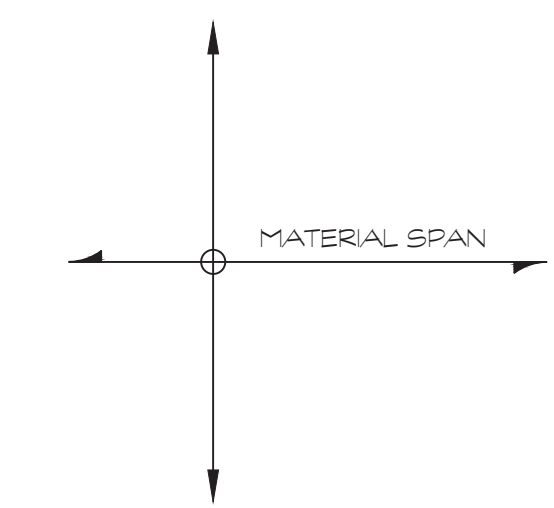


1ST FLOOR KEY PLAN  
SCALE: N.T.S.

AREA OF  
WORK

- COLUMN LEGEND**
- HSS COLUMN UP
  - HSS COLUMN UP AND DOWN
  - HSS COLUMN DOWN
  - WOOD COLUMN UP
  - WOOD COLUMN UP AND DOWN
  - WOOD COLUMN DOWN
  - ⊗ LINTEL POST
  - LOCATION OF BEAM OR COLUMN ABOVE FOUNDATION WALL

- MATERIAL LEGEND**
- DECKING
  - WOOD
  - - - EXISTING FRAMING
  - - - L.V.L.
  - - - P.S.L.
  - - - T.J.I.
  - - - NEW STEEL
  - - - WOOD STRAPING
  - - - NEW ANGLE
  - - - SHORING



**KLIGERMAN  
ARCHITECTURE  
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FLANDERS, NJ 07836  
TEL 973.691.0602  
DRAWINGS@HANINGTONENGINEERING.COM  
JOB #21-2970

59  
TWEED BOULEVARD

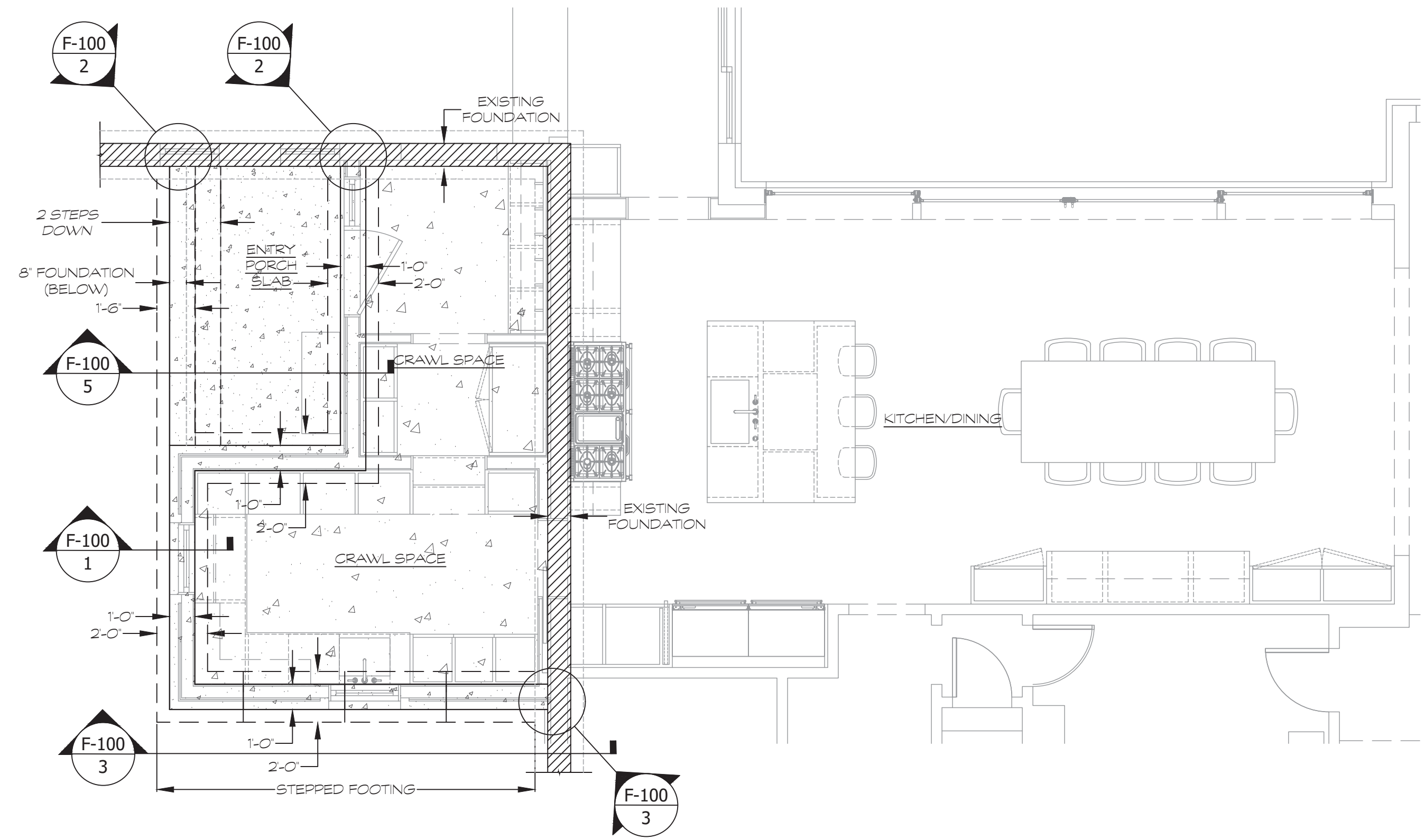
| No. | REMARKS           | DATE      |
|-----|-------------------|-----------|
| 1   | ISSUED FOR REVIEW | 04.21.23  |
| 2   | ISSUED FOR FILING | 08.21.23  |
|     | PLANNING BOARD    | 2/15/2024 |
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PROJECT:  
**RESIDENCE**  
59 TWEED BOULEVARD  
ORANGEBURG, NY 10960

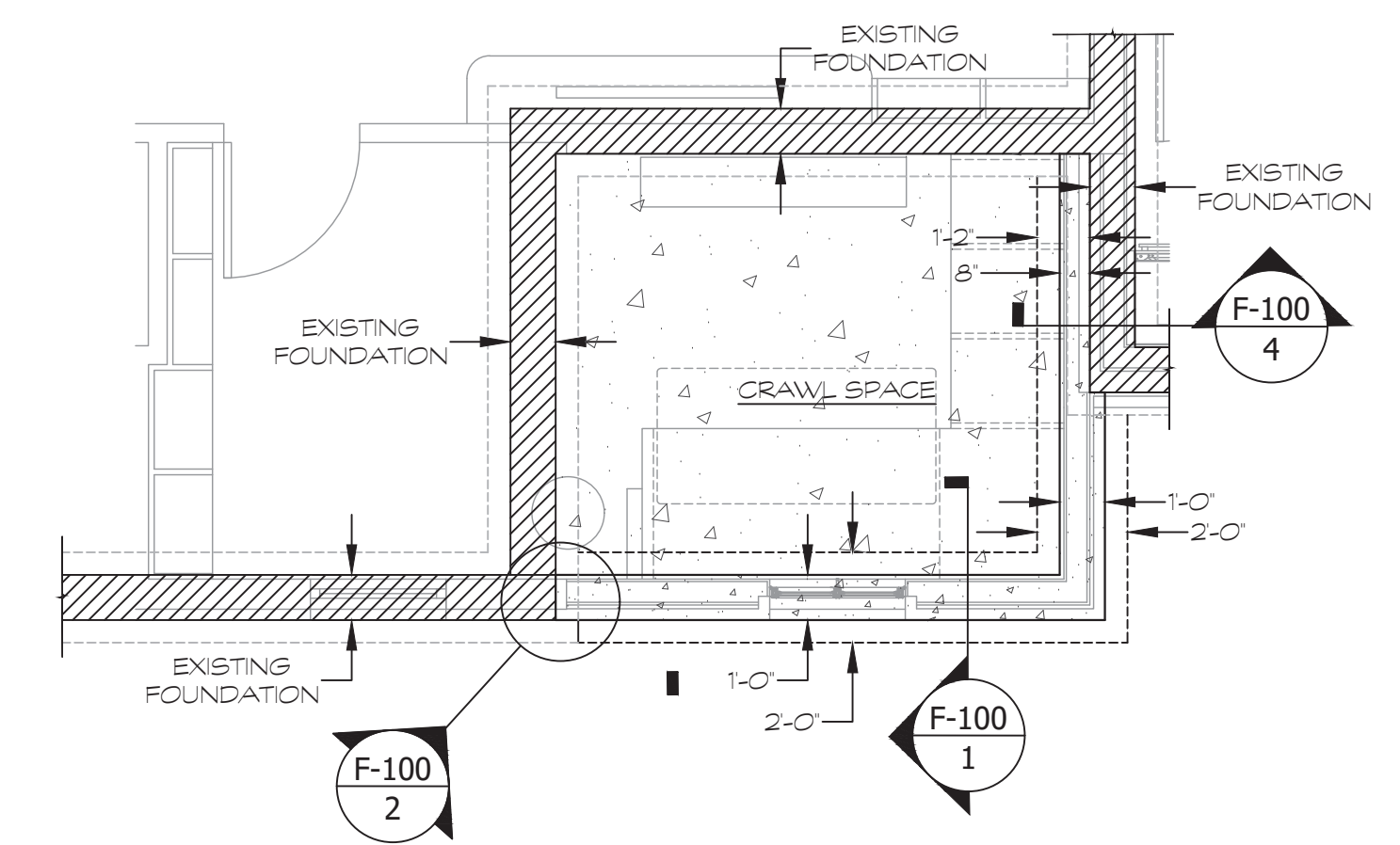
SEAL & SIGNATURE:  


**PHASE 3  
FOUNDATION  
PLAN**

DATE: 03.03.2023  
PROJECT No.: 20017  
DRAWING BY: DRI  
CHK BY:  
DWG No.:  
**FO-200.00**



NEW FOUNDATION PLAN @ PROPOSED NEW PANTRY  
SCALE: 1/4"=1'-0"



NEW FOUNDATION PLAN @ PROPOSED NEW BUNK ROOM  
SCALE: 1/4"=1'-0"

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VERIFY ALL DIMENSIONS IN FIELD

GENERAL STRUCTURAL SPECIFICATIONS:

- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE 2020 OF NEW YORK STATE.
- ALL HEC DRAWINGS ARE SCHEMATIC ONLY. THE SCALES INDICATED ON THE PLANS ARE FOR REFERENCE ONLY.
- THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS, ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS, AND ALL SUBCONTRACTOR SHOP DRAWINGS AND ARE APPROVED ONLY FOR THE WORK INDICATED ON THE PLANS.
- THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, AND SIMILAR APPARATUS AS MAY BE REQUIRED TO STABILIZE THE STRUCTURE DURING THE COURSE OF ALL CONSTRUCTION.

STEEL CONSTRUCTION SPECIFICATIONS:

- ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE AISC 'MANUAL OF STEEL CONSTRUCTION,' LATEST EDITION.
- ALL WELDING SHALL BE IN ACCORDANCE WITH THE 'STRUCTURAL WELDING CODE,' AWS D11, LATEST EDITION AND BE PERFORMED BY WELDERS CERTIFIED IN ACCORDANCE WITH AWS STANDARDS.
- STEEL MATERIALS SHALL CONFORM TO THE FOLLOWING AND BE ACCOMPANIED BY CERTIFIED MILL REPORTS UNLESS OTHERWISE NOTED ON THE DRAWINGS:

|                         |                        |
|-------------------------|------------------------|
| W-SHAPES & WT-SHAPES    | ASTM A992              |
| C-SHAPES & MC-SHAPES    | ASTM A36               |
| HEB SHAPES              | ASTM 500, GRADE C      |
| ANGLES, PLATES, & MISC. | ASTM A36               |
| STEEL PIPE              | ASTM A53, GRADE B      |
| HIGH STRENGTH BOLTS     | ASTM F3125, GRADE A325 |
| MACHINE BOLTS           | ASTM A307, GRADE A     |
| ANCHOR BOLTS/RODS       | ASTM F1554, GRADE 55   |
| WELDING ELECTRODES      | ASTM E70XX             |

- THE CONTRACTOR SHALL PROVIDE 1 REPRODUCIBLE AND 4 COPIES OF SHOP DRAWINGS. THE 4 COPIES WILL BE RETAINED BY THE ARCHITECT AND ENGINEER AND THE REPRODUCIBLE WILL BE RETURNED TO THE CONTRACTOR. PREFERRED ALTERNATIVE: PROVIDE ELECTRONIC COPIES (PDF) OF SHOP DRAWINGS FOR A / E REVIEW AND PROCESSING.

