

Schedule A Description

As to Parcel I: (For Information Only: Section 65.18 Block 1 Lot 1)

All that certain plot, piece or parcel of land, situate, lying and being in the Hamlet of Blauvelt, Town of Orangetown, County of Rockland and State of New York, being shown and designated as Lot #2 on a certain subdivision map entitled, "Site Plan, Bradley Industrial Park, Section III" made by Adler, Caruso & Young P.C., dated 3/17/82 and filed in the Rockland County Clerk's Office on 3/31/82 in Book 99 of Maps at Page 20, as Map #5413, being more particularly bounded and described as follows:

Beginning at a point in the northerly line of lands now or formerly of Eberhard, as it appears on the aforesaid map, where the same is intersected by the division line between Lots 1 and 2, as they appear on said map and which point is located 622.12 feet from the easterly line of Western Highway, 41.25 feet wide as shown on said map and running thence

(1) Along said division line between Lots 1 and 2, North 60 degrees 25' 20" East, 323.28 feet to a point in the westerly line of the Central Right-of-Way; Thence along said right-of-way, the following two courses and distances:

(2) South 26 degrees 49' 40" East, 338.46 feet;

(3) South 29 degrees 34' 40" East, 725.50 feet to a point, thence

(4) Turning and running in a northwesterly direction through other lands of Bradley Industrial Park, along a curve to the left having a radius of 2,835 feet, arc length of 629.43 feet to a point, thence

(5) Continuing along other lands of Bradley Industrial Park and lands now or formerly of Eberhard, aforesaid, North 48 degrees 28' 10" West, 479.85 feet to the point or place of beginning;

Subject to a 30 foot access and utility easement to Bradley Industrial Park, Inc., running parallel to course #5 above described and being measured at right angles thereto.

Together with an easement for ingress and egress and utility purposes, 110 feet in width and running from the northerly line of the premises above described in a northwesterly direction to Western Highway.

Beginning at a point in the northeasterly line of lands now or formerly of Eberhard, where the same is intersected by the division line between Lots One and Two as they appear on said map and running thence

(1) Along the lands now or formerly of Eberhard, North 48 degrees 28' 10" West, 622.12 feet to a point in the easterly line of Western Highway as it presently exists; Thence along the easterly line of Western Highway, following two courses of distances:

(2) North 1 degree 10' 50" West, 125.07 feet to a Rockland County Highway Monument; and

(3) North 10 degrees 54' 20" West, 0.66 feet to the Town Line between the Town of Orangetown and Clarkstown, thence

(4) Along said Town line, North 77 degrees 29' 30" East, 21.87 feet to a point; thence

(5) South 48 degrees 28' 10" East, parallel to the first course herein, 732.28 feet to a point in the northerly line of Lot #2 on said map; thence

(6) Along the northerly line of Lot #2, South 60 degrees 25' 20" West, 116.26 feet to the point or place of beginning.

Said premises being more particularly bounded and described as follows:

All that certain plot, piece or parcel of land situate, lying and being in the Hamlet of Blauvelt, Town of Orangetown, County of Rockland and State of New York, being shown and designated as Lot #2 on a certain subdivision map entitled, "Site Plan, Bradley Industrial Park, Section III" made by Adler, Caruso & Young P.C., dated 3/17/82 and filed in the Rockland County Clerk's Office on 3/31/82 in Book 99 of Maps at Page 20, as Map #5413, being more particularly bounded and described as follows:

Beginning at point in the line of Section 65.17, Block 1, Lot 8, lands now or formerly of the Orangetown Club, Inc., where the same is intersected by the division line between premises being described herein and Section 65.13, Block 1, Lot 2, said point being measured along the line of Lot 2, South 48 degrees - 28 minutes - 50 seconds East, a distance of 609.35 feet from the easterly line of Lot 2 and the easterly line of Western Highway (A.K.A County Highway Route 15 - variable width - public right of way), thence;

1. Along the line of Lot 2, North 60 degrees - 24 minutes - 40 seconds East, a distance of 326.06 feet to a point in the westerly line of lands of Consolidated Rail Corp. (F.K.A. West Shore Railroad), thence the following three courses along the lands of Consolidated Rail Corp.;

2. South 26 degrees - 57 minutes - 39 seconds East, a distance of 337.39 feet to a point, thence;

3. South 23 degrees - 11 minutes - 43 seconds West, a distance of 1.89 feet to a point, thence;

4. South 29 degrees - 28 minutes - 18 seconds East, a distance of 279.58 feet to a point of cusp and point in the line of Section 65.18, Block 1, Lot 22, lands now or formerly of Bradley Industrial Park, thence;

5. Along Lot 22 and along a curve to the left having a radius of 2835.00 feet, an arc length of 633.65 feet, a central angle of 12 degrees - 48 minutes - 22 seconds, bearing a chord of North 43 degrees - 31 minutes - 09 seconds West, and a chord distance of 632.34 feet to an iron pipe and a point of tangency and corner to Lot 8, thence;

6. Along the line of Lot 8, North 48 degrees - 28 minutes - 50 seconds West, a distance of 479.87 feet to the point and place of beginning.

Schedule A Description Continued

Together with one hundred and ten (110) foot wide easement for ingress and egress as set forth in Red 3, Page 44, which said easement is bounded and described as follows:

All that certain plot, piece or parcel of land situate, lying and being in the Hamlet of Blauvelt, Town of Orangetown, County of Rockland and State of New York, being shown and designated as part of Lot #41 on a certain subdivision map entitled, "Site Plan, Bradley Industrial Park, Section III" made by Adler, Caruso & Young P.C., dated 3/17/82 and filed in the Rockland County Clerk's Office on 3/31/82 in Book 99 of Maps at Page 20, as Map #5413,

Beginning at a point on the easterly side of Western Highway, as widened, said point being where the division line between land herein and land now or formerly of O'Sullivan Tree Care Inc. (Section 65.13, Block 2, Lot 14) intersects with the easterly side of Western Highway;

Running thence along said division line, North 77 degrees 28 minutes 50 seconds East, 12.49 feet;

Thence South 48 degrees 28 minutes 50 seconds East, 732.27 feet to other land now or formerly of Pontiac Holding, LLC (Section 65.13, Block 1, Lot 1);

Thence South 60 degrees 24 minutes 40 seconds West, 116.26 feet;

Thence North 48 degrees 28 minutes 50 seconds West, 609.35 feet to the easterly side of Western Highway;

Thence along the easterly side of Western Highway, North 01 degree 11 minutes 30 seconds West, 134.52 feet;

Thence still along the easterly side of Western Highway, North 10 degrees 55 minutes 00 seconds West, 1.72 feet to the point or place of beginning.

As to Parcel II: (For Information Only: Section 65.18 Block 1 Lot 2)

All that certain tract of land lying in the Hamlet of Blauvelt, Town of Orangetown, Rockland County, New York, lying West of the West Shore Railroad Company's land, and bounded and described as follows:

Beginning at a point on the center line of the West Shore Railroad, as the track was laid in March 1887, and being the southeast corner of the piece herein described; and

Running thence South 70 degrees 04' West, 41 feet;

Thence North 21 degrees West, 217.2 feet to the northerly line of lands formerly of David H. Amos and lands formerly of Joseph Mc Loper;

Thence North 70 degrees 49' West along the said northerly line, 149 feet;

Thence North 74 degrees West along said northerly line, 138.3 feet;

Thence North 76 degrees 18' West, still along said northerly line, 298.4 feet to a corner of the land formerly of John C. Blauvelt;

Thence North 7 degrees 37' East, along the easterly line of the said Blauvelt's land, 161.2 feet;

Thence North 28 degrees 10' East, parallel to the first course herein, 732.28 feet to a point in the northerly line of Lot #2 on said map; thence

Thence North 49 degrees West along the said easterly line, 166.3 feet;

Thence North 11 degrees 40' East along the said easterly line, 246.5 feet;

Thence North 11 degrees 40' West, along the said easterly line, 317 feet;

Thence North 24 degrees 10' West, still along the said easterly line of Blauvelt's land, 58.7 feet to the center of a large white oak tree situated in the Northeast corner of said Blauvelt's land and in the Southeast corner of land formerly of Isaac B. Campbell as well as in the West line of property herein described;

Thence from the center of said White Oak Tree, North 14 degrees East along the easterly line of the said Campbell's land, 203.5 feet to a point, about 6 feet southerly from a spring or end of ditch on said Campbell's land;

Thence North 46 degrees 17' East, along the line of the said Campbell's land, 108.7 feet to the division line between the land of the said Isaac B. Campbell and the land formerly of Oliver W. Campbell;

Thence North 43 degrees 7' East, along the southerly line of said Oliver W. Campbell's land, 84.6 feet to a stake standing in the swamp and in the line of fence as said southerly line of land of said Oliver W. Campbell;

Thence North 33 degrees 19' East, still along the southerly line of the said Oliver W. Campbell's land, 186.5 feet to the center line of the West Shore Railroad, as then laid out; and

Thence South 19 degrees 56 East along the center line of said West Shore Railroad, as then laid out, 1,811.6 feet to the point or place of beginning.

