#### As to Parcel I: (For Information Only: Section 65.18 Block 1 Lot 1)

All that certain plot, piece or parcel of land, situate, lying and being in the Hamlet of Blauvelt, Town of Orangetown, County of Rockland and State of New York, being shown and designated as Lot #2 on a certain subdivision map entitled, "Site Plan," Bradley Industrial Park, Section III" made by Adler, Caruso & Young P.C., dated 3/17/82 and filed in the Rockland County Clerk's Office on 3/31/82 in Book 99 of Maps at Page 20, as Map #5413, being more particularly bounded and described as

Beginning at a point in the northerly line of lands now or formerly of Eberhard, as it appears on the aforesaid map, where the same is intersected by the division line between Lots 1 and 2, as they appear on said map and which point is located 622.12 feet from the easterly line of Western Highway, 41.25 feet wide as shown on said map; and running thence

(1) Along said division line between Lots 1 and 2, North 60 degrees 25' 20" East, 323.28 feet to a point in the westerly line of the Conrail Right-of-Way; Thence along said right-of-way, the following two courses and distances:

(2) South 26 degrees 49' 40" East, 338.46 feet;

(3) South 29 degrees 34' 40" East, 725.50 feet to a point; thence

(4) Turning and running in a northwesterly direction through other lands of Bradlev Industrial Park, along a curve to the left having a radius of 2,835 feet, arc length of 629.43 feet to a point; thence

(5) Continuing along other lands of Bradley Industrial Park and lands now or formerly of Eberhard, aforesaid, North 48 degrees 28' 10" West, 479.85 feet to the point or place of beginning.

Subject to a 90 foot access and utility easement to Bradley Industrial Park, Inc., running parallel to course #5 above described and being measured at right angles thereto.

Together with an easement for ingress and egress and utility purposes, 110 feet in width and running from the northerly line of the premises above described in a northwesterly direction to Western Highway.

Beginning at a point in the northeasterly line of lands now or formerly of Eberhard, where the same is intersected by the division line between Lots One & Two as they appear on said map; and running thence

1) Along the lands now or formerly of Eberhard, North 48 degrees 28' 10" West, 622.12 feet to a point in the easterly line of Western Highway as it presently exists; Thence along the easterly line of Western Highway, following two courses of distances: 2) North 1 degree 10' 50" West, 125.07 feet to a Rockland County Highway Monument;

3) North 10 degrees 54' 20" West, 0.66 feet to the Town Line between the Town of Orangetown and Clarkstown; thence

4) Along said Town line, North 77 degrees 29' 30" East, 21.87 feet to a point; thence 5) South 48 degrees 28' 10" East, parallel to the first course herein, 732.28 feet to a point

in the northerly line of Lot #2 on said map; thence

6) Along the northerly line of Lot #2, South 60 degrees 25' 20" West, 116.26 feet to the point or place of beginning.

Said premises being more particularly bounded and described as follows:

All that certain plot, piece or parcel of land situate, lying and being in the Hamlet of Blauvelt, Town of Orangetown, County of Rockland and State of New York, being shown and designated as Lot #2 on a certain subdivision map entitled, "Site Plan, Bradley Industrial Park, Section III" made by Adler, Caruso & Young P.C., dated 3/17/82 and filed in the Rockland County Clerk's Office on 3/31/82 in Book 99 of Maps at Page 20, as Map #5413, being more particularly bounded and described as follows:

Beginning at point in the line of Section 65.17, Block 1, Lot 8, lands now or formerly of the Oratamin Club, Inc., where the same is intersected by the division line between premises being described herein and Section 65.13, Block 1, Lot 2, said point being measured along the line of Lot 2, South 48 degrees - 28 minutes - 50 seconds East, a distance of 609.35 feet from the corner of Lot 2 and the easterly line of Western Highway (A.K.A County Highway Route 15 - variable width - public right of way),

1. Along the line of Lot 2, North 60 degrees - 24 minutes - 40 seconds East, a distance of 326.06 feet to a point in the westerly line of lands of Consolidated Rail Corp. (F.K.A. West Shore Railroad), thence the following three courses along the lands of Consolidated Rail Corp.;

2. South 26 degrees - 57 minutes - 39 seconds East, a distance of 337.39 feet to a point, thence;

3. South 23 degrees - 11 minutes - 43 seconds West, a distance of 1.89 feet to a point,

4. South 29 degrees - 28 minutes - 18 seconds East, a distance of 729.58 feet to a point of cusp and point in the line of Section 65.18, Block 1, Lot 22, lands now or formerly of Bradley Industrial Park, thence;

5. Along Lot 22 and along a curve to the left having a radius of 2835.00 feet, an arc length of 633.65 feet, a central angle of 12 degrees - 48 minutes - 22 seconds, bearing a chord of North 43 degrees - 31 minutes - 09 seconds West, and a chord distance of 632.34 feet to an iron pipe and a point of tangency and corner to Lot 8, thence;

6. Along the line of Lot 8, North 48 degrees - 28 minutes - 50 seconds West, a distance of 479.87 feet to the point and place of beginning.

## Reference Documents

- 1. Deed Recorded 12/11/1997 as Instrument ID # 1997-00048850, Rockland
- County, New York. Bargain and Sale Deed - Recorded 05/09/2019 as Instrument No.
- 2019-00013024, Rockland County, New York.
- ALTA/NSPS Land Title Survey conducted by James D. Sens at Control Point Associates. Inc on 04-03-2019 for Onyx Acquisition, LLC with a field book number of 18-37 at field book page 121 for the property located in Section 70.06, Block 1, Lot 1.12.
- ALTA/NSPS Land Title Survey conducted by James D. Sens at Control Point Associates. Inc on 04-02-2019 for Onyx Acquisition, LLC with a field book number of 18-37 at field book page 121 for the property located in Section 65.18, Block 1, Lot 22.
- Easement Agreement recorded in Liber 770 at page 576 on 12/23/1963 being between McCarrell Hudson Lieper, Christine H. Lieper and Spring Vallev Water Company
- Easement Agreement recorded as Instrument No. 2009-00044163 on 12/09/2009 being between Bradley Corporate Park and United Water New
- York, Inc. Deed - Recorded 08/23/01 as Instrument No. 2001-00041113, Rockland
- County, New York. 8. Deed - Recorded 04/23/2009 as Instrument No. 2009-00013174, Rockland
- County, New York. 9. Deed - Recorded 09/13/2013 as Instrument No. 2013-00034534, Rockland
- County, New York.
- 10. Deed Recorded 07/26/2004 as Instrument No. 2004-00046801, Rockland County, New York.
- 11. Deed Recorded 11/20/2017 as Instrument No. 2017-00037362, Rockland County, New York. 12. Subdivision Map, Titled "Final Subdivision Map, Greenbush Glen, in Blauvelt,
- Town of Orangetown, Rockland County, New York" and filed 09/01/1977 as Map # 4857 also being in Book 91 of Maps at Page 63.
- 13. Subdivision Map, Titled "Site Plan, Bradley Industrial Park Section III, Blauvelt, Town of Orangetown, Rockland County, New York" and filed 08/31/1982 as Map # 5413 also being in Book 99 of Maps at Page 20. 14. Subdivision Map, Titled "Section Two (Formerly Called Sections Two and Three),
- Sterling Estates, Blauvelt, Town of Orangetown, New York" and filed 08/14/1967 as Map # 3611 also being in Book 73 of Maps at page 60. Subdivision Map, Titled "Haring Estates, Blauvelt, Town of Orangetown, New 15.
- York" and filed 01/31/1986 as Map # 5845 also being in Book 105 of Maps Subdivision Map, Titled "Final Subdivision of Western Ridge Located in Blauvelt, Town of Orangetown, Rockland County, New York" and filed 08/27/1986 as Map
- # 5939 also being in Book 106 of Maps at page 21. 17. The Official Tax Assessors Map of the Town of Orangetown, Rockland County, New York, Sheet # 65.18.
- The Official Tax Assessors Map of the Town of Orangetown, Rockland County, New York, Sheet # 70.06.
- The Official Zoning Map of the Town of Orangetown, Rockland County, New York.

