VERIFY ALL DIMENSIONS IN FIELD

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HAMLET OF UPPER GRANDVIEW IN VILLAGE OF ORANGETOWN



PROPOSED FRAME WALL

BUILDING CENTER LINE

BEAMS/FRAMING ABOVE

TIMBER FRAMING POST

EXISTING FRAME WALL TO REMAIN

GENERAL NOTES: CCC 1 ALL WORK SHALL COMPLY WITH ALLICOL, BUILDING CODES, LAWS, LAWS, COMPANNES, MAR DE RUISLAND, CODES, LAWS, LAWS, COMPANNES, MAR DE RUISLAND, CODES, LAWS, LAWS, COMPANNES, MAR DE RUISLAND, CODER, COMPANNES, MAR DE RUISLAND, CONSTRUCT THE CONSTRUCTION OF MARKED AND CODENCY COMPANY, COMPAN													
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INSTALLED. INSTALLE	SHOWER/TUB ON	EXTERIOR WALL	ואיאו סר	<u>د</u>			TUB.	AIR BARRI	ER SHALL	BEINSTA	ALLED BEHI	ND E	LECTRIC
COVERING OR CELLING PERTRATED BY THE BOD WHERE REQUIRED TO BE SEALED, CONCEALED FIR MANUFACTURER, CAULKING OR OTHER ADHESIVE WALL SOR CELLINGS. NOTE: SHALL COMPLY WITH ENTIRE CHART AND PER ALL APPLICABLE MANUFACTURER'S SPECS AS LISTED IN 3.5 OF THE 2020 N MANUFACTURER, CAULKINGS. TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN TOWN/ COUNTY GROUND SNOW LOAD WIND DESIGN SPEED TOPO EFFECTS SP. REGION ORANGEBURG ROCKLAND COUNTY 30 PSF 115 mph NO VIND DESIGN UNINHABITABLE ATTICS W/O STOR 10 BALCONIES (EXT) & DECKS 40 UNINHABITABLE ATTICS W/ STOR 20 FIRE ESCAPES 40 CLIMATE SULLATION SULLATION SULLATION SULLATION SULLATION SULLATION CLIMATE FENESTRAT. 5 0.27 0.50 0.4 49 21 INT. or 20 + 5 or 13 + 10	HVAC REGISTER B	OOTS		.5		+	INSTA HVAC	ALLED. SUPPLY A	ND RETU	JRN REGI	STER BOOT	S TH,	AT PEN
Minicipal of Minicipal Colored Field F	CONCEALED SPRI	NKI FRS					COVE WHEI	RING OR RE REQUII	CEILING I RED TO B	PENETRA RE SEALED	, CONCEAL	ED FI	DT. IRE SPR
TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN OF COUNTY GROUND SNOW IOAD SPEED TOPO EFFECTS SP. REGION ORANGEBURG ROCKLAND COUNTY 30 PSF 115 mph NO NO ORANGEBURG ROCKLAND COUNTY 30 PSF 115 mph NO NO TABLE R301.5 MININUMUMUMUSTOR BALCONIES (EXT) & DECKS 40 I UNINHABITABLE ATTICS W/O STOR 10 BALCONIES (EXT) & DECKS 40 I UNINHABITABLE ATTICS W/O STOR 10 BALCONIES (EXT) & DECKS 40 I UNINHABITABLE ATTICS W/STOR 20 FIRE ESCAPES 40 I TABLE ATTICS W/STOR 20 GLAZED AND HALDRAILS 200/FT CLIIMATE SUBSTINE SKYLIGHT U-FACTOR GLAZED CLIING R-VALUE 21/INT. or 20/FS or 13 + 10 21/INT. or 20/FS or 13 + 10 3/INTERNATIVE CALLER ATTIC	NOTE: SHALL COMPL	Y WITH ENTIRE CHAI	RT AND P	ER ALL APP	LICA	BLE MA	WALL	S OR CEIL	INGS. SPECS AS I	LISTED IN .	3.5 OF THE 2	2020 1	VYSTRET
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NO NO NO TABLE R301.5 MINIMUM UNIFORMLY DISTURBED LIVE UNINHABITABLE ATTICS W/O STOR 10 BALCONIES (EXT) & DECKS 40 UNINHABITABLE ATTICS W/O STOR 10 BALCONIES (EXT) & DECKS 40 UNINHABITABLE ATTICS W/O STOR 10 BALCONIES (EXT) & DECKS 40 40 UNINHABITABLE ATTICS W/STOR 20 FIRE ESCAPES 40	ORANGEBUR			SNOW L	OA	D	SF	PEED	TOPO	EFFECTS	SP. REG	ION	WIND
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HABITABLE ATTICS W STAIR 30 GUARDS AND HALDRAILS 200/FT TABLE R402.1.2 INSULATION AND FENESTRATION REQU CLIMATE ZONE FENESTRAT. U-FACTOR SKYLIGHT U-FACTOR GLAZED FENEST. CEILING R-VALUE WOOD FRAME WALL R-VALUE 5 0.27 0.50 0.4 49 21 INT. or 20 + 5 or 13 + 10	UNINHABITABL UNINHABITABL	LE ATTICS W/O S	TOR OR	10 20		BAL FIRF	CONI E ESC	IES (EXT) APES	& DECI	KS	40 40	╢	GUA. PASS
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5 0.27 0.50 0.4 49 21 INT. or 20 + 5 or 13 + 10 * ALTERNATIVELY, INSULATION SUBJICIENT TO EUL THE EPARATING CAMERA AND DROM/DUP NOT LESS THAN AN ONE 10	CLIMATE ZONE	FENESTRAT. U-FACTOR	SKYL U-FA	IGHT CTOR	G FI	LAZE ENES	D Г.	CEILIN R-VAL	NG .UE	WOC WAL)D FRAN L R-VALI	1E JE	MAS R-V/
$\frac{1}{3} ALTERNATIVE V INSULATION SUBJICIENT TO EUL THE EPARATING CANNER AND DROWDING NOT LESS THAN AN ONLY$	5	0.27	Ŋ 50).4		49		21 IN 20 + 4	T. or 5 or		15/3
A CELENIALIVELI, INJULATION JULTILENT TO FILL THE PRAIMING CAVITY AND PROVIDING MODIFICIAN AN R-VA	э ^a ALTFRNATIVFIV	, INSULATION SLIFE	FICIENT	TO FILL TH		AMING	CAVI		ROVININ	13 + 1 G NOT I F	0 SS THAN A	V <i>R</i> -1/	ALIIF (

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PROPOSED ALTERATIONS & ADDITIONS: 59 TWEED BLVD - ORANGETOWN, NEW YORK SECTION 71.13 | BLOCK 1 | LOT 40

CONSTRUCTION NOTES:

ALL DIMS AND ELEVATIONS ARE TO BE USED FOR GENERAL INFORMATION ONLY. CONTRACTORS TO VERIFY CONDITIONS AT SPECIFIC LOCATIONS AS REQUIRED TO CONFIRM AND PERFORM ALL WORK AS SPECIFIED. MAINTAIN DIMENSIONS MARKED "CLEAR" OR

HOLD." ALLOW FOR THICKNESS OF FINISHES. DO NOT SCALE DRAWINGS. FOLLOW WRITTEN DIMENSIONS. THE WRITTEN IMENSIONS HAVE PRECEDENCE OVER SCALE. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & PRIOR OF ORDERING ANY RODUCT OR PROPRIETARY SYSTEM. DETAILS, DIMENSIONS AND CONDITIONS ON SMALLER CALE DRAWINGS ARE PRECEDED BY THOSE IN LARGER SCALE DRAWINGS. CONTRACTOR HALL NOTIFY THE OWNER OF ANY EXISTING CONDITIONS REQUIRING MODIFICATION PRIOR TO THE BEGINNING OF ANY WORK.

IN CASE OF OMISSIONS, OR DISCREPANCIES IN THESE DOCUMENTS, CONSULT WITH THE ARCHITECT PRIOR TO ORDERING ANY PRODUCT, MATERIAL, OR PROPRIETARY SYSTEMS, DR PRIOR TO PROCEEDING WITH SHOP DRAWINGS OR ANY OTHER WORK. DETAILS NOT HOWN ARE SIMILAR IN CHARACTER THAN THOSE SHOWN.WHERE SPECIFIC DIMENSIONS, ETAILS OR DESIGN INTENT CANNOT BE DETERMINED CONSULT WITH THE ARCHITECT SEFORE PROCEEDING WITH WORK.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE STRUCTURE ON THE SITE. DISCOVERY OF ANY HAZARDOUS MATERIALS ON SITE SHALL BE CONTAINED OR

EMOVED AS REQUIRED BY PROPER AUTHORITIES. PROVIDE TEMPORARY GUARD RAILS, STAIRS AND PROTECTION AND MAINTAIN SAFE VORKING CONDITIONS AS REQUIRED.

ALL DRAWINGS TO BE SUBMITTED TO THE TOWN OF BEDFORD BUILDING EPARTMENT FOR APPROVAL PRIOR TO COMMENCING WORK. ANY DETAILS, SYSTEMS, MATERIALS (ARCH., MEP, STRUCT., ETC.) PROPOSED TO BE

HANGED MUST FIRST BE REVIEWED BY THE ARCHITECT. OWNER & OWNER'S EPRESENTATIVE (IF APPLICABLE) PRIOR TO THE PREPARATION OF SHOP DRAWINGS. PROVIDE ALL MISC. STEEL & METAL FABRICATIONS, REQUIRED BRACING, STIFFENERS,

ACKING PLATES. BRACKETS. ETC. AS SPECIFIED HEREIN. IN THE SPECIFICATIONS. OR AS IEEDED FOR THE PROPER FABRICATION, ERECTION, INSTALLATION, OR CONSTRUCTION OF THIS PROJECT. SCOPE TO INCLUDE, BUT SHALL NOT BE LIMITED TO PARTITIONS, USPENDED SOFFITS & CEILINGS, AS WELL AS WALL MOUNTED OR SUSPENDED NECHANICAL, ELECTRICAL, FIRE PROTECTION, A/V, SECURITY, ETC. CONTRACTOR TO VERIFY

SCOPE. PROVIDE ADEQUATE WATERPROOFING AS SPECIFIED HEREIN, IN THE SPECIFICATIONS, DR AS REQUIRED FOR THE PROPER INSTALLATION, CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL COORD. ALL EQUIP. BASE & HOUSEKEEPING PADS WITH MEP

CONTRACTORS. INSTALL PADS BENEATH THE PROJECTED AREA OF EQUIP.. PROVIDE ACCESS PANELS AS REQUIRED BY APPLICABLE CODES & AS REQUIRED FOR IECHANICAL EQUIPMENT. ALL ACCESS PANELS SHALL BE CONCEALED AND ALL LOCATIONS SHALL BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING W/ WORK. ALL EXTERIOR JOINTS AROUND WINDOWS, DOORS, ETC. TO BE LEAKAGE/AIR

NFILTRATION FREE. COORDINATE AND PROVIDE BLOCKING WITHIN PARTITIONS FOR ALL MILLWORK AND EMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS. PATCH AND REPAIR ALL EXISTING WALLS, COLUMNS AND SURFACES SCHEDULED TO EMAIN AS REQUIRED TO LEAVE THEM SMOOTH AND EVEN TO RECEIVE NEW SCHEDULED

ELECTRICAL NOTES:

1. COORDINATE INSTALLATION OF TELECOMMUNICATIONS, DATA,

AUDIO-VISUAL AND SECURITY SYSTEMS. 2. VERIFY EQUIPMENT SPECIFICATIONS, POWER AND INSTALLATION REQUIREMENTS WITH MANUFACTURER TO ENSURE PROPER FIT AND FUNCTION. 3. MOUNT STANDARD WALL OUTLETS, THERMOSTATS AND OTHER DEVICES AS INDICATED ON THE STANDARD MOUNTING HEIGHT ELEVATIONS. UNLESS OTHERWISE NOTED. ALL LOCATIONS TO BE CONFIRMED BY THE ARCHITECT IN

THE FIELD PRIOR TO INSTALLATION. 4. INSTALL OUTLETS ON OPPOSITE SIDES OF PARTITIONS IN SEPARATE STUD CAVITIES, UNLESS OTHERWISE NOTED. DO NOT INSTALL BACK-TO-BACK. 5. PROVIDE ALL DEVICES UNDER A COMMON FACEPLATE, UNLESS OTHERWISE NOTED.

6. ARCHITECTURAL DRAWINGS ONLY INDICATE DEVICE LOCATIONS FOR ELECTRICAL, TELECOMMUNICATION, AUDIO-VISUAL AND SECURITY DEVICES. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS, FOR COMPLYING WITH ALL APPLICABLE CODES, FOR PROPER SIZING AND CIRCUITING OF WORK AND FOR PROVIDING RECORD "AS-BUILT" DRAWINGS. 7. SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS MAY BE

COMBINED PROVIDING THE DEVICES COMPLY WITH THE PROVISIONS OF TITLE OF THE ADMINISTRATIVE CODE OF NEW YORK STATE AND ANY APPLICABLE RULES PROMULGATED THEREUNDER. 8. EACH SMOKE/ CARBON MONOXIDE DETECTOR SHALL BE INSTALLED

OUTSIDE OF EACH SLEEPING ROOM IN THE IMMEDIATE VICINITY OR WITHIN *10'-0" OF THE ENTRANCE TO A SLEEPING ROOM.*

9. EACH SMOKE/ CARBON MONOXIDE DETECTOR SHALL BE OF A TYPE THAT ALLOWS FOR READILY TESTING OF SUCH DEVICE. 10. CEILING MOUNTED DEVICES SHALL BE A MINIMUM DISTANCE OF 4" FROM

ANY WALL. 11. WALL MOUNTED DEVICES SHALL BE A MINIMUM OF 4" TO A MAXIMUM

OF 12" FROM THE CEILING.. 12. WRITTEN INFORMATION OF TESTING AND MAINTENANCE OF THE DEVICES

SHALL BE PROVIDED TO THE DWELLING OWNER *13.* ALL EXTERIOR LIGHTING TO BE FULLY SHIELDED AS DESIGNED AND INSTALLED AND OPERATED TO PREVENT LIGHT POLLUTION. ALL EXTERIOR LIGHTING SHALL BE CONSTRUCTED, LAMPED, AND INSTALLED IN SUCH A

MANNER THAT ALL LIGHT EMITTED, EITHER DIRECTED FROM THE LAMP OR A DIFFUSING ELEMENT OR INDIRECTLY BY REFLECTION OF REFRACTION FROM ANY PART OF THE FIXTURE, IS PROTECTED BELOW THE LIGHT SOURCE.