Excepting therefrom, however, the portion thereof now owned by the West Shore Railroad Company, or its successors.

Said premises being more particularly bounded and described as follows:

All that certain tract of land lying in the Hamlet of Blauvelt, Town of Orangetown, Rockland County, New York, lying West of the West Shore Railroad Company's land, and bounded and described as follows:

Beginning at an iron pipe at the intersection of the northerly point of the premises being described herein, Section 65.17, Block 1, Lot 8, and Section 65.18, Block 1, Lot 1;

Thence, the following five (5) courses along the line of lands of Consolidated Rail Corp.;

Schedule A Description Continued

1. South 48 degrees - 28 minutes - 50 seconds East, a distance of 72.71 feet to a point, thence;

2. Southeasterly along a curve to the right having a radius of 2835.00 feet, an arc length of 633.65 feet, a central angle of 12 degrees - 48 minutes - 22 seconds, bearing a chord of South 43 degrees - 31 minutes - 09 seconds East, and a chord distance of 632.34 feet to a point of tangency, thence;

3. South 29 degrees - 28 minutes - 18 seconds East, a distance of 11.73 feet to a point, thence;

4. South 35 degrees - 25 minutes - 07 seconds East, a distance of 193.04 feet to a point, thence;

5. South 29 degrees - 28 minutes - 14 seconds East, a distance of 533.90 feet to a point and corner of Section 65.18, Block 1, Lot 1.12, lands now or formerly of Bradley Industrial Park;

Thence, the following two courses along the line of Lot 1.12;

6. North 81 degrees - 18 minutes - 15 seconds West, a distance of 137.15 feet to a point, thence;

7. South 84 degrees - 41 minutes - 45 seconds West, a distance of 396.26 feet to a point and corner to Section 65.18, Block 1, Lot 24;

Thence, the following three courses along Lot 24;

8. North 02 degrees - 18 minutes - 37 seconds West, a distance of 117.50 feet to a point, thence;

9. North 21 degrees - 45 minutes - 54 seconds West, a distance of 66.59 feet to concrete monument, thence;

10. North 58 degrees - 13 minutes - 49 seconds West, a distance of 141.25 feet to a concrete monument and corner to Section 65.18, Block 1, Lot 23, thence;

11. Along the line of Lot 23, and partly along the line of Section 65.17, Block 1, Lot 26, North 07 degrees - 06 minutes - 54 seconds West, a distance of 230.78 feet to a point in the line of Lot 26, thence;

12. Along the line of Lot 26, and along the line of Section 65.17, Block 1, Lot 25, North 21 degrees - 30 minutes - 14 seconds West, a distance of 380.40 feet to a point in the line of Lot 25, thence;

13. Along the line of Lot 25, South 81 degrees - 15 minutes - 06 seconds West, a distance of 240.3 feet to a concrete monument and corner to Section 65.17, Block 1, Lot 21, thence;

14. Along the line of Lot 21, North 06 degrees - 14 minutes - 55 seconds West, a distance of 177.47 feet to concrete monument, and corner to Section 65.17, Block 1, Lot 1.4, thence;

15. Along the line of Lot 1.4, North 06 degrees - 33 minutes - 27 seconds West, a distance of 27.22 feet to a point and corner to Section 65.17, Block 1, Lot 11, corner to Section 65.17, Block 1, Lot 10, and corner to Section 65.17, Block 1, Lot 9;

Thence, the following two (2) courses along Lot 9;

16. North 02 degrees - 46 minutes - 20 seconds East, a distance of 5.00 feet to a point, thence;

17. North 08 degrees - 42 minutes - 20 seconds East, a distance of 6.20 feet to an iron pipe and corner to Lot 8, thence;

18. Along the line of Lot 8, North 15 degrees - 02 minutes - 21 seconds East, a distance of 54.00 feet to the point and place of beginning.

As to Parcel III: (For Information Only: Section 70.06 Block 1 Lot 1.12)

All that certain plot, piece, parcel of land lying and being in the Town of Orangetown, County of Rockland, State of New York, being shown and designated as part of Lot #2 on map entitled "Final Subdivision Map, Greenbush Glen, Blauvelt, Town of Orangetown, Rockland County, New York", made by Osterger and McDougall, Engineers, Surveyors, Planners, dated 1-21-76, revised 9-13-76, which map was filed in the Rockland County Clerk's Office on 9-17-77 in Book 91 of Maps, Page 65 as Map No. 4857, and being more particularly bounded and described as follows:

Beginning at a point located at the southeasterly corner of Section 65.18, Block 1, Lot 24, said point also being corner to Section 65.18, Block 1, Lot 22, lands f of Bradley Industrial Park;

Thence, the following two (2) courses along the line of Lot 22;

1. North 84 degrees - 41 minutes - 45 seconds East, a distance of 396.26 feet to a point, thence;

2. South 81 degrees - 18 minutes - 15 seconds East, a distance of 137.15 feet to a point in the westerly line of lands of the Consolidated Rail Corp. (F.K.A. West Shore Railroad);

Thence, the following three courses along the line of Consolidated Rail Corp.;

3. South 29 degrees - 27 minutes - 39 seconds East, a distance of 89.81 feet to a point, thence;

4. South 81 degrees - 25 minutes - 04 seconds East, a distance of 33.69 feet to a point, thence;

5. South 29 degrees - 28 minutes - 18 seconds East, a distance of 279.69 feet to a point, in the line of Bradley Hill Road Extension as per Town Board Meeting 01-28-80 (Resolution No. 77);

Miscellaneous Notes Continued

- Completed field work was October 20, 2019 with a field re-visit on March 13, 2020. The re-visit only covered the area shown on sheet 2 of 6 per client request.
- The Basis of Bearing for this survey is per GPS coordinate observations New York State Plane, Eastern Zone NAD83. Latitude = N 41°04'32.98846" Longitude = W 73°57'19.80800" Convergence Angle = 0°21'27.98075"
- Distances shown on plat are grid.
- Combined scale factor (grid to ground) = 1.0000724885
- Elevations established with GPS static observations utilizing online positioning user service (OPUS) for post processing (NAD83 datum)
- Some features on this plat may be shown out of scale for clarity.
- Dimensions on this plat are expressed in feet and decimal parts thereof unless otherwise noted. Bearings are referred to an assumed meridian and are used to denote angles only. Monuments were found at points where indicated.
- Any servitudes and restrictions shown on this survey are limited to those set forth in the description furnished to surveyor, and there is no representation that all applicable servitudes and restrictions are shown herein.
- Names and addresses of adjoining property owners were taken from Rockland County 2019 Final Tax Roll and Deeds.
- The nearest fire hydrant is as shown on survey.
- No surveyor or any other person other than a licensed New York attorney may provide legal advice concerning the status of Title to the property described in this survey ("the subject property"). The purpose of this survey, and the comments related to the Schedule B-II exceptions, is only to show the location of boundaries and physical obstructions in relation thereto. To the extent that the survey indicates that the legal instrument "affects" the subject property, such statement is only intended to indicate that property boundaries included in such instrument include some or all of the subject property. The surveyor does not purport to describe how such instrument affects the subject property or the enforceability or legal consequences of such instrument.
- All bearings and distances shown herein are measured dimensions unless otherwise noted hereon. Record dimensions, if differing from measured dimensions, will be followed by "(RM)" where the # indicates from which reference document the dimension originated. Reference documents noted hereon were obtained by the surveyor and any and all representations based thereon should be reviewed by a licensed attorney or title insurer for verification.
- Contour Interval = 1 foot
- Total number of striped parking spaces observed in survey area at the time of the survey is 85, which includes 2 designated ADA spaces.
- Surveyor notes that the property abuts the right-of-way of Bradley Hill Road. Access to the right-of-way may be subject to other agreements or proper governmental approvals.
- There was no evidence of monitor wells, or any test borings on the subject property at the time of the survey.
- At the time of the survey, there was no observable evidence of site use as a cemetery, isolated grave site or burial grounds.
- At the time of the survey, there was no observable evidence of site use as a solid waste dump, sump, or sanitary landfill.
- At the time of the survey, there were no changes in street right-of-way lines either completed or proposed, and available from controlling jurisdiction or observable evidence of recent street or sidewalk construction repairs, per answer to FOIL request number FR8-19-000750 received October 21, 2019 from Hal Lan - Records Assessor Officer for the New York State Department of Transportation, Hudson Valley Region.
- There was no observable evidence of Earth moving work, building construction or building additions within recent months.
- The nearest intersecting street is the intersection of Bradley Hill Road and State Highway 303, which is approximately 1100' from the Southeast corner of the subject property as shown.