- FRAMING CONNECTIONS NOT DETAILED, OR CONNECTIONS THAT ARE MODIFIED FROM THOSE DETAILED, SHALL BE DESIGNED BY THE SUPPLIER FOR THE END REACTION SHOWN ON THE PLAN. IF NO END REACTION IS PROVIDED, DESIGN FOR 1/2 THE BEAM MAXIMUM UNIFORM LOAD PER THE AISC MANUAL FOR STEEL CONSTRUCTION.

- AVOID ONE-SIDED CONNECTIONS IF POSSIBLE. IF IT IS NECESSARY TO USE A ONE-SIDED CONNECTION, THIS CONNECTION SHALL BE DESIGNED IN ACCORDANCE WITH AISC MANUAL AND SHALL HAVE A MINIMUM OF TWO LINES OF BOLTS IN EACH LEG OF THE ONE-SIDED CONNECTION ANGLE.

- SHOP CONNECTIONS SHALL BE WELDED OR HIGH STRENGTH BOLTED, UNLESS OTHERWISE NOTED, USE MINIMUM 3/8" FILLET WELDS AND 3/4" BOLTS IN STANDARD HOLES.

- FIELD CONNECTIONS SHALL BE WELDED OR HIGH STRENGTH BOLTED. NO FIELD WELDING OF HOT DIPPED GALVANIZED MEMBERS WILL BE ALLOWED, UNLESS OTHERWISE NOTED, USE MINIMUM 3/8" FILLET WELDS AND 3/4" BOLTS IN STANDARD HOLES.

- CONTRACTOR SHALL FURNISH ALL PLATES, CLIP ANGLES, CONNECTIONS, NAILER HOLES, ETC. REQUIRED FOR THE COMPLETION OF THE STRUCTURE EVEN IF EVERY SUCH ITEM IS NOT SHOWN ON DRAWINGS.

- PROVIDE ONE SHOP COAT OF PRIMER ON ALL STEEL EXCEPT FOR ITEMS TO BE HOT DIPPED GALVANIZED OR SPRAY FIREPROOFED. DO NOT PAINT PORTIONS EMBEDDED IN CONCRETE.

- ALL EXTERIOR ELEMENTS AND THOSE ELEMENTS NOTED TO BE GALVANIZED SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A123 AFTER SANDBLAST CLEANING. USE ASTM F3125, GR. A325 BOLTS HOT DIPPED GALVANIZED WITH GALVANIZED HARDENED WASHERS AND GALVANIZED HEAVY HEX NUTS FOR BOLTING OF GALVANIZED ITEMS.

- BEAMS OR JOISTS WITH AN ACCEPTABLE AMOUNT OF CAMBER (1/4") SHALL BE INSTALLED WITH THE CAMBER SIDE UP.

- ALL HOLES AND CUTS SHALL BE SHOWN ON THE SHOP DRAWINGS AND MADE IN THE SHOP. CUTS OR BURNING OF HOLES IN STRUCTURAL STEEL IN THE FIELD WILL NOT BE PERMITTED.

- NON-SHRINK NON-METALLIC GROUT WITH A MINIMUM 28 DAY STRENGTH OF 5,000 PSI SHALL BE USED UNDER BASE PLATES. THE USE OF LEVELING PLATES UNDER COLUMN BASE PLATES WILL NOT BE PERMITTED.

- ALL COLUMNS ARE TO BE LATERALLY BRACED AT EACH FLOOR.

- STEEL COLUMNS, BASE PLATES AND ALL STEEL BELOW GRADE SHALL HAVE A MINIMUM 3" CONCRETE COVER PROTECTION.

- ALL EXISTING STEEL IS TO BE CLEANED OF RUST, SCALE, AND DEBRIS PRIOR TO WELDING OF NEW STEEL.

- ALL CONTACT SURFACES WITHIN HIGH-STRENGTH BOLT CONNECTIONS AND WELDING AREAS SHALL BE FREE OF DIRT, OIL, OR ANY FOREIGN MATERIALS.

- FIRE PROTECTION OF STRUCTURAL STEEL SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE.

WOOD FRAME CONSTRUCTION SPECIFICATIONS:

- ALL LUMBER WORK AND MATERIALS SHALL CONFORM TO THE FOLLOWING CODES AND SPECIFICATIONS (LATEST EDITION):
  - ATC TIMBER CONSTRUCTION MANUAL
  - APA PLYWOOD DESIGN SPECIFICATION
  - NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS)
- ALL TOP-FLANGE AND FACE-MOUNTED HANGERS SHALL BE MANUFACTURED BY 'SIMPSON STRONG TIE' UNLESS OTHERWISE APPROVED BY THE ENGINEER. HANGERS SHALL BE SELECTED BASED ON THE ACCOMPANYING SCHEDULES AND DETAILS, AND SHALL BE INSTALLED BASED ON THE MANUFACTURERS SPECIFICATIONS.
- ALL STRUCTURAL LUMBER THAT IS EXPOSED TO WEATHER, IN CONTACT WITH EARTH, OR WITHIN 18' OF EARTH SHALL BE PRESSURE TREATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AMERICAN WOOD PRESERVES ASSOCIATION (AWPA).
- ALL WOOD POST WHICH BEAR ON TOP OF CONCRETE SHALL UTILIZE POST BASES THAT DO NOT ALLOW FOR CONTACT BETWEEN WOOD AND CONCRETE. POST BASES SHALL BE AS NOTED IN THE ACCOMPANYING SCHEDULES AND SHALL BE MANUFACTURED BY 'SIMPSON STRONG TIE'.
- PROVIDE CROSS BRIDGING (METAL OR WOOD) OR SOLID BLOCKING AT 4 FT. ON CENTER MINIMUM FOR ALL JOISTS. WHEN BEARING WALLS RUN PERPENDICULAR TO JOISTS, INSTALL SOLID BLOCKING UNDERNEATH WALL.
- TYPICAL END BEARING FOR ALL BEAMS AND JOISTS SHALL BE MINIMUM 4".
- PLYWOOD SUB-FLOORS TO BE GLUED AND SCREWED TO JOISTS.
- ALL STUD BEARING WALLS TO BE PROVIDED WITH TWO CONTINUOUS TOP PLATES AND ONE CONTINUOUS BOTTOM PLATE.
- PLYWOOD SHEATHING FOR ROOFS, FLOORS, AND WALLS SHALL BE C-D EXPOSURE 1 APA RATED PLYWOOD SHEATHING (CDX).

SOLID SAWN LUMBER SPECIFICATIONS:

- ALL SOLID SAWN LUMBER SHALL BE DOUGLAS FIR (NORTH), NUMBER 2 OR BETTER WITH THE FOLLOWING MINIMUM PROPERTIES (SINGLE MEMBER):
 

|                         |                            |
|-------------------------|----------------------------|
| BENDING                 | F <sub>b</sub> = 850 psi   |
| HORIZONTAL SHEAR        | F <sub>v</sub> = 180 psi   |
| COMP. PERP. TO GRAIN    | F <sub>c</sub> = 625 psi   |
| COMP. PARALLEL TO GRAIN | F <sub>c</sub> = 1,400 psi |
| MODULUS OF ELASTICITY   | E = 1,800 ksi              |
- ALL LUMBER SHALL BE KILN DRIED TO A MAXIMUM MOISTURE CONTENT OF 19%.
- SEVERELY DISTORTED (TWISTED, BOWED, CUPPED, CHECKED, ETC.) LUMBER SHALL NOT BE USED.

STRUCTURAL COMPOSITE LUMBER (LVL, LSL, AND PSL) SPECIFICATIONS:

- ALL LAMINATED VENEER LUMBER (LVL) SHALL BE TRUSS JOIST 'MICROLLAM' AS MANUFACTURED BY 'WEYERHAEUSER' WITH THE FOLLOWING MINIMUM PROPERTIES:
 

|                         |                            |
|-------------------------|----------------------------|
| BENDING                 | F <sub>b</sub> = 2,600 psi |
| HORIZONTAL SHEAR        | F <sub>v</sub> = 285 psi   |
| COMP. PERP. TO GRAIN    | F <sub>c</sub> = 750 psi   |
| COMP. PARALLEL TO GRAIN | F <sub>c</sub> = 2,510 psi |
| MODULUS OF ELASTICITY   | E = 2,000 ksi              |
- ALL PARALLEL STRAND LUMBER (PSL) SHALL BE TRUSS JOIST 'PARALLAM' AS MANUFACTURED BY 'WEYERHAEUSER' WITH THE FOLLOWING MINIMUM PROPERTIES:
 

|                         |                            |
|-------------------------|----------------------------|
| BENDING                 | F <sub>b</sub> = 2,900 psi |
| HORIZONTAL SHEAR        | F <sub>v</sub> = 290 psi   |
| COMP. PERP. TO GRAIN    | F <sub>c</sub> = 625 psi   |
| COMP. PARALLEL TO GRAIN | F <sub>c</sub> = 2,900 psi |
| MODULUS OF ELASTICITY   | E = 2,000 ksi              |

- ALL LAMINATED STRAND LUMBER (LSL) SHALL BE TRUSS JOIST 'TIMBERSTRAND' AS MANUFACTURED BY 'WEYERHAEUSER' WITH THE FOLLOWING MINIMUM PROPERTIES:
 

|                         |                            |
|-------------------------|----------------------------|
| BENDING                 | F <sub>b</sub> = 1,900 psi |
| HORIZONTAL SHEAR        | F <sub>v</sub> = 150 psi   |
| COMP. PERP. TO GRAIN    | F <sub>c</sub> = 435 psi   |
| COMP. PARALLEL TO GRAIN | F <sub>c</sub> = 1,400 psi |
| MODULUS OF ELASTICITY   | E = 1,900 ksi              |

COMPOSITE WOOD T-JOIST SPECIFICATIONS:

- ALL PLYWOOD WEB, I-JOIST LUMBER SHALL BE TRUSS JOIST 'TJ' AS MANUFACTURED BY 'WEYERHAEUSER'.
- THE CONTRACTOR SHALL INSTALL ALL I-JOISTS IN STRICT ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. THE WEBS MAY BE DRILLED OR CUT IN THE FIELD ACCORDING TO THE MANUFACTURERS SPECIFICATIONS AFTER OBTAINING APPROVAL FROM THE ENGINEER. DO NOT CUT OR NOTCH FLANGES.
- I-JOISTS ARE TO BE STACKED ON MINIMUM 6"x6" SUPPORT BLOCKS WITH A MAXIMUM SPACING OF 10' O.C. WHEN STACKING MULTIPLE UNITS, 2"x3" 'STICKERS' SHOULD BE USED BETWEEN UNITS. I-JOISTS SHOULD BE STORED AND HANDLED IN THE VERTICAL ORIENTATION.
- RIM BOARDS SHALL BE TJ RIM BOARD OR TIMBERSTRAND LSL AS MANUFACTURED BY 'WEYERHAEUSER'. RIM BOARDS SHALL BE 1/2" MINIMUM THICKNESS AND SHALL MATCH THE I-JOIST DEPTH.
- PLYWOOD SUBFLOORS TO BE GLUED AND SCREWED TO 'TJ' JOISTS.