PLUMBING NOTES:

1. ALL NEW AND REPLACEMENT PLUMBIN ACCORDANCE WITH REQUIREMENTS OF ALL A

2. CLEANOUTS SHALL BE PROVIDED AT TH LEADER STACKS 3. RELIEF VENTS SHALL BE PROVIDED FOR DRAINAGE

4. ALL CHANGES IN THE SIZE OF DRAINAG REDUCING PIPE FITTINGS

5. SHUT-OFF VALVES SHALL BE PROVIDED TO EACH FIXTURE INCLUDING BRANCHES FROM 6. JOINTS AND CONNECTIONS IN THE PLU

GAS TIGHT AND WATER TIGHT. 7. WHERE BRANCH WATER SUPPLIES ARE

VALVES AT ALL LOW POINTS. 8. ALL PIPING TO BE ADEQUATELY SUPPOR HORIZONTALLY.

9. COORDINATE PLUMBING WORK WITH

10. OBTAIN ALL NECESSARY PERMITS AND AT NO COST TO THE OWNER. TURN OVER TO OF WORK, CERTIFICATE OF OCCUPANCY FROM CONTRACTOR SHALL GUARANTEE ALL PLUMBI

ENERGY COMPLIANCE:

"TO THE BEST OF MY KNOWLEDGE, BELIEF AND THIS APPLICATION IS IN COMPLIANCE WITH THE

-ROSS PADLUCK, R.A.

APPLICABLE BUILDING CODES

THE FOLLOWING BUILDING CODES SHALL BE IN OF THE WORK:

- NEW YORK STATE RESIDENTIAL CODE 2020 • NEW YORK STATE BUILDING CODE 2020
- NEW YORK STATE ENERGY CONSERVATION NYS STRETCH CODE 2020 • NEW YORK STATE PLUMBING CODE 2020
- NEW YORK STATE ELECTRICAL CODE 2020 TOWN OF ORANGETOWN LOCAL CODES / APPLICABLE LOCAL AND STATE LAWS AND

JLATION INSTALLATION

	INSULATION INSTALLATION CRITERIA
ALLED IN THE BUILDING ENVELOPE LL BE SEALED	AIR PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
OR SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
ILL PLATE SHALL BE SEALED. TOP OF EXTERIOR WALLS SHALL BE SEALED.	CAVITIES WITHIN CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE, r-VALUE, OF NOT LESS THAN R-3 PER INCH. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTRACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
HTS, AND THE JAMBS OF WINDOW AND DOORS, SHALL BE SEALED.	
R BARRIER. SILL PLATE AND THE RIM BOARD AND THE SUBFLOOR	RIM JOISTS SHALL BE INSULATED SO THAT THE INSULATION MAINTAINS PERMANENT CONTACT WITH THE EXTERIOR RIM BOARD.
IY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING. ALTERNATIVELY, FLOOR FRAMING CAVITY INSULATION SHALL BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTEAD ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDING FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS
ES SHALL BE COVERED WITH A CLASS I VAPOR TH SECTION R402.2.10.	CRAWI SPACE INSULATION, WHERE PROVIDED INSTEAD OF ELOOR INSULATION, SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R402.2.10.
DATION WALLS AND SLABS SHALL BE AIR SEALED.	CONDITIONED BASEMENT FOUNDATION WALL INSULATION SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R402.2.8.1.
ED AS AN AIR BARRIER ON BELOW-GRADE WALLS AND SHALL BE INSTALLED IN ACCORDANCE AL RESIDENTIAL CODE.	SLAD-ON-ONADE FLOOR INSOLATION STIALL DE INSTALLED IN ACCORDANCE WITT SECTION N402.2.10.
R PENETRATIONS TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED TO ALLOW INICAL VIBRATION. SHALL BE CAULKED, GASKETED OR OTHERWISE SEALED AND SHALL ALLOW FOR EXPANSION, IBRATION.	INSULATION SHALL BE FITTED TIGHTLY AROUND UTILITIES PASSING THROUGH SHAFTS AND PENETRATIONS IN THE BUILDING THERMAL ENVELOPE TO MAINTAIN REQUIRED R-VALUE.
NOT ABLE TO BE INSULATED SHALL BE AIR SEALED.	BATTS TO BE INSTALLED IN NARROW CAVITIES SHALL BE CUT TO FIT OR NARROW CAVITIES SHALL BE FILLED WITH INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
HE GARAGE AND CONDITIONED SPACES.	INSULATED PORTIONS OF THE GARAGE SEPARATION ASSEMBLY SHALL BE INSTALLED IN ACCORDANCE WITH SECTIONS R303 AND R402.2.7.
BUILDING THERMAL ENVELOPE SHALL BE AIR SEALED IN ACCORDANCE WITH SECTION R402.4.5.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIRTIGHT AND IC RATED, AND SHALL BE BURIED OR SURROUNDED WITH INSULATION
OR OTHER OBSTRUCTIONS IN THE AIR BARRIER ASSEMBLY SHALL BE AIR SEALED.	INSULATION SHALL BE INSTALLED TO FILL THE AVAILABLE SPACE AND SURROUND WIRING, PLUMBING, OR OTHER OBSTRUCTIONS, UNLESS THE REQUIRED R-VALUE CAN BE MET BY INSTALLING INSULATION AND AIR BARRIER SYSTEMS COMPLETELY TO THE EXTERIOR OF THE OBSTRUCTIONS.
ALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THE WALL FROM THE SHOWER OR	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
D ELECTRICAL AND COMMUNICATION BOXES. ALTERNATIVELY, AIR-SEALED BOXES SHALL BE	
THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR, WALL OOT.	
D FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE SIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND	
20 NYSTRETCH CODE OVERLAY WHICH IS AN AMENDMENT TO SECTION R402.4.1.1.	

N CRITERIA

N	CRITERIA														FLOOR AREA	CALCU	LAT
GΝ	1	SEISMI	С	S	SUBJECT TO	O DAMAGE FR	ОМ		WINTER	ICE BARRIER		AIR FREEZING	ANNUAL MEAN	-			
)N	WIND BOURNE DEBR	IS DESIGN	I CAT.	WEATH	IERING	FROST DEPTH	TERN	AITE	DES. TEMP	REQUIRED	FLOOD HAZARD	INDEX	TEMP	L	COMPONENT	EXISTING	PROPO
	NO	С		SEVERE		42" B.F.G.	MOL -HEA	DERATE IVY	-1°F	YES	NONE	1500 OR LESS	51.6° F		PRINCIPAL DWELLING		
/E	E LOADS (IN	PSF)							Г	ZONINO	G INFOI	RMATIC	D N		MAIN FLOOR	4,585 SF	
	GUARD INFILL COM	PONENTS	50	0/FT	SLEEP	PING ROOMS	30		F	COMPONENT		AREA			UPPER FLOOR	2,531 SF	2,531 \$
	PASSENGER VEHICL	E GARAGES	5 50	0	STAIR	25	40		F	TAX MAP NUMBEI	? <i>:</i>	71.13 - 1 - 40		Ē	TOTAL	7,116 SF	
		IN SLEEPING	G 40	0]]		ZONING DISTRICT:		R-22		╞	PRINCIPAL DWELLING		
Q	UIREIVIENIS	1							_			47 906 SF			EXISTING HOME OFFICE PAVILION	471 SF	
E E	MASS WALL	-loor R-value	BASEN WALL	MENT R-VAL.	SLAB R-VALU AND DE	JE CF EPTH R-	RAWL PACE VALUE			FRONT YARD SETB	А <i>СК:</i>	40 FT			TOTAL FLOOR AREA	7,587 SF	8,027 5
	15/20	30ª	15/19		10, 4FT	11	/10			SIDE YARD SETBAC	TKS	25 FT / 60 FT		Ē	PROPOSED TOTAL FLOO	R AREA 8,027 SF	IS LESS T
R-I	VALUE OF R-19					15	6/19			REAR YARD SETBA	СК	45 FT			THE ALLOWABLE TO	IAL FLOOR AREA	9,581 SI
m-1																	

				DRAWING	LIST - ISSUED I		
		NUM	BER	SCALE			
		T-100		AS NOTED	TITLE SHEET		
		ARCHI	TECTUR	AL	FIG. 7		
		D-200		$\frac{1/8'' = 1' - 0''}{1/8'' = 1' \cdot 0''}$	FIRST & SECOND	FLOOR DEMOLITION PLANS	
		A-100		$\frac{1/8}{3/32''} = 1'-0''$	PROPOSED SITE I	ILAN	500 FIFTH AVENUE, 45TH FLOOR
		A-201		1/8" = 1'-0"	PROPOSED FIRST	& SECOND FLOOR PLANS	NEW YORK, NEW YORK 10110 212 260 0128
		A-202		1/8" = 1'-0"	PROPOSED ROOF	PLAN & ENLARGED PLANS	
		A-301		1/8" = 1'-0"	PROPOSED WEST	& EAST ELEVATIONS	
NG WORK SHALL BE IN APPLICABLE PLUMBING (CODES.	A-302		1/8" = 1'-0"	PROPOSED SOUT	H, NORTH & DETAIL ELEVATIONS	
HE BASE OF ALL SOIL, VE	ENT, AND	EV-001		NIS			
R VERTICAL OFFSETS OF		EV-002 EV-003		NTS NTS	PROPOSED EXTEN	NOR VIEW NORTH FACADE	
GE PIPING SHALL BE MA	DE WITH	EV-004		NTS	PROPOSED EXTER	RIOR VIEW EAST FACADE	-11
O ON ALL BRANCH WAT	FR I INFS	CIVIL					
M MAINS AND RISERS.	RE MADE	C-001		AS NOTED	TITLE SHEET		
		C-002		AS NOTED	GENERAL NOTES		
		C-110		AS NOTED	PROPOSED SITE I	LAN	
ORTED BOTH VERTICALL	YAND	C-120		AS NOTED	PROPOSED DETE	NTION SYSTEM	
WORK OF THE OTHER T PERFORM ALL REQUIRE	TRADES ED TESTS.	C-130		AS NOTED	SOIL EROSION AI	ID SEDIMENT CONTROL PLAN	\square \square
) THE OWNER AT COMP. 1 TOWN OF BEDFORD, I	PLETION NY.	C-200		AS NOTED	SOIL EROSION AI	ID SEDIMENT CONTROL DETAILS	
ING WORK AND EQUIPM	MENT.	FOUNL	DATION				
		FO-100		AS NOTED	ΡΗΑΣΕ 3 FOUND	TTION SPECIFICATIONS & DETAILS	–∥
		FO-200		AS NOTED	PHASE 3 FOUND	ITION PLAN	
		STRUC	TURAL	/			
PROFESSIONAL JUDGM	1ENT,	S-100		AS NOTED	STRUCTURAL SPE	CIFICATIONS	
e 2020 NYSECCC."		S-101		AS NOTED	STRUCTURAL DE	TAILS	
		<i>S-200</i>		AS NOTED	PROP. PANTRY/B	UNKER RM ADDITION STRUCTURAL PLAN	
							- ∩
							- ˘'∩
EFFECT FOR ALL COMP	PONENTS						
0							
N CONSTRUCTION CODE	E 2020/						
ALONG WITH ANY OTHE	ER						
) REGULATIONS							
							No. REMARKS DATE
							1 PLANNING BOARD 11/3/2023
							PLANNING BOARD 2/15/2024
							PROJECT:
							59 TWEED BOULEVARD
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TUNS		NG C	ALCU	JLATIO	N S	<u>CONSULTANTS</u>	
OSED	COMPONEN	Т	ALLOW	ED EXISTIN	G PROPOSED	ARCHITECT KLIGERMAN ARCHITECTURE & DESIGN	
	F.A.R		0.2 (9,58)	1 SF) (0.158) 7,5	87 SF (0.167) 8,027 SF	t. 212.268.0128	
5,025 SF			. ,			STRUCTURAL ENGINEER: HANINGTON ENGINEERING	
SE (NO CHANCE)						t. 973-691-0602	
			<u> </u>			J . <u>CIVIL ENGINEER:</u>	DATE:
7,556 SF	D					<i>UK PILLA</i> <i>t. 845-727-7793</i>	PROJECT No.: 20017
471 SF		UNG	INF	UKMA		• LANDSCAPE:	DRAWING BY: CO
	COMPONEN	T		EXISTING	PROPOSED	EDMUND D HOLLANDER LANDSCAPE ARCHITECT DESIGN, PC	DWG No.:
SF (440 SF NEW)	BEDROOM CO	UNT		-	5	t. 212-473-0602	T_100
THAN						• <u>SURVEYOR:</u> CALLAZUOI FNG & SURVEYING	
F	BATHROOM C	OUNT		-	4 FULL	t. 845-358-1510	
J	L				I	J L	









-REFRAME EXIST. DORMER W/ BOWED PROW, SHINGLES "A" -CLAD VERTICAL PLANES W/ SHINGLES "B" (NO CORNER BOARDS) -RADIUS ROOF EXTENSION STEP-BACK -NEW WINDOW PER SCHEDULE -MINIMAL S.S. DRIP EDGE FLASHINGS

- NEW SLATE SHINGLE ROOF PER SCHEDULE, TYP. (SHINGLES "B")

GUTTERS & LEADERS SCHEDULE TRIM & SILLS DETAILS RADIUS FRAMING DF OVERHANGS	

1B A-403 SIM..