Encroachments

None apparent at the time of the survey.

Schedule A Description Continued

Thence along the line of Bradley Hill Road Extension, the following three (3) courses;

6. North 82 degrees - 32 minutes - 02 seconds West, a distance of 53.98 feet to a point, thence;

7. South 28 degrees - 13 minutes - 49 seconds East, a distance of 61.57 feet to a point, thence;

8. South 82 degrees - 32 minutes - 02 seconds East, a distance of 55.65 feet to a point in the westerly line of Consolidated Rail Corp.;

Thence, the following two (2) courses along the line of Consolidated Rail Corp.;

9. South 29 degrees - 28 minutes - 18 seconds East, a distance of 336.26 feet to a point, thence;

10. South 25 degrees - 59 minutes - 43 seconds East, a distance of 18.26 feet to a point and corner to Section 70.06, Block 1, Lot 50.4, lands of Bradley Industrial Park;

Thence, the following eleven (11) courses along Lot 50.4;

11. South 42 degrees - 05 minutes - 03 seconds West, a distance of 42.27 feet to a point, thence;

12. South 08 degrees - 36 minutes - 21 seconds West, a distance of 170.79 feet to a point, thence;

13. South 22 degrees - 21 minutes - 08 seconds West, a distance of 45.13 feet to a point, thence;

14. South 44 degrees - 46 minutes - 57 seconds West, a distance of 103.92 feet to a point, thence;

15. South 36 degrees - 28 minutes - 05 seconds West, a distance of 95.59 feet to a point, thence;

16. South 29 degrees - 36 minutes - 14 seconds West, a distance of 84.46 feet to a point, thence;

17. North 86 degrees - 17 minutes - 59 seconds West, a distance of 159.83 feet to a point, thence;

18. North 70 degrees - 45 minutes - 48 seconds West, a distance of 171.74 feet to a point, thence;

19. North 73 degrees - 47 minutes - 41 seconds West, a distance of 148.46 feet to a point, thence;

20. North 85 degrees - 25 minutes - 04 seconds West, a distance of 80.40 feet to a point, thence;

21. North 63 degrees - 20 minutes - 26 seconds West, a distance of 176.05 feet to a point, thence;

22. Partly along the line of Lot 50.4, and partly along the line of Section 70.06, Block 1, Lot 54, lands now or formerly of Rockland Meeting, Religious Society of Friends, North 53 degrees - 04 minutes - 42 seconds West, a distance of 249.90 feet to a point in the line of Lot 54, thence;

23. Along the line of Lot 54, South 08 degrees - 26 minutes - 27 seconds West, a distance of 361.71 feet to a point, and corner to Section 70.06, Block 1, Lot 1.4 thence;

24. Along the line of Lot 1.4, North 78 degrees - 18 minutes - 35 seconds West, a distance of 21.10 feet to a point, thence;

25. Along the line of Lot 1.4, along the line of Section 70.06, Block 1, Lot 1.5, and along the line of 70.06, Block 1, Lot 1.6, North 03 degrees - 40 minutes - 57 seconds East, a distance of 827.30 feet to a point and corner to Lot 1.6, Section 70.06, Block 1, Lot 1.7, and Section 75.17, Block 1, Lot 41;

thence, the following two (2) courses along Lot 41;

26. North 11 degrees - 54 minutes - 06 seconds West, a distance of 42.90 feet to a point, thence;

27. South 80 degrees - 35 minutes - 52 seconds West, a distance of 23.35 feet to a point, thence;

28. Along the line of Lot 41 and along the line of Section 65.18, Block 1, Lot 25, North 04 degrees - 16 minutes - 16 seconds East, a distance of 306.24 feet to a concrete monument and corner to Lot 24, thence;

29. Along the line of Lot 24, South 86 degrees - 18 minutes - 33 seconds East, a distance of 213.36 feet to the point and place of beginning.

1. North 84 degrees - 41 minutes - 45 seconds East, a distance of 396.26 feet to a point, thence;

2. South 81 degrees - 18 minutes - 15 seconds East, a distance of 137.15 feet to a point in the westerly line of lands of the Consolidated Rail Corp. (F.K.A. West Shore Railroad);

Thence, the following three courses along the line of Consolidated Rail Corp.;

3. South 29 degrees - 27 minutes - 39 seconds East, a distance of 89.81 feet to a point, thence;

4. South 81 degrees - 25 minutes - 04 seconds East, a distance of 33.69 feet to a point, thence;

5. South 29 degrees - 28 minutes - 18 seconds East, a distance of 279.69 feet to a point, in the line of Bradley Hill Road Extension as per Town Board Meeting 01-28-80 (Resolution No. 77);

Flood Note

By graphic plotting only, this property is in Zone "X" of the Flood Insurance Rate Map, Community Panel No. 36087-C0179-G, which bears an effective date of 03/03/2014 and is not in a Special Flood Hazard Area. Flood Note does not protect from local flooding.

Zone Definitions According to the FEMA website.

Zone "X" - Area of minimal flood hazard, usually depicted on FIRMs as above the 500-year flood level. Zone X is the area determined to be outside the 500-year flood and protected by levee from 100-year flood.

Wetlands Note

There was evidence of delineated wetland areas, shown per the U.S. Fish and Wildlife service National Wetlands Inventory website only. No markers from a field delineation of wetlands conducted by a qualified specialist were observed during the course of the survey.

PUBHs Wetland Area as shown hereon, is a Freshwater Pond area classified as PUBHs.

Classification Codes as Defined on the U.S. Fish and Wildlife service National Wetlands Inventory website:

System **Dunbarine (P)** : The Palustrine system includes all non tidal wetlands dominated by trees, shrubs, persistent emergents, emergent mosses or lichens, and all such wetlands that occur in tidal areas where salinity due to ocean-derived salts is below 0.5 ppt. It also includes wetlands lacking such vegetation, but with all of the following four characteristics: (1) area less than 8 ha (20 acres); (2) active wave-form or bedrock shoreline features lacking; (3) water depth in the deepest part of basin less than 2.5 m (8.2 ft) at low water; and (4) salinity due to ocean-derived salts less than 0.5 ppt.

Class **Unconsolidated Bottom (UB)** : Includes all wetlands and deepwater habitats with at least 25% cover of particles smaller than stones (less than 6.7 cm), and a vegetative cover less than 30%.

Water Regime **Permanently Flooded (H)** : Water covers the substrate throughout the year in all years.

Special Modifier **Diked/Impounded (h)** : That wetlands have been created or modified by a man-made barrier or dam that obstructs the inflow or outflow of water.

Title Information

Chicago Title Insurance Company  
Title Number # CT 19-0860-R  
Effective Date October 17, 2019

Schedule B - Section II

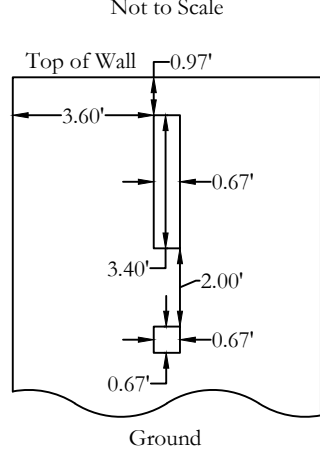
Easement from Edmund H. Jung and Julia M. Jung to Rockland Light and Power Company dated 12/6/1926, recorded 12/27/1926 in Liber 309 pg 227.