## Schedule A Description Continue

set forth in Reel 3, Page 44, which said easement is bounded and described as follows: All that certain plot, piece or parcel of land situate, lying and being in the Hamlet of Blauvelt, Town of Orangetown, County of Rockland and State of New York, being shown and designated as part of Lot #1 on a certain subdivision map entitled, "Site Plan, Bradley Industrial Park, Section III" made by Adler, Caruso & Young P.C., dated 3/17/82 and filed in the Rockland County Clerk's Office on 3/31/82 in Book 99 of Maps at Page 20, as Map #5413,

Together with a one hundred and ten (110) foot wide easement for ingress and egress as

Beginning at a point on the easterly side of Western Highway, as widened, said point being where the division line between land herein and land now or formerly of O'Sullivan Tree Care Inc. (Section 65.13, Block 2, Lot 14) intersects with the easterly side of Western Highway;

Running thence along said division line, North 77 degrees 28 minutes 50 seconds East, 12.49 feet;

Thence South 48 degrees 28 minutes 50 seconds East, 732.27 feet to other land now or formerly of Pontiac Holding, LLC (Section 65.13, Block 1, Lot 1);

Thence South 60 degrees 24 minutes 40 seconds West, 116.26 feet;

Thence North 48 degrees 28 minutes 50 seconds West, 609.35 feet to the easterly side of Western Highway;

Thence along the easterly side of Western Highway, North 01 degree 11 minutes 30 seconds West, 134.52 feet;

Thence still along the easterly side of Western Highway, North 10 degrees 55 minutes 00

seconds West, 1.72 feet to the point or place of beginning. As to Parcel II: (For Information Only: Section 65.18 Block 1 Lot 22)

All that certain tract of land lying in the Hamlet of Blauvelt, Town of Orangetown, Rockland County, New York, lying West of the West Shore Railroad Company's land,

Beginning at a point on the center line of the West Shore Railroad, as the track was laid in March 1887, and being the southeast corner of the piece herein described; and

Running thence South 70 degrees 04' West, 41 feet;

and bounded and described as follows:

Thence North 21 degrees West, 217.2 feet to the northerly line of lands formerly of

David H. Amos and lands formerly of Joseph Mc Leiper; Thence North 70 degrees 49' West along the said northerly line, 149 feet;

Thence North 74 degrees West along said northerly line, 138.3 feet;

Thence North 76 degrees 15' West, still along said northerly line, 298.4 feet to a corner of the land formerly of John C. Blauvelt;

Thence North 7 degrees 37' East, along the easterly line of the said Blauvelt's land, 161.2

Thence North 49 degrees West along the said easterly line, 166.3 feet;

Thence North 1 degree 40' East along the said easterly line, 246.5 feet; Thence North 11 degrees 40' West, along the said easterly line, 317 feet;

Thence North 24 degrees 16' West, Still along the said easterly line of Blauvelt's land, 58.7 feet to the center of a large white oak tree situated in the Northeast corner of said Blauvelt's land and in the Southeast corner of land formerly of Isaac B. Campbell as well as in the West line of property herein described;

Thence from the center of said White Oak Tree, North 14 degrees East along the easterly line of the said Campbell's land, 203.5 feet to a point, about 6 feet southerly from a spring or end of ditch on said Campbell's land;

Thence North 46 degrees 17' East, along the line of the said Campbell's land, 108.7 feet to the division line between the land of the said Isaac B. Campbell and the land formerly of Oliver W. Campbell:

Thence North 43 degrees 7' East, along the southerly line of said Oliver W. Campbell's land, 84.6 feet to a stake standing in the swamp and in the line of fence as said southerly line of land of said Oliver W. Campbell;

Thence North 33 degrees 19' East, still along the southerly line of the said Oliver W. Campbell's land, 186.5 feet to the center line of the West Shore Railroad, as then laid out;

Thence South 19 degrees 56 East along the center line of said West Shore Railroad, as then laid out, 1,811.6 feet to the point or place of beginning.

Excepting therefrom, however, the portion thereof now owned by the West Shore Railroad Company, or its successors.

Said premises being more particularly bounded and described as follows:

All that certain tract of land lying in the Hamlet of Blauvelt, Town of Orangetown, Rockland County, New York, lying West of the West Shore Railroad Company's land, and bounded and described as follows:

Beginning at an iron pipe at the intersection of the northerly point of the premises being described herein, Section 65.17, Block 1, Lot 8, and Section 65.18, Block 1, Lot 1; Thence, the following five (5) courses along the line of lands of Consolidated Rail Corp.;

## Miscellaneous Notes

- 1. Completed field work was October 20, 2019 with a field re-visit on March 13, 2020. The re-visit only covered the area shown on sheet 2 of 6 per
- client request 2. The Basis of Bearing for this survey is per GPS coordinate observations New York State Plane, Eastern Zone NAD83.
- Latitude = N  $41^{\circ}04'32.98846''$ Longitude = W 73°57'19.80800
- Convergence Angle =  $00^{\circ}21'27.98075''$ 3. Distances shown on plat are grid.
- Combined scale factor (grid to ground) = 1.0000742485
- 4. Elevations established with GPS static observations utilizing online positioning user service (OPUS) for post processing. (NAVD 1988 datum)
- Some features on this plat may be shown out of scale for clarity. 6. Dimensions on this plat are expressed in feet and decimal parts thereof unless
- otherwise noted. Bearings are referred to an assumed meridian and are used to denote angles only. Monuments were found at points where indicated. 7. Any servitudes and restrictions shown on this survey are limited to those set forth in the description furnished to surveyor, and there is no representation
- that all applicable servitudes and restrictions are shown hereon. 8. Names and addresses of adjoining property owners were taken from
- Rockland County 2019 Final Tax Roll and Deeds. 9. The nearest fire hydrant is as shown on survey.
- 10. No surveyor or any other person other than a licensed New York attorney may provide legal advice concerning the status of Title to the property described in this survey ("the subject property"). The purpose of this survey, and the comments related to the Schedule B-II exceptions, is only to show the location of boundaries and physical objections in relation thereto. To the extent that the survey indicates that the legal instrument "affects" the subject property, such statement is only intended to indicate that property boundaries included in such instrument include some or all of the subject property. The surveyor does not purport to describe how such instrument affects the subject property or the enforceability or legal consequences of such
- instrument 11. All bearings and distances shown hereon are measured dimensions unless otherwise noted hereon. Record dimensions, if differing from measured dimensions, will be followed by "(R#)" where the # indicates from which reference document the dimension originated. Reference documents noted hereon were obtained by the surveyor and any and all representations based thereon should be reviewed by a licensed attorney or title insurer for verification.

12. Contour Interval = 1 foot

- 13. Total number of striped parking spaces observed in survey area at the time of the survey is 85, which includes 2 designated ADA spaces. 14. Surveyor notes that the property abuts the right-of-way of Bradley Hill Road.
- Access to the right-of-way may be subject to other agreements or proper overnmental approvals. 15. There was no evidence of monitor wells, or any test borings on the subject
- property at the time of the survey.
- 16. At the time of the survey, there was no no observable evidence of site use as a cemetery, isolated grave site or burial grounds.
- 17. At the time of the survey, there was no observable evidence of site use as a solid waste dump, sump, or sanitary landfill.
- 18. At the time of the survey, there were no changes in street right-of-way lines either completed or proposed, and available from controlling jurisdiction or observable evidence of recent street or sidewalk construction repairs, per answer to FOIL request number FR8-19-006750 received October 21, 2019 from Hai Lan - Records Assessor Officer for the New York state Department of Transportation, Hudson Valley Region.

20. The nearest intersecting street is the intersection of Bradley Hill Road and State Highway 303, which is approximately 1100' from the Southeast corner

19. There was no observable evidence of Earth moving work, building construction or building additions within recent months.

of the subject property as shown.

## Schedule A Description Continue

thence:

1. South 48 degrees - 28 minutes - 50 seconds East, a distance of 72.71 feet to a point,

2. Southeasterly along a curve to the right having a radius of 2835.00 feet, an arc length of 633.65 feet, a central angle of 12 degrees - 48 minutes - 22 seconds, bearing a chord of South 43 degrees - 31 minutes - 09 seconds East, and a chord distance of 632.34 feet to a point of tangency, thence;

3. South 29 degrees - 28 minutes - 18 seconds East, a distance of 11.73 feet to a point, thence:

4. South 35 degrees - 25 minutes - 07 seconds East, a distance of 193.04 feet to a point, thence:

5. South 29 degrees - 28 minutes - 14 seconds East, a distance of 533.90 feet to a point and corner of Section 65.18, Block 1, Lot 1.12, lands now or formerly of Bradley Industrial Park;

Thence, the following two courses along the line of Lot 1.12;

6. North 81 degrees - 18 minutes - 15 seconds West, a distance of 137.15 feet to a point, thence; 7. South 84 degrees - 41 minutes - 45 seconds West, a distance of 396.26 feet to a point

and corner to Section 65.18, Block 1, Lot 24; Thence, the following three courses along Lot 24;

8. North 02 degrees - 18 minutes - 37 seconds West, a distance of 117.50 feet to a point, thence:

9. North 21 degrees - 45 minutes - 54 seconds West, a distance of 66.59 feet to concrete monument, thence;

10. North 58 degrees - 13 minutes - 49 seconds West, a distance of 141.25 feet to a concrete monument and corner to Section 65.18, Block 1, Lot 23, thence;

11. Along the line of Lot 23, and partly along the line of Section 65.17, Block 1, Lot 26, North 07 degrees - 06 minutes - 54 seconds West, a distance of 230.78 feet to a point in the line of Lot 26, thence;

12. Along the line of Lot 26, and along the line of Section 65.17, Block 1, Lot 25, North 21 degrees - 30 minutes - 14 seconds West, a distance of 380.40 feet to a point in the line of Lot 25, thence;

13. Along the line of Lot 25, South 81 degrees - 15 minutes - 06 seconds West, a distance of 24.03 feet to a concrete monument and corner to Section 65.17, Block 1, Lot 21, thence:

14. Along the line of Lot 21, North 06 degrees - 14 minutes - 55 seconds West, a distance of 177.47 feet to concrete monument, and corner to Section 65.17, Block 1, Lot 12.4. thence:

15. Along the line of Lot 12.4, North 06 degrees - 33 minutes - 27 seconds West, a distance of 27.22 feet to a point and corner to Section 65.17, Block 1, Lot 11, corner to Section 65.17, Block 1, Lot 10, and corner to Section 65.17, Block 1, Lot 9;

Thence, the following two (2) courses along Lot 9;

16. North 02 degrees - 46 minutes - 20 seconds East, a distance of 5.00 feet to a point,

17. North 08 degrees - 42 minutes - 20 seconds East, a distance of 62.20 feet to an iron

pipe and corner to Lot 8, thence; 18. Along the line of Lot 8, North 15 degrees - 02 minutes - 21 seconds East, a distance

of 54.00 feet to the point and place of beginning.