DESIGN CRITERIA (USING ASCE 7-16):

- GENERAL CRITERIA (CHAPTER 1)
  - RISK CATEGORY ----- II (SECTION 1.5)
- SNOW CRITERIA (CHAPTER 7)
  - GROUND SNOW LOAD, p<sub>g</sub> ----- 30 (SECTION 7.2)
  - EXPOSURE FACTOR, C<sub>e</sub> ----- 1.0 (TABLE 7-2)
  - THERMAL FACTOR, C<sub>t</sub> ----- 1.0 (TABLE 7-3)
  - IMPORTANCE FACTOR, I<sub>s</sub> ----- 1.0 (TABLE 15-2)
  - FLAT ROOF SNOW LOAD, p<sub>f</sub> ----- 21 (EQUATION 7.3-1)
- SEISMIC CRITERIA (CHAPTER 11)
  - IMPORTANCE FACTOR, I<sub>e</sub> ----- 1.0 (TABLE 15-2)
  - SITE CLASS ----- D (SECTION 11.4.2)
  - S<sub>s</sub> ----- 29.9 %g (SECTION 11.4.1)
  - S<sub>1</sub> ----- 6.2 %g (SECTION 11.4.1)
  - SEISMIC DESIGN CATEGORY ----- B (SECTION 11.6)
- WIND CRITERIA (CHAPTER 26 TO CHAPTER 31)
  - BASIC WIND SPEED, V ----- 114 MPH (FIGURE 26.5-1)
  - WIND DIRECTIONALITY FACTOR, K<sub>d</sub> ----- 0.85 (SECTION 26.6)
  - EXPOSURE CATEGORY ----- B (SECTION 26.7)
  - TOPOGRAPHIC FACTOR, K<sub>z</sub> ----- 1.0 (SECTION 26.8)
  - GUST EFFECT FACTOR ----- 0.85 (SECTION 26.9)
  - ENCLOSURE CLASSIFICATION ----- ENCLOSED (SECTION 26.10)
  - INTERNAL PRESSURE COEFFICIENT ----- +/- 0.18 (SECTION 26.11)

LOADING TABLE

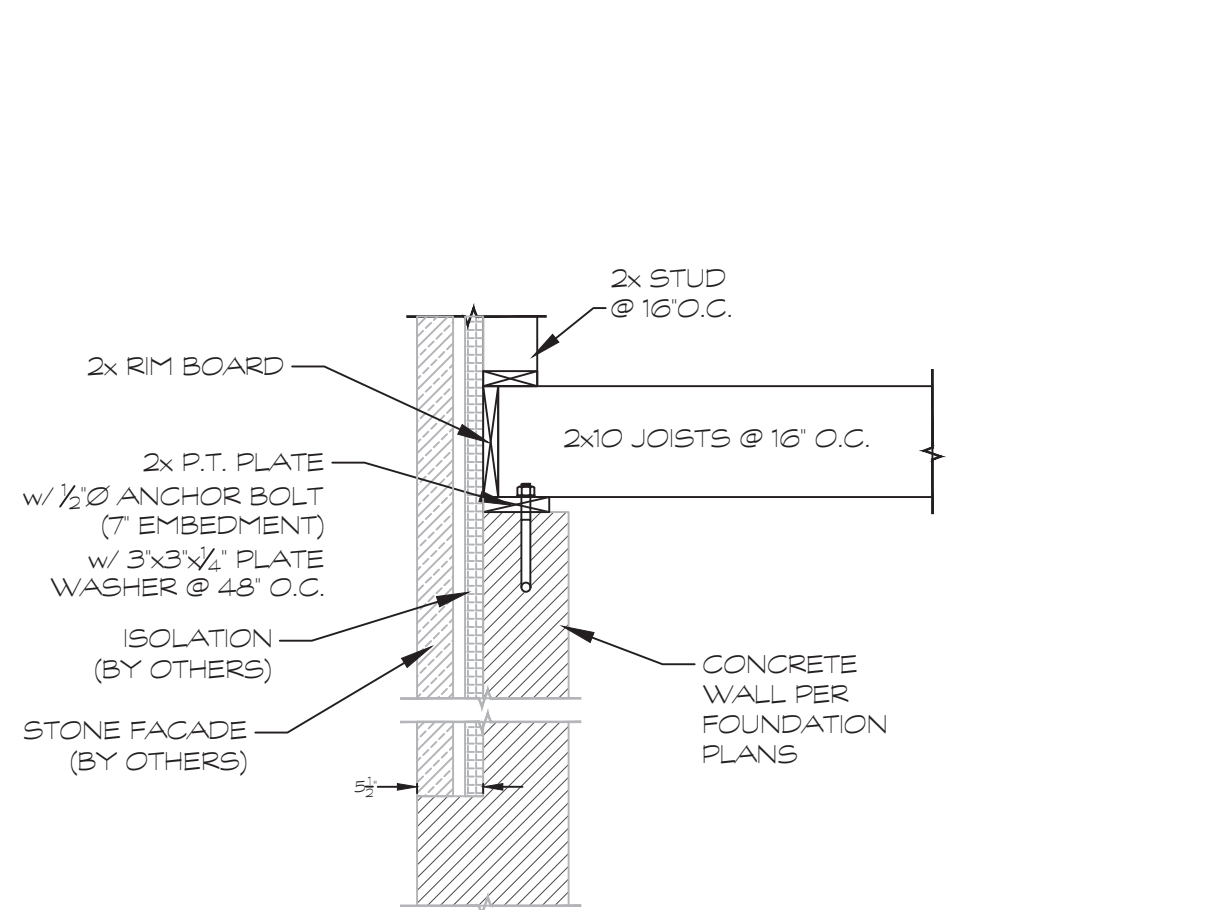
|                     |     |     |
|---------------------|-----|-----|
| ROOF SNOW LOAD      | PSF | 30' |
| DEAD LOAD           |     |     |
| JOIST               | 4   |     |
| ROOFING             | 7   |     |
| CEILING             | 5   |     |
| INSULATION          | 2   |     |
| MISC                | 2   |     |
| TOTAL               | 20  |     |
| 1ST FLOOR LIVE LOAD | PSF | 30' |
| DEAD LOAD           |     |     |
| JOIST               | 10  |     |
| SUB-FLOOR           | 5   |     |
| FLOORING            | 5   |     |
| INSULATION          | 2   |     |
| MISC                | 3   |     |
| TOTAL               | 25  |     |

| USE         | THICKNESS | SPAN RATING | EDGE NAILING | FIELD NAILING |
|-------------|-----------|-------------|--------------|---------------|
| FLAT ROOF   | 3/4"      | 48'         | 8d @ 6" O.C. | 8d @ 12" O.C. |
| SLOPED ROOF | 3/4"      | 40'         | 8d @ 6" O.C. | 8d @ 12" O.C. |
| FLOOR       | 3/4" T&G  | 24'         | 8d @ 4" O.C. | 8d @ 12" O.C. |
| WALL        | 1/2" MIN. | 24'         | 8d @ 4" O.C. | 8d @ 12" O.C. |