Easement from BGM M Holding Corp. to Rockland Light and Power Company dated 04/03/1957, recorded 04/



Elevation Benchmarks			
Benchmark #1	Type	Benchmark #2	Type
816832.73	1" Pipe	818739.46	5/8" Rebar
641443.82	Northing	641528.88	Northing
93.58	Easting	71.22	Elevation

Weir Wall Detail



Invert Information

Storm Water Structures

SW #1 Rim Elevation: 106.01 Invert Elevation: 100.28	SW #15 Rim Elevation: 102.63 E Invert Elevation: 96.40 W Invert Elevation: 95.93	SW #28 Rim Elevation: 103.63 Invert Elevation: 98.08	SW #41 Rim Elevation: 85.00 Invert Elevation: 71.00
SW #2 Rim Elevation: 105.84 Rim Elevation: 99.10 Invert Elevation: 86.18	SW #16 Rim Elevation: 91.92 Invert Elevation: 86.18	SW #29 Rim Elevation: 104.24 Invert Elevation: 99.88	SW #42 Rim Elevation: 84.47 E 24" RCP Invert Elevation: 77.82 SW 24" RCP Invert Elevation: 70.92 Bottom Invert Elevation: 62.67
SW #3 Rim Elevation: 101.80 NW Invert Elevation: 89.84 Bottom Elevation: 94.67	SW #17 Rim Elevation: 91.86 E Invert Elevation: 86.75 W Invert Elevation: 86.13	SW #30 Rim Elevation: 94.71 8" Drop-In Invert Elevation: 90.30 24" RCP Invert Elevation: 87.71	SW #43 Rim Elevation: 90.37 Invert Elevation: 78.59
SW #4 Rim Elevation: 103.30 Rim Elevation: 94.34 E Invert Elevation: 90.04 W Invert Elevation: 87.03	SW #18 Rim Elevation: 94.61 E Invert Elevation: 94.04 W Invert Elevation: 87.03	SW #31 Rim Elevation: 93.22 8" Drop-In Invert Elevation: 88.97 24" RCP Invert Elevation: 86.47	SW #44 Rim Elevation: 81.17 24" RCP Drop In Invert Elevation: 74.93 Bottom Invert Elevation: 68.69
SW #5 Rim Elevation: 96.30 Invert Elevation: 88.41	SW #19 Rim Elevation: 100.53 E Invert Elevation: 91.66 W Invert Elevation: 91.12	SW #32 Rim Elevation: 79.22 Invert Elevation: 81.93	SW #45 Rim Elevation: 79.22 SE Invert Elevation: 69.74 Bottom Invert Elevation: 63.30
SW #6 Rim Elevation: 92.01 Invert Elevation: 87.02	SW #20 Rim Elevation: 100.58 E Invert Elevation: 94.97 W Invert Elevation: 91.84	SW #33 Rim Elevation: 90.88 Invert Elevation: 80.60	SW #46 Rim Elevation: 84.14 West (24" RCP) Invert Elevation: 69.07 Bottom Invert Elevation: 68.97
SW #7 Rim Elevation: 92.01 Invert Elevation: 87.02	SW #21 Rim Elevation: 101.73 Invert Elevation: 95.25	SW #34 Rim Elevation: 87.33 Bottom Invert Elevation: 71.43 W 24" RCP Invert Elevation: 70.26 S 30" RCP Invert Elevation: 79.09	SW #47 Rim Elevation: 89.99 Invert Elevation: 85.24
SW #8 Rim Elevation: 91.87 Invert Elevation: 86.62	SW #22 Rim Elevation: 94.29 N Invert Elevation: 90.00 S & W Invert Elevation: 85.79	SW #35 Rim Elevation: 87.55 Invert Elevation: 82.71	SW #48 Rim Elevation: 84.22 W 24" RCP Invert Elevation: 75.92 N 48" RCP Invert Elevation: 70.37
SW #9 Rim Elevation: 92.15 Surveyor Unable to Access	SW #23 Rim Elevation: 94.44 W Invert Elevation: 90.30	SW #36 Rim Elevation: 87.55 Invert Elevation: 82.71	SW #49 Rim Elevation: 87.26 Flow Line Elevation of 24" RCP: 77.11 Top of Wall Elevation: 83.78 Phase See Weir Wall Detail
SW #10 Rim Elevation: 91.93 E Invert Elevation: 88.97 W Invert Elevation: 86.57	SW #24 Rim Elevation: 97.59 Invert Elevation: 91.30	SW #37 Rim Elevation: 78.88 Filled	SW #50 Rim Elevation: 89.99 Invert Elevation: 85.24
SW #11 Rim Elevation: 102.76 E Invert Elevation: 96.58 W Invert Elevation: 90.22	SW #25 Rim Elevation: 103.66 Invert Elevation: 98.35	SW #38 Rim Elevation: 90.92 8" PVC Drop-In Invert Elevation: 87.95 Invert Elevation: 81.57	SW #51 Rim Elevation: 84.14 West (24" RCP) Invert Elevation: 69.07 Bottom Invert Elevation: 68.97
SW #12 Rim Elevation: 102.66 Invert Elevation: 96.60	SW #26 Rim Elevation: 104.50 Invert Elevation: 100.12	SW #39 Rim Elevation: 93.66 8" PVC Drop-In Invert Elevation: 89.63 Invert Elevation: 81.59	SW #52 Rim Elevation: 73.48 East (24" RCP) Invert Elevation: 68.18 Bottom Invert Elevation: 62.27
SW #13 Rim Elevation: 105.58 Invert Elevation: 96.01	SW #27 Rim Elevation: 97.62 Invert Elevation: 91.96	SW #40 Rim Elevation: 93.75 8" PVC Drop-In Invert Elevation: 86.53 Invert Elevation: 85.54	

SS #1 Rim Elevation: 93.22 Invert Elevation: 86.60	SS #7 Rim Elevation: 72.89 Invert Elevation: 65.37	SS #14 Rim Elevation: 83.12 Invert Elevation: 67.52
SS #2 Rim Elevation: 94.47 SW 8" PVC Drop-In Elevation: 89.37 Invert Elevation: 77.79	SS #8 Rim Elevation: 71.16 Invert Elevation: 66.89	SS #15 Rim Elevation: 104.29 N Invert Elevation: 96.49 S Invert Elevation: 96.99
SS #3 Rim Elevation: 90.43 SE Drop In Elevation: 71.03 NW Invert Elevation: 81.83	SS #9 Rim Elevation: 97.09 SE Drop In Elevation: 90.94 NW Invert Elevation: 82.69	
SS #4 Rim Elevation: 91.07 Invert Elevation: 69.84	SS #10 Rim Elevation: 95.20 Invert Elevation: 90.90	
SS #5 Rim Elevation: 85.31 Invert Elevation: 68.69	SS #11 Rim Elevation: 96.38 Invert Elevation: 91.23	
SS #6 Rim Elevation: 79.36 Invert Elevation: 66.06	SS #12 Rim Elevation: 96.22 Invert Elevation: 92.02	
	SS #13 Rim Elevation: 89.54 Invert Elevation: 72.87	

Sanitary Sewer Structures

SW #67 Rim Elevation: 70.75 Invert Elevation: 67.18	SW #81 Rim Elevation: 91.96 W 12" PVC Invert Elevation: 85.52 Bottom Invert Elevation: 85.18	SW #95 Rim Elevation: 73.60 36" RCP Invert Elevation: 69.52 24" RCP Invert Elevation: 68.21
SW #68 Rim Elevation: 68.91 Invert Elevation: 61.94	SW #82 Rim Elevation: 92.14 W 12" PVC Invert Elevation: 85.69 S 24" RCP Invert Elevation: 85.37 NH & SE Invert Elevation: 85.22	SW #96 Rim Elevation: 73.43 Invert Elevation: 65.90
SW #69 Rim Elevation: 74.57 Invert Elevation: 61.48	SW #83 Rim Elevation: 90.29 Invert Elevation: 86.26	SW #97 Rim Elevation: 73.52 Invert Elevation: 65.49
SW #70 Rim Elevation: 75.78 Invert Elevation: 62.04	SW #84 Rim Elevation: 92.15 West (12" PVC) Invert Elevation: 85.82 Bottom Invert Elevation: 85.33	SW #98 Rim Elevation: 73.50 Invert Elevation: 65.52
SW #71 Rim Elevation: 75.60 Invert Elevation: 62.48	SW #85 Rim Elevation: 90.41 Invert Elevation: 84.91	SW #99 Rim Elevation: 73.48 Invert Elevation: 64.90
SW #72 Rim Elevation: 75.36 Invert Elevation: 61.92	SW #86 Rim Elevation: 90.70 Invert Elevation: 84.91	SW #100 Rim Elevation: 73.53 Invert Elevation: 64.75
SW #73 Rim Elevation: 72.39 Invert Elevation: 67.56	SW #87 Rim Elevation: 80.79 Invert Elevation: 74.96	SW #101 Rim Elevation: 73.48 Invert Elevation: 64.74
SW #74 Rim Elevation: 79.46 Invert Elevation: 62.66	SW #88 Rim Elevation: 90.10 Invert Elevation: 82.95	SW #102 Rim Elevation: 73.33 Invert Elevation: 64.67
SW #75 Rim Elevation: 82.73 Invert Elevation: 63.41	SW #89 Rim Elevation: 89.63 Invert Elevation: 83.84	SW #103 Rim Elevation: 82.69 Invert Elevation: 77.14
SW #76 Rim Elevation: 83.82 N 36" RCP Invert Elevation: 66.04 S 36" RCP Invert Elevation: 71.08	SW #90 Rim Elevation: 88.09 Invert Elevation: 85.78	
SW #77 Rim Elevation: 83.31 Invert Elevation: 78.71	SW #91 Rim Elevation: 73.73 Invert Elevation: 69.53	
SW #78 Rim Elevation: 78.09 Invert Elevation: 88.09	SW #92 Rim Elevation: 73.03 Bottom Invert Elevation: 69.06	
SW #79 Rim Elevation: 90.25 Invert Elevation: 84.26	SW #93 Rim Elevation: 74.07 Invert Elevation: 68.56	
SW #80 Rim Elevation: 94.46 Invert Elevation: 84.92	SW #94 Rim Elevation: 73.98 NW 24" RCP Invert Elevation: 68.61	