As to Parcel III: (For Information Only: Section 70.06 Block 1 Lot 1.12)

All that certain plot, piece, parcel of land lying and being in the Town of Orangetown, County of Rockland, State of New York, being shown and designated as part Lot #2 on map entitled "Final Subdivision Map, Greenbush Glen, Blauvelt, Town of Orangetown, Rockland County, New York", made by Ostertag and McDougall, Engineers, Surveyors, Planners, dated 1-21-76, revised 9-13-76, which map was filed in the Rockland County Clerk's Office on 9-1-77 in Book 91 of Maps, Page 63 as Map No. 4857, and being more particularly bounded and described as follows:

Beginning at a point located at the southeasterly corner of Section 65.18, Block 1, Lot 24, said point also being corner to Section 65.18, Block 1, Lot 22, lands n/f of Bradley Industrial Park;

Thence, the following two (2) courses along the line of Lot 22;

1. North 84 degrees - 41 minutes - 45 seconds East, a distance of 396.26 feet to a point thence 2. South 81 degrees - 18 minutes - 15 seconds East, a distance of 137.15 feet to a point

in the westerly line of lands of the Consolidated Rail Corp. (F.K.A. West Shore Railroad);

Thence, the following three courses along the line of Consolidated Rail Corp.;

3. South 29 degrees - 27 minutes - 39 seconds East, a distance of 89.81 feet to a point,

4. South 81 degrees - 25 minutes - 04 seconds East, a distance of 33.69 feet to a point, thence:

5. South 29 degrees - 28 minutes - 18 seconds East, a distance of 279.69 feet to a point, in the line of Bradley Hill Road Extension as per Town Board Meeting 01-28-80 (Resolution No. 77);

Miscellaneous Notes Continued

21. Surveyor did not receive current deeds for adjoining properties from the title insurer. Surveyor obtained the deed information reflected on this survey on their own. The user of this survey should consult an attorney or title insurer to verify the current deed descriptions for adjoining properties. Surveyor did not receive any information from the title insurer regarding the

current zoning classification of the property or any requirements related to the applicable zoning classification. Surveyor obtained the zoning information reflected on this survey on their own. The user of this survey should consult an attorney or title insurer to verify the zoning classification of the property as well as the applicable restrictions and requirements associated with such zoning classification

23. Connection Shown per GPRS Report. While Surveyor did witness a pipe leaving to the Southwest of SW #85, they did not witness a pipe entering SW#90 from the East

24. This pipe is potentially abandoned. GPRS, with their radar, only observed this pipe for  $\approx 5'$  past the side of the storm structure. 25. Surveyor has shown the approximate location of this easement per

documents associated with the referenced Title Commitment's Schedule B II Items numbered 14 and 15. Easement appears to have been accepted per document filed as Book 770 at page 578 but there is no evidence of this easement being relinquished (See Miscellaneous Note #10). Surveyor advises that a licensed New York Attorney be contacted to ascertain the exact status of this easement.

Encroachments

None apparent at the time of the survey

Schedule A Description Continue

Thence along the line of Bradley Hill Road Extension, the following three (3) courses; 6. North 82 degrees - 32 minutes - 02 seconds West, a distance of 53.98 feet to a point,

7. South 28 degrees - 13 minutes - 49 seconds East, a distance of 61.57 feet to a point, thence:

8. South 82 degrees - 32 minutes - 02 seconds East, a distance of 55.65 feet to a point in the westerly line of Consolidated Rail Corp.;

Thence, the following two (2) courses along the line of Consolidated Rail Corp.;

9. South 29 degrees - 28 minutes - 18 seconds East, a distance of 336.28 feet to a point, thence; 10. South 25 degrees - 59 minutes - 43 seconds East, a distance of 18.26 feet to a point

and corner to Section 70.06, Block 1, Lot 50.4, lands of Bradley Industrial Park, Thence, the following eleven (11) courses along Lot 50.4;

11. South 42 degrees - 50 minutes - 03 seconds West, a distance of 42.27 feet to a point,

12. South 08 degrees - 36 minutes - 21 seconds West, a distance of 170.79 feet to a point, thence:

13. South 22 degrees - 21 minutes - 08 seconds West, a distance of 45.13 feet to a point,

14. South 44 degrees - 46 minutes - 57 seconds West, a distance of 103.92 feet to a point, thence:

15. South 36 degrees - 28 minutes - 05 seconds West, a distance of 95.59 feet to a point,

16. South 20 degrees - 36 minutes - 14 seconds West, a distance of 84.46 feet to a point,

thence;

point, thence:

17. North 86 degrees - 17 minutes - 59 seconds West, a distance of 159.83 feet to a

18. North 70 degrees - 45 minutes - 48 seconds West, a distance of 171.74 feet to a point, thence;

19. North 73 degrees - 47 minutes - 41 seconds West, a distance of 148.46 feet to a point, thence;

20. North 85 degrees - 25 minutes - 04 seconds West, a distance of 80.40 feet to a point, thence:

21. North 63 degrees - 20 minutes - 26 seconds West, a distance of 176.05 feet to a point, thence;

22. Partly along the line of Lot 50.4, and partly along the line of Section 70.06, Block 1, Lot 54, lands now or formerly of Rockland Meeting, Religious Society of Friends, North 53 degrees - 04 minutes - 42 seconds West, a distance of 249.90 feet to a point in the line of Lot 54, thence;

23. Along the line of Lot 54, South 08 degrees - 26 minutes - 27 seconds West, a distance of 361.71 feet to a point, and corner to Section 70.06, Block 1, Lot 1.4 thence;

24. Along the line of Lot 1.4, North 78 degrees - 18 minutes - 35 seconds West, a distance of 21.10 feet to a point, thence;

25. Along the line of Lot 1.4, along the line of Section 70.06, Block 1, Lot 1.5, and along the line of 70.06, Block 1, Lot 1.6, North 03 degrees - 40 minutes - 57 seconds East, a distance of 827.30 feet to a point and corner to Lot 1.6, Section 70.06, Block 1, Lot 1.7, and Section 75.17, Block 1, Lot 41;

thence, the following two (2) courses along Lot 41;

26. North 11 degrees - 54 minutes - 06 seconds West, a distance of 42.90 feet to a point,

27. South 80 degrees - 35 minutes - 52 seconds West, a distance of 23.35 feet to a point,

28. Along the line of Lot 41 and along the line of Section 65.18, Block 1, Lot 25, North 04 degrees - 16 minutes - 16 seconds East, a distance of 306.24 feet to a concrete monument and corner to Lot 24, thence;

29. Along the line of Lot 24, South 86 degrees - 18 minutes - 33 seconds East, a distance of 213.36 feet to the point and place of beginning.

## Flood Note

By graphic plotting only, this property is in Zone "X" of the Flood Insurance Rate Iap, Community Panel No. 36087C-0179-G, which bears an effective date of 03/03/2014 and is not in a Special Flood Hazard Area. Flood Note does not protect from local flooding.

Zone Definitions According to the FEMA website.

Zone "X" - Area of minimal flood hazard, usually depicted on FIRMs as above the 500-year flood level. Zone X is the area determined to be outside the 500-year flood and protected by levee from 100-year flood.

## Wetlands Note

There was evidence of delineated wetland areas, shown per the U.S. Fish and Wildlife service National Wetlands Inventory website only. No markers from a field delineation of wetlands conducted by a qualified specialist were observed during the course of the survey.