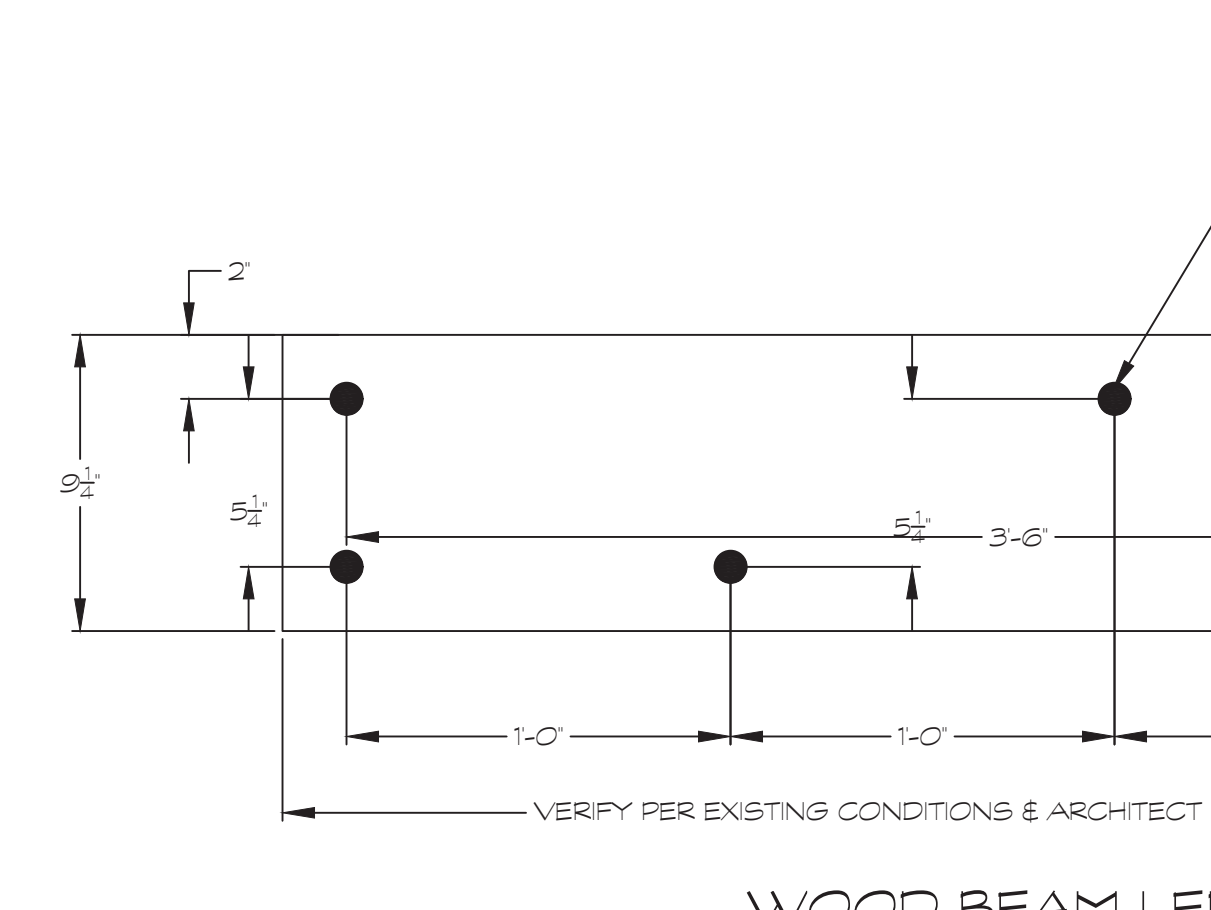
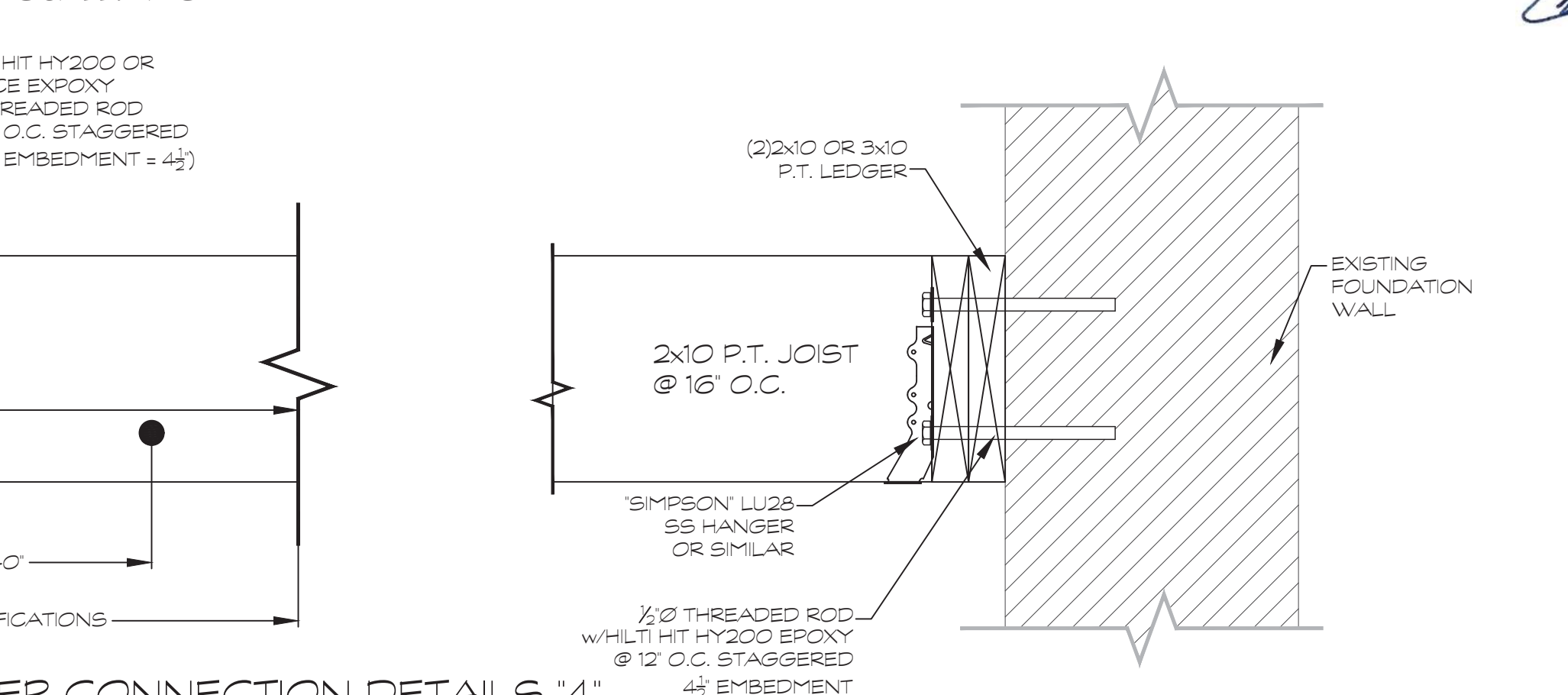
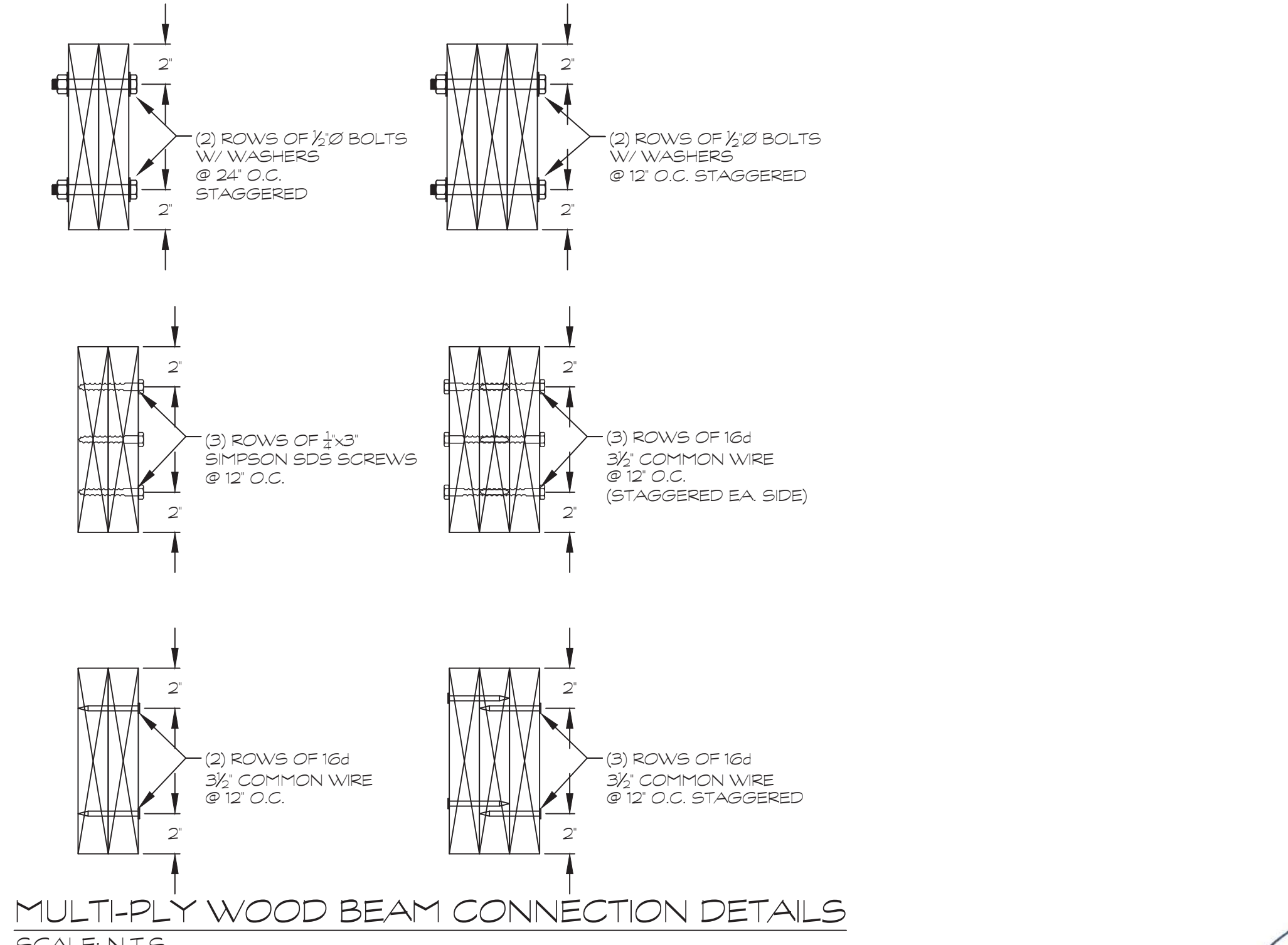
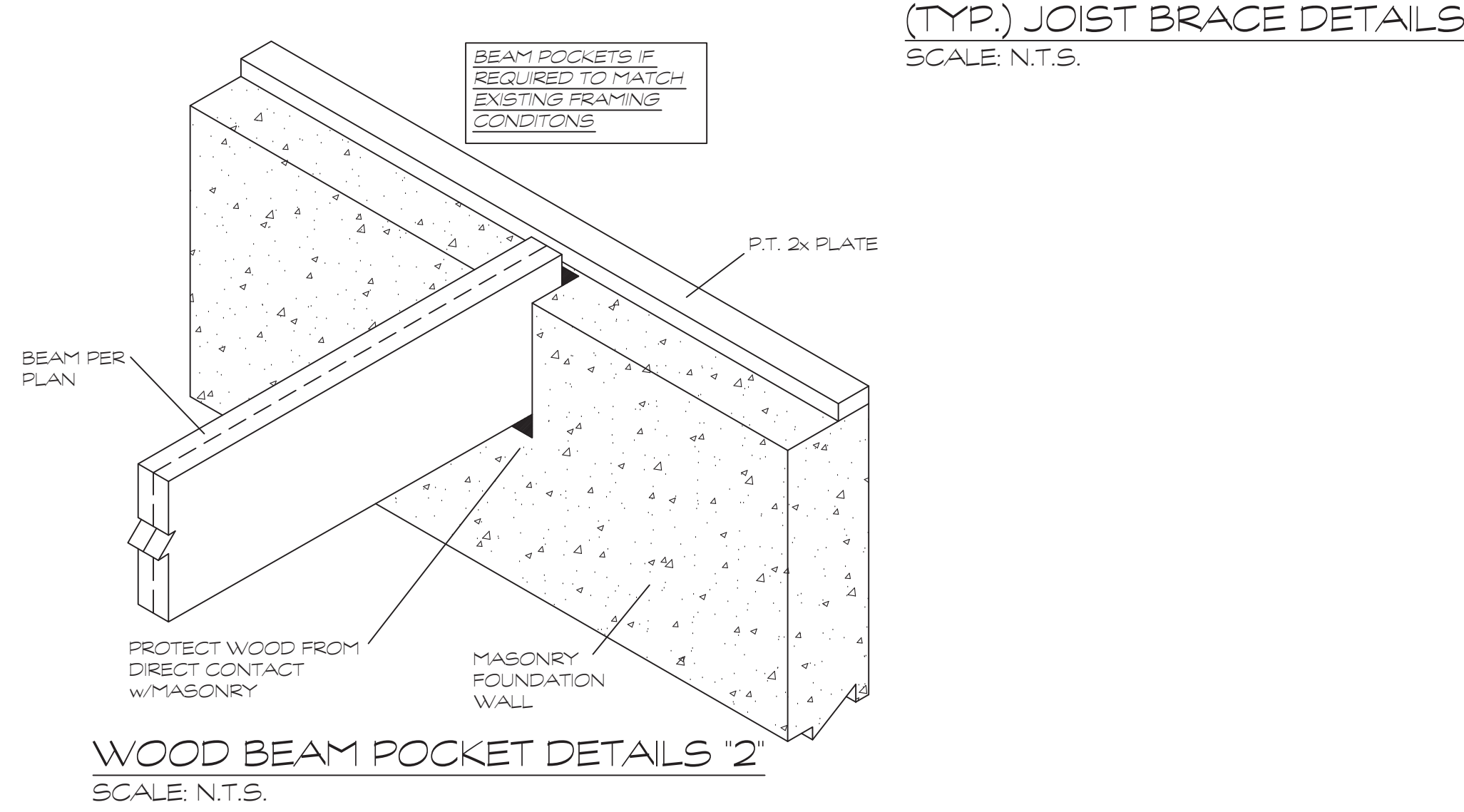
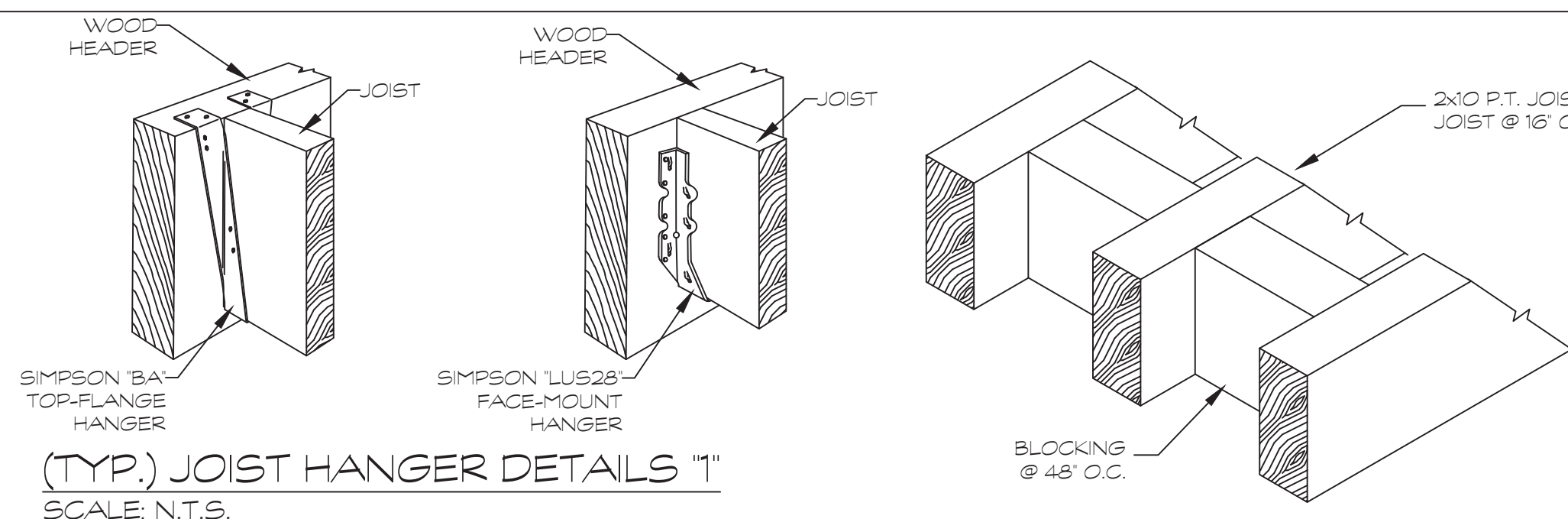
- PLYWOOD SHEATHING NOTES:
- PLYWOOD FOR ROOFS, FLOORS, & WALLS SHALL BE C-D EXPOSURE 1 APA RATED PLYWOOD SHEATHING (CDX).
  - LAY UP PLYWOOD WITH FACE GRAIN PERPENDICULAR TO SUPPORTS WITH STAGGERED JOINTS.
  - ALL NAILS TO BE COMMON NAILS. WHEN USED IN FLOOR AND ROOF SHEATHING, NAILS ARE TO BE RING SHANKED.
  - ALL FLOOR SHEATHING TO BE GLUED AND SCREWED.
  - ALL EDGES OF WALL SHEATHING SHALL BE BLOCKED AND SCREWED.

| DESIGNATION | SPAN             | HEADER SIZE              | POST SIZE (EA. END)  |
|-------------|------------------|--------------------------|----------------------|
| L1          | 0'-0" TO 4'-0"   | (2) 2"x8"                | 1 JACK / 1 KING STUD |
| L2          | 4'-0" TO 6'-0"   | (2) 2"x10"               | 1 JACK / 1 KING STUD |
| L3          | 6'-0" TO 8'-0"   | (2) 1 1/2" x 8 1/2" LVL  | 1 JACK / 1 KING STUD |
| L4          | 8'-0" TO 10'-0"  | (3) 1 1/2" x 8 1/2" LVL  | 1 JACK / 1 KING STUD |
| L5          | 10'-0" TO 12'-0" | (3) 1 1/2" x 11 1/4" LVL | 1 JACK / 1 KING STUD |
| L6          | 12'-0" TO 15'-0" | (3) 1 1/2" x 14" LVL     | 1 JACK / 2 KING STUD |
| L7          | 15'-0" TO 18'-0" | (3) 1 1/2" x 16" LVL     | 2 JACK / 2 KING STUD |

- WOOD HEADER NOTES:
- UNLESS OTHERWISE NOTES ON PLAN, HEADER SIZES ARE TYPICAL THROUGHOUT BUILDING. HEADER SIZES ARE FOR INTERNAL WOOD CONSTRUCTION (DOOR, ARCH, OPENINGS, ETC.). THEY ARE NOT INTENDED TO SUPPORT STONE OR BLOCK WORK.