SS #1 Rim Elevation: 93.22 Invert Elevation: 86.60	SS #7 Rim Elevation: 72.89 Invert Elevation: 65.37	SS #14 Rim Elevation: 83.12 Invert Elevation: 67.52
SS #2 Rim Elevation: 94.47 SW 8" PVC Drop-In Elevation: 89.37 Invert Elevation: 77.79	SS #8 Rim Elevation: 71.16 Invert Elevation: 66.89	SS #15 Rim Elevation: 104.29 N Invert Elevation: 96.49 S Invert Elevation: 96.99
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SS #4 Rim Elevation: 91.07 Invert Elevation: 69.84	SS #10 Rim Elevation: 95.20 Invert Elevation: 90.90	
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SS #6 Rim Elevation: 79.36 Invert Elevation: 66.06	SS #12 Rim Elevation: 96.22 Invert Elevation: 92.02	
	SS #13 Rim Elevation: 89.54 Invert Elevation: 72.87	

Line Table

LINE	BEARING	DISTANCE	1.26(M)	S 29°24'33" E	279.69'
L1(M)	N 69°30'58" E	323.28'	1.26(R)	S 29°28'18" E	279.69'
L1(R)	N 69°23'20" E	323.28'	1.27(M)	N 82°28'17" W	53.98'
L2(M)	S 20°44'02" E	338.46'	1.27(R)	N 82°32'02" W	53.98'
L2(R)	S 26°49'40" E	338.46'	1.28(M)	S 28°10'04" E	61.57'
L3(M)	S 29°29'02" E	725.50'	1.28(R)	S 28°13'49" E	61.57'
L3(R)	S 29°34'40" E	725.50'	1.29(M)	S 82°28'17" E	55.65'
L4(M)	N 48°22'52" W	479.85'	1.29(R)	S 82°32'02" E	55.65'
L4(R)	N 48°28'10" W	479.85'	1.30(M)	S 29°24'33" E	336.28'
L5(M)	S 48°22'32" E	76.73'	1.30(R)	S 29°28'18" E	336.28'
L5(R)	S 48°28'30" E	72.71'	1.31(M)	S 25°55'58" E	18.26'
L6(M)	S 29°24'33" E	11.73'	1.31(R)	S 25°59'43" E	18.26'
L6(R)	S 29°28'18" E	11.73'	1.32(M)	S 43°13'56" W	41.30'
L7(M)	S 35°21'22" E	193.00'	1.32(R)	S 42°56'03" W	42.27'
L7(R)	S 35°25'07" E	193.00'	1.33(M)	S 08°47'02" W	171.73'
L8(M)	S 29°24'29" E	533.90'	1.33(R)	S 08°36'21" W	170.79'
L9(M)	S 29°28'14" E	533.90'	1.34(M)	S 22°24'53" W	45.13'
L9(R)	N 81°14'30" W	137.15'	1.34(R)	S 22°10'8" W	45.13'
L10(M)	N 84°18'15" W	137.15'	1.35(M)	S 44°54'42" W	103.92'
L10(R)	S 84°45'30" W	396.26'	1.35(R)	S 44°46'57" W	103.92'
L11(M)	S 84°41'45" W	396.26'	1.36(M)	S 36°31'50" W	95.59'
L11(R)	N 02°14'52" W	117.54'	1.36(R)	S 36°28'05" W	95.59'
L12(M)	N 02°18'37" W	117.50'	1.37(M)	S 20°39'59" W	84.46'
L12(R)	N 01°18'15" W	66.61'	1.37(R)	S 20°38'14" W	84.46'
L13(M)	N 21°43'54" W	66.59'	1.38(M)	N 86°14'14" W	159.83'
L13(R)	N 58°12'18" W	141.13'	1.38(R)	N 86°17'59" W	159.83'
L14(M)	N 58°13'49" W	141.25'	1.39(M)	N 70°42'03" W	171.74'
L14(R)	N 07°05'45" W	230.25'	1.39(R)	N 70°42'03" W	171.74'
L15(M)	N 07°06'54" W	230.78'	1.40(M)	N 73°43'56" W	148.46'
L15(R)	N 07°29'29" W	380.40'	1.40(R)	N 73°47'41" W	148.46'
L16(M)	S 81°20'57" W	24.57'	1.41(M)	N 85°21'19" W	80.40'
L16(R)	S 81°15'06" W	24.03'	1.41(R)	N 85°25'04" W	80.40'
L17(M)	N 06°01'40" W	177.50'	1.42(M)	N 63°16'41" W	176.05'
L17(R)	N 06°14'55" W	177.47'	1.42(R)	N 63°20'26" W	176.05'
L18(M)	N 07°44'34" W	27.53'	1.43(M)	N 52°51'02" W	249.17'
L18(R)	N 07°44'34" W	27.53'	1.43(R)	N 53°04'42" W	249.90'
L19(M)	N 06°33'27" W	27.22'	1.44(M)	S 08°39'34" W	361.99'
L19(R)	N 08°33'49" E	5.54'	1.44(R)	S 08°26'27" W	361.71'
L20(M)	N 02°46'20" E	5.00'	1.45(M)	N 78°14'50" W	21.10'
L20(R)	N 08°10'59" E	62.05'	1.45(R)	N 78°18'53" W	21.10'
L21(M)	N 08°42'20" E	62.20'	1.46(M)	N 03°57'05" E	376.13'
L21(R)	N 15°33'48" E	53.94'	1.46(R)	N 03°31'77" E	451.20'
L22(M)	N 15°02'21" E	54.00'	1.46(R)	N 03°40'57" E	827.30'
L22(R)	N 84°43'30" E	396.26'	1.47(M)	N 15°06'21" W	43.26'
L23(M)	N 84°41'45" E	396.26'	1.47(R)	N 15°54'06" W	42.90'
L23(R)	S 81°14'30" W	137.15'	1.48(M)	S 80°23'25" W	19.07'
L24(M)	S 81°18'15" E	137.15'	1.48(R)	S 80°35'52" W	23.35'
L24(R)	S 29°23'54" E	89.81'	1.49(M)	N 03°50'38" E	113.11'
L25(M)	S 29°27'39" E	89.81'	1.50(M)	N 05°42'07" E	188.63'
L25(R)	S 81°21'19" E	33.69'	1.50(R)	N 04°16'16" E	366.24'
L26(M)	S 81°23'04" E	33.69'	1.51(M)	S 86°34'56" E	208.01'
			1.51(R)	S 86°18'33" E	213.36'