PUBHh Wetland Area as shown hereon, is a Freshwater Pond area classified as

Classification Codes as Defined on the U.S. Fish and Wildlife service National Wetlands Inventory website:

System Palustrine (P) : The Palustrine System includes all nontidal wetlands dominated by trees, shrubs, persistent emergents, emergent mosses or lichens, and all such wetlands that occur in tidal areas where salinity due to ocean-derived salts is below 0.5 ppt. It also includes wetlands lacking such vegetation, but with all of the following four characteristics: (1) area less than 8 ha (20 acres); (2) active wave-formed or bedrock shoreline features lacking; (3) water depth in the deepest part of basin less than 2.5 m (8.2 ft) at low water; and (4) salinity due to ocean-derived salts less than 0.5 ppt.

Class Unconsolidated Bottom (UB) : Includes all wetlands and deepwater habitats with at least 25% cover of particles smaller than stones (less than 6-7 cm), and a vegetative cover less than 30%.

Water Regime Permanently Flooded (H) : Water covers the substrate throughout the year in all years.

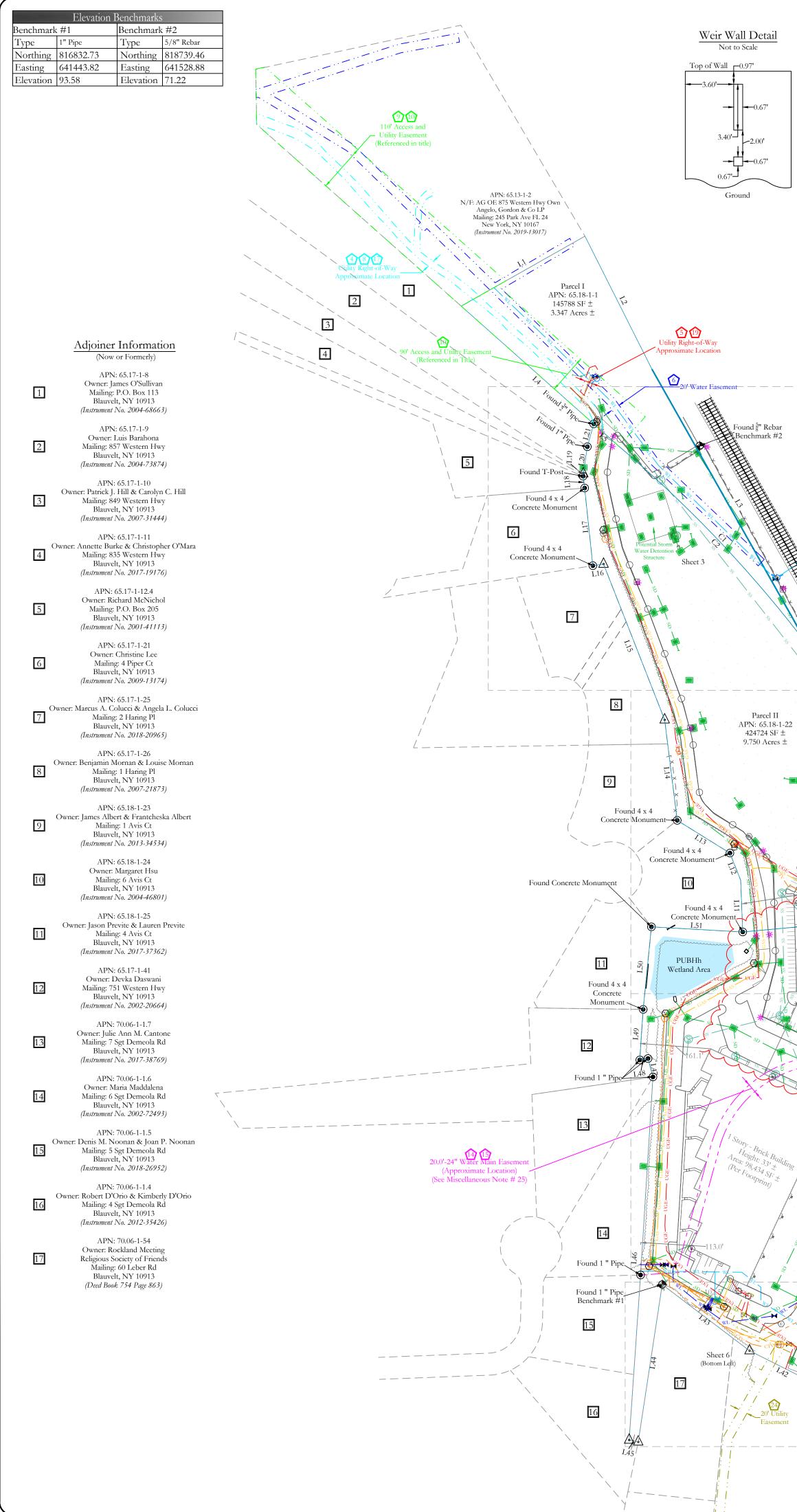
Special Modifier **Diked/Impounded (h)** : These wetlands have been created or modified by a man-made barrier or dam that obstructs the inflow or outflow of

## Schedule B - Section II

- 2 Easement from Edmund H. Jung and Julia M. Jung to Rockland L Company dated 12/18/1926, recorded 12/27/1926 in Liber 309 c -Does not affect.
- 3 Easement from BG M Holding Corp. to Rockland Light and Powe 04/03/1957, recorded 04/25/1957 in Liber 647 cp 174. -Does not affect.
- 4 Easement to Orange and Rockland Utilities, Inc. and New York To ompany dated 05/11/1982, recorded 05/18/1982 in Liber 1072 c -Affects, Approximate Location Plotted as Shown.
- (5)- Easement to Orange and Rockland Utilities, Inc. and New York Te Company dated 10/28/1982, recorded 12/03/1982 in Reel 3 Page -Affects, Approximate Location Plotted as Shown.
- 6)- Water Main Easement from Bradley Corporate Park, Inc. to Spring Company, Incorporated dated 04/03/1985, recorded 06/21/1985 2921 -Affects, Plotted as Shown.
- 7 Notes, Easements and set-backs shown on Filed Map No. 5413. -Affects, Contains no Plottable Exceptions.
- 8 Easement to Orange and Rockland Utilities, Inc. and New York T Company dated 05/11/1982, recorded 05/18/1982 in Liber 1072 c
- -Affects, Approximate Location Plotted as Shown. 9 - Easement contained in Deed from Bradley Industrial Park, Inc. to Park dated 11/30/1982, recorded 11/30/1982 in Reel 3 Page 44.

- 10 Easement contained in Deed from Bradley Industrial Park, Inc. to Park dated 04/07/1983, recorded 04/07/1983 in Reel 11 Page 222 -Affects, Plotted as Shown.
- 117 License Agreement from Robert E. Leber to New York Telephone 12/27/1910, recorded 04/25/1911 in Liber 245 cp 173. -Unable to Determine if Affects, Description of Affected Prope
- [12] Easement to Orange and Rockland Utilities, Inc. and NYNEX dat recorded 09/11/2008 in Instrument No. 2008-41227. -Appears to Affect, Unable to Plot without the Development Industrial Park Section IV dated May 7, 2007 Prepared by P. & PLS, as Referenced in the Above Easement Document.
- 13- Easement from Sarah Welling to John B. Newman dated 08/31/19 09/11/1909 in Liber 239 cp 33. -Unable to Determine if Affects, Description of Easement An
- 14- Notes, Easements and Set-backs shown on Filed Map Nos. 4857, 7 -Affects, approximate location plotted as shown.
- 15- Easement to Spring Valley Water Company, Incorporated, dated 1. recorded 12/23/1963 in Liber 770 cp 576. -Affects, approximate location plotted as shown.
- 10- Easements from Roberta Naomi Leber McVeigh to Board of Com Rockland County Sewer District No. 1 dated 02/29/1968, recorde Liber 841 cp 1006. -Does not affect.
- 17]- Easement to Orange and Rockland Utilities, Inc. and New York T Company dated 05/11/1982, recorded 05/18/1982 in Liber 1072 ( -Affects, approximate location plotted as shown.
- 18 Cross-Easement Agreement by and among Blauvelt Realty Associa Shop Broadway Corporation, Bradley Industrial Park, Northside Sa First American Artificial Flowers, Inc. dated as of 09/01/1987, rec 09/30/1987 in Reel 256 Page 2649. -Appears to affect subject property, unable to plot as most of are illegible, requesting plat entitled "Bradley Industrial Par of Property for Rock-Art Associates Map no. 4773 In Book 90 referenced in the above easement agreement to place easement
- 19- Easement to Orange and Rockland Utilities, Inc. dated 10/18/198 12/03/1982 in Reel 3 Page 567. -Affects, approximate location plotted as shown.
- 20 Agreement between John N. McVeigh III and Judith N. Slane, ind executors of the Estate of Roberta McVeigh, Deceased and John I Patrick J. Magee and Bradley Industrial Park, Inc. dated 09/13/19 09/16/1983 in Reel 27 Page 2897. -Unable to determine if affects, surveyor requests 1983 tax ro document as well as an approved subdivision plat of Lot 26-1 various roads and or streets affected by the easement above.