JOIST SUPPORT @ FOUNDATION DETAIL "3"  
SCALE: N.T.S.



WOOD BEAM LEDGER CONNECTION DETAILS "4"  
SCALE: N.T.S.

**KLIGERMAN ARCHITECTURE & DESIGN**

500 FIFTH AVENUE, 45TH FLOOR  
NEW YORK, NEW YORK 10110  
212.260.0128

HANINGTON ENGINEERING CONSULTANTS, LLC

1 GOLD MINE ROAD  
FLANDERS, NJ 07836  
TEL 973.691.0602  
DRAWINGS@HANINGTONENGINEERING.COM  
JOB #21-2970

59  
TWEED BOULEVARD

| No. | REMARKS            | DATE      |
|-----|--------------------|-----------|
| 1   | ISSUED FOR REVIEW  | 04.21.23  |
| 2   | UPDATED FOR REVIEW | 04.24.23  |
| 3   | ISSUED FOR FILING  | 08.21.23  |
|     | PLANNING BOARD     | 2/15/2024 |

PROJECT:  
**RESIDENCE**  
59 TWEED BOULEVARD  
ORANGEBURG, NY 10960

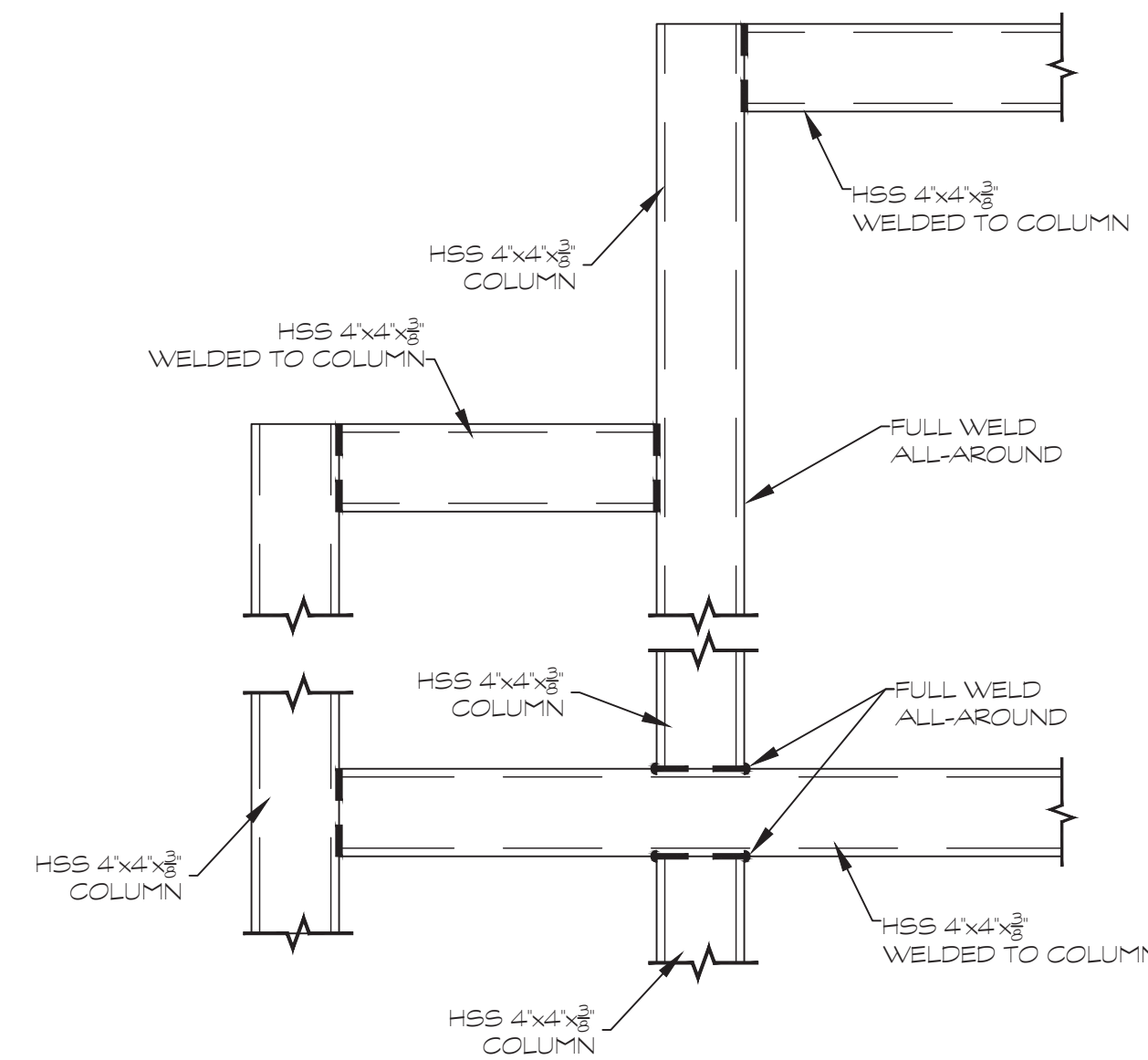
SEAL & SIGNATURE:

STRUCTURAL SPECIFICATIONS

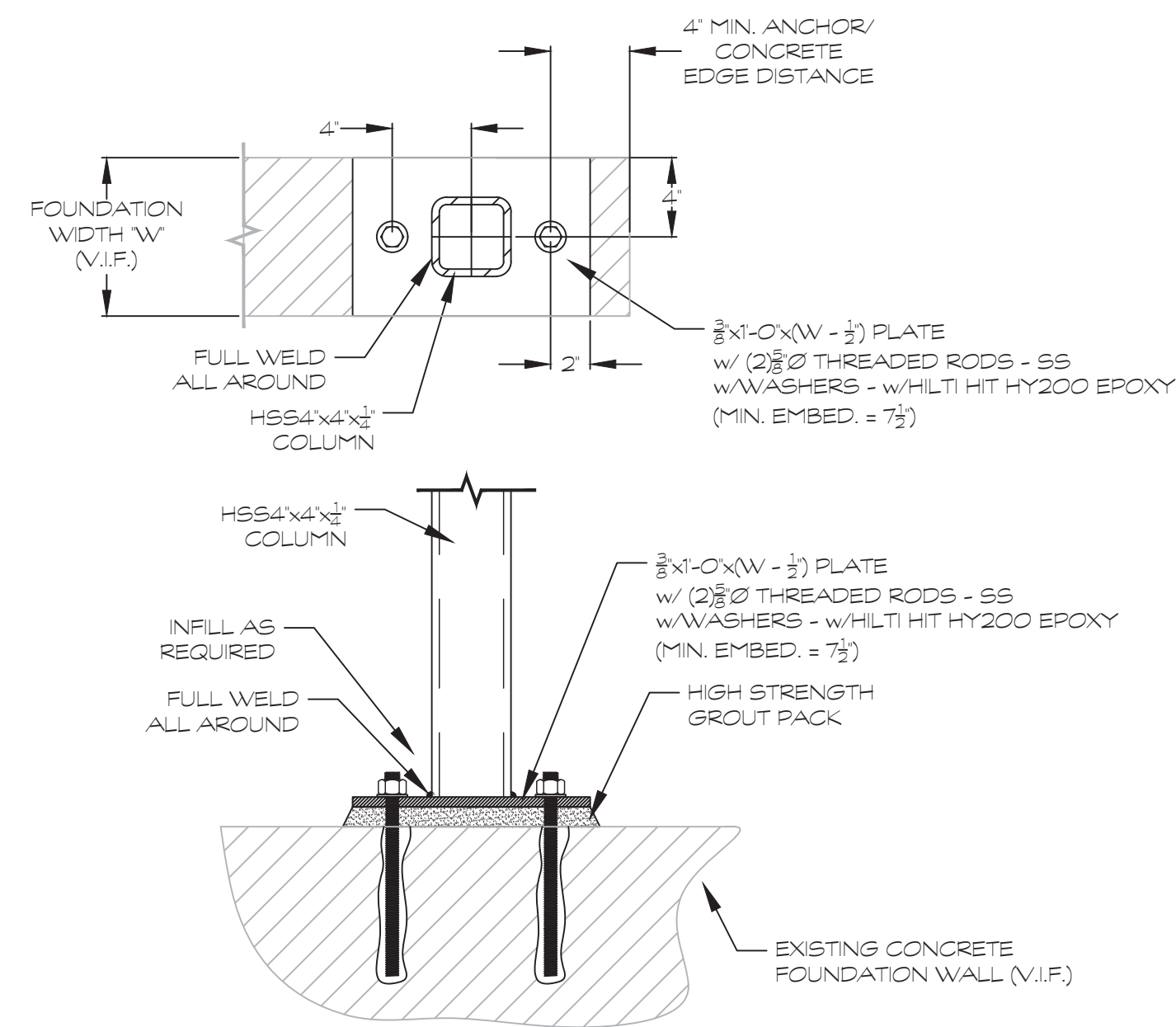
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PROJECT No.: 20017  
DRAWING BY: DRI  
CHK BY:  
DWG No.:  
**S-100.00**



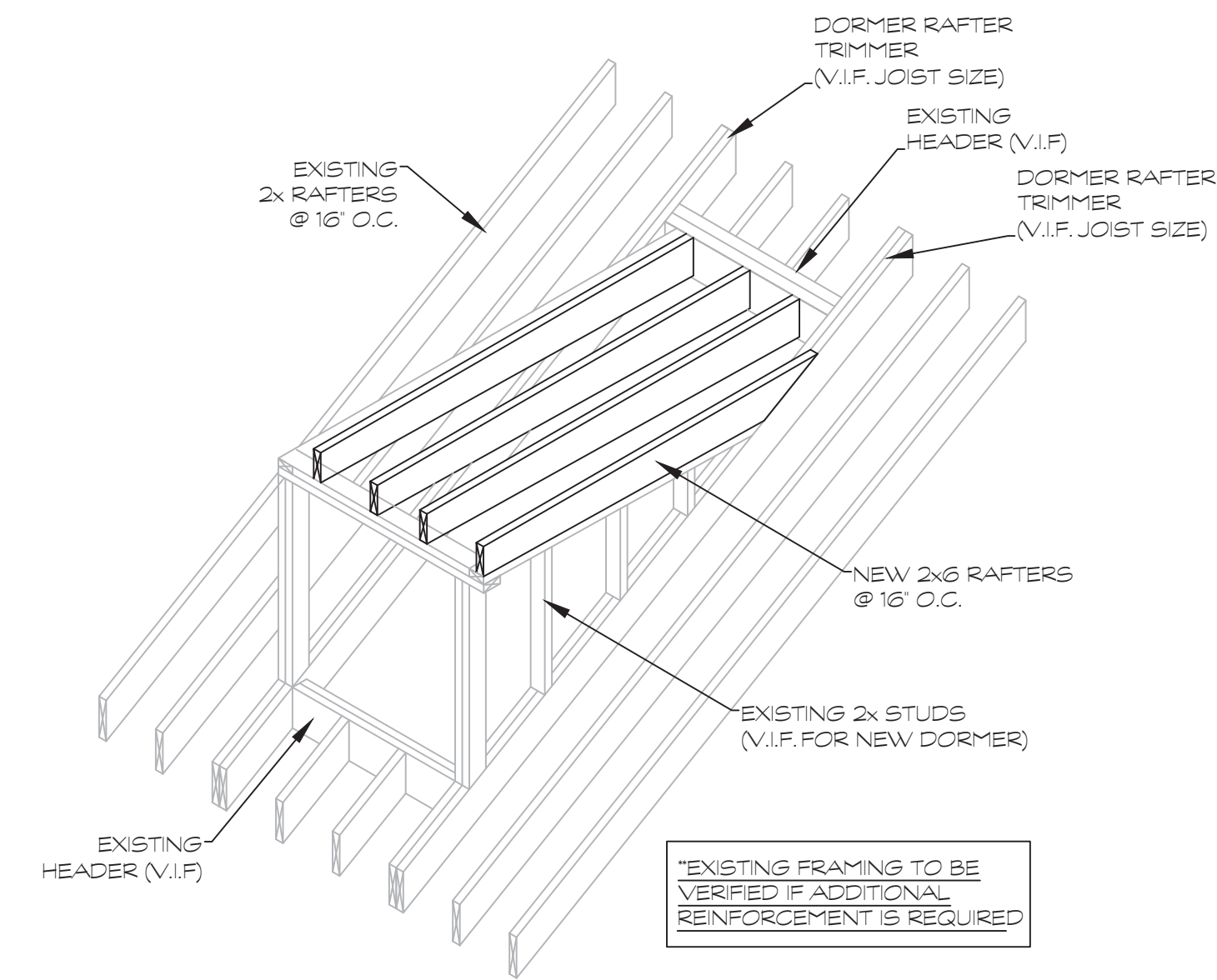
VERIFY ALL DIMENSIONS IN FIELD



NEW WINDOW FRAMING/HEADER CONNECTION DETAILS "5"  
SCALE: N.T.S.