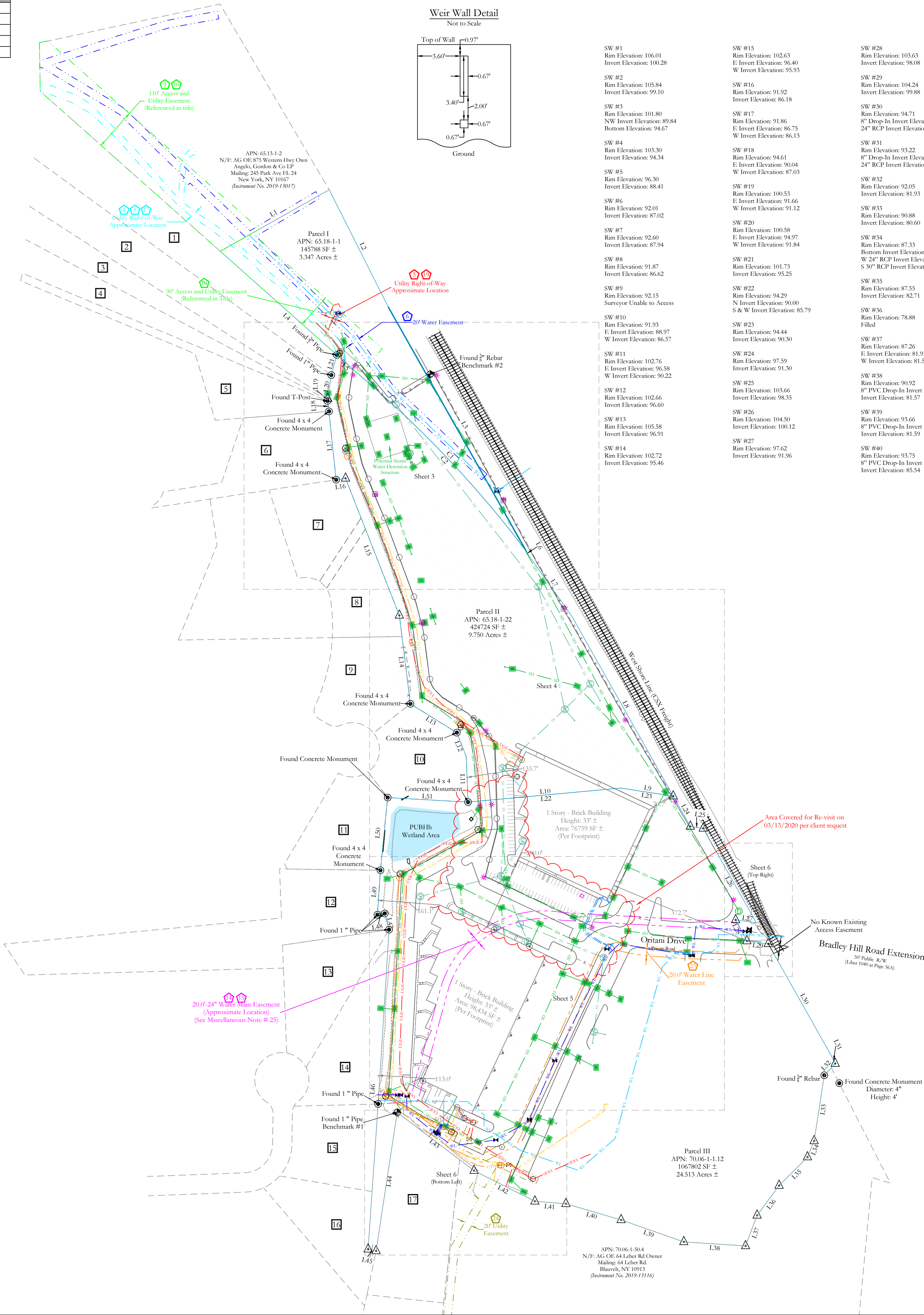
Curve Table

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE
C1(M)	2835.00'	629.45'	N 43°27'24" W	628.16'	12°43'16"
C1(R)	2835.00'	629.45'	N/A	N/A	N/A
C2(M)	2835.00'	629.45'	S 43°27'24" E	628.16'	12°43'16"
C2(R)	2835.00'	633.65'	S 43°51'09" E	632.34'	12°48'22"

Adjoiner Information

(Now or Formerly)

- APN: 65.17-1-8  
Owner: James O'Sullivan  
Mailing: P.O. Box 113  
Blauvelt, NY 10913  
(Instrument No. 2004-48663)
- APN: 65.17-1-9  
Owner: Luis Barahona  
Mailing: 857 Western Hwy  
Blauvelt, NY 10913  
(Instrument No. 2004-3874)
- APN: 65.17-1-10  
Owner: Patrick J. Hill & Carolyn C. Hill  
Mailing: 849 Western Hwy  
Blauvelt, NY 10913  
(Instrument No. 2007-31444)
- APN: 65.17-1-11  
Owner: Annette Burke & Christopher O'Mara  
Mailing: 835 Western Hwy  
Blauvelt, NY 10913  
(Instrument No. 2017-19176)
- APN: 65.17-1-12.4  
Owner: Richard McNichol  
Mailing: P.O. Box 205  
Blauvelt, NY 10913  
(Instrument No. 2001-41113)
- APN: 65.17-1-21  
Owner: Christine Lee  
Mailing: 4 Piper Ct  
Blauvelt, NY 10913  
(Instrument No. 2009-13174)
- APN: 65.17-1-25  
Owner: Marcus A. Colucci & Angela L. Colucci  
Mailing: 2 Heng Pl  
Blauvelt, NY 10913  
(Instrument No. 2018-20965)
- APN: 65.17-1-26  
Owner: Benjamin Morman & Louise Morman  
Mailing: 1 Haring Pl  
Blauvelt, NY 10913  
(Instrument No. 2007-21873)
- APN: 65.18-1-1.23  
Owner: James Albert & Francheska Albert  
Mailing: 1 Avis Ct  
Blauvelt, NY 10913  
(Instrument No. 2015-34534)
- APN: 65.18-1-24  
Owner: Margaret Hsu  
Mailing: 6 Avis Ct  
Blauvelt, NY 10913  
(Instrument No. 2004-46801)
- APN: 65.18-1-25  
Owner: Jason Previte & Lauren Previte  
Mailing: 4 Avis Ct  
Blauvelt, NY 10913  
(Instrument No. 2017-37362)
- APN: 65.17-1-41  
Owner: Devla Daswani  
Mailing: 751 Western Hwy  
Blauvelt, NY 10913  
(Instrument No. 2002-26664)
- APN: 70.06-1-1.7  
Owner: Julie Ann M. Cantone  
Mailing: 7 Spt Democla Rd  
Blauvelt, NY 10913  
(Instrument No. 2017-38769)
- APN: 70.06-1-1.4  
Owner: Maria Maddalena  
Mailing: 6 Spt Democla Rd  
Blauvelt, NY 10913  
(Instrument No. 2002-72493)
- APN: 70.06-1-1.5  
Owner: Denis M. Noonan & Joan P. Noonan  
Mailing: 5 Spt Democla Rd  
Blauvelt, NY 10913  
(Instrument No. 2018-26952)
- APN: 70.06-1-1.4  
Owner: Robert D'Onio & Kimberly D'Orio  
Mailing: 4 Spt Democla Rd  
Blauvelt, NY 10913  
(Instrument No. 2012-35426)
- APN: 70.06-1-54  
Owner: Rockland Meeting  
Religious Society of Friends  
Mailing: 60 Leber Rd  
Blauvelt, NY 10913  
(Dual Book 794 Page 863)



**Legend of Symbols & Abbreviations**

- Found Monument (As Noted)
- Elevation Benchmark
- Searched For - Not Found
- Sanitary Sewer Manhole
- Cleanout
- Storm Water Manhole
- Grated Inlet/Drainage Inlet
- Gas Meter
- Gas Valve
- Cable Television Pedestal
- Cable Television Vault
- Boundary - Adjacent
- Easement
- Matchline
- Tree Line
- Fence Line
- Fence w/ Lining
- Storm Drain
- UG Cable TV Line
- UG Electric
- UG Gas
- UG Water
- Fire Hydrant
- Fire Department Connection
- Water Valve
- Light Pole
- Electric Box
- Electric Vault
- Electric Cabinet
- Sign
- Utility Vault - Unknown
- ADA Parking Space
- Single Gate Post
- Concrete
- Asphalt
- Gravel
- No Parking
- Wetland

**Per Observed Markings**

- UG Electric
- UG Gas
- UG Water

**Per Maps Provided**

- UG Electric
- UG Gas
- UG Water

(M) Measured/Calculated Dimension  
(R) Record Dimension  
N/E: Now or Formerly  
R/W: Right-of-Way  
C/L: Centerline  
BHLL: Building Height Location  
FFE: Finished Floor Elevation  
UG: Underground





Parcel I  
APN: 65.18-1-1  
Pontiac Holding, LLC  
Address: 877 Western Highway  
Mailing Address: 500 Bradley Hill Road  
Blauvelt, NY 10913  
(Deed: Instrument No. 1997-00048850)  
145790 SF ±  
3.347 Acres ±  
(Zone R-40)

Elevation Benchmarks			
Benchmark #1		Benchmark #2	
Type	1" Pipe	Type	5/8" Rebar
Northing	816832.73	Northing	818739.46
Easting	641443.82	Easting	641528.88
Elevation	93.58	Elevation	71.22

Legend of Symbols & Abbreviations

- Found Monument (As Noted)