Chicago Ti Title Num Effective I	Information tle Insurance Company aber # CT 19-00860-R Date: October 17, 2019 le B - Section II	map dr: one-call location respons Call Ne	wings, Ground Penetratin utility locate request. Blev of any underground utilit ibility of the contractor to	g have been located by field m g Radar Systems (GPRS) repo v & Associates makes no warra ies shown or not shown on thi verify any and all utilities prior 72-4480 for field locations (req	rt and markings and anty to the exact is drawing. It is the r to construction.	Vicinit	y Map NY Hay 50 SITE
	Jung and Julia M. Jung to Rockland Light and Power recorded 12/27/1926 in Liber 309 cp 227.	Ticke Companies I Verize	EID: 09279-153-027 Response and Contact: on - Bell-Valhalla	Design Conflict - Con	Know what's below. Call before you dig. Atact Company	Western	Stor Man
<ul> <li>Easement from BG M Holdin 04/03/1957, recorded 04/25</li> <li>Does not affect.</li> </ul>	ng Corp. to Rockland Light and Power Company dated /1957 in Liber 647 cp 174.	Gener Specif	al: Robert Schuab ic: Eric Mittelstadt	(914) 741-8750 (914) 741-7395 Eric. M. Mittelstadt@	verizon.com		Bradley Hill Road
<ul> <li>Easement to Orange and Roc Company dated 05/11/1982,</li> <li>-Affects, Approximate Loc</li> </ul>	kland Utilities, Inc. and New York Telephone recorded 05/18/1982 in Liber 1072 cp 197. ation Plotted as Shown.	Danie	vision of West NYACK l Gannon ower Fiber Technologies	Marked Approximate (201) 651-4030 Clear, No Facilities wi			
	ckland Utilities, Inc. and New York Telephone recorded 12/03/1982 in Reel 3 Page 567. ation Plotted as Shown.	Lighte	ower Design Contact DOT Poughkeepsie Regio Neumann	(888) 632-0931 x 2			藏民
G - Water Main Easement from I Company, Incorporated dated 2921.	Bradley Corporate Park, Inc. to Spring Valley Water d 04/03/1985, recorded 06/21/1985 in Reel 97 Page		e & Rockland Utilities, Ind Wassil	c. Unmarked, Maps Prov (845) 577-2339	vided	Legend of Symbo	ols & Abbreviations
-Affects, Plotted as Shown. 7 - Notes, Easements and set-ba -Affects, Contains no Plott	cks shown on Filed Map No. 5413.	Akaa Suez V	and County Sewer District Hassan Water New York	(845) 365-6161 Maps Provided	thin 15'	<ul> <li>Found Monument (As Not</li> <li>Elevation Benchmark</li> <li>Searched For - Not Found</li> </ul>	<ul><li>Fire Department Connection</li><li>Water Valve</li></ul>
B - Easement to Orange and Roc Company dated 05/11/1982,	- ckland Utilities, Inc. and New York Telephone recorded 05/18/1982 in Liber 1072 cp 197.	Town	xell Torres of Clarkstown - Sewer opher Wagner	(845) 620-3315 Clear, No Facilities wi (845) 517-7039	ithin 15'	<ul> <li>Sanitary Sewer Manhole</li> <li>Cleanout</li> <li>Storm Water Manhole</li> </ul>	<ul> <li>Light Pole</li> <li>Electric Box</li> <li>Electric Cabinet</li> </ul>
Park dated 11/30/1982, reco	from Bradley Industrial Park, Inc. to Bradley Industrial rded 11/30/1982 in Reel 3 Page 44.	Peter	of Orangetown Stallone	Marked Approximate (845) 359-6502 x 4209	)	<ul> <li>Grated Inlet/Drainage Inlet</li> <li>Gas Meter</li> <li>Gas Valve</li> <li>Cable Television Pedestal</li> </ul>	
-Affects, Plotted as Shown.	from Bradley Industrial Park, Inc. to Bradley Industrial rded 04/07/1983 in Reel 11 Page 2228.	Harry Villag	e of NYack - Water Depar Williams e of South NYACK	(845) 358-3734 Clear, No Facilities wi		Cable Television Vault Cable Television Vault Boundary Adja	•GPSingle Gate Post
-Affects, Plotted as Shown.	pert E. Leber to New York Telephone Company dated	2. Underg		(845) 358-0227 tion shown on survey is per ut		— – – — Easement — — — Matchline Tree Line	Asphalt Gravel
-Unable to Determine if Af D- Easement to Orange and Roo recorded 09/11/2008 in Inst -Appears to Affect, Unable	ffects, Description of Affected Property is too Vague. Excland Utilities, Inc. and NYNEX dated 08/08/2008, rument No. 2008-41227. To Plot without the Development Plan for Bradley	dated C observe undergr a. SUI	October 15, 2019, Ground d markings, and above gro ound water depictions her EZ - Water lines are noted	JEZ New York Operations per Penetrating Radar Systems (GI bund observed markings and st eon are approximate with unkn on maps provided as being 24	PRS) report and ructures. All nown depths.	- x - x       Fence Line         - Fence w/Lining         - SS       Sanitary Sewer         - SD       Storm Drain         - CIV       UG Cable TV L	Wetland
& PLS, as Referenced in th	dated May 7, 2007 Prepared by P.J. Corless, P.E. ne Above Easement Document. g to John B. Newman dated 08/31/1909, recorded	b. Ab above	ground observed water st	otential Water line shown was o ructures and other painted mar	rkings observed in	Per Observed Markings UGE UG Electric GAS UG Gas	Per Maps Provided UGE UGE Electric GAS UG Gas
09/11/1909 in Liber 239 cp 3 -Unable to Determine if Af	33. ffects, Description of Easement Area is too Vague. icks shown on Filed Map Nos. 4857, 7188 and 7190.	c. GP		n on any maps provided at the tter lines shown per GPRS gro supplies to the building.	,	(M) Measured/Calculated Dir (R) Record Dimension	UG Water
-Affects, approximate loca	tion plotted as shown. ater Company, Incorporated, dated 12/01/1963,	provide Inc per	d by Scott McGee, Operat email conversation dated 1	nation shown on survey is per ting Supervisor at Orange and in November 5, 2019 and Ground	Rockland Utilities, d Penetrating Radar	N/F Now or Formerly R/W Right-of-Way C/L Centerline	
recorded 12/23/1963 in Libe -Affects, approximate loca -Easements from Roberta Nac Rockland County Sewer Dist Liber 841 cp 1006.		electric 4. Underg Scott M convers	lines shown is approximat round Gas Line informatic cGee, Operating Supervis ation dated November 5, 2	ved markings as noted. Locatio e. on shown on survey is per utili or at Orange and Rockland Ut 2019 and Ground Penetrating j tings as noted. Gas lines are no	ty maps provided by ilities, Inc per email Radar Systems	BHL Building Height Location FFE Finished Floor Elevation UG Underground	
-Does not affect.	ckland Utilities, Inc. and New York Telephone recorded 05/18/1982 in Liber 1072 cp 197.	provide shown i	d as being 4" PLX unless o s approximate.	otherwise noted hereon. Locati	ion of gas lines		
Shop Broadway Corporation, First American Artificial Flow 09/30/1987 in Reel 256 Page -Appears to affect subject p are illegible, requesting pla of Property for Rock-Art A	by and among Blauvelt Realty Associates, The Custom Bradley Industrial Park, Northside Savings Bank and vers, Inc. dated as of 09/01/1987, recorded 2 649. property, unable to plot as most of the descriptions at entitled "Bradley Industrial Park, Subdivision ssociates Map no. 4773 In Book 90, Page 33 as sement agreement to place easements.		round Sanitary Sewer Line s per field observations an	and Storm Water Line inform d GPRS report.	ation shown on		
<ul> <li>Easement to Orange and Roc 12/03/1982 in Reel 3 Page 50</li> <li>-Affects, approximate local</li> </ul>							
executors of the Estate of Ro Patrick J. Magee and Bradley 09/16/1983 in Reel 27 Page -Unable to determine if aff	McVeigh III and Judith N. Slane, individually and as berta McVeigh, Deceased and John F. Magee and Industrial Park, Inc. dated 09/13/1983, recorded 2897. Fects, surveyor requests 1983 tax rolls referenced in proved subdivision plat of Lot 26-1 showing						
(21) - Easement from Bradley Indu	s affected by the easement above. strial Park, Inc. to Board of Sewer Commissioners, rict No. 1 dated 03/21/1986, recorded 05/13/1986 in					Sutevovor's	Certification
recorded 09/11/2008 in Inst -Appears to affect, Unable Industrial Park Section IV	ckland Utilities, Inc. and NYNEX dated 08/08/2008, rument No. 2008-41227. to plot without the Development Plan for Bradley dated May 7, 2007 prepared by P.J. Corless, P.E. e above easement document.					То:	plat and the survey on which it is
<ul> <li>Easement from Bradley Corp 09/24/2009, recorded 12/09</li> <li>Affects, plotted as shown.</li> </ul>	porate Park to United Water New York Inc. dated /2009 in Instrument No. 2009-44163.		Ele	vation Benchmarks		detail requirements for ALTA/N established and adopted by ALTA 2, 3, 4, 6A, 7A, 8, 9, 11A, 13, 16, field work was completed on 10/	A and NSPS, and includes items 1,
Easement to Orange and Roo recorded 02/17/2011 in Inst	ckland Utilities, Inc. and NYNEX dated 02/09/2011, rument No. 2011-5741.		Benchmark #1 Type 1" Pipe Northing 816832	/1	"Rebar	03/13/2020. DATE OF PLAT OR MAP: XX	
-Affects, approximate loca	tion plotted as snown.		Easting 641443 Elevation 93.58	0	1528.88		<b>IINARY</b>
			Zonir	ng Informatio	n		
		ITEM		Y IS CURRENTLY ZONED: boratory-Office District ED OBSERVED	Notes:		
		PERMITTED USI MIN. LOT AREA	2 Acres	3.347 Acres	Because there may be a need for interpretation of the applicable zoning codes, we refer you to the Town of Orangetown for zoning laws and applicable codes. Zoning ordinances, regulations and		
		MIN. LOT WIDT MAX. BLDG COV MIN. SETBACKS	VERAGE N/A	50' 10.7 % 298.5'	Testrictions are based upon uses as listed in Town of Orangetown ordinances. Surveyor is answering zoning based upon its use as a business or professional office or laboratory. This places the property in group X as referenced in the Table of Bulk Regulations	Jerome D. Brunner Land Surveyor No. 050928 State of New York	
		MIN. SETBACKS MIN. SETBACKS MIN. SETBACKS	SIDE 100'	70.7' 133.7'	(43 Attachment 15:1). Max Building Height: 3 Inches per foot of distance from lot line. With current placement of building, max	FIRM:	OCIATES, PA
		MAX BUILDING PARKING REGU		e 33' 83	height would be 17.5' ±. Parking Required: At Least 1 Space per 200 square feet of gross floor area. With current building area, 876 total spaces are	CIVIL ENGINEERS &	x LAND SURVEYORS
		PARKING HANI PARKING TOTA Blew & Associates ma drawing bergon. The u	L See Note	2 e 85 lations or ordinances represented on the an attorney or title insurer to verify the second se	required.	FAYETTEVILLE, OFFICE: 4	LOH DRIVE ARKANSAS 72703 79.443.4506
		zoning classification of associated with such ze Property was confirme dated 11/06/2019 with Property appears to be	the property as well as the appli- ning classification. d to exist within the Town limits Rick Oliver - Deputy Building I within planning zones R-40 and	cable restrictions and requirements of Orangetown per email conversatio nspector at OBZPAE. LO per email conversation dated		FAX: 479 www.BLE	0.582,1883 WINC.com
		11/06/2019 with Rick Specific zoning inform	Oliver - Deputy Building Inspect	tor at OBZPAE. preted by the surveyor per Orangetow	n	DRAWN BY & DATE: C.E.A 10/31/2019	REVIEWED BY: SURVEYED BY: J.B./P.R.S. M.V
		juristitedofi.				COUNTY & STATE: Rockland County, New York	JOB NUMBER: 19-5589
		DATE 03/11/2020	Und	REVISION ated to ALTA Provided - Bo	bundary Annotated		Blauvelt, NY 10913
Indary and Ea	sement Detail	03/20/2020 04/16/2020	Update to N	ew Information From Re-Vi ents per Email Received 04/	sit to Site & GPRS Report	CESC	D, Inc.