NEW WINDOW FRAMING/HEADER POST BASE DETAILS "6"  
SCALE: N.T.S.



(TYP.) EXISTING WINDOW DORMER RE-FRAMING DETAILS "7"  
SCALE: N.T.S.

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY G:\Jobs - Drafting\2021\21-2970-59 Tweed Blvd Orangeburg NY\2970-STRUCTURAL-PHASE 3

59  
TWEED BOULEVARD

| No. | REMARKS            | DATE      |
|-----|--------------------|-----------|
| 1   | ISSUED FOR REVIEW  | 04.24.23  |
| 2   | UPDATED FOR REVIEW | 06.26.23  |
| 3   | ISSUED FOR FILING  | 08.21.23  |
|     | PLANNING BOARD     | 2/15/2024 |
|     |                    |           |
|     |                    |           |
|     |                    |           |

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RESIDENCE  
59 TWEED BOULEVARD  
ORANGEBURG, NY 10960

SEAL & SIGNATURE:



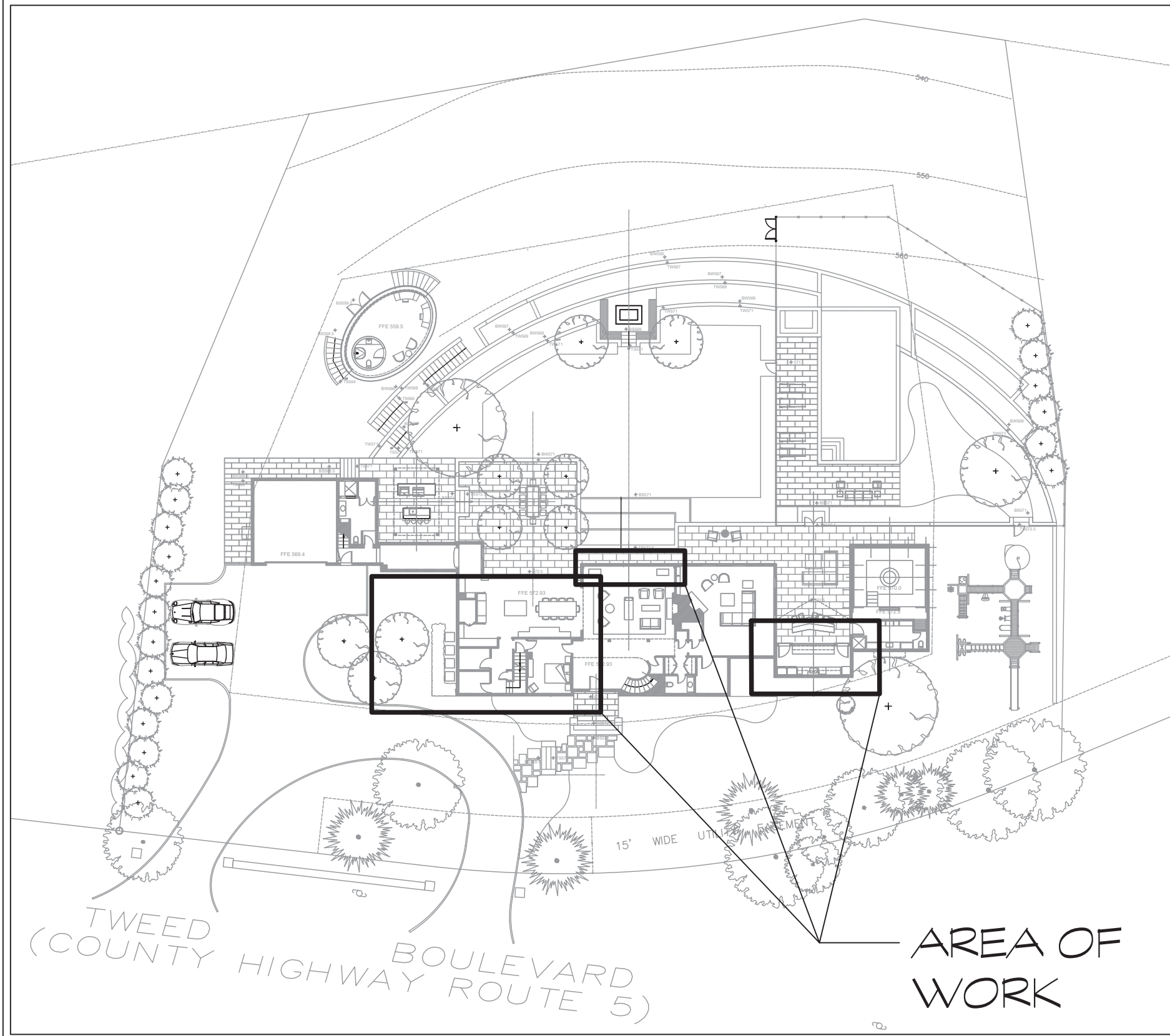
STRUCTURAL  
DETAILS

DATE: 03.03.2023  
PROJECT No.: 20017  
DRAWING BY: JDZ  
CHK BY:  
DWG No.:

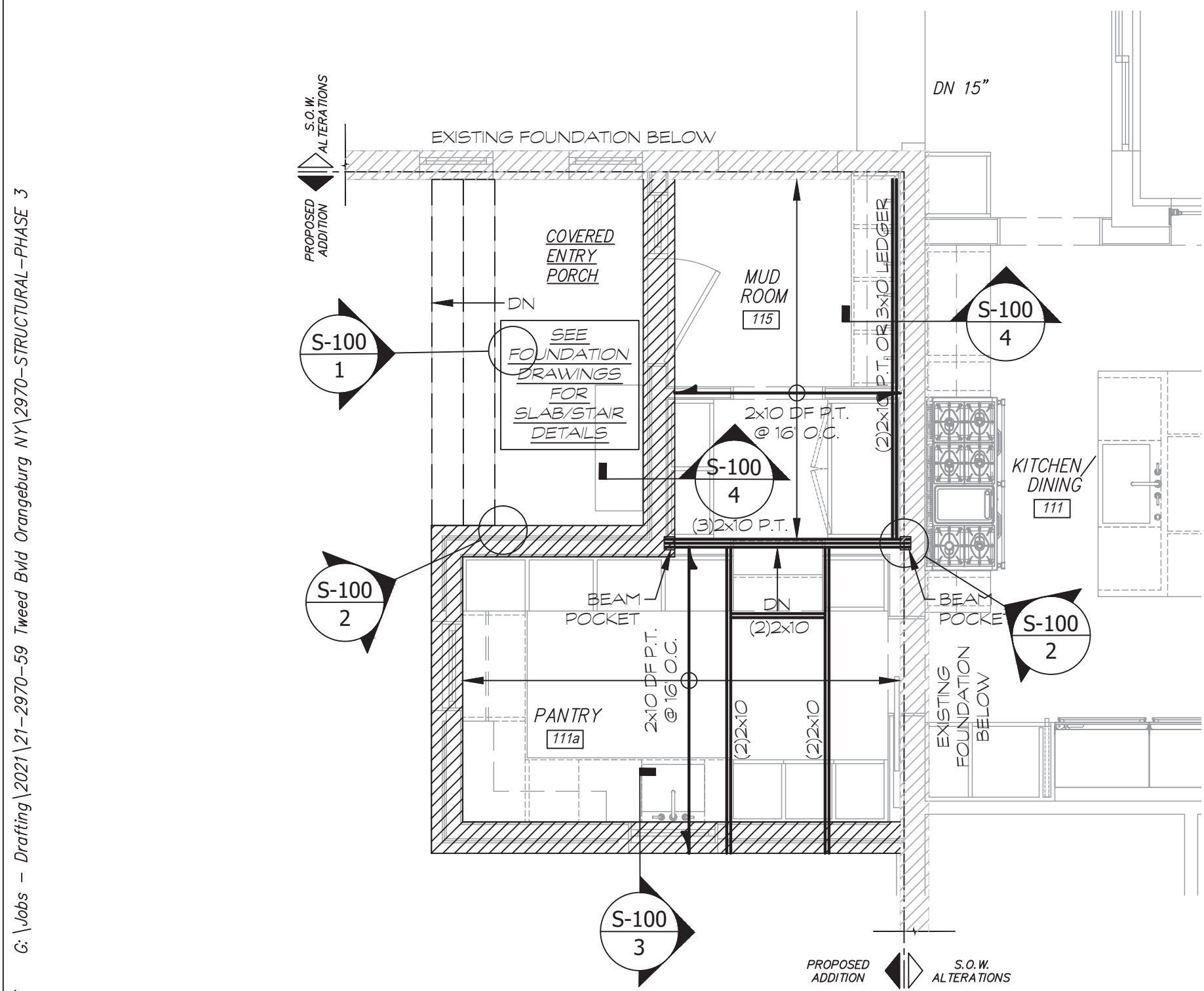
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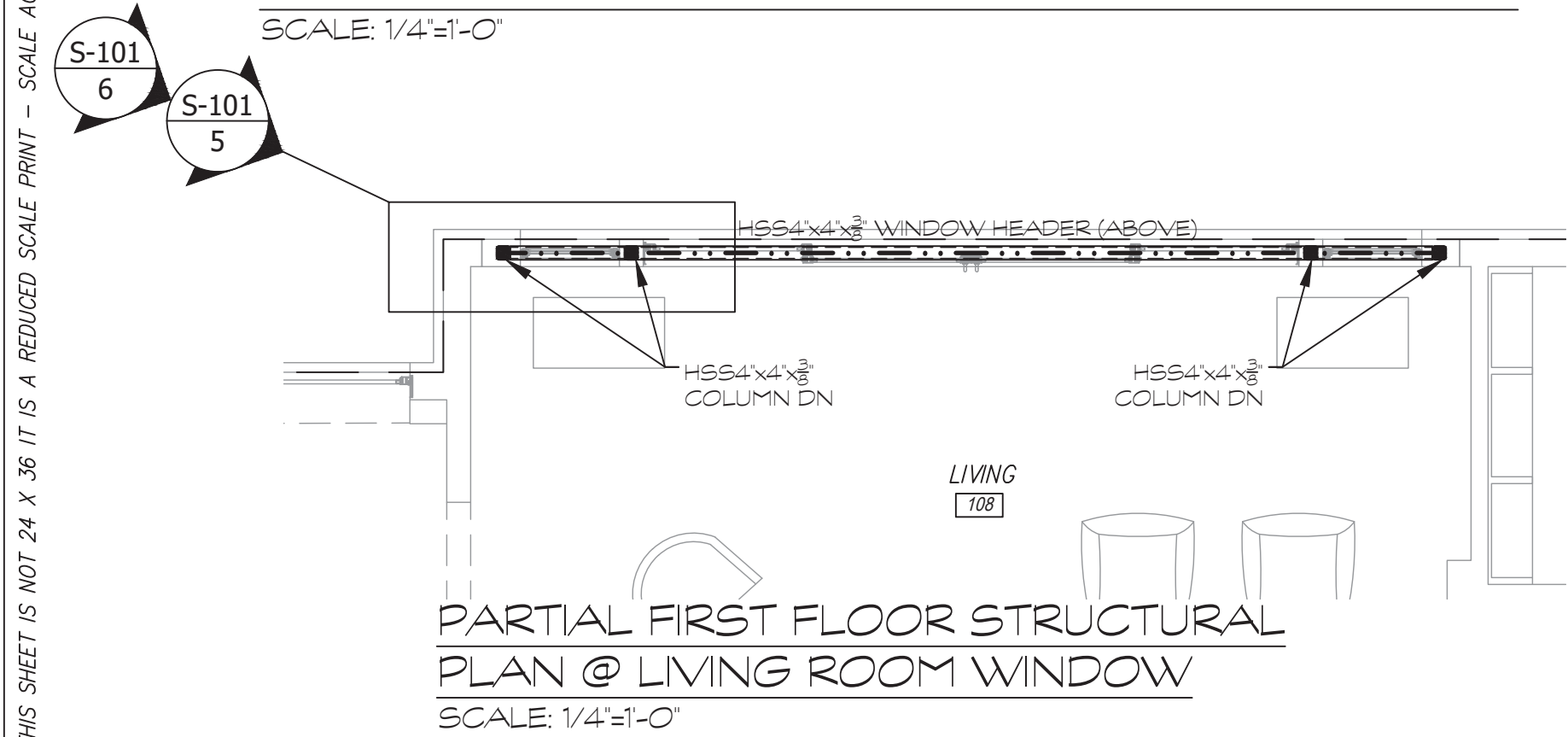
VERIFY ALL DIMENSIONS IN FIELD