-REFRAME EXIST. DORMER W/ SHED ROOFS, SHINGLES "A" -CLAD VERTICAL PLANS W/ SHINGLES "B" (NO CORNER BOARDS) -NEW WINDOWS PER SCHEDULE -NEW GUTTERS & LEADERS PER SCHEDULE

<u>T.O. RIDGE GARAGE</u> 590.59 GARAGE UPPER LVL FIN. CLG. 587.59

-NEW RADIUS FRAMING @ ROOF OVERHANGS

GARAGE UPPER LVL F.F. 577.4' GARAGE FIN. CLG. 576.4'

GARAGE LVL F.F. 569.4'

-NEW STONE VENEER PER SCHEDULE, COORDINATE W/ EXISTING PERIMETER CONCRETE FOUNDATION LEDGE (ALTERNATE: TAPERED STUCCO PER SCHEDULE)

E	X T E R I O R F I N I S H S	CHEDULE						
COMPONENT	DESCRIPTION & COLOR	DESCRIPTION & COLOR MANUFACTURER						
SHINGLES A (ROOF)	UNFADING SPANISH BLACK SLATE / 🖁 THICK	GREENSTONE SLATE						
Shingles B (Siding)	VERMONT CLEAR GRAY (SEMI-WEATHERING) / 💱 THICK	GREENSTONE SLATE						
STONE VENEER	CEPPO DI GRE / HEAVILY SANDBLASTED / 1 ¼" THICK / 24"W. ABC STONE x VARYING HEIGHTS PER ELEVATIONS (15"H., 13"H., 6 ¾"H.) ABC STONE							
STUCCO (ALTERNATE)	3-COAT PORTLAND CEMENT STUCCO / 1" THICK / COLOR TBD -							
METAL ROOFING	16" WIDE TYPE 316 STAINLESS STEEL STANDING SEAM METAL	-						
GUTTERS	CUSTOM BOX GUTTER / 5" STAINLESS STEEL	-						
LEADERS	3" ROUND STAINLESS STEEL	-						
SNOW GUARDS	COPPER	-						
WINDOWS	STAINLESS STEEL / INSUL. IGU / TDL / CLEAR GLASS	TISCHLER						
DOORS	MAHOGANY / CUSTOM PATTERN / STAINED / HARDWARE TBD	TISCHLER						
GARAGE DOORS	STAINLESS STEEL / FROST GLASS PANELS	TISCHLER						
SHUTTERS	MAHOGANY / CUSTOM PATTERN / PTD. / HARDWARE TBD	TIMBERLANE						
PAVERS	MAHOGANY / CUSTOM PATTERN / PTD. / HARDWARE	-						

 \square 4 >5 Ь Ω \square **ME** No. REMARKS DATE PLANNING BOARD 11/3/2023 PLANNING BOARD 2/15/2024 PROJECT: RESIDENCE 59 TWEED BOULEVARD ORANGEBURG, NY 10960

KLIGERMAN

500 FIFTH AVENUE, 45TH FLOOR NEW YORK, NEW YORK 10110

& DESIGN

212 260 0128

ARCHITECTURE



PROPOSED WEST & EAST ELEVATIONS DATE:

PROJECT No.: 20017 DRAWING BY: CO СНК ВҮ: RP

DWG No.: A-301





3 DETAIL ELEVATION @ EAST GABLE A-302 SCALE: 1/4" = 1'-0"

BOARDS)

<u>NOTE:</u> SEE A-301 FOR EXTERIOR FINISH & MATERIALS SCHEDULE, & ADDITIONAL TYPICAL ELEVATION NOTES.

KLIGERMAN ARCHITECTURE & DESIGN

500 FIFTH AVENUE, 45TH FLOOR NEW YORK, NEW YORK 10110 212 260 0128

-CLAD W/ SHINGLES "B" (NO CORNER BOARDS, -NEW WINDOWS PER SCHEDULE -NEW GUTTERS & LEADERS PER SCHEDULE

-<u>GARAGE SHED DORMER:</u> —REFRAME EXIST. DORMER W/ SHED ROOFS,

SHINGLES "A"

PROPOSED ADDITION: -NEW FOOTPRINT PER PLANS -CLAD W/ STONE VENEER PER SCHEDULE -HIPPED SLATE SHINGLE ROOF @ PANTRY -SHALLOW METAL ROOF @ MUDROOM -WINDOWS & DOOR PER SCHEDULE -STEPS FROM GRADE TO COV. PORCH W/ STONE TREADS & PISERS STONE TREADS & RISERS

CHIMNEYS W/ STONE

ROOFLINE, TYP. (MIN. MINIMAL METAL DRIP EDGE @ RAKELINE

GABLE W/ BOWED SLATE-CLAD PROW

TERMINATING INTO OPPOSING SHED

METAL TRANSOM BAR, TO MATCH WINDOWS

SIDELITES & TRANSOMS PER SCHEDULE

-NEW STONE VENEER PILASTERS BRACKETING NEW SLIDING DOORS & SIDELITES



PROJECT No.: 20017 DRAWING BY: CO СНК ВҮ: RP

A-302

DWG No.:



	DEMOLITION LEGEND	KLIGERMAN ARCHITECTURE & DESIGN
	AREA TO BE DEMOLISHED	500 FIFTH AVENUE, 45TH FLOOR NEW YORK, NEW YORK 10110 212 260 0128
	 GENERAL DEMOLITION NOTES ALL WINDOWS & DOORS WHERE SHOWN TO BE REMOVED, AND EXISTING OPENINGS TO BE PREPPED FOR REPLACEMENT UNITS PER SCHEDULE EXISTING ROOFING TO BE REMOVED DOWN TO SHEATHING. RAKE OVERHANGS AND DORMER ROOF FRAMING TO BE REMOVED PER EXTERIOR ELEVATION 	
	 SCHEDULE EXSTING ROOFING TO BE REMOVED DOWN TO SHEATHING, RAKE OVERHANGS AND DORMER ROOF FRAMING TO BE REMOVED PER EXTERIOR ELEVATIONS CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITON AND REMOVAL AS INDICATED ON THE DERAMINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DOWE CAREFULLY AND NEATLY, AND IN A SYSTEMATIC MANNER. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSABILITY FOR THE DAMAGE AND SHALL MAKE REPARS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER. NO DEBRIS SHALL BE LETT BROOM SWEPT CLEAN AT THE CONTRACTOR AS THE JOB PROCEEDS. THE STIE SHALL BE LETT BROOM SWEPT CLEAN AT THE CONTRACTOR AS THE JOB PROCEEDS. THE STIE SHALL BE LETT BROOM SWEPT CLEAN AT THE CONTRACTOR AS THE JOB PROCEEDS. THE STIE SHALL BE LETT BROOM SWEPT CLEAN AT THE CONTRACTOR SHALL PROVE ALL EXISTING EXTERIOR FINISHES. SHINGLES, MOISTINE PROTECTION, MISLIATION, TUSHING AND REPLACE WITH NEW AS SPECIFIED. ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTOD. WISLIATION, TUSHING AND REPLACE WITH NEW AS SPECIFIED. ALL ADJOINING ROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTOD. WISLIATION, TUSHING AND REPLACE WITH NEW AS SPECIFIED. ALL ADJOINING ROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTOD. PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY PARTITIONS AND MAINTAIN ALL TEMPORARY PARTITIONS AND MAINTAIN ALL TEMPORARY PARTITIONS AND MAINTAIN ALL TEMPORARY PARTITIONS AND GUARDS, AND ALL TEMPORARY PARTITIONS AND MAINTAIN ALL TEMPORARY PARTITIONS AND MAINTAIN A	Image: Non-State Signature Image: Non-State Signature
		FIRST & SECOND FLOOR DEMO PLANS
)		DATE: PROJECT No.: 20017 DRAWING BY: CO CHK BY: RP DWG No.: D-200
/	G: \DWG\20017	, # -



DEMOLITION LEGEND

— — — — — — — ELEMENT TO BE DEMOLISHED

AREA TO BE DEMOLISHED

KLIGERMAN

& DESIGN

ARCHITECTURE

GENERAL DEMOLITION NOTES

- ALL WINDOWS & DOORS WHERE SHOWN TO BE REMOVED, AND EXISTING OPENINGS TO BE PREPPED FOR REPLACEMENT UNITS PER SCHEDULE
- EXISTING ROOFING TO BE REMOVED DOWN TO SHEATHING. RAKE OVERHANGS AND DORMER ROOF FRAMING TO BE REMOVED PER EXTERIOR ELEVATIONS
- CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL AS INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, AND IN A SYSTEMATIC MANNER.
- ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSABILITY FOR THE DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
- NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
- THE SITE SHALL BE LEFT BROOM SWEPT CLEAN AT THE COMPLETION OF DEMOLITION.
- THE CONTRACTOR SHALL REMOVE ALL EXISTING EXTERIOR FINISHES, SHINGLES, MOISTURE PROTECTION, INSULATION, FLUSHING AND REPLACE WITH NEW AS SPECIFIED.
- ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF THE NEW YORK STATE AND VILLAGE OF SAGAPONACK BUILDING AND LOCAL CODES.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY PARTITIONS AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPARTMENT OF BUILDING RULES AND REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
- CONTRACTOR TO VERIFY IN THE FIELD AND REPORT DISCREPANCIES TO THE ARCHITECT. DEMOLITION DRAWINGS ARE APPROXIMATE AND NOT LIMITED TO THE AREAS SHOWN. FIELD OBSERVATION IS REQUIRED BY THE CONTRACTOR TO DETERMINE THE EXTENT OF THE DEMOLITION WORK.
- CONTRACTOR IS TO COORDINATE WITH OTHER TRADES FOR EXTEND WITH DEMOLITION WORK, SALVAGING AND PROTECTION OF EXISTING AND NEW WORK TO BE PERFORMED.
- THE CONTRACTOR SHALL FILE AL NECESSARY CERTIFICATES OF INSURANCE WITH THE NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.
- REFER TO STRUCTURAL, ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL DEMOLITION WORK. REFER TO ARCHITECTS DRAWINGS FOR THE EXTENT OF NEW WORK.

REMOVE ALL EXISTING EXTERIOR SIDING DOWN TO SHEATHING -REMOVE EXISTING SECOND FLOOR BALCONIES

T.O. RIDGE 589.4' GARAGE UPPER LVL FIN. CLG. 586.4' BUILDING HEIGHT 585.23

> GARAGE UPPER LVL F.F. 577.4' ¢ GARAGE FIN. CLG. 576.4' **(**

> > GARAGE LVL F.F. 569.4'

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500 FIFTH AVENUE, 45TH FLOOR NEW YORK, NEW YORK 10110 212 260 0128						
5 9 TWEED BOULEVARD						
No.REMARKSDATE1PLANNING BOARD11/3/2023						
PLANNING BOARD 2/13/2024						
PROJECT: RESIDENCE 59 TWEED BOULEVARD ORANGEBURG, NY 10960						
SEAL & SIGNATURE:						
DEMOLITION ELEVATIONS						
DATE: PROJECT No.: 20017 DRAWING BY: CO CHK BY: RP DWG No.:						
D-300						







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KLIGERMAN ARCHITECTURE & DESIGN 500 FIFTH AVENUE, 45TH FLOOR NEW YORK, NEW YORK 10110 212 260 0128 ARD Е С 5 BO С WEED \vdash DATE No. REMARKS PLANNING BOARD 11/3/2023 PLANNING BOARD 2/15/2024 PROJECT: RESIDENCE 59 TWEED BOULEVARD ORANGEBURG, NY 10960 SEAL & SIGNATURE: AED EXTERIOR VIEW WEST FACADE DATE: PROJECT No.: 20017 DRAWING BY: CO CHK BY: RP DWG No.: EV-002

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KLIGERMAN ARCHITECTURE & DESIGN 500 FIFTH AVENUE, 45TH FLOOR NEW YORK, NEW YORK 10110 212 260 0128 EVARD σ BO С WEED DATE No. REMARKS PLANNING BOARD 11/3/2023 PLANNING BOARD 2/15/2024 PROJECT: RESIDENCE 59 TWEED BOULEVARD ORANGEBURG, NY 10960 SEAL & SIGNATURE: RED A EXTERIOR VIEW NORTH FACADE DATE: PROJECT No.: 20017 DRAWING BY: CO CHK BY: RP DWG No.: EV-003

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G: \DWG\2001;

PROJECT NAME: 59 TWEED BOULEVARD

PROJECT ARCHITECT: KLIGERMAN ARCHITECTURE & DESIGN PROJECT ADDRESS: 59 TWEED BOULEVARD, NYACK, NY 10965 CIVIL ENGINEER: DOMINICK R.PILLA ASSOCIATES PC CIVIL PLANS-PHASE 3 SITE PLAN **ISSUED: FOR BUILDING PERMIT**

DATE: 02/15/2024

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	INDEX OF DRAWINGS							
PAGE # DWG # REVISION # DRAWING TITLE								
1	C-001	00	TITLE SHEET					
2	C-002	00	GENERAL NOTES					
3	C-100	00	EXISTING AND PREVIOUSLY APPROVED SITE PLAN					
4	C-110	00	PROPOSED SITE PLAN					
5	C-120	00	PROPOSED DETENTION SYSTEM					
6 C-130 00 SOIL EROSION AND SEDIMENT CONTROL PL								
7	7 C-200 00 SOIL EROSION AND SEDIMENT CONTROL DETAILS							
DDODE								

PROPERTY INFORMATION

59 TWEED BOULEVARD, NYACK, NY 10965 71.13

40

47,906 SQFT

SECTION: BLOCK: LOT: LOT AREA: ZONING DISTRICT

SCHOOL DISTRICT

FIRE DISTRICT:

WATER DISTRICT

SEWER DISTRICT:

LIGHTING DISTRICT:

ADDRESS

R-22 SOUTH ORANGETOWN CENTRAL DISTRICT 1 BLAUVELT VEOLIA ORANGETOWN SEWER DISTRICT ORANGETOWN

NEW IMPERV. COVERAGE 361 SQFT AREA OF DISTURBANCE: 889 SQFT

PHASE 3 SCOPE OF WORK:

NEW ROOF AREA AT SOUTHWEST CORNER OF HOUSE PROVIDES NO NEW IMPERVIOUS COVERAGE. NEW ROOF AREA AND PAVED AREA A' NORTHWEST CORNER OF HOUSE ADDS 361 SOFT OF NEW IMPERVIOUS COVERAGE. PREVIOUSLY APPROVED PERMAVOID ZONE 1 AND ZONE 2 HAVE BEEN UPDATED TO DRYWELLS (SEE PAA#1 DATED 02/02/2024) DRYWELL ZONE 1 IS LARGE ENOUGH TO ACCOMMODATE ADDED COVERAGE AT THE NORTHWEST CORNER OF THE HOUSE. SEE PAA#1 DATED 02/02/2024 FOR STORMWATER PROFILES AND DRYWELL DETAILS.