Parcel II

Sheet 4

1 Story - Brick Building

Height: 33' ±

Area: 76759 SF  $\pm$ 

(Per Footprint)

# SW #1 Rim Elevation: 106.01 Invert Elevation: 100.28

SW #2 Rim Elevation: 105.84 Invert Elevation: 99.10 SW #3

Rim Elevation: 101.80 NW Invert Elevation: 89.84 Bottom Elevation: 94.67

SW #4 Rim Elevation: 103.30 Invert Elevation: 94.34

SW #5 Rim Elevation: 96.30 Invert Elevation: 88.41

SW #6 Rim Elevation: 92.01 Invert Elevation: 87.02

SW #7 Rim Elevation: 92.60 Invert Elevation: 87.94

SW #8 Rim Elevation: 91.87 Invert Elevation: 86.62

SW #9 Rim Elevation: 92.15 Surveyor Unable to Access

SW #10 Rim Elevation: 91.93 E Invert Elevation: 88.97

W Invert Elevation: 86.57 SW #11 Rim Elevation: 102.76

E Invert Elevation: 96.58 W Invert Elevation: 90.22

Rim Elevation: 102.66 Invert Elevation: 96.60 SW #13 Rim Elevation: 105.58

SW #12

Invert Elevation: 96.91 SW #14 Rim Elevation: 102.72 Invert Elevation: 95.46

SW #15 Rim Elevation: 102.63 E Invert Elevation: 96.40 W Invert Elevation: 95.93

SW #16 Rim Elevation: 91.92 Invert Elevation: 86.18 SW #17

Rim Elevation: 91.86 E Invert Elevation: 86.75 W Invert Elevation: 86.13 SW #18 Rim Elevation: 94.61 E Invert Elevation: 90.04

W Invert Elevation: 87.03 SW #19 Rim Elevation: 100.53 E Invert Elevation: 91.66 W Invert Elevation: 91.12

SW #20 Rim Elevation: 100.58 E Invert Elevation: 94.97 W Invert Elevation: 91.84

SW #21 Rim Elevation: 101.73 Invert Elevation: 95.25

SW #22

Rim Elevation: 94.29 N Invert Elevation: 90.00 S & W Invert Elevation: 85.79

SW #23 Rim Elevation: 94.44 Invert Elevation: 90.30 SW #24

Rim Elevation: 97.59 Invert Elevation: 91.30 SW #25 Rim Elevation: 103.66

Invert Elevation: 98.35 SW #26 Rim Elevation: 104.50

Invert Elevation: 100.12 SW #27 Rim Elevation: 97.62

Invert Elevation: 91.96

SW #28 Rim Elevation: 103.63 Invert Elevation: 98.08

SW #29 Rim Elevation: 104.24 Invert Elevation: 99.88

SW #30

SW #32

SW #34

Rim Elevation: 94.71 8" Drop-In Invert Elevation: 90.30 24" RCP Invert Elevation: 87.71 SW #31

Rim Elevation: 93.22 8" Drop-In Invert Elevation: 88.97 24" RCP Invert Elevation: 86.47

Rim Elevation: 92.05 Invert Elevation: 81.93 SW #33

Rim Elevation: 90.88 Invert Elevation: 80.60

Rim Elevation: 87.33 Bottom Invert Elevation: 71.43 W 24" RCP Invert Elevation: 76.26 S 30" RCP Invert Elevation: 79.09

SW #35 Rim Elevation: 87.55 Invert Elevation: 82.71

SW #36 Rim Elevation: 78.88 Filled

SW #37

Rim Elevation: 87.26 E Invert Elevation: 81.95 W Invert Elevation: 81.56 SW #38 Rim Elevation: 90.92 8" PVC Drop-In Invert Elevation: 87.95 Invert Elevation: 81.57 SW #39 Rim Elevation: 93.66 8" PVC Drop-In Invert Elevation: 89.65 Invert Elevation: 81.59 SW #40 Rim Elevation: 93.75 8" PVC Drop-In Invert Elevation: 86.53 Invert Elevation: 85.54

SW #41 Rim Elevation: 85.00 Invert Elevation: 71.00 SW #42

Rim Elevation: 84.47 E 24" RCP Invert Elevation: 77.82 SW 24" RCP Invert Elevation: 70.92 Bottom Invert Elevation (36" & 48" RCP): 69.77

SW #43 Rim Elevation: 90.37 Invert Elevation: 78.59 SW #44

Rim Elevation: 81.17 24" RCP Drop In Invert Elevation: 74.93 Bottom Invert Elevation: 68.69 SW #45

Rim Elevation: 79.22 SE Invert Elevation: 69.74 Bottom Invert Elevation: 63.30 SW #46

Rim Elevation: 84.14 SE Invert Elevation: 77.83 SW Invert Elevation: 75.07

SW #47

Rim Elevation: 89.99 Invert Elevation: 85.24 SW #48 Rim Elevation: 84.22

W 24" RCP Invert Elevation: 75.92 N 48" RCP Invert Elevation: 70.07 S 48" RCP Invert Elevation: 70.37 SW #49

Wier Flow Control Structure Flow Line Elevation of 24" RCP: 77.11 Top of Wall Elevation: 83.78 Please See Wier Wall Detail

SW #50 Rim Elevation: 76.30 East (24" RCP) Invert Elevation: 69.81 Bottom Invert Elevation: 64.27