⚠ Elevation Benchmark

⚠ Searched For - Not Found

○ Sanitary Sewer Manhole

○ Cleanout

○ Storm Water Manhole

■ Grated Inlet/Drainage Inlet

○ Gas Meter

⊗ Gas Valve

○ Cable Television Pedestal

○ Cable Television Vault

— Boundary

--- Boundary - Adjacent

--- Easement

--- Matchline

--- Tree Line

--- X - X - Fence Line

○ Fence w/ Lining

○ Sanitary Sewer

○ Storm Drain

--- UG Cable TV Line

--- UG Electric

--- UG Gas

--- UG Water

(M) Measured/Calculated Dimension

(R) Record Dimension

N/E Now or Formerly

R/W Right-of-Way

C/L Centerline

BHLL Building Height Location

FBE Finished Floor Elevation

UG Underground

⚡ Fire Hydrant

⚡ Fire Department Connection

⚡ Water Valve

⚡ Light Pole

⚡ Electric Box

⚡ Electric Cabinet

⚡ Electric Vault

⚡ Sign

⚡ Utility Vault - Unknown

⚡ ADA Parking Space

⚡ Single Gate Post

Concrete

Asphalt

Gravel

No Parking

Wetland

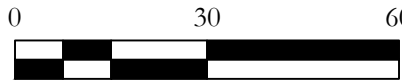
UG Electric

UG Gas

UG Water



Scale: 1" = 30'

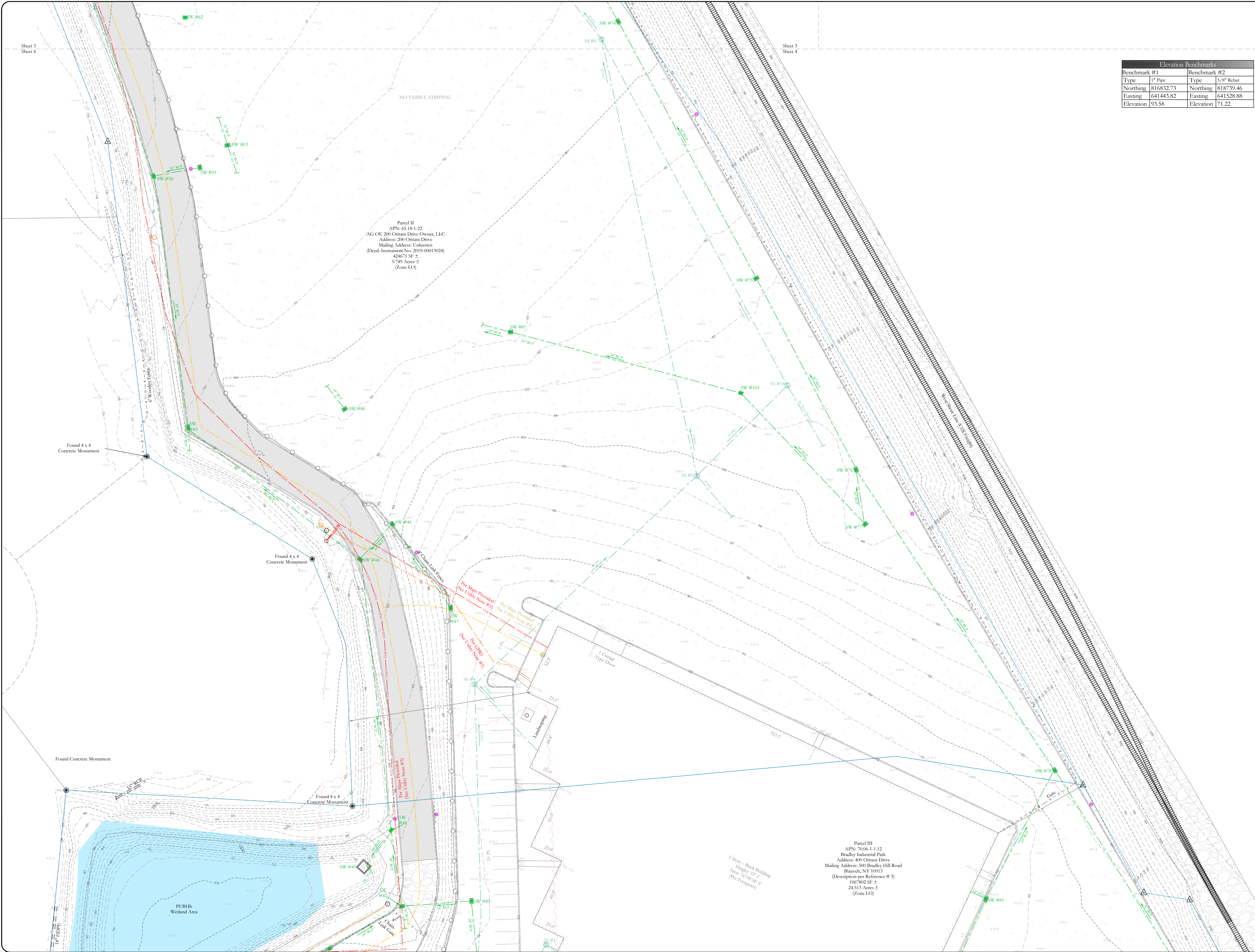


Parcel II  
APN: 65.18-1-22  
AG OE 200 Oranti Drive Owner, LLC  
Address: 200 Oranti Drive  
Mailing Address: Unknown  
(Deed: Instrument No. 2019-00015024)  
424671 SF ±  
9.749 Acres ±  
(Zone LO)

BLEW & ASSOCIATES, P.A.  
CIVIL ENGINEERS & LAND SURVEYORS  
3825 N. SHILOH DRIVE  
FAYETTEVILLE, ARKANSAS 72703  
OFFICE: 479.443.4506  
FAX: 479.582.1883  
www.BLEWINC.com

DRAWN BY & DATE: C.E.A. - 10/31/2019	REVIEWED BY: J.B./P.R.S.	SURVEYED BY: M. V.
COUNTY & STATE: Rockland County, New York	JOB NUMBER: 19-5589	
LOCATION: 200 Oranti Drive, Blauvelt, NY 10913		
FOR THE USE AND BENEFIT OF:  CESO, Inc.		





Elevation Benchmarks			
Benchmark #1		Benchmark #2	
Type	1" Pipe	Type	5/8" Rebar
Northing	816832.73	Northing	818739.46
Easting	641443.82	Easting	641528.88
Elevation	93.58	Elevation	71.22

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 Searched For - Not Found

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 Sanitary Sewer Manhole

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 Cleanout

○

 Storm Water Manhole

■

 Grated Inlet/Drainage Inlet

○

 Gas Meter

⊗

 Gas Valve

○

 Cable Television Pedestal

○

 Cable Television Vault

—

 Boundary

---

 Boundary - Adjacent

---

 Easement

---

 Matchline

---

 Tree Line

---

 Fence w/ Lining

---

 Sanitary Sewer

---

 Storm Drain

---

 UG Cable TV Line

---

 Per Observed Markings

---

 UG Electric

---

 UG Gas

---

 UG Water

---

 Per Maps Provided

---

 UG Electric

---

 UG Gas

---

 UG Water

○

 Fire Hydrant

---

 Fire Department Connection

⊗

 Water Valve

⊗

 Light Pole

⊗

 Electric Box

⊗

 Electric Cabinet

⊗

 Electric Vault

⊗

 Sign

⊗

 Utility Vault - Unknown

⊗

 ADA Parking Space

⊗

 Single Gate Post

□

 Concrete

□

 Asphalt

□

 Gravel

□

 No Parking

□

 Wetland

(M)

 Measured/Calculated Dimension

(R)

 Record Dimension

N/E

 Now or Formerly

R/W

 Right-of-Way

C/L

 Centerline

BHL

 Building Height Location

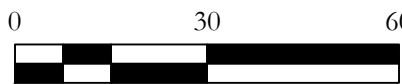
FBE

 Finished Floor Elevation

UG

 Underground

Scale: 1" = 30'



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FAX: 479.582.1883  
www.BLEWINC.com

DRAWN BY & DATE: C.E.A. - 10/31/2019

SURVEYED BY: J.B./P.R.S. M.V.