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2	
CE	
R DETAIL	
BOL	

ABBREVIATION	<u>N</u>
AESS	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL
B	BOTTOM REINFORCEMENT
BOC	BOTTOM OF CURB
BM	BEAM
BS	BOTH SIDES
BU	BUILT UP MEMBER
C C	COMPRESSION FORCE IN KIPS
CANT	CANTIL EVER
CI	CENTER I INF
CC	CENTER LINE CENTED OF GDAVITV
COL	COLUMN
COL	CONTINUOUS
	COMPRESSION DEINE LAD SLICE
COMP LAP	COMPRESSION REINF LAP SLICE
	COMPLEY & PENETRATION EKLF
DB	FISMRYRI OF REINFORCEMENT BAR
DEL	DELTA OK CHANGE IN ELEVATION
(E)	EXISTING CONSTRUCTION
EF	EACH FACE
EL	ELEVATION
EW	EACH WAY
F	FINISHED SURFACE
GB	GRADE BEAM
Н	HORIONTAL REINFORCEMENT
Н	HORIZONTAL FORCE IN KI[S
J1,J2	NEW CODE FORMED STEEL JOISTS
LAP	FULL TENSION CAPACITY LAP SPLICE
LD	TENSION DEVELOPMENT LENGTH FOR REINFORCINGBAR
LDC	COMPRESSION SPLICE LENGTH FOR REINFORCE BARS
LLBB	LONG LEGS BACK-TO-BACK
LW	LIGHTWEIGHT CONCRETE
М	BENING MOMENT IN FOOT-KIPS
MC	MOMENT CONNECTION SHOWN ON DRAWING
MIN	MINIMUM
(N)	NEW CONSTRUCTION
Ň	BEARING BOLTS THREADS INCLUDED IN SHEAR PLANE
NTS	NOT TO SCALE
OC	ON CENTER
PC	PILE CAP
PI	PLATE
DD	PARTIAL DENETRATION WELD
SAD	SEE ADCHITECTUDAL DDAWINGS/DETAILS
SAD S1 S2	SLE ARCHITECTURAL DRAWINGS/DETAILS
51,52 SC	SLAD ON DECK TIPE
SU	SLIP CRITICAL BOLT
SIM	SIMILAK TENGLON FOD OF IN KIDG
l T	THEORIES
l T	I HICKNESS
IBC	TO BE CONFIRMED
TOC	TOP OF CURB
TOF	TOP OF FOOTING
TOS	TOP OF STEEL
ТҮР	TYPICAL
UNO,UON	UNLESS OTHERWISE NOTED
М	VERTICAL REINFORCEMENT
V	VERTICAL BEAM END REACTION IN KIPS
VIF	VERIFY IN FIELD
WP	WORKPOINT
WWF	WELDED WIRE FABRIC

CONSTRUCTION NOTES

- RECOMPENSATION FOR EXTRA WORK RESULTING FROM CHANGED CONDITIONS UNLESS THE ENGINEER HAS APPROVED THE WORK IN WRITING
- ACCORDINGLY
- CONTRACTOR SHALL GIVE NOTICE TO THAT UTILITY
- CONTRACTOR IS RESPONSIBLE FOR AVOIDING DAMAGE TO THESE FACILITIES AND SHALL RESTORE ALL UTILITIES AT CONTRACTOR'S EXPENSE
- OPERATIONS.
- ALTERNATE ROUTES AND SIGNAGE IF REQUIRED.
- PAVING JOINT.
- CONSTRUCTION DOCUMENTS
- 11. ALL DEMOLITION WORK SHALL BE PERFORMED WITH MINIMUM DAMAGE TO THE EXISTING WORK TO REMAIN. IT SHALL BE RECOGNIZED THAT THE UTMOST CARE STATE AND LOCAL AGENCY REOUIREMENTS.
- OR OWNER.
- 15. ALL MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION, INCLUDING GAS LINE REMOVAL IS TO BE PERFORMED BY A CONTRACTOR OR SUB-CONTRACTOR LICENSED IN THE PARTICULAR TRADE.

STORM WATER SYSTEM CLEANING AND MAINTENANCE:

STORM WATER SYSTEM, INCLUDING ANY ROOF GUTTERS AND UNDERGROUND PIPING, SHOULD BE CLEANED OF LEAVES, SAND, DIRT, SEDIMENT, TRASH AND OTHER DEBRIS BY HAND OR BY VACTOR TRUCK. THE SYSTEM IS TO BE EVALUATED, CLEANED AND MAINTAINED AT LEAST TWO TIMES PER YEAR. SURFACE GRATES AND INTERIOR SUMPS SHOULD BE MAINTAINED TO FUNCTION AS ORIGINALLY DESIGNED. SEE MAINTENANCE PLAN ON FILE WITH BOTH THE PROPERTY OWNER AND THE LOCAL BUILDING DEPARTMENT FOR MORE DETAILS.

ZONING ANALYSIS (ZONE R-22, USE GROUP 1, SINGLE FAMILY RESIDENCE)

USE GROUP 0	REQUIRED	EXISTING	PREVIOUSLY APPROVED	PROPOSED
LOT GROSS AREA (SQFT)	22,500	47,906	47,906	47,906
AREAS WITH SLOPES > 25% (SQFT)	-	15,625.80	15,625.80	15,625.80
SLOPE DEDUCTION SLOPES > 25% (SQFT)	-	7,812.90	7,812.90	7,812.90
NET AREA (SQFT)	-	40,078.10	40,078.10	40,078.10
FLOOR AREA RATIO	0.20	0.13 ²	0.158 ²	0.167 ²
LOT WIDTH (FT)	125	249.41	249.41	249.41
STREET FRONTAGE (FT)	75	256.14	256.14	256.14
FRONT YARD SETBACK (FT)	40	43.5	40.6	40.6
SIDE YARD (ONE) SETBACK (FT)	25	24.3	24.3	24.3
SIDE YARD (BOTH) SETBACK (FT)	60	100.7	63.3	63.3
REAR YARD SETBACK (FT)	45	98.6	98.6	98.6
BLDG. HEIGHT 9"/FT FROM LOT LINE	9"/FT	28'-10" (7.95"/FT) MAIN HOUSE	19'-2" (5.67"/FT) POOL HOUSE	

¹ EXISTING NON-CONFORMING CONDITIONS

² BASED ON FLOOR AREA OF 6,168 SQFT EXISTING, 7,587 PREVIOUSLY APPROVED, 8,027 PROPOSED, AND GROSS LOT AREA

ALLOWABLE BUILDING HEIGHT IS 9"/FT FROM LOT LINE (DSL), **EXISTING BUILDING IS 43.5' FROM DSL**

EXISTING 9"/FT X 43.5 = 393.5" = 32.77'

EXISTING HEIGHT OF HOUSE 28'-10" = 346"/43.5 = 7.95 IN/FT

PREVIOUSLY APPROVED BUILDING IS 40.6' FROM DSL PREVIOUSLY APPROVED 9"/FT X 40.6 = 365.4" = 30.45'

PREVIOUSLY APPROVED HEIGHT OF POOL HOUSE 19'-2" = 230"/40.6 = 5.67 IN/FT

ANY EXISTING UTILITIES AND UNDERGROUND STRUCTURES SHOWN ON THE PLAN ARE BASED UPON THE BEST AVAILABLE PUBLIC RECORDS. PRIVATE RECORDS AS SUPPLIED B DATA OBTAINED VERBALLY FROM OWNERS OR OFFICIALS FAMILIAR WITH THE PROJECT SITE. NEITHER THE OWNER NOR THE ENGINEER GUARANTEE ACCURACY OR COMPLETENESS OF THIS INFORMATION AND ASSUME NO RESPONSIBILITY FOR IMPROPER LOCATIONS ON THE CONSTRUCTION PLANS. OTHER UNDERGROUND FACILITIES NOT SHOWN ON THE DRAWINGS MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL INVERT ELEVATIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION

IF CHANGED CONDITIONS ARE ENCOUNTERED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF EITHER (1) PREEXISTING SUBSURFACE CONDITIONS DIFFERING FROM THOS INDICATED IN THE PLANS, OR (2) PREEXISTING UNKNOWN SUBSURFACE CONDITIONS OF AN UNUSUAL NATURE, DIFFERING MATERIALLY FROM THOSE ORIGINALLY ENCOUNTERED AND GENERALLY RECOGNIZED AS INHERENT IN THE CHARACTER OF THE WORK PROVIDED FOR IN THE CONTRACT. THE CONTRACTOR AND/OR OWNER SHALL MAKE NO CLAIMS TO THE ENGINEER FOR

3. CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND APPROVED CITY ORDINANCES AND SHALL POST SUCH DOCUMENTS AT VISIBLE LOCATIONS AND MAINTAIN UPDATED DOCUMENTATION

CONTRACTOR SHALL CALL THE UTILITIES UNDERGROUND LOCATION CENTER FOR FIELD LOCATIONS OF ALL UTILITIES AND SHALL NOT BEGIN EXCAVATION UNTIL ALL KNOWN UNDERGROUND FACILITIES IN THE VICINITY OF THE PROPOSED WORK HAVE BEEN LOCATED AND MARKED. IF THE UTILITY IS NOT A SUBSCRIBER OF THE UTILITIES UNDERGROUND LOCATION CENTER, THEN THE

THE CONTRACTOR IS RESPONSIBLE FOR REVIEW OF ALL INFORMATION PROVIDED BY UTILITY PURVEYORS, AND CITY OR STATE RECORDS RELATED TO THE EXISTING UNDERGROUND UTILITIES. THE

CONTRACTOR SHALL NOTIFY ALL UTILITY SERVICES FOR TEMPORARY SHUT OFF AS REQUIRED. CONTRACTOR SHALL MAINTAIN AND PROTECT SERVICES AGAINST DAMAGE DURING DEMOLITION

7. NO PUBLIC WAYS OR WALKS MAY BE OBSTRUCTED WITHOUT THE WRITTEN PERMISSION OF GOVERNING AUTHORITIES AND OF THE OWNER. WHERE ROUTES ARE PERMITTED TO BE CLOSED, PROVIDE

RS 8. WET DEBRIS WITH WATER AS NECESSARY TO LIMIT DUST TO LOWEST PRACTICAL LEVEL. DO NOT WET TO THE EXTENT OF FLOODING, CONTAMINATED RUNOFF, OR ICING

9. ANY PORTIONS OF PAVEMENT TO BE REMOVED MUST BE SEPARATED BY MAKING A NEAT VERTICAL SAW CUT ALONG THE BOUNDARIES OF THE AREA TO BE REMOVED. MAKE CUTS AT CLOSEST

10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT, AND SERVICES TO PROPERLY EXECUTE THE DEMOLITION AND REMOVAL WORK INDICATED ON THESE

DEMOLITION WORK. PROVIDE BARRICADES, BARRIERS, AND SHORING WHERE REQUIRED TO PROTECT THE PUBLIC, PERSONNEL, CONSTRUCTION, AND VEGETATION TO

MADE TO ALLEVIATE THE SPREAD OF DEBRIS, DIRT, AND DUST TO THE ADJACENT PROPERTIES. THE PROPERTY SHALL BE KEPT AS CLEAN AS POSSIBLE AT ALL TIMES MAINTAIN HAULING ROUTES CLEAN AND FREE OF ANY DEBRIS RESULTING FROM DEMOLITION WORK ON THIS PROJECT. ANY HAZARDOUS MATERIAL REMOVAL. SUCH AS ASBESTOS REMOVAL. SHALL BE PERFORMED PRIOR TO ANY DEMOLITION ACTIVITY. THE HAZARDOUS MATERIAL REMOVAL SHALL BE PERFORMED BY A LICENSED ABATEMENT COMPANY

13 THE REFUSE RESULTING FROM ANY CLEARING AND GRUBBING AND ALL DEBRIS AND MATERIALS FROM ANY STRUCTURE(S) TO BE DEMOUSHED SHALL BE DISPOSED O MANNER CONSISTENT WITH ALL GOVERNMENT REGULATIONS. IN NO CASE SHALL REFUSE MATERIAL BE LEFT ON THE PROJECT SITE, PUSHED ONTO ABUTTING PRIVATE PROPERTIES, OR BE BURIED IN EMBANKMENTS OR TRENCHES ON THE PROJECT SITE. DEBRIS SHALL NOT BE DEPOSITED IN ANY STREAM, LAKE, WETLAND, BODY OF WATER, OR IN ANY STREET OR ALLEY, OR UPON ANY PRIVATE PROPERTY EXCEPT BY WRITTEN CONSENT OF THE PRIVATE PROPERTY OWNER. NO RECLAIMED LUMBER OR MATERIALS SHALL BE RE-USED EXCEPT AS SPECIFICALLY APPROVED BY THE ARCHITE

14. WHERE DEMOLITION AND CUTTING WORK HAS OCCURRED OR WHERE EXISTING SURFACES, MATERIALS, OR OTHER ITEMS HAVE BEEN DAMAGED OR DISTURBED AS A RESULT OF THE CONTRACTED WORK, THE SAID SURFACES AND AREAS SHALL BE CAREFULLY CLOSED UP, PATCHED, REPAIRED, FINISHED, OR RESTORED AS REOUIRED TO BE CONTIGUOUS TO EXISTING SURROUNDING SURFACES.

500 FIFTH AVENUE, 45TH FLOOR NEW YORK, NEW YORK 10110 212 260 0128

- DOMINICK R. PILLA ASSOCIATES 212.224.9520

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02/15/2024 DATE: PROJECT No. 21-07 DRAWING BY: CHK BY: DWG No.: C-001.00

GENERAL NOTES

UNLESS OTHERWISE NOTED OR SHOWN ON THE CIVIL DRAWINGS, THE FOLLOWING REQUIREMENTS, TOGETHER WITH THE PROJECT PLANS, SPECIFICATIONS AND GEOTECHNICAL REPORT APPLY TO THE STRUCTURES IN THIS CONTRACT.

- 1. CONSTRUCTION IS TO COMPLY WITH THE REQUIREMENTS OF THE GOVERNING BUILDING CODE AND ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- 2. THE CIVIL DOCUMENTS SHALL BE USED IN CONJUNCTION WITH AND COORDINATED WITH THE ARCHITECTURAL, STRUCTURAL, AND MEP CONTRACT DOCUMENTS AS WELL AS ANY OTHER TRADES. IF A CONFLICT EXISTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER AND OBTAIN CLARIFICATION PRIOR TO BIDDING AND PROCEEDING WITH WORK.
- 3. THE GENERAL CONTRACTOR SHALL COORDINATE ALL CONTRACT DOCUMENTS WITH FIELD CONDITIONS, DIMENSIONS, ELEVATIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS; USE ONLY PRINTED DIMENSIONS. REPORT ANY DISCREPANCIES IN WRITING TO THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH WORK. DO NOT CHANGE SIZE OR LOCATION OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE STRUCTURAL ENGINEER OF RECORD.
- 4. CONTRACTORS WHO DISCOVER DISCREPANCIES, OMISSIONS OR VARIATIONS IN THE CONTRACT DOCUMENTS DURING BIDDING SHALL IMMEDIATELY NOTIFY THE ARCHITECT. THE ARCHITECT WILL RESOLVE THE CONDITION AND ISSUE A WRITTEN CLARIFICATION.
- 5. THE CONTRACTOR SHALL PROTECT ADJACENT PROPERTY, HIS OWN WORK AND THE PUBLIC FROM HARM. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, AND JOBSITE SAFETY INCLUDING ALL OSHA REQUIREMENTS.
- 6. DETAILS LABELED "TYPICAL" APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY REFERENCED, WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. QUESTIONS REGARDING THE APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.

CODES AND SPECIFICATIONS

THE DESIGN SHOWN ON THESE DRAWINGS IS BASED ON THE FOLLOWING CODES, SPECIFICATIONS AND STANDARDS:

1. "BUILDING CODE OF NEW YORK STATE," 2020. ASCE 7-16: "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES."