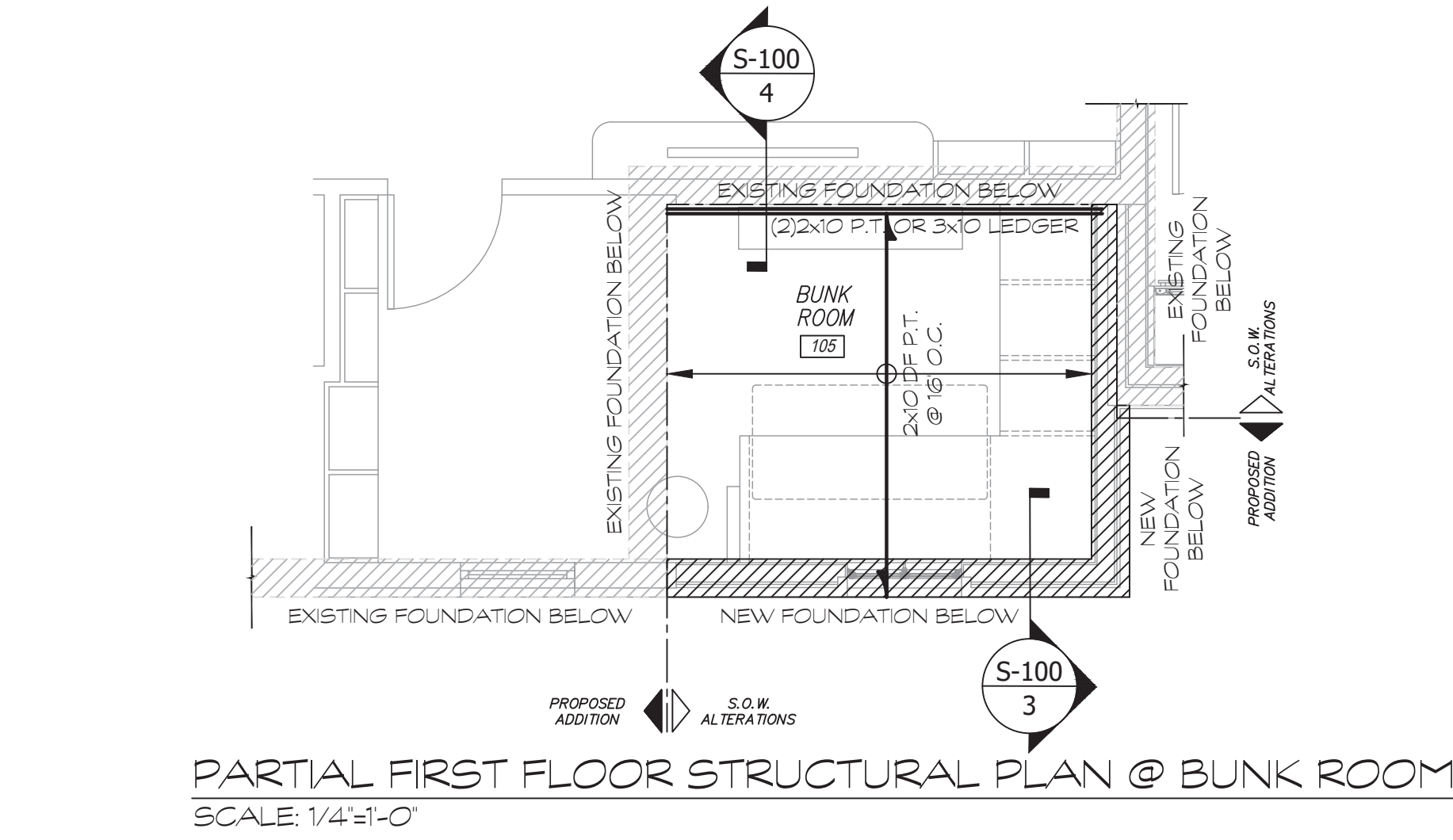
KEY PLAN  
SCALE: N.T.S.



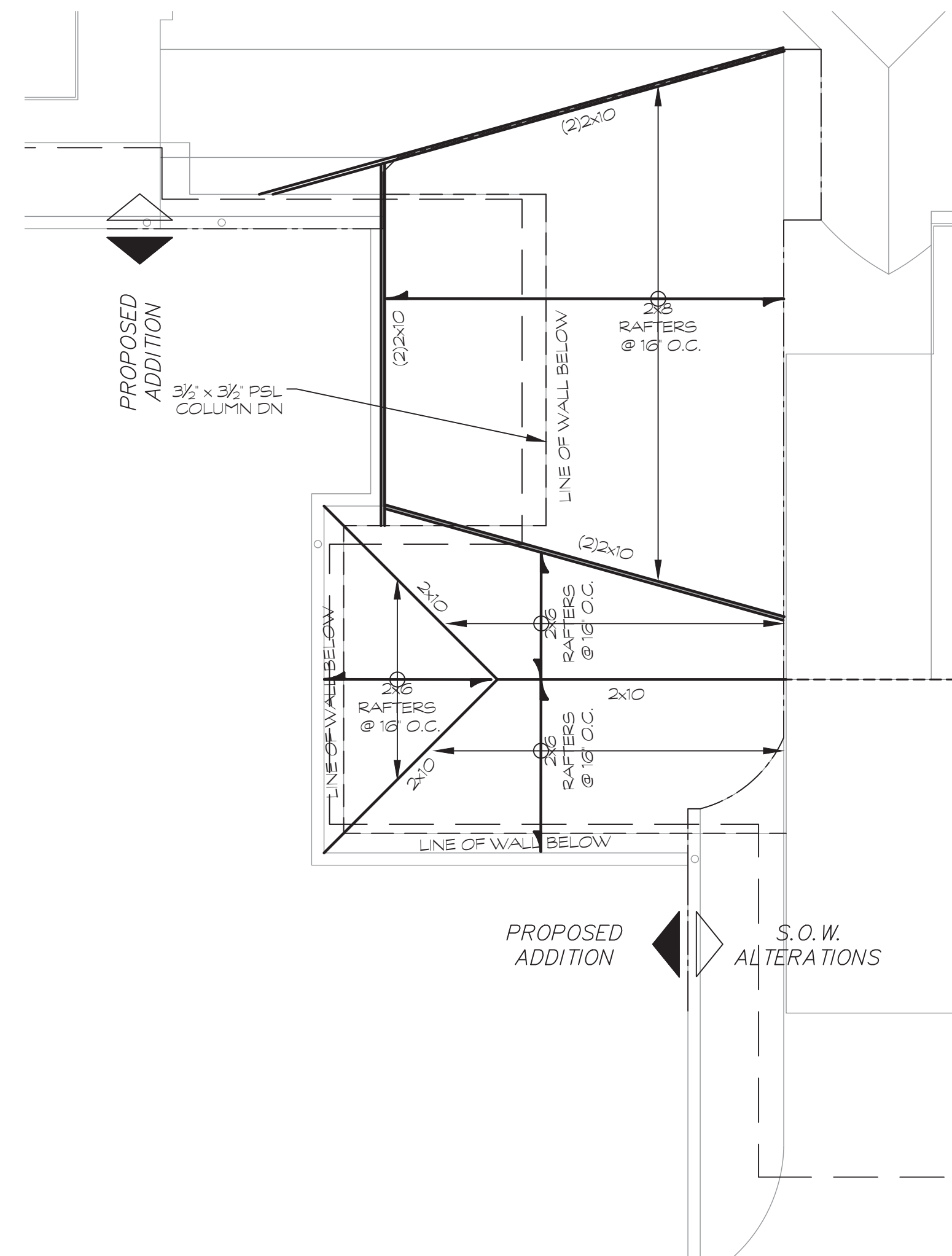
PARTIAL FIRST FLOOR STRUCTURAL PLAN @ PANTRY  
SCALE: 1/4"=1'-0"



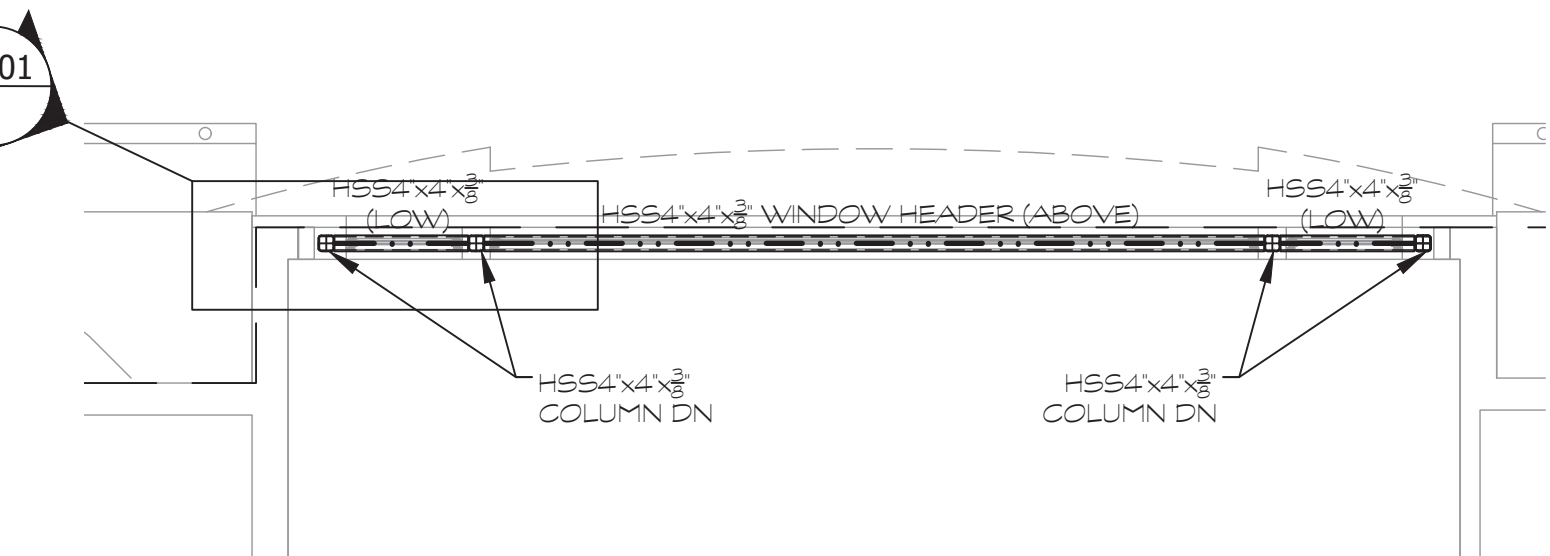
PARTIAL FIRST FLOOR STRUCTURAL PLAN @ LIVING ROOM WINDOW  
SCALE: 1/4"=1'-0"