COUNTY & STATE: Rockland County, New York

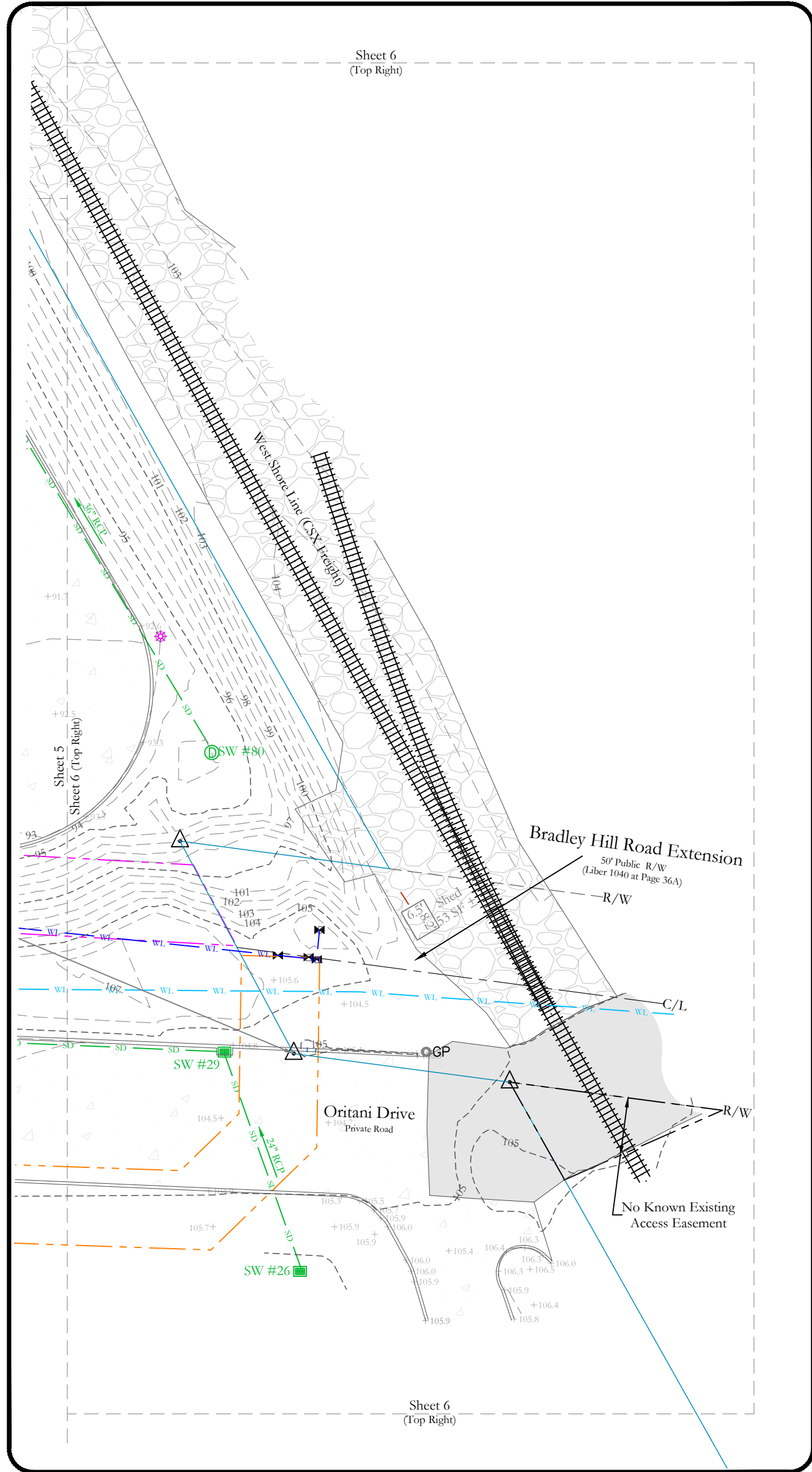
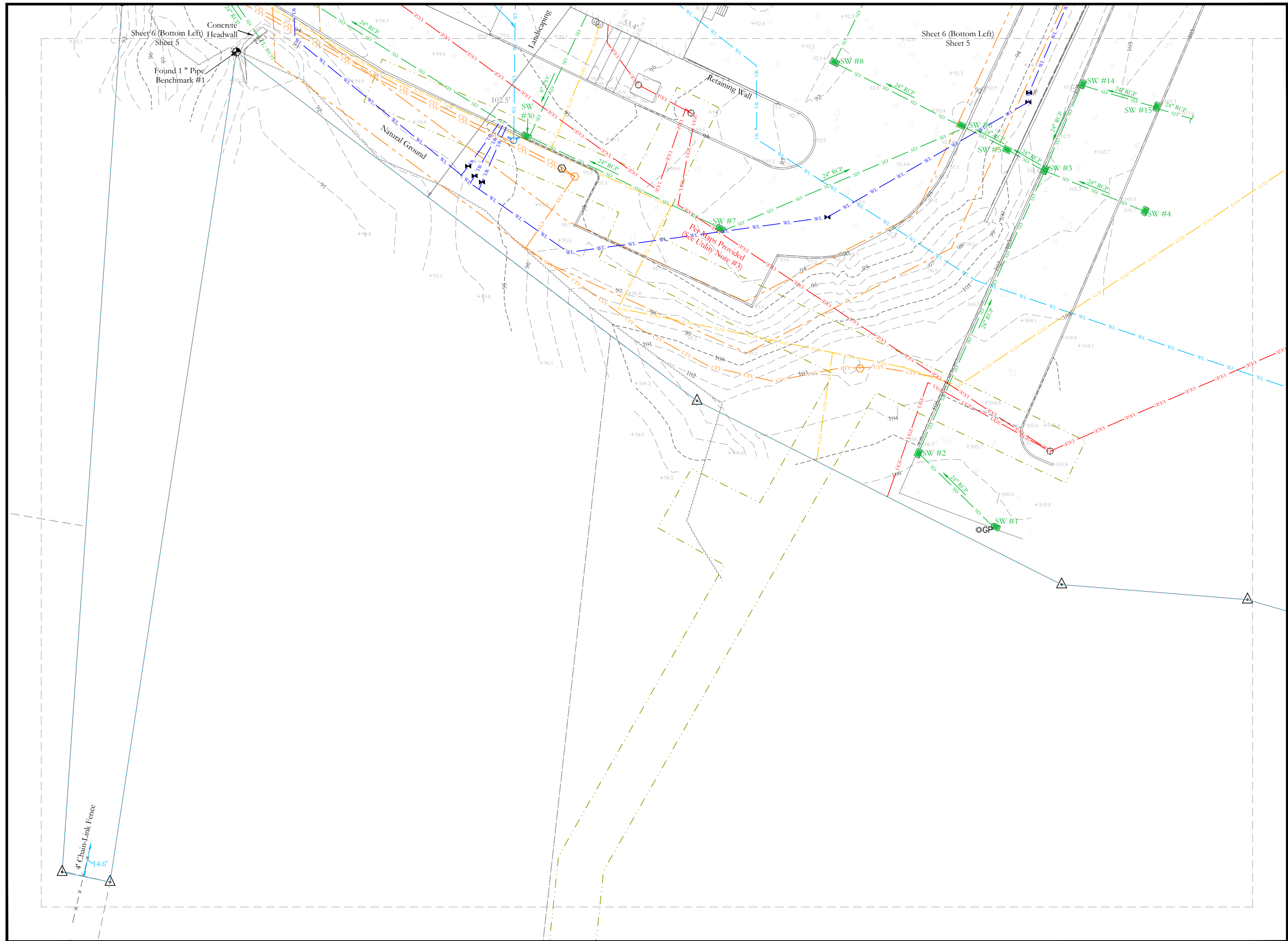
LOCATION: 200 Orntani Drive, Blauvelt, NY 10913

FOR THE USE AND BENEFIT OF: CESO, Inc.







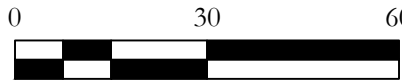


Elevation Benchmarks			
Benchmark #1	Type	Benchmark #2	Type
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93.58	Easting	71.22	Easting

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  - Per Observed Markings
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  - ADA Parking Space
  - Single Gate Post
  - Concrete
  - Asphalt
  - Gravel
  - No Parking
  - Wetland
- Per Maps Provided
- UG Electric
  - UG Gas
  - UG Water
- (M) Measured/Calculated Dimension  
(R) Record Dimension  
N/E Now or Formerly  
R/W Right-of-Way  
C/L Centerline  
BHL Building Height Location  
FFE Finished Floor Elevation  
UG Underground



Scale: 1" = 30'



**BLEW & ASSOCIATES, PA**  
CIVIL ENGINEERS & LAND SURVEYORS  
3825 N. SHILOH DRIVE  
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FAX: 479.582.1883  
www.BLEWINC.com

DRAWN BY & DATE	REVIEWED BY	SURVEYED BY
C.E.A. - 10/31/2019	J.B./P.R.S.	M.V.
COUNTY & DATE	JOB NUMBER	
Rockland County, New York	19-5589	
LOCATION		
200 Oritani Drive, Blauvelt, NY 10913		

FOR THE USE AND BENEFIT OF:

CESO, Inc.