SHOP DRAWINGS AND OTHER SUBMITTALS

- 1. INCOMPLETE SUBMITTALS WILL BE RETURNED WITHOUT REVIEW.
- 2. ON FIRST SUBMITTAL, CLEARLY FLAG AND CLOUD ALL DIFFERENCES FROM THE CONTRACT DOCUMENTS. ON RE-SUBMITTALS, FLAG AND CLOUD ALL CHANGES AND ADDITIONS TO PREVIOUS SUBMITTAL. ONLY CLOUDED ITEMS WILL BE REVIEWED.
- 3. A DELEGATED ENGINEER IS DEFINED AS A NEW YORK STATE LICENSED ENGINEER WHO SPECIALIZES IN AND UNDERTAKES THE DESIGN OF CIVIL COMPONENTS OR CIVIL SYSTEMS INCLUDED IN A SPECIFIC SUBMITTAL PREPARED FOR THIS PROJECT AND IS AN EMPLOYEE OR OFFICER OF, OR CONSULTANT TO, THE CONTRACTOR OR FABRICATOR RESPONSIBLE FOR THE SUBMITTAL. THE DELEGATED ENGINEER SHALL SIGN, SEAL AND DATE THE SUBMITTAL, INCLUDING CALCULATIONS AND DRAWINGS. SEE SPECIFICATIONS FOR MORE SPECIFIC CRITERIA.
- 4. THE TRADE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS AT THE JOB SITES, FOR TOLERANCES, CLEARANCES, QUANTITIES, FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, COORDINATION OF THE WORK WITH OTHER TRADES AND FULL COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- 5. THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER SHALL REVIEW AND APPROVE SUBMITTALS AND SHALL SIGN AND DATE EACH DRAWING PRIOR TO SUBMITTING TO THE ARCHITECT. THIS APPROVAL IS TO CONFIRM THAT THE SUBMITTAL IS COMPLETE, COMPLIES WITH THE SUBMITTAL REQUIREMENTS AND IS COORDINATED WITH FIELD DIMENSIONS, OTHER TRADES, ERECTION SEQUENCING AND CONSTRUCTABILITY.
- 6. THE CIVIL ENGINEER REVIEWS SUBMITTALS TO CONFIRM THAT THE SUBMITTAL IS IN GENERAL CONFORMANCE WITH THE DESIGN CONCEPT PRESENTED IN THE CONTRACT DOCUMENTS. QUANTITIES AND DIMENSIONS ARE NOT CHECKED. NOTATIONS ON SUBMITTALS DO NOT AUTHORIZE CHANGES TO THE CONTRACT SUM. CHECKING OF THE SUBMITTAL BY THE CIVIL ENGINEER SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR DEVIATIONS FROM THE CONTRACT DOCUMENTS AND FROM ERRORS OR OMISSIONS IN THE SUBMITTAL.
- 7. IN ADDITION TO THE ABOVE, THE CIVIL ENGINEER'S REVIEW OF DELEGATED ENGINEER SUBMITTALS IS LIMITED TO VERIFYING THAT THE SPECIFIED CIVIL SUBMITTAL HAS BEEN FURNISHED. SIGNED AND SEALED BY THE DELEGATED ENGINEER AND THAT THE DELEGATED ENGINEER HAS UNDERSTOOD THE DESIGN INTENT AND USED THE SPECIFIED CIVIL CRITERIA. NO DETAILED CHECK OF CALCULATIONS WILL BE MADE. THE DELEGATED ENGINEER IS SOLELY RESPONSIBLE FOR HIS/HER DESIGN, INCLUDING BUT NOT LIMITED TO THE ACCURACY OF HIS/HER CALCULATIONS AND COMPLIANCE WITH THE APPLICABLE CODES AND STANDARDS.
- 8. CAD FILES OF CIVIL DRAWINGS MAY BE USED AS AN AID IN PREPARING SHOP DRAWINGS ONLY UPON THE CONTRACTOR SIGNING AN AGREEMENT. WHEN CAD FILES OR COPIES OF THE CIVIL DRAWINGS ARE MADE AVAILABLE, IT IS UNDER THE FOLLOWING CONDITIONS:
- a. ALL INFORMATION CONTAINED IN THE CAD FILES OR COPIES OF THE CIVIL DRAWINGS ARE INSTRUMENTS OF SERVICE OF THE ARCHITECT/ENGINEER AND SHALL NOT BE USED FOR OTHER PROJECTS, ADDITIONS TO THE PROJECT OR THE COMPLETION OF THE PROJECT BY OTHERS. CAD FILES AND COPIES OF THE CIVIL DRAWINGS REMAIN THE PROPERTY OF DOMINICK R. PILLA ASSOCIATES AND IN NO CASE SHALL THEIR TRANSFER BE CONSIDERED A SALE.
- b. CAD FILES OR COPIES OF THE CIVIL DRAWINGS ARE NOT CONTRACT DOCUMENTS. IN THE EVENT OF A CONFLICT, THE CIVIL DRAWINGS SHALL GOVERN.
- c. THE USE OF CAD FILES OR COPIES OF THE CIVIL DRAWINGS SHALL NOT IN ANY WAY RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR PROPER CHECKING AND COORDINATION OF DIMENSIONS, DETAILS, SIZES AND QUANTITIES OF MATERIALS AS REQUIRED FOR THE PREPARATION OF COMPLETE AND ACCURATE SHOP DRAWINGS;
- d. THE CONTRACTOR SHALL REVISE ALL REFERENCES TO CONTRACT DOCUMENT SHEET NUMBERS AND SECTION MARKS AND SHALL REMOVE INFORMATION THAT IS NOT REQUIRED FOR THEIR WORK FROM THE CAD FILES OR COPIES OF THE CIVIL DRAWINGS, INCLUDING THE TITLE BLOCK.
- e. DIMENSIONS IN THE CAD FILES MAY NOT BE PRECISE AND, IN SOME CASES, HAVE BEEN INTENTIONALLY ALTERED FOR PRESENTATION PURPOSES. DO NOT SCALE DIMENSIONS ELECTRONICALLY OR OTHERWISE

1. THE FOLLOWING ITEMS REQUIRE SUBMITTAL OF SHOP AND ERECTION DRAWINGS AND STRUCTURAL CALCULATIONS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF NEW YORK:

a. SUPPORT OF EXCAVATION. **b. DRYWELL SPECIFICATIONS**

EXCAVATION, BACKFILL AND DEWATERING

- 1. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT AND OSHA REGULATIONS. DO NOT EXCAVATE WITHIN ONE FOOT OF THE ANGLE OF REPOSE OF ANY SOIL BEARING FOUNDATION UNLESS THE FOUNDATION IS PROPERLY PROTECTED AGAINST SETTLEMENT.
- 2. DO NOT BACKFILL AGAINST WALLS UNTIL 7 DAYS AFTER THE WALLS ARE BRACED BY THE STRUCTURE OR ARE TEMPORARILY BRACED. DO NOT BACKFILL CANTILEVERED RETAINING WALLS UNTIL CONCRETE IS 7 DAYS OLD. DO NOT BACKFILL UNTIL AFTER COMPLETION AND INSPECTION OF ANY WATERPROOFING.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR THE DISPOSAL OF ALL ACCUMULATED WATER IN A MANNER THAT DOES NOT INCONVENIENCE OR DAMAGE THE WORK.

REINFORCED CONCRETE

- FOOTINGS 4,000 PSI POURED WALLS 4,000 PSI SLABS-ON-GRADE 4,000 PSI SLAB ON METAL DECK 4,000 PSI (LT. WT. CONC.)
- BARS IN WALLS, U.O.N.
- CHLORITE PENETRATION.
- A.LOADING DOCK SLABS AND WALLS.
- TWO INCHES.
- REQUIRED TOLERANCES.
- INDIVIDUALLY, UON. SEE TYPICAL DETAILS.
- REVIEW.
- FINISH REQUIREMENTS.
- **CONCRETE FIELD TESTING:**
- REPORTS.
- **REQUIREMENTS:**

- f. COMPRESSION TEST SPECIMENS: ASTM C31.
- COMPOSITE SAMPLE.
- IF NECESSARY.

AREA OF DISTURBANCE & IMPERVIOUS COVERAGE

NEW IMPERVIOUS COVERAGE = 361 SQFT AREA OF DISTURBANCE = 889 SQFT

1. COMPLY WITH ACI 301 AND 318.

2. ALL CAST-IN-PLACE CONCRETE SHALL BE CONTROLLED CONCRETE AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (Fc) AT 28 DAYS AS FOLLOWS:

3. USE NORMAL WEIGHT CONCRETE FOR ALL STRUCTURAL MEMBERS. U.O.N.

4. CONCRETE REINFORCEMENT SHALL BE ASTM A615, GRADE 60 DEFORMED REINFORCING STEEL, LAP BOTTOM STEEL OVER SUPPORTS AND TOP STEEL AT MIDSPAN (U.O.N.). HOOK DISCONTINUOUS ENDS OF ALL TOP BARS AND ALL

5. USE EPOXY COATED REINFORCEMENT CONFORMING TO ASTM A775 FOR CONCRETE SUBJECT TO WATER AND

6. WHERE SPECIFIED, PROVIDE PLAIN, COLD-DRAWN ELECTRONICALLY WELDED WIRE REINFORCEMENT (WWF) CONFORMING TO ASTM A185. SUPPLY IN FLAT SHEETS ONLY. LAP SPLICE SHALL BE ONE CROSS WIRE SPACING PLUS

7. FOLLOW ACI 117-10 "SPECIFICATION FOR TOLERANCES OF CONCRETE CONSTRUCTION AND MATERIALS" FOR

8. UTILITIES SHALL NOT PENETRATE BEAMS OR COLUMNS BUT MAY PASS THROUGH SLABS AND WALLS

9. PROVIDE CONSTRUCTION JOINTS IN ACCORDANCE WITH ACI 318, SECTION 6.4. PROVIDE KEYWAYS AND ADEOUATE DOWELS. SUBMIT DRAWINGS SHOWING LOCATION OF CONSTRUCTION JOINTS AND DIRECTION OF POUR FOR

10. PROVIDE 3/4" CHAMFER FOR ALL EXPOSED CORNERS. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL CONCRETE

1. TESTING: OWNER WILL ENGAGE A QUALIFIED TESTING AGENCY TO PERFORM FIELD TESTS AND PREPARE TEST

2. CONCRETE TESTS: TESTING OF COMPOSITE SAMPLES OF FRESH CONCRETE OBTAINED ACCORDING TO ASTM C172 AND SECTION BC 1905.6.5 OF NYC BUILDING CODE SHALL BE PERFORMED ACCORDING TO THE FOLLOWING

a. TESTING FREQUENCY: OBTAIN ONE COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIXTURE LESS THAN 25 CU. YD., PLUS ONE SET FOR EACH ADDITIONAL 50 CU. YD. OR FRACTION THEREOF.

b. WHEN FREQUENCY OF TESTING WILL PROVIDE FEWER THAN FIVE COMPRESSIVE STRENGTH TESTS OF EACH CONCRETE MIXTURE, TESTING SHALL BE CONDUCTED FROM AT LEAST FIVE RANDOMLY SELECTED BATCHES OR FROM EACH BATCH IF FEWER THAN FIVE ARE USED.

c. WATER CONTENT AND SLUMP: VERIFY WATER CONTENT IN ACCORDANCE WITH AASHTO t-318 "STANDARD METHOD OF TESTS FOR WATER CONTENT USING MICROWAVE OVEN DRYING." TEST SLUMP IN ACCORDANCE WITH ASTM C143; ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIXTURE. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE.

d. AIR CONTENT: ASTM C231, PRESSURE METHOD, FOR NORMAL-WEIGHT CONCRETE; ASTM C173, VOLUMETRIC METHOD, FOR LIGHTWEIGHT CONCRETE; ONE TEST FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIXTURE.

e. CONCRETE TEMPERATURE: ASTM C1064; ONE TEST HOURLY WHEN AIR TEMPERATURE IS 40 DEG F AND BELOW AND WHEN 80 DEG F AND ABOVE, AND ONE TEST FOR EACH COMPOSITE SAMPLE.

i. CAST AND LABORATORY CURE ALL TEST CYLINDER SPECIMENS.

ii. WHEN REQUIRED, CAST AND FIELD CURE TWO SETS OF TWO STANDARD CYLINDER SPECIMENS FOR EACH

g. COMPRESSIVE-STRENGTH TESTS: ASTM C39 AND SECTION BC 1905.6.2 OF THE NYC BUILDING CODE; TEST FIRST SET OF TWO LABORATORY-CURED SPECIMENS AT 7 DAYS FOR INFORMATION, SECOND SET OF TWO LABORATORY-CURED SPECIMENS AT 28 DAYS FOR ACCEPTANCE AND THIRD SET OF TWO SPECIMENS AT 56 DAYS

i. TEST ONE SET OF FIELD-CURED SPECIMENS AT 7 DAYS AND ONE SET OF TWO SPECIMENS AT 28 DAYS. ii. A COMPRESSIVE-STRENGTH TEST SHALL BE THE AVERAGE COMPRESSIVE STRENGTH FROM A SET OF TWO SPECIMENS OBTAINED FROM SAME COMPOSITE SAMPLE AND TESTED AT AGE INDICATED.

KLIGERMAN ARCHITECTURE & DESIGN 500 FIFTH AVENUE, 45TH FLOOR NEW YORK, NEW YORK 10110 212 260 0128				
TWEED BOULEVARD				
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PROJECT:				
RESIDENCE 59 TWEED BOULEVARD ORANGEBURG, NY 10960				
SEAL & SIGNATURE:				
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GENERAL NOTES				

SUBMITTALS REQUIRED:

LEGEND	
	PROPERTY LINE
	EXISTING ROOF AREA
· · · · · · · · · · · · · · · · · · ·	PREVIOUSLY APPROVED IMPERVIOUS AREA
	PROPOSED ROOF AREA
	PROPOSED IMPERVIOUS AREA
	TRENCH DRAIN
	EXISTING CONTOURS
D D D D	PREVIOUSLY APPROVED STORMWATER DRAIN LINE
ОН ОН ОН	EXISTING OVERHEAD WIRES
	PREVIOUSLY APPROVED PLANTING BED
OO	PREVIOUSLY APPROVED FENCE
	CATCH BASIN
	DRYWELL ZONE
1	DETENTION SYSTEM ZONE 1
2	DETENTION SYSTEM ZONE 2

KLIGERMAN

500 FIFTH AVENUE, 45TH FLOOR

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CONSULTING ENGINEERS - DOMINICK R. PILLA ASSOCIATES-**212.224.9520**

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3 ISSUED FOR PERMIT 02.15.202

RESIDENCE

59 TWEED BOULEVARD

ORANGEBURG, NY 10960

PRICING REV 1

PLANNING BOARD

No.