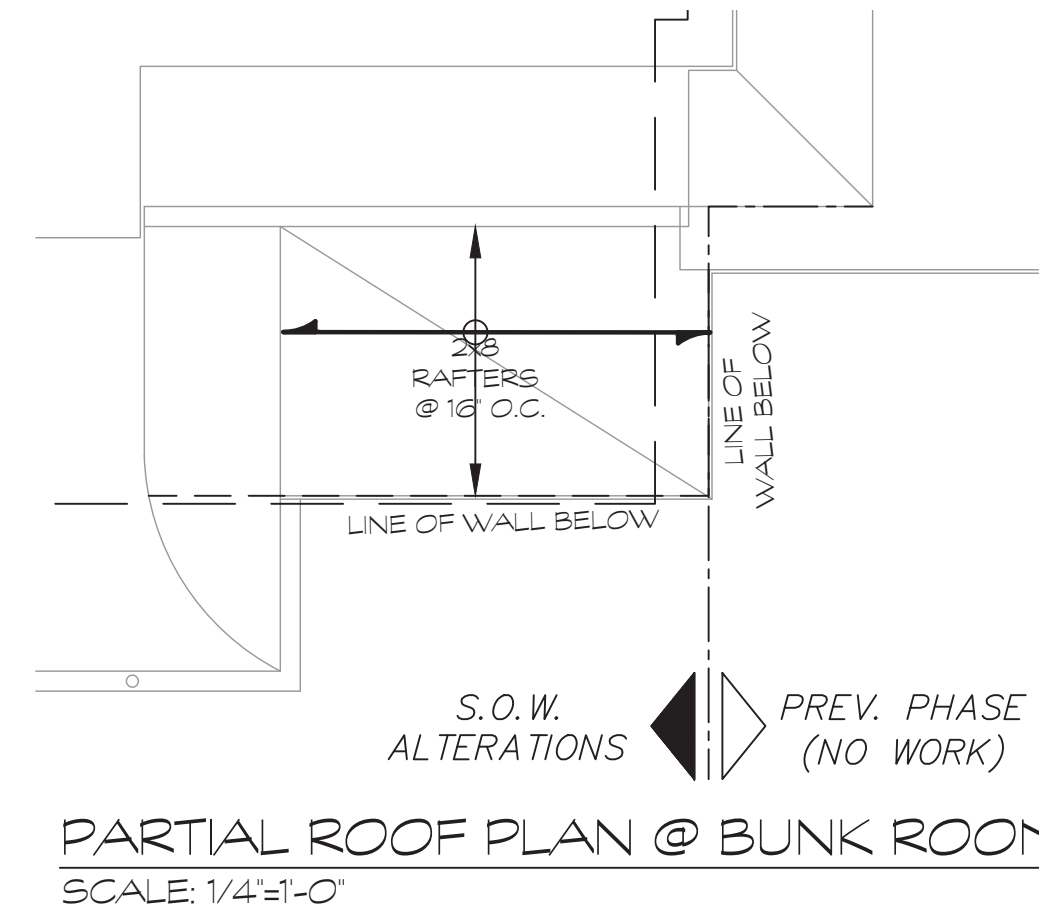
PARTIAL FIRST FLOOR STRUCTURAL PLAN @ BUNK ROOM  
SCALE: 1/4"=1'-0"



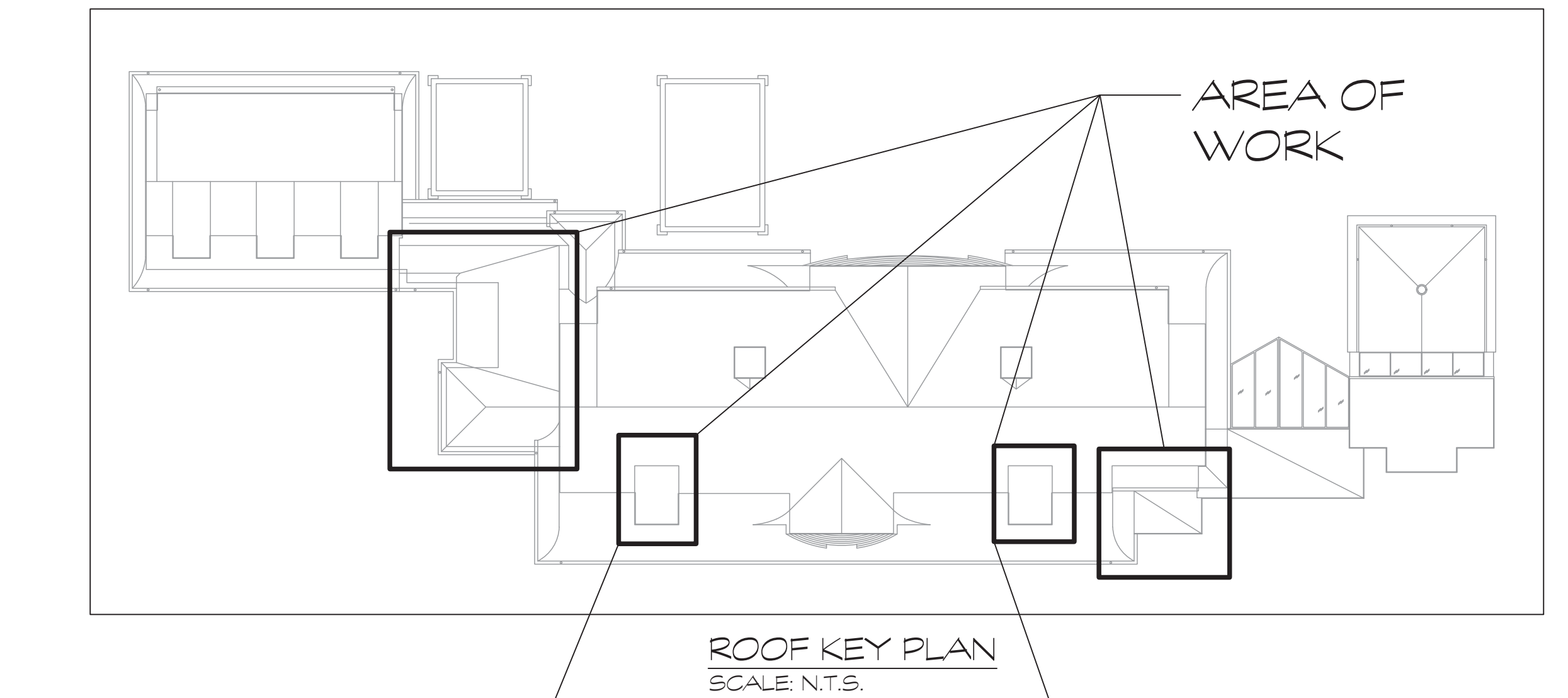
PARTIAL ROOF STRUCTURAL PLAN @ PROPOSED PANTRY  
SCALE: 1/4"=1'-0"



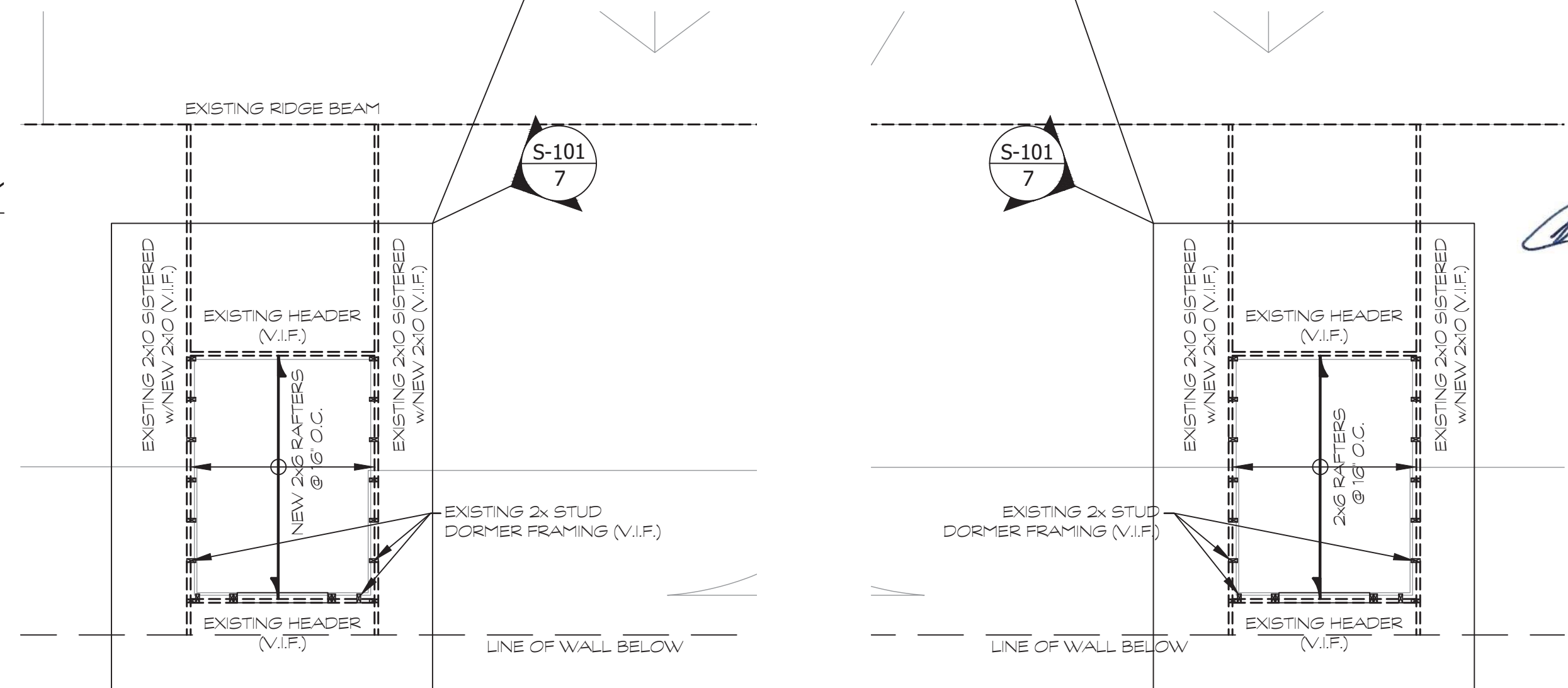
PARTIAL SECOND FLOOR STRUCTURAL PLAN @ LIVING ROOM WINDOW  
SCALE: 1/4"=1'-0"



PARTIAL ROOF PLAN @ BUNK ROOM  
SCALE: 1/4"=1'-0"



ROOF KEY PLAN  
SCALE: N.T.S.



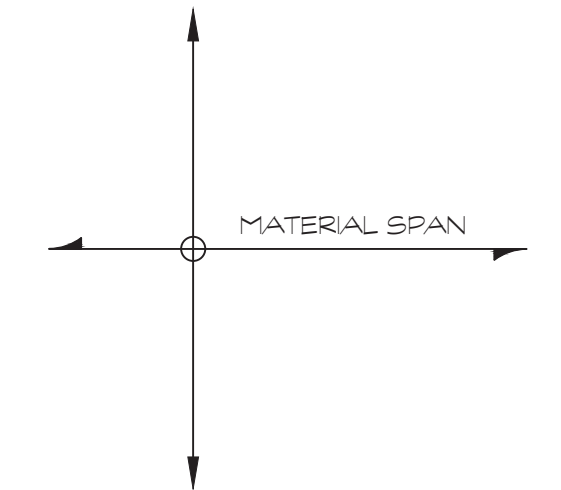
PARTIAL ROOF STRUCTURAL REFRAMED DORMERS OVER BATHS 204a & 207  
SCALE: 1/4"=1'-0"

COLUMN LEGEND

- HSS COLUMN UP
- HSS COLUMN UP AND DOWN
- WOOD COLUMN UP
- WOOD COLUMN UP AND DOWN
- WOOD COLUMN DOWN
- LINTEL POST
- LOCATION OF BEAM OR COLUMN ABOVE FOUNDATION WALL

MATERIAL LEGEND

- DECKING
- WOOD
- EXISTING FRAMING
- L.V.L.
- P.S.L.
- T.J.I.
- NEW STEEL
- WOOD STRAPPING
- NEW ANGLE
- SHORING



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RESIDENCE  
59 TWEED BOULEVARD  
ORANGEBURG, NY 10960

SEAL & SIGNATURE:



PROPOSED  
PANTRY/BUNKER  
RM ADDITION  
STRUCTURAL PLAN

DATE: 03.03.2023  
PROJECT No.: 20017  
DRAWING BY: DRI  
CHK BY:  
DWG No.:

S-200.00