PROJECT:

NEW YORK, NEW YORK 10110

212 260 0128

drpilla.com

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& DESIGN

ARCHITECTURE

GENERAL NOTES . ALL WORK AND MATERIALS SHALL COMPLY WITH NEW YORK DOT REGULATIONS AND CODES AND OSHA STANDARDS. THE CONTRACTOR SHALL OBTAIN FINAL PERMITTING AND

APPROVAL/INSPECTIONS AS REQUIRED FROM THE LOCALITY. THE CONTRACTOR SHALL VERIFY ELEVATIONS AT CONNECTION POINTS OR ANY EXISTING UTILITY CROSSING

PRIOR TO ORDERING STRUCTURES. REPORT ANY CONFLICTS TO THE ENGINEER. 3. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND

APPROVED PRIOR TO BACKFILLING. 4. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIRS TO

UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER. STORM SEWER CATCH BASINS, CURB INLETS MANHOLES AND ENDWALLS SHALL CONFORM TO NEW YORK DOT STANDARD

CONSTRUCTION DRAWINGS ALL SPOT ELEVATIONS REFER TO FINISHED PAVEMENT

ELEVATION UNLESS OTHERWISE NOTED

7. PROVIDE 2% MAXIMUM CROSS SLOPE ON ALL SIDEWALKS AND ADA PARKING AREAS CONTRACTOR SHALL APPLY EROSION CONTROL BLANKET AND

LOW MAINTENANCE GRASS SEED MIX TO ALL SLOPES 3H:1V OR GREATER. REFER TO SOIL EROSION AND SEDIMENT CONTROL DETAIL FOR LOW MAINTENANCE GRASS SEED MIXTURE SPECIFICATION.

REFER TO GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION.

10. IRON PINS SHALL BE INSTALLED AT EACH PROPERTY CORNER IF THEY DO NOT ALREADY EXIST THERE. 11. AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN

OF ORANGETOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE **RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER**

TO ARRANGE SUCH A MEETING. 12. WITH REGARDS TO THE STORMWATER MANAGEMENT PHASE II REGULATIONS, ADDITIONAL CERTIFICATION, BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH THE STORMWATER MANAG **REGULATIONS.**

8. ALL UTILITIES, INCLUDING ELECTRIC AND TEL SHALL BE INSTALLED UNDERGROUND. 14. THIS PLAN DOES NOT CONFLICT WITH THE COU MAP AND HAS BEEN APPROVED IN THE MANNE SECTION 239L&M OF THE GENERAL MUNICIPAL

STATE OF NEW YORK. 15. THE CLOSEST FIRE HYDRANT IS LOCATED APPE NORTHEAST OF THE SITE ON ROUTE 9W. SEE V. C-001.

16. OWNERS: ADAM AND JORDANA GRUNFELD

59 TWEED BOULEVARD NYACK, NY 10965

17. NEW IMPERVIOUS COVERAGE = 361 SQFT 18. AREA OF DISTURBANCE = 889 SQFT

SUBCATCHMENT AREAS

PLIANCE WITH THE STORMWAT ULATIONS. UTILITIES, INCLUDING ELECTRIC LL BE INSTALLED UNDERGROUN PLAN DOES NOT CONFLICT WIT AND HAS BEEN APPROVED IN TH TON 239L&M OF THE GENERAL N TE OF NEW YORK. CLOSEST FIRE HYDRANT IS LOC. THEAST OF THE SITE ON ROUTE I. IERS: ADAM AND JORDANA GRUNF 59 TWEED BOULEVARD NYACK NY 10965	SEAL & SIGNATURE:	
TIMPERVIOUS COVERAGE = 361 S A OF DISTURBANCE = 889 SQFT	SQFT	PROPOSED SITE PLAN
BCATCHMENT ARE	AS	DATE: 02/15/2024
PROPOSED PHASE I & II*	PROPOSED PHASE III	PROJECT No.: 21-077
47,906	47,906	CHK BY: JB
5,584	5,905	DWG No.:
9,508	9,548	$\parallel \circ 11000$
32,814	32,453	$ \cup - \cup . \cup \cup$
IMPERVIOUS AREA (SQFT)	361	
ED SITE PLAN DATED 10/12/2022 A	ND PAA#1 DATED 02/02/2024	

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 PREVIOUSLY APPROVED 6"Ø HDPE OUTLET PIPE, SEE PREVIOUSLY APPROVED SITE PLAN DATED 10/12/2022 	· · ·	· · · · · · · · ·	· · · · · · ·	· · · · · ·						ULEVARD
PREVIOUSLY APPROVED 6"Ø HDPE INLET SEE PREVIOUSLY APPROVED SITE PLAN I 10/12/2022	`PIPE, DATED	DRYWELL ZON SEE PAA#1	E #1, E #1, 	NEW 6"Ø HDPE PIPE F PHASE 3 ADDITION R 2% SI SEE 0 — DRYWELL INLET IN SCHEDULE ON THIS	ROM OOF, LOPE C-110 V. PER SHEET					ED B00
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A DRYWELL ZONE 1 - SCALE: 3/8" = 1'-0"				DRYWELL S	CHEDULE	TODRVIVEL			B.O.	DATE: 02/15/2024 PROJECT No.: 21-077 DRAWING BY: JB CHK BY: GF DWG No.:
	ZONE 1	SOURCE DRIVEWAY, PATIO (1), AND PHASE 3 ADDITION	SIZE (3) 8'-0" DIA. X 4'-0" DEEP	GRADE ELEV. 569.00	T.O. GRAVEL ELEV. (FT) 566.42	ELEV. (FT) 565.59	INLE1/001LE1 INV. ELEV. (FT) 565.09	561.26	GRAVEL ELEV. (FT) 559.26	C-120.00

KLIGERMAN ARCHITECTURE & DESIGN
NEW YORK, NEW YORK 10110 212 260 0128
5 9 TWEED BOULEVARD
No.REMARKSDATE1ISSUED FOR PRICING03.06.20232PRICING REV 103.20.20233ISSUED FOR PERMIT02.15.2024PLANNING BOARD2/15/202422000000000000000000000000000000000000
SEAL & SIGNATURE:
SOIL EROSION AND SEDIMENT CONTROL PLAN
DATE: 02/15/2024 PROJECT No.: 21-077 DRAWING BY: JB CHK BY: GF DWG No.: C-130.00

LEGEND	
	PROPERTY LINE
	EXISTING ROOF AREA
	PREVIOUSLY APPROVED IMPERVIOUS AREA
	PROPOSED ROOF AREA
· · · · · · · · · · · · · · · · · · ·	PROPOSED IMPERVIOUS AREA
	TRENCH DRAIN
	EXISTING CONTOUR
PI	REVIOUSLY APPROVE STORMWATER DRAIN LINE
он он он	EXISTING OVERHEAD WIRES
	PREVIOUSLY APPROVED PLANTING BED
	PREVIOUSLY APPROVED FENCE
	CATCH BASIN
	DRYWELL ZONE
	SILT FENCE
	LIMIT OF DISTURBANCE
Gassie	PROPOSED TREE PROTECTION
NOTE:	

- 1. NEW IMPERVIOUS COVERAGE = 361 SQFT
- AREA OF DISTURBANCE = 889 SQFT
 THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO RESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
- 3.1. NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER TREE CANOPY.
 3.2. THERE WILL BE NO EXCAVATION OR
- 3.2. THERE WILL BE NO EACH VATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
 3.3. TREES DESIGNATED TO BE PRESERVED SHALL BE
- MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10-FOOT HEIGHT.
 3.4. THE TREE PROTECTION ZONE FOR TREES
- DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
- 3.4.1. ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH
- 3.4.2. DRIP LINE OF THE TREE CANOPY. THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED
- TO MITIGATE THE IMPACT: 3.4.2.1. LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK. 3.4.2.2. LIGHT IMPACTS ONLY - INSTALLATION
- OF ¾ INCH OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED
 2.5 THE BUILDER OR ITS AGENT MAY NOT CHANGE
- GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL A RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.

2- LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30

4- WIDTH - TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR

5- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE . FILTER WILL NOT

6- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPE

ANCHORING DETAIL CONSTRUCTION SPECIFICATIONS:

ABUTTING THE ADJACENT BALES. HORIZONTAL.

3- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR REBARS DRIVEN THROUGH THE BALE THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN 1 1/2' TO 2' INTO THE GROUND AND FLUSH WITH THE BALE 4- INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.

(2) REBARS, STEEL PICKETS,

5- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULLNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

NOT TO SCALE

STABILIZATION IS ESTABLISHED.

EROSION CONTROL

- AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- NY STANDARDS. 4. STABILIZATION SPECIFICATIONS:
- A. TEMPORARY SEEDING AND MULCHING:

-SEED - PERENNIAL RYE GRASS 40 LBS./ACRE (1 LB / 1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1. -MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS./1,000 SF TO BE APPLIED ACCORDING TO THE NY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

B. PERMANENT SEEDING AND MULCHING: -TOPSOIL - UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED).

- SEDIMENT CONTROL FACILITIES.

- NY STANDARDS.
- ACCORDANCE WITH NY STANDARDS.
- OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.
- CONSTRUCTION 20. SILT FENCING SHALL BE ADJUSTED IN FIELD AND NOT ENCROACH ONTO EXISTING TREES TO REMAIN AND SHALL ENCOMPASS LIMITS OF
- DISTURBANCE INCLUDING SEEPAGE PIT LOCATIONS. FOLLOWS:
- A. NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER THE TREE CANOPY. B. THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
- ONE (1) FOOT RADIUS FROM TRUCK PER INCH DBH. • DRIP LINE OF THE TREE CANOPY.

THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING THE MAXIMUM PROTECTION ZONE POSSIBLE. A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE

- REMOVED UPON COMPLETION OF WORK.

- INSPECTION.
- SATISFACTORY CONSTRUCTION.
- COMPLETION OF CONSTRUCTION.
- IMMEDIATELY FOLLOWING GROWING SEASON.

ANGLE FIRST STAKE TOWARD

PREVIOUSLY LAID BALE

IMPACT: FEET LARGER THAN THE TREE CANOPY.

-SEED TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 150 LBS./ACRE (3.5 LBS./1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND OCTOBER 15. -MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS./1,000 SF TO BE APPLIED ACCORDING TO THE NY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID BINDER).

- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND
- STORM EVENT

- CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER DESIGNED IN ACCORDANCE WITH NY STANDARDS
- WITH NY STANDARDS.

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN STATE STANDARDS AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECTED TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING AND MULCHING. IF THE SEASON PROHIBITS TEMPORARY SEEDING. THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BOUND IN ACCORDANCE WITH THE NY STANDARDS (I.E. PEG IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECTED TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO

-LIME - 90 LBS./ 1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS./1,000 SF, 10-20-10 OR EQUIVALENT WORKED INTO THE SOIL A MINIMUM OF

-LIME - 90 LBS./1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS./ 1,000 SF, 10-20-10 OR EQUIVALENT WORKED INTO THE SOIL A MINIMUM OF

SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY

STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOOD PLAIN SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A STRAW BALE SEDIMENT BARRIER AND/OR SILT FENCE. 8. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1" - 2¹/₂" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30' X 100' AND SHOULD BE

UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE ENGINEER.

10. DRIVEWAYS MUST BE STABILIZED WITH 1" - $2\frac{1}{2}$ " CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR INTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.

STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL 14. DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAG OR OTHER APPROVED FILTER IN ACCORDANCE

15. DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH

16. TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORM WATER OUTFALLS ANY REVISION TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW AND

19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT

21. THE TREE PROTECTION AND PRESERVATION WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO RESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS

C. TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10 FOOT HEIGHT. D. THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:

• LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE • LIGHT IMPACT ONLY - INSTALLATION OF $\frac{3}{4}$ INCH OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED. THE BUILDER

OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN (6) INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED, WITH THE TREE WELL A RADIUS OF THREE (3)

22. PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING THE REMOVAL OF TREES, THE CONTRACTOR SHALL INSTALL THE SOIL EROSION AND SEDIMENTATION CONTROL AS REQUIRED BY THE DRAWINGS. PRIOR TO THE AUTHORIZATION TO PROCEED WITH ANY PHASE OF THE SITE WORK, THE ENGINEER SHALL BE NOTIFIED IN ADVANCE TO INSPECT THE INSTALLATION OF ALL REQUIRED SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE CONTRACTOR SHALL CONTACT THE ENGINEER AT LEAST 48 HOURS IN ADVANCE FOR AN

23. ALL LANDSCAPING SHOWN ON THE SITE PLANS SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE USE OF THIS SITE. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT

24. IF THE CONTRACTOR, DURING THE COURSE OF CONSTRUCTION, ENCOUNTERS SUCH CONDITIONS AS FLOOD AREA, UNDERGROUND WATER, SOFT OR SILTY AREAS, IMPROPER DRAINAGE, OR ANY OTHER UNUSUAL CIRCUMSTANCES OR CONDITIONS THAT WERE NOT FORESEEN IN THE ORIGINAL PLANNING, SUCH CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER OF RECORD. THE CONTRACTOR MAY SUBMIT THEIR RECOMMENDATIONS AS TO THE SPECIAL TREATMENT TO BE GIVEN SUCH AREAS TO SECURE ADEQUATE, PERMANENT AND

THE CONTRACTOR'S TRAILER, IF ANY IS PROPOSED, SHALL BE LOCATED AS APPROVED BY THE MUNICIPALITY. PERMANENT VEGETATION COVER OF DISTURBED AREAS SHALL BE ESTABLISHED ON THE SITE WITHIN THIRTY (30) DAYS OF THE

FLOW	<u>× 4 7 7</u>		
	Er r S		
	<u>S</u>		
	Erry and	, K	
			4" VERTICAL FACE

BOUND BALE PLACED ON CONTOURS

BEDDING DETAIL DRAINAGE AREA NO MORE THAN 1/4 A.C PER 100 FEET OF STRAW BALE DIKE FOR SLOPES LESS THAN 25%

OR 2"x2" STAKES

1- BALES SHALL BE PLACED AT THE TOE OF SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY

2- EACH BALE SHALL BE EMBEDED IN THE SOIL A MINIMUM OF (4) INCHES, AND PLACED SO THE BINDINGS ARE

TYPICAL HAY BALE DETAIL

SOIL EROSION AND	
SEDIMENT CONTROL	
DETAILS	

DATE:	02/15/2024				
PROJECT No.:	21-077				
DRAWING BY:	JB				
CHK BY:	GF				
DWG No.:					
C-200.00					

	IKE KLIGERMAN BARKLEY ARCHITECTS, PC VERIFY ALL DIMENSIONS IN FIEL	_D				
FO	UNDATION CONSTRUCTION SPECIFICATIONS:	RE	INFORCEMENT	SPECIFICATIONS		
1.	ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE 2020 OF NEW YORK STATE AND THE APPLICABLE CONCRETE, MASONRY, AND	1.	ALL REINFORC GRADE 60.	CING BARS SHALI	_ BE DEFC	ORMED
2.	REINFORCEMENT SPECIFICATIONS. THE FOUNDATION DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS, ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL	2.	ALL WELDED SHALL BE MA	WIRE FABRIC SHA DE OF COLD DRA	ALL CONF WN WIRE	ORM TO CONF
З.	DRAWINGS, AND ALL SUBCONTRACTOR SHOP DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS BEFORE	З.	ALL REINFORC OIL OR OTHER CAPACITY.	CING BARS AND 1 COATINGS THAT	TAGS SHA T WILL DES	ALL BE STROY
4.	THE CONTRACTOR SHALL LOCATE ANY UNDERGROUND UTILITY LINES AND	4.	ALL REINFORCE	CEMENT SHALL B ALL BARS MARKE	E SECURE D CONT. (ELY TIEI (CONTII
5.	THE CONTRACTOR SHALL COORDINATE FOUNDATION WORK WITH DIMENSIONS, OPENINGS, SLEEVE BLOCK OUTS, AND EMBEDDED ITEMS REQUIRED BY OTHER	5.	ALL WELDED	PPORTS AND BO	R SLAB ON	N GRAI
_	TRADES AND DRAWINGS, AND SUBMIT FOR APPROVAL COMPOSITE DRAWINGS SHOWIN THE SIZE AND LOCATION OF THESE ELEMENTS.	6.	SPLICE 12" MIN REBAR SHALL	IIMUM WHERE RE(. BE LAP SPLICED	QUIRED. 9 40 BAR [DIAMET
6.	THE CONTRACTOR SHALL ENGAGE A GEOTECHNICAL ENGINEER WITH APPROPRIATE FIELD AND LABORATORY TESTING SUPPORT FOR INSPECTION OF THE FOLLOWING WORK: A. EXCAVATION AND PREPARATION OF FOOTING SUBGRADE.		AND 48 BAR	DIAMETERS IN MA	SONRY.	CE SCH
	B. SELECTION, PLACEMENT, AND COMPACTION OF CONTROLLED FILL. C. PREPARATION OF SLAB SUBGRADE.		IMPERIAL BAR SIZE	R "SOFT" METRIC SIZE"		NAL ER (IN.)
7.	ALL FOOTINGS ARE TO BEAR ON UNDISTURBED SOIL WITH AN ALLOWABLE BEARING PRESSURE OF 4,000 PSF. IF PREDOMINATELY CLAYEY AND/OR SILTY		#3	#13	0.50	00 00
	SUILS UK FILL AKE ENCUUN I EKED BENEATH FOOTINGS, THE MATERIAL SHALL BE REMOVED AND REPLACED WITH COMPACTED STRUCTURAL FILL. DO NOT PLACE FOOTINGS ON LOOSE FILL FROZEN GROUND MUD INIOPGANIC MATERIAL OP		#0 #6 #7	#19	0.02	50 75
	ANY OTHER UNSUITABLE OR UNAPPROVED MATERIAL.		#7	#22	1.00	0
3.	STRUCTURAL FILL SHALL CONSIST OF INORGANIC SOIL, FREE OF CLAY, LOAM, ICE, SNOW, TREE SUMPS, ROOTS, AND OTHER ORGANIC MATERIALS, GRADED WITHIN THE FOLLOWING LIMITS:		#9 #10 #11	#29 #32 #36	1.128 1.270 1.410	3 0 0
	SIEVE SIZE PERCENT BY WEIGHT 4 INCH 100			A		
	2 IINCTI 60-IUU NO. 4 45-95 NO. 16 25-80					
	NO. 50 10-65 NO. 200 0-10		4d,			
9.	STRUCTURAL FILL SHALL BE PLACED IN MAXIMUM LIFTS OF 6 INCHES BEFORE COMPACTION. EACH LIFT SHALL BE COMPACTED AT OR NEAR OPTIMUM MOISTURE WITH APPROPRIATE EQUIPMENT TO ≥ 95% OF MAXIMUM DENSITY.		21/2" mir	REBAR F	180°	90° 0K Sr
10.	BACKFILLING AGAINST FOUNDATION OR RETAINING WALLS SHALL NOT BE UNDERTAKEN UNTIL CONCRETE HAS REACHED 85 % OF DESIGN STRENGTH.		1PERIAL BAR		D	
	PROVIDE TEMPORARY BRACING FOR ALL FOUNDATION WALLS UNTIL FLOOR SLABS ON GRADE AND BRACING WALLS HAVE REACHED 75% OF DESIGN STRENGTH.		#3 #4	0.375	21/4"	
11.	BOTTOM ELEVATIONS OF FOOTINGS SHOWN ON PLANS ARE FOR ESTIMATING		#4 #5	0.625	3 ³ /4"	
	PURPOSES ONLY. THE ACTUAL FOOTING ELEVATIONS SHALL BE BASED ON THE REQUIRED BEARING STRATA, AS DETERMINED BY THE GEOTECHNICAL ENGINEER, FOLLOWING EXCAVATION.		#6 #7 #8	0.750 0.875 1.000	4/2" 5/4" 6"	
12.	VERTICAL CONSTRUCTION JOINTS IN FOUNDATION WALLS SHALL BE PLACED: A. 40 FT ON CENTER (MAX.) B. 4'-6" FROM ANY OPENING C. 10'-0" FROM ANY CORNER		#9 #10 #11	1.128 1.270 1.410	<u>972"</u> 10374" 12"	1'. 1' 1'
13.	ALL ELECTRICAL SLOTS, PLUMBING SLOTS, SLEEVES, AND DEPRESSIONS FOR LEAD BENDS SHALL BE FILLED WITH CONCRETE TO THE DEPTH OF SLABS AFTER PIPING IS INSTALLED.					
14.	SLABS ON GRADE SHALL BE PLACED ON 15 MIL. POLYETHYLENE VAPOR BARRIER ON A COMPACTED 6 IN. THICK BASE OF CRUSHED STONE OR GRAVEL, UNLESS OTHERWISE SPECIFIED.				− 8"►	-
<u>CC</u>	NCRETE SPECIFICATIONS:			NEW – FOUNDATION WALL		
1.	THE LATEST EDITION OF THE FOLLOWING STANDARDS APPLY:					
	ACI 318 (CODE)ACI 304 (PLACING)ACI 306 (WINTER CONCRETING)ACI 315 (DETAILING)ACI 305 (HOT WEATHER CONCRETING)ACI 347 (FORMWORK)ACI 211.1 (MIX PROPORTIONING)ACI 301 (SPECIFICATIONS)					6
2.	THE CONTRACTOR SHALL PROVIDE CERTIFIED DESIGN MIX DATA TO THE ENGINEER PRIOR TO THE PLACING OF ANY CONCRETE.					
З.	ALL CONCRETE SHALL BE READY MIXED, CONTROLLED CONCRETE BASED ON APPROVED DESIGN MIXES HAVING A MINIMUM 28-DAY COMPRESSIVE CYLINDER STRENGTH AS LISTED BELOW. SPECIAL DESIGN MIXES SHALL BE MADE FOR ALL PUMPED CONCRETE. FLY ASH MAY BE USED AS A PLASTICIZER TO REDUCE WATER CONTENT, BUT CANNOT BE USED TO REDUCE CEMENT CONTENT. AGGREGATE SHALL BE LIMITED TO A MAXIMUM OF $\frac{3}{4}$ ".			1'-O" OR MATCH EXISTING		
	28-DAY COMPRESSIVE LOCATION STRENGTH (PSI) MISC. FILL 2,500 MUD SLABS		#4 RI CONTINU	EBAR	8"	6"
	FOOTINGS 3,500 FOUND. WALLS SLAB ON GRADE FRAMED SLABS, ETC.		 - 	NEW/EXI SCALE: N.T.S.	SIIN(TION	> P W/
4.	NO ADMIXTURES SHALL BE USED UNLESS SPECIFIED OR APPROVED BY THE ARCHITECT AND ENGINEER. APPROVED ADMIXTURES SHALL COMPLY WITH ACI SPECIFICATIONS. THE USE OF CALCIUM CHLORIDE IS STRICTLY FORBIDDEN.					
5.	PROVIDE ALL PUMPING, SHORING AND BRACING AS NECESSARY.					
6	MAINTAINED ACCORDING TO ACI 347					
6.						
6. 7.	NO ALUMINUM METAL IN ANY FORM SHALL BE PERMITTED IN CONCRETE.					

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4	J	A
-5"	0'-3"	0'-6"
-6"	0'-4"	0'-8"
-7"	0'-5"	0'-10"
-8"	0'-6"	1'-0"
10"	0'-7"	1'-2"
-11"	0'-8"	1'-4"
3"	0'-11 3/4"	1'-7"
5"	1'-1 1/4"	1'-10"
7"	1'-2 3/4"	2'-0"

PINNING ALL DETAIL "4"

02 of 03

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NEW FOUNDATION PLAN @ PROPOSED NEW PANTRY SCALE: 1/4"=1'-0"

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COLUMN LEGEND

- HSS COLUMN UP
- HSS COLUMN UP AND DOWN
- HSS COLUMN DOWN
- WOOD COLUMN UP
- WOOD COLUMN UP AND DOWN
- WOOD COLUMN DOWN
- LINTEL POST
- LOCATION OF BEAM OR COLUMN ABOVE FOUNDATION WALL

MATERIAL LEGEND

·	DECKING
	WOOD
	EXISTING FRAMING
	L.V.L.
	P.S.L.
	T.J.I.
— · · · — · · · —	NEW STEEL
	WOOD STRAPIING
	NEW ANGLE
	SHORING
4	
Ī	
M	ATERIAL SPAN
—	

KLIGERMAN ARCHITECTURE & DESIGN

500 FIFTH AVENUE, 45TH FLOOR NEW YORK, NEW YORK 10110

02 of 02

EXISTING FOUNDATION

-100`

VERIFY ALL DIMENSIONS IN FIELD

GENERAL STRUCTURAL SPECIFICATIONS

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- 1. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE 2020 OF NEW YORK STATE.
- 2. ALL HEC DRAWINGS ARE SCEMATIC ONLY. THE SCALES INDICATED ON THE PLANS ARE FOR REFERENCE ONLY.
- 3. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS, ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS, AND ALL SUBCONTRACTOR SHOP DRAWINGS AND ARE APPROVED ONLY FOR THE WORK INDICATED ON THE PLANS.
- 4. THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, AND SIMILAR APPARATUS AS MAY BE REQUIRED TO STABILIZE THE STRUCTURE DURING THE COURSE OF ALL CONSTRUCTION.

STEEL CONSTRUCTION SPECIFICATIONS

- 1. ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE AISC "MANUAL OF STEEL CONSTRUCTION," LATEST EDITION.
- 2. ALL WELDING SHALL BE IN ACCORDANCE WITH THE "STRUCTURAL WELDING CODE," AWS D1.1, LATEST EDITION AND BE PERFORMED BY WELDERS CERTIFIED IN ACCORDANCE WITH AWS STANDARDS.
- 3. STEEL MATERIALS SHALL CONFORM TO THE FOLLOWING AND BE ACCOMPANIED BY CERTIFIED MILL REPORTS UNLESS OTHERWISE NOTED ON THE DRAWINGS:

W-SHAPES & WT-SHAPES	ASTM A992
C-SHAPES & MC-SHAPES	ASTM A36
HSS SHAPES	ASTM 500, GRADE C
ANGLES, PLATES, & MISC	ASTM A36
STEEL PIPE	ASTM A53, GRADE B
HIGH STRENGTH BOLTS	ASTM F3125, GRADE A325
MACHINE BOLTS	ASTM A307, GRADE A
ANCHOR BOLTS/RODS	ASTM F1554, GRADE 55
WELDING ELECTRODES	ASTM E70XX

- 4. THE CONTRACTOR SHALL PROVIDE 1 REPRODUCIBLE AND 4 COPIES OF SHOP DRAWINGS. THE 4 COPIES WILL BE RETAINED BY THE ARCHITECT AND ENGINEER AND THE REPRODUCIBLE WILL BE RETURNED TO THE CONTRACTOR. PREFERRED ALTERNATIVE: PROVIDE ELECTRONIC COPIES (PDF) OF SHOP DRAWINGS FOR A / E REVIEW AND PROCESSING.
- 5. FRAMING CONNECTIONS NOT DETAILED, OR CONNECTIONS THAT ARE MODIFIED FROM THOSE DETAILED, SHALL BE DESIGNED BY THE SUPPLIER FOR THE END REACTION SHOWN ON THE PLAN. IF NO END REACTION IS PROVIDED, DESIGN FOR $rac{1}{2}$ THE BEAM MAXIMUM UNIFORM LOAD PER THE AISC MANUAL FOR STEEL CONSTRUCTION.
- 6. AVOID ONE-SIDED CONNECTIONS IF POSSIBLE. IF IT IS NECESSARY TO USE A ONE-SIDED CONNECTION, THIS CONNECTION SHALL BE DESIGNED IN ACCORDANCE WITH AISC MANUAL AND SHALL HAVE A MINIMUM OF TWO LINES OF BOLTS IN EACH LEG OF THE ONE-SIDED CONNECTION ANGLE.
- 7. SHOP CONNECTIONS SHALL BE WELDED OR HIGH STRENGTH BOLTED. UNLESS OTHERWISE NOTED, USE MINIMUM $3_{16}^{\prime\prime}$ FILLET WELDS AND $3_{4}^{\prime\prime}$ Ø BOLTS IN STANDARD HOLES.
- 8. FIELD CONNECTIONS SHALL BE WELDED OR HIGH STRENGTH BOLTED. NO FIELD WELDING OF HOT DIPPED GALVANIZED MEMBERS WILL BE ALLOWED. UNLESS OTHERWISE NOTED, USE MINIMUM $rak{3}{6}$ " FILLET WELDS AND $rak{3}{4}$ "Ø BOLTS IN STANDARD HOLES.
- 9. CONTRACTOR SHALL FURNISH ALL PLATES, CLIP ANGLES, CONNECTIONS, NAILER HOLES, ETC. REQUIRED FOR THE COMPLETION OF THE STRUCTURE EVEN IF EVERY SUCH ITEM IS NOT SHOWN ON DRAWINGS.
- 10. PROVIDE ONE SHOP COAT OF PRIMER ON ALL STEEL EXCEPT FOR ITEMS TO BE HOT DIPPED GALVANIZED OR SPRAY FIREPROOFED. DO NOT PAINT PORTIONS EMBEDDED IN CONCRETE.
- ALL EXTERIOR ELEMENTS AND THOSE ELEMENTS NOTED TO BE GALVANIZED SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A123 AFTER SANDBLAST CLEANING. USE ASTM F3125, GR. A325 BOLTS HOT DIPPED GALVANIZED WITH GALVANIZED HARDENED WASHERS AND GALVANIZED HEAVY HEX NUTS FOR BOLTING OF GALVANIZED ITEMS.
- 12. BEAMS OR JOISTS WITH AN ACCEPTABLE AMOUNT OF CAMBER (1.4D) SHALL BE INSTALLED WITH THE CAMBER SIDE UP.
- 13. ALL HOLES AND CUTS SHALL BE SHOWN ON THE SHOP DRAWINGS AND MADE IN THE SHOP. CUTS OR BURNING OF HOLES IN STRUCTURAL STEEL IN THE FIELD WILL NOT BE PERMITTED.
- 14. NON-SHRINK NON-METALLIC GROUT WITH A MINIMUM 28 DAY STRENGTH OF 5,000 PSI SHALL BE USED UNDER BASE PLATES. THE USE OF LEVELING PLATES UNDER COLUMN BASE PLATES WILL NOT BE PERMITTED.
- 15. ALL COLUMNS ARE TO BE LATERALLY BRACED AT EACH FLOOR.
- 16. STEEL COLUMNS, BASE PLATES AND ALL STEEL BELOW GRADE SHALL HAVE A MINIMUM 3" CONCRETE COVER PROTECTION.
- 17. ALL EXISTING STEEL IS TO BE CLEANED OF RUST, SCALE, AND DEBRIS PRIOR TO WELDING OF NEW STEEL.
- 18. ALL CONTACT SURFACES WITHIN HIGH-STRENGTH BOLT CONNECTIONS AND WELDING AREAS SHALL BE FREE OF DIRT, OIL, OR ANY FOREIGN MATERIALS.
- 19. FIRE PROTECTION OF STRUCTURAL STEEL SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE.

WOOD FRAME CONSTRUCTION SPECIFICATIONS:

- 1. ALL LUMBER WORK AND MATERIALS SHALL CONFORM TO THE FOLLOWING CODES AND SPECIFICATIONS (LATEST EDITION): A. AITC TIMBER CONSTRUCTION MANUAL B. APA PLYWOOD DESIGN SPECIFICATION C. NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS)
- 2. ALL TOP-FLANGE AND FACE-MOUNTED HANGERS SHALL BE MANUFACTURED BY "SIMPSON STRONG TIE" UNLESS OTHERWISE APPROVED BY THE ENGINEER. HANGERS SHALL SELECTED BASED ON THE ACCOMPANYING SCHEDULES AND DETAILS, AND SHALL BE INSTALLED BASED ON THE MANUFACTURER'S SPECIFICATIONS.
- 3. ALL STRUCTURAL LUMBER THAT IS EXPOSED TO WEATHER, IN CONTACT WITH EARTH. OR WITHIN 18" OF EARTH SHALL BE PRESSURE TREATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AMERICAN WOOD PRESERVES' ASSOCIATION (AWPA).
- 4. ALL WOOD POST WHICH BEAR ON TOP OF CONCRETE SHALL UTILIZE POST BASES THAT DO NOT ALLOW FOR CONTACT BETWEEN WOOD AND CONCRETE. POST BASES SHALL BE AS NOTED IN THE ACCOMPANYING SCHEDULES AND SHALL BE MANUFACTURED BY "SIMPSON STRONG TIE."
- PROVIDE CROSS BRIDGING (METAL OR WOOD) OR SOLID BLOCKING AT 4 FT. ON CENTER MINIMUM FOR ALL JOISTS. WHEN BEARING WALLS RUN PERPENDICULAR TO JOISTS, INSTALL SOLID BLOCKING UNDERNEATH WALL.
- 6. TYPICAL END BEARING FOR ALL BEAMS AND JOISTS SHALL BE MINIMUM 4".
- 7. PLYWOOD SUB-FLOORS TO BE GLUED AND SCREWED TO JOISTS
- 8. ALL STUD BEARING WALLS TO BE PROVIDED WITH TWO CONTINUOUS TOP PLATES AND ONE CONTINUOUS BOTTOM PLATE.
- 9. PLYWOOD SHEATHING FOR ROOFS, FLOORS, AND WALLS SHALL BE C-D EXPOSURE 1 APA RATED PLYWOOD SHEATHING ("CDX").

SOLID SAWN LUMBER SPECIFICATIONS:

1. ALL SOLID SAWN LUMBER SHALL BE DOUGLAS FIR (NORTH), NUMBER 2 OR BETTER WITH THE FOLLOWING MINIMUM PROPERTIES (SINGLE MEMBER):

BENDING	F_{b}	=	850 psi
HORIZONTAL SHEAR	Fv	=	180 psi
COMP. PERP. TO GRAIN	F	=	625 psi
COMP. PARALLEL TO GRAIN	F	=	1,400 psi
MODULUS OF ELASTICITY	Ĕ	=	1,600 ksi

- 2. ALL LUMBER SHALL BE KILN DRIED TO A MAXIMUM MOISTURE CONTENT OF 19% 3. SEVERELY DISTORTED (TWISTED, BOWED, CUPPED, CHECKED, ETC.) LUMBER SHALL NOT BE USED.
- STRUCTURAL COMPOSITE LUMBER (LVL, LSL, AND PSL) SPECIFICATIONS:
- ALL LAMINATED VENEER LUMBER (LVL) SHALL BE TRUSS JOIST "MICROLLAM" AS MANUFACTURED BY "WEYERHAEUSER" WITH THE FOLLOWING MINIMUM PROPERTIES:

BENDING HORIZONTAL SHEAR COMP. PERP. TO GRAIN COMP. PARALLEL TO GRAIN MODULUS OF ELASTICITY	╓ [。] ╓ [、] ╓ [。] ш	= = =	2,600 28 750 2,510 2,000
MODULUS OF ELASTICITY	Е	=	2,000

ALL PARALLEL STRAND LUMBER (PSL) SHALL BE TRUSS JOIST "PARALLAM" AS MANUFACTURED BY "WEYERHAEUSER" WITH THE FOLLOWING MINIMUM PROPERTIES:

BENDING	Fb	=	2,900 psi
HORIZONTAL SHEAR	Fv	=	290 psi
COMP. PERP. TO GRAIN	F	=	625 psi
COMP. PARALLEL TO GRAIN	F	=	2,900 psi
MODULUS OF ELASTICITY	Ĕ	=	2,000 ksi

ALL LAMINATED STRAND LUMBER (LSL) SHALL BE TRUSS JOIST "TIMBERSTRAND" AS MANUFACTURED BY "WEYERHAEUSER" WITH THE FOLLOWING MINIMUM PROPERTIES:

BENDING	Fb	=	1,900 psi
HORIZONTAL SHEAR	Fv	=	150 psi
COMP. PERP. TO GRAIN	F	=	435 psi
COMP. PARALLEL TO GRAIN	F	=	1,400 psi
MODULUS OF ELASTICITY	Ĕ	=	1,300 ksi

COMPOSITE WOOD "I"-JOIST SPECIFICATIONS:

- 1. ALL PLYWOOD WEB, I-JOIST LUMBER SHALL BE TRUSS JOIST "TJI" AS MANUFACTURED BY "WEYERHAEUSER."
- 2. THE CONTRACTOR SHALL INSTALL ALL I-JOISTS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. THE WEBS MAY BE DRILLED OR CUT IN THE FIELD ACCORDING TO THE MANUFACTURERS SPECIFICATIONS AFTER OBTAINING APPROVAL FROM THE ENGINEER. DO NOT CUT OR NOTCH FLANGES.
- 3. I-JOISTS ARE TO BE STACKED ON MINIMUM 6"x6" SUPPORT BLOCKS WITH A MAXIMUM SPACING OF 10' O.C. WHEN STACKING MULTIPLE UNITS, 2"x3" "STICKERS SHOULD BE USED BETWEEN UNITS. I-JOISTS SHOULD BE STORED AND HANDLED IN THE VERTICAL ORIENTATION.
- 4. RIM BOARDS SHALL BE TJ RIM BOARD OR TIMBERSTRAND LSL AS MANUFACTURED BY "WEYERHAEUSER." RIM BOARDS SHALL BE $\mathcal{V}_{\!\!B}$ " MINIMUM THICKNESS AND SHALL MATCH THE I-JOIST DEPTH.
- 5. PLYWOOD SUBFLOORS TO BE GLUED AND SCREWED TO "TJI" JOISTS.
- DESIGN CRITERIA (USING ASCE 7-16):
- 1. GENERAL CRITERIA (CHAPTER 1) - RISK CATEGORY ----
- 2. SNOW CRITERIA (CHAPTER 7) - GROUND SNOW LOAD, Pa - EXPOSURE FACTOR, Ce -
 - THERMAL FACTOR, C+ --- IMPORTANCE FACTOR, Is ------- 1.0 - FLAT ROOF SNOW LOAD, pf -----
- 3. SEISMIC CRITERIA (CHAPTER 11)
- IMPORTANCE FACTOR, le ------ SITE CLASS ------
- Ss ------- 51-----
- SEISMIC DESIGN CATEGORY ------ B
- 4. WIND CRITERIA (CHAPTER 26 TO CHAPTER 31)
- BASIC WIND SPEED, V ------ 114 MPH - WIND DIRECTIONALITY FACTOR, K_d ----- 0.85
- EXPOSURE CATEGORY ------ B - TOPOGRAPHIC FACTOR, K_{zt} ------ 1.0
- GUST EFFECT FACTOR ------ 0.85
- ENCLOSURE CLASSIFICATION ----- ENCLOSED (SECTION 26.10
- INTERNAL PRESSURE COEFFICIENT ----- +/- 0.18 (SECTION 26.11)

50 psi 80 psi 525 psi DO psi

O psi 35 psi iO psi O psi 0 ks

900 psi 290 psi 625 ps

900 psi

DO psi 50 psi 35 psi 00 psi

(SECTION 1.5)

(SECTION 7.2) -- 30 (TABLE 7-2) --- 1.0 - 1.0 (TABLE 7-3) (TABLE 1.5-2) (EQUATION 7.3-1)

(TABLE 1.5-2) ---- 10 (SECTION 11.4.2) .---- 29.9 %g (SECTION 11.4.1) ----- 6.2 %g (SECTION 11.4.1) (SECTION 11.6)

> (FIGURE 26.5-1) (SECTION 26.6) (SECTION 26.7) (SECTION 26.8) (SECTION 26.9)

ROOF SNOW LOAD	<u>PSF</u> 30
DEAD LOAD JOIST ROOFING CEILING INSULATION MISC TOTA	4 7 5 2 <u>2</u> 20
<u>IST FLOOR</u> LIVE LOAD	<u>PSF</u> 30
DEAD LOAD JOIST SUB-FLOOR FLOORING INSULATION MISC	10 5 2 3

LOADING TABLE

	TOTAL $\overline{25}$			
	PLYWOO	DD SHEATHING SC	CHEDULE	
USE	THICKNESS	SPAN RATING	EDGE NAILING	FIELD NAILING
LAT ROOF	3⁄4"	48"	8d @ 6" O.C.	8d @ 12" O.C.
OPED ROOF	5/8"	40"	8d @ 6" O.C.	8d @ 12" O.C.
FLOOR	³⁄4" T€G	24"	8d @ 4" O.C.	8d @ 12" O.C.
WALL	μ" MIN.	24"	8d@4" O.C.	8d @ 12" O.C.

YWOOD SHEATHING NOTES 1. PLYWOOD FOR ROOFS, FLOORS, & WALLS SHALL BE C-D EXPOSURE 1 APA RATED PLYWOOD SHEATHING ("CDX").

2. LAY UP PLYWOOD WITH FACE GRAIN PERPENDICULAR TO SUPPORTS WITH STAGGERED JOINTS. 3. ALL NAILS TO BE COMMON NAILS. WHEN USED IN FLOOR AND ROOF SHEATHING,

NAILS ARE TO BE RING SHANKED. 4. ALL FLOOR SHEATHING TO BE GLUED AND SCREWED.

5. ALL EDGES OF WALL SHEATHING SHALL BE BLOCKED AND SCREWED.

WOOD LINTEL SCHEDULE					
DESIGNATION	SPAN	HEADER SIZE	POST SIZE (EA. END)		
L1	0'-0" TO 4'-0"	(2) 2"×8"	1 JACK / 1 KING STUD		
L2	4'-0" TO 6'-0"	(2) 2"×10"	1 JACK / 1 KING STUD		
L3	6'-0" TO 8'-0"	(2) $1^{3}/_{4}$ " × $9^{1}/_{2}$ " LVL	1 JACK / 1 KING STUD		
L4	8'-0" TO 10'-0"	(3) 1¾" × 9½" LVL	1 JACK / 1 KING STUD		
L5	10'-0" TO 12'-0"	(3) 1 ³ ⁄ ₄ " × 117⁄ ₈ " LVL	1 JACK / 1 KING STUD		
LG	12'-0" TO 15'-0"	(3) 1³⁄₄" × 14" L∨L	1 JACK / 2 KING STUD		
L7	15'-0" TO 18'-0"	(3) 1 ³ ⁄ ₄ " × 16" LVL	2 JACK / 2 KING STUD		
WOOD HEADER NOTES					

UNLESS OTHERWISE NOTES ON PLAN, HEADER SIZES ARE TYPICAL THROUGHOUT BUILDING. HEADER SIZES ARE FOR INTERNAL WOOD CONSTRUCTION (DOOR, ARCH, OPENINGS, ETC.). THEY ARE NOTE INTENDED TO SUPPORT STONE OR BLOCK WORK.

SCALE: N.T.S.

HILTI HIT HY200 OR HIT-ICE EXPOXY w/THREADED ROD @ 12" O.C. STAGGERED $(MIN. EMBEDMENT = 4\frac{1}{2})$ — 1'-*O*" —— — 1'-*0*" — — 1'-*0*" — - VERIFY PER EXISTING CONDITIONS & ARCHITECT SPECIFICATIONS -

> WOOD BEAM LEDGER CONNECTION DETAILS SCALE: N.T.S.

SCALE: N.T.S.

VERIFY ALL DIMENSIONS IN FIELD

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NEW WINDOW FRAMING/HEADER CONNECTION DETAILS "5" SCALE: N.T.S.

SCALE: N.T.S.

(TYP.) EXISTING WINDOW DORMER RE-FRAMING DETAILS "7"