Invert Elevation: 69.69 SW #52

East (24" RCP) Invert Elevation: 68.18 Bottom Invert Elevation: 62.27

SS #1 Rim Elevation: 93.22 Invert Elevation: 86.60

SW 8" PVC Drop In Elevation: 89.37

N 8" PVC Invert Elevation : 71.03

NE 6" PVC Invert Elevation : 83.93

SE 8" PVC Invert Elevation: 71.78

SW 8" PVC Invert Elevation: 71.18

Rim Elevation: 94.47

Invert Elevation: 77.79

Rim Elevation: 90.43

Rim Elevation: 91.07

Invert Elevation: 69.84

Rim Elevation: 85.31

Invert Elevation: 68.69

Rim Elevation: 79.36

SS #2

SS #3

SS #4

SS #5

SS #6

Rim Elevation: 72.89

Invert Elevation: 66.89

SE Drop In Elevation: 90.94 NW Invert Elevation: 82.69

Invert Elevation: 90.90

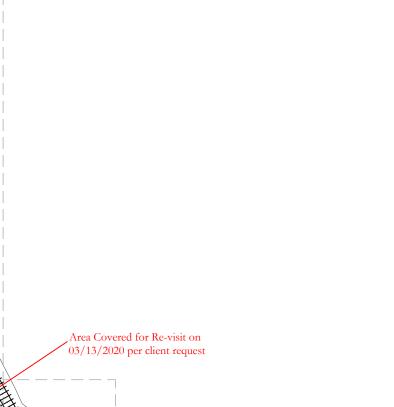
SS #11 Rim Elevation: 96.38

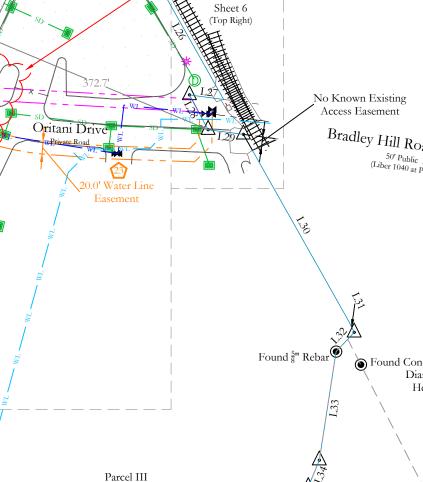
SS #12

Invert Elevation: 92.02 SS #13

		Line	Table	
LINE	BEARING	DISTANCE	L26(M)	S 29°
L1(M)	N 60°30'58" E	323.28'	L26(R)	S 29°
L1(R)	N 60°25'20" E	323.28'	L27(M)	N 82
L2(M)	S 26°44'02" E	338.46'	L27(R)	N 82
L2(R)	S 26°49'40" E	338.46'	L28(M)	S 28°
L3(M)	S 29°29'02'' E	725.50'	L28(R)	S 28°
L3(R)	S 29°34'40" E	725.50'	L29(M)	S 82°
L4(M)	N 48°22'32" W	479.85'	L29(R)	S 82°
L4(R)	N 48°28'10" W	479.85'	L30(M)	S 29°
L5(M)	S 48°22'32" E	76.73'	L30(R)	S 29°
L5(R)	S 48°28'50" E	72.71'	L31(M)	S 25°
L6(M)	S 29°24'33" E	11.73'	L31(R)	S 25°
L6(R)	S 29°28'18" E	11.73'	L32(M)	S 43°
L7(M)	S 35°21'22" E	193.04'	L32(R)	S 42°
L7(R)	S 35°25'07" E	193.04'	L33(M)	S 08°
L8(M)	S 29°24'29" E	533.90'	L33(R)	S 08°
L8(R)	S 29°28'14" E	533.90'	L34(M)	S 22°
L9(M)	N 81°14'30" W	137.15'	L34(R)	S 22°
L9(R)	N 81°18'15" W	137.15'	L35(M)	S 44°
L10(M)	S 84°45'30" W	396.26'	L35(R)	S 44°
L10(R)	S 84°41'45" W	396.26'	L36(M)	S 36°
L11(M)	N 02°14'52" W	117.54'	L36(R)	S 36°
L11(R)	N 02°18'37" W	117.50'	L37(M)	S 20°
L12(M)	N 21°34'05" W	66.61'	L37(R)	S 20°
L12(R)	N 21°45'54" W	66.59'	L38(M)	N 86
L12(N)	N 58°12'18" W	141.13'	L38(R)	N 86
L13(R)	N 58°13'49" W	141.25'	L39(M)	N 70
L14(M)	N 07°05'45" W	230.25'	L39(R)	N 70
L14(R)	N 07°06'54" W	230.78'	L37(R)	N 73
L15(M)	N 21°26'29" W	380.40'	L40(R)	N 73
L15(R)	N 21°30'14" W	380.40'	L40(R)	N 85
L16(M)	S 81°26'57" W	24.57'	L41(R)	N 85
L16(R)	S 81°15'06" W	24.03'	L41(K) L42(M)	N 63
L17(M)	N 06°01'40" W	177.50'	L42(M)	N 63
L17(R)	N 06°14'55" W	177.47'		N 52
	N 07°44'34" W	27.33'	L43(M)	N 52
L18(M)	N 06°33'27" W		L43(R)	S 08°
L18(R)		27.22'	L44(M)	
L19(M)	N 08°33'49" E N 02°46'20" E	5.54'	L44(R)	S 08°
L19(R)		5.00'	L45(M)	N 78
L20(M)	N 08°16'59" E	62.05'	L45(R)	N 78
L20(R)	N 08°42'20" E	62.20'	L46a(M)	N 03
L21(M)	N 15°35'48" E	53.94'	L46b(M)	N 03
L21(R)	N 15°02'21" E	54.00'	L46(R)	N 03
L22(M)	N 84°45'30" E	396.26'	L47(M)	N 15
L22(R)	N 84°41'45" E	396.26'	L47(R)	N 11
L23(M)	S 81°14'30" E	137.15'	L48(M)	S 80°
L23(R)	S 81°18'15" E	137.15'	L48(R)	S 80°
L24(M)	S 29°23'54" E	89.81'	L49(M)	N 03
L24(R)	S 29°27'39" E	89.81'	L50(M)	N 05
L25(M)	S 81°21'19" E	33.69'	L50(R)	N 04
L25(R)	S 81°25'04" E	33.69'	L51(M)	S 86°
			L51(R)	S 86°

			Curve Table
CURVE	RADIUS	ARC LENGTH	CHORD BEARING
C1(M)	2835.00'	629.45'	N 43°27'24" W
C1(R)	2835.00'	629.43'	N/A
C2(M)	2835.00'	629.45'	S 43°27'24" E
C2(R)	2835.00'	633.65'	S 43°31'09" E





APN: 70.06-1-1.12  $1067802 \text{ SF} \pm$ 24.513 Acres ± 70 L38

N/F: AG OE 64 Leber Rd Owner Mailing: 64 Leber Rd. Blauvelt, NY 10913 (Instrument No. 2019-13116)

APN: 70.06-1-50.4

L40

24

Easement

Bradley Hill Road Extension

Found Concrete Monument Diameter: 4" Height: 4'

50' Public R/W (Liber 1040 at Page 36A)

Invert Elevation: 66.06

SW #51 Rim Elevation: 77.43

Sanitary Sewer Structures SS #7

> Invert Elevation: 65.37 SS #8 Rim Elevation: 71.16

SS #9 Rim Elevation: 97.09

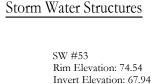
SS #10 Rim Elevation: 95.20

Invert Elevation: 91.23

Rim Elevation: 96.22

Rim Elevation: 89.54 Invert Elevation: 72.87

SW #64 Rim Elevation: 71.05 E 24" RCP Invert Elevation: 61.05 SE 24" RCP Invert Elevation: 61.05 SW 18" RCP Invert Elevation: 66.93 W 36" RCP Invert Elevation: 61.05 SW #65 Rim Elevation: 73.57 N 36" RCP Invert Elevation: 61.56 S 36" RCP Invert Elevation: 64.99 SW #66 Rim Elevation: 73.59



Invert Information

SW #54 Rim Elevation: 73.22

E 24" RCP Invert Elevation: 67.28 Bottom Invert Elevation: 62.67 SW #55

Rim Elevation: 73.46 Invert Elevation: 67.18 SW #56 Rim Elevation: 70.00

Invert Elevation: 62.02 SW #57 Rim Elevation: 70.09 Invert Elevation: 61.44

> SW #58 Rim Elevation: 69.91 Invert Elevation: 59.71

SW #59 Rim Elevation: 74.23 West (24" RCP) Invert Elevation: 69.07

Bottom Invert Elevation: 68.97 SW #60 Rim Elevation: 73.43 Invert Elevation: 68.13

SW #61 Rim Elevation: 74.83 Invert Elevation: 69.75

SW #62 Rim Elevation: 75.90 Surveyor Unable to Access

Rim Elevation: 76.98 Invert Elevation:

SW #63

Rim Elevation: 73.48

Invert Elevation: 65.05 SW #67 Rim Elevation: 70.75 Invert Elevation: 67.18 SW #68 Rim Elevation: 68.91 Invert Elevation: 61.94 SW #69 Rim Elevation: 74.57 Invert Elevation: 61.48 SW #70 Rim Elevation: 75.78 Invert Elevation: 62.04 SW #71 Rim Elevation: 75.60 Invert Elevation: 62.48 SW #72 Rim Elevation: 75.36 Invert Elevation: 61.92 SW #73 Rim Elevation: 77.39 Invert Elevation: 62.56 SW #74 Rim Elevation: 79.46 Invert Elevation: 62.66 SW #75 Rim Elevation: 82.73 Invert Elevation: 63.41 SW #76 Rim Elevation: 83.82 N 36" RCP Invert Elevation: 66.04 S 36" RCP Invert Elevation: 71.08 SW #77 Rim Elevation: 83.31 Invert Elevation: 78.71 SW #78 Rim Elevation: 88.09 Invert Elevation: 78.56 SW #79 Rim Elevation: 90.25 Invert Elevation: 84.26 SW #80 Rim Elevation: 94.46 Invert Elevation: 84.92

SS #14 Rim Elevation: 83.12 Invert Elevation: 67.52 SS #15 Rim Elevation: 104.29

N Invert Elevation: 96.49 S Invert Elevation: 96.79 E Invert Elevation: 96.99

24'33" E 279.69' °28'18" E 279.69' 2°28'17" W 53.98' 
 82°32'02" W
 53.98'

 82°10'04" E
 61.57'

 18°13'49" E
 61.57'

 22°28'17" E
 55.65'
 °32'02'' E 55.65' )°24'33" E 336.28' 28'18" E 336.28' 55'58" E 18.26' 
 25°55'58" E
 18.26'

 25°59'43" E
 18.26'

 43°13'56" W
 41.30'
 2°50'03" W 42.27' 3°47'02" W 171.73' 
 11113

 188°36'21" W

 170.79'

 12°24'53" W

 45.13'

 12°21'08" W
 °50'42" W 103.92' 4°46'57" W 103.92' 
 Ar 40 57
 W
 105.92

 36°31'50" W
 95.59'

 36°28'05" W
 95.59'

 30°39'59" W
 84.46'

 30°36'14" W
 84.46'

 86°14'14" W
 159.83'

 36°21'50" W
 459.83'
 6°17'59" W 159.83' )°42'03" W 171.74' 
 70° 42'03" W
 171.74'

 70° 42'03" W
 171.74'

 73° 43'56" W
 148.46'

 73° 47'41" W
 148.46'
 5°21'19" W 80.40' 5°25'04" W 80.40' 
 63°20'4' W
 60.40'

 63°16'41'' W
 176.05'

 63°20'26'' W
 176.05'

 52°51'02'' W
 249.17'
 53°04'42" W 249.90' )8°39'34" W 361.99' 
 361.57
 361.77

 98°26'27" W
 361.71'

 78°14'50" W
 21.10'

 78°18'35" W
 21.10'

 03°57'05" E
 376.13'

 03°35'17" E
 451.20'
 3°40'57" E 827.30' 5°06'21" W 43.26' 
 11°54'06" W
 42.90'

 30°23'25" W
 19.07'

 30°35'52" W
 23.35'
 3°50'38" E 115.11' 
 05 30 38
 E
 115.11

 05°42'07" E
 188.63'

 04°16'16" E
 306.24'

 86°48'56" E
 208.01'

 86°18'33" E
 213.36'

CHORD LENGTH DELTA ANGL 628.16' 12°43'16" N/A N/A 12°43'16" 628.16' 632.34' 12°48'22"

SW #81 Rim Elevation: 91.96 W 12" PVC Invert Elevation: 85.62 Bottom Invert Elevation: 85.18 SW #82 Rim Elevation: 92.14

W 12" PVC Invert Elevation: 85.69

S 24" RCP Invert Elevation: 85.37 NE & SE Invert Elevation: 85.22 SW #83 Rim Elevation: 90.29 Invert Elevation: 86.26

SW #84 Rim Elevation: 92.15 West (12" PVC) Invert Elevation: 85.82 Bottom Invert Elevation: 85.33

SW #85 Rim Elevation: 90.41 Invert Elevation: 84.91

SW #86 Rim Elevation: 80.70 Invert Elevation: 74.96

SW #87 Rim Elevation: 80.79 Invert Elevation: 75.43

SW #88 Rim Elevation: 90.10 Invert Elevation: 82.95

Rim Elevation: 89.65 Invert Elevation: 83.84

SW #89

SW #90

SW #91

Rim Elevation: 89.91 Invert Elevation: 85.78

Rim Elevation: 73.73 Invert Elevation: 69.53

SW #92 Rim Elevation: 73.03 Bottom Invert Elevation: 69.06

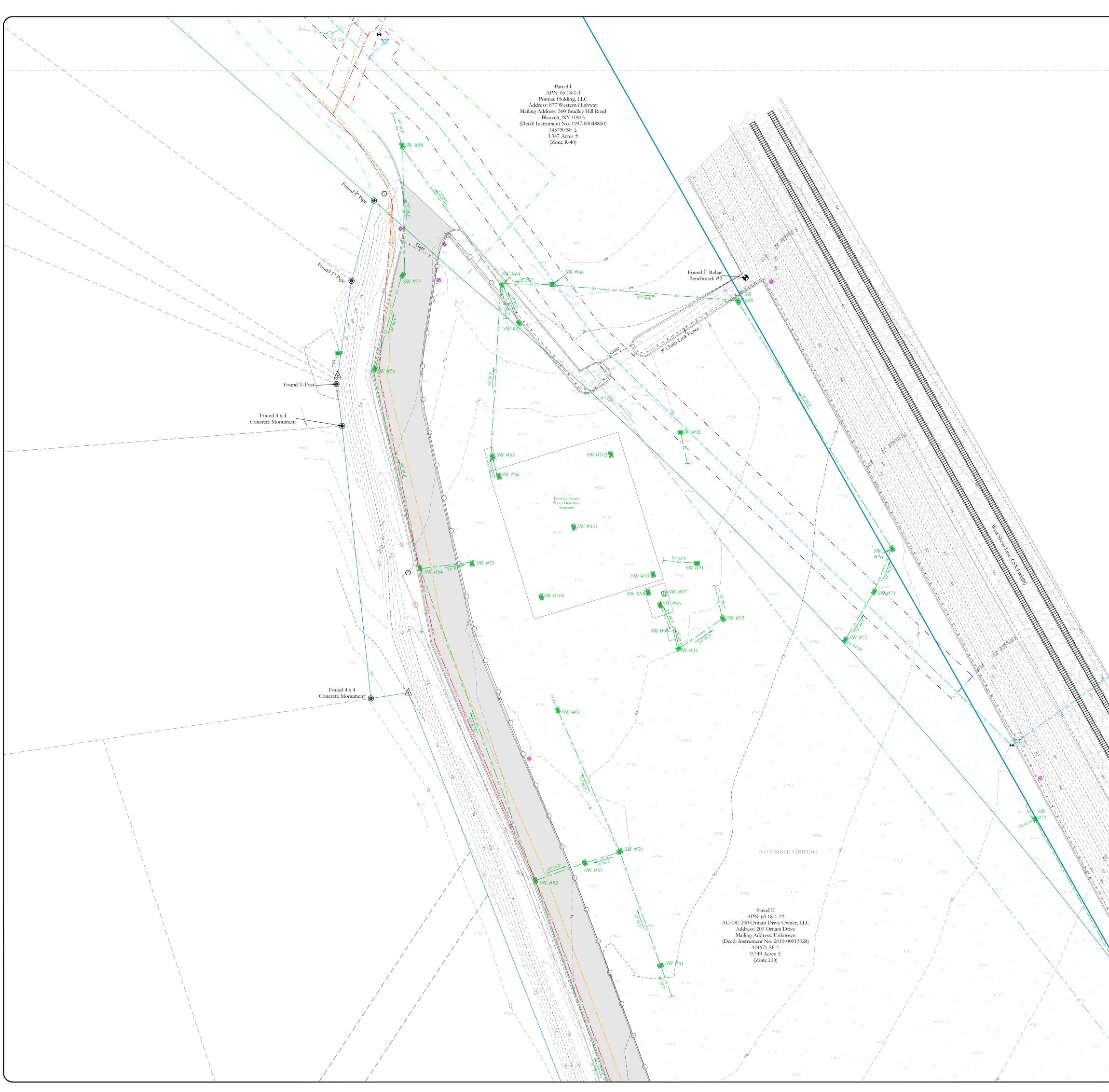
SW #93 Rim Elevation: 74.07

Invert Elevation: 68.56 SW #94 Rim Elevation: 73.98

NE 24" RCP Invert Elevation: 68.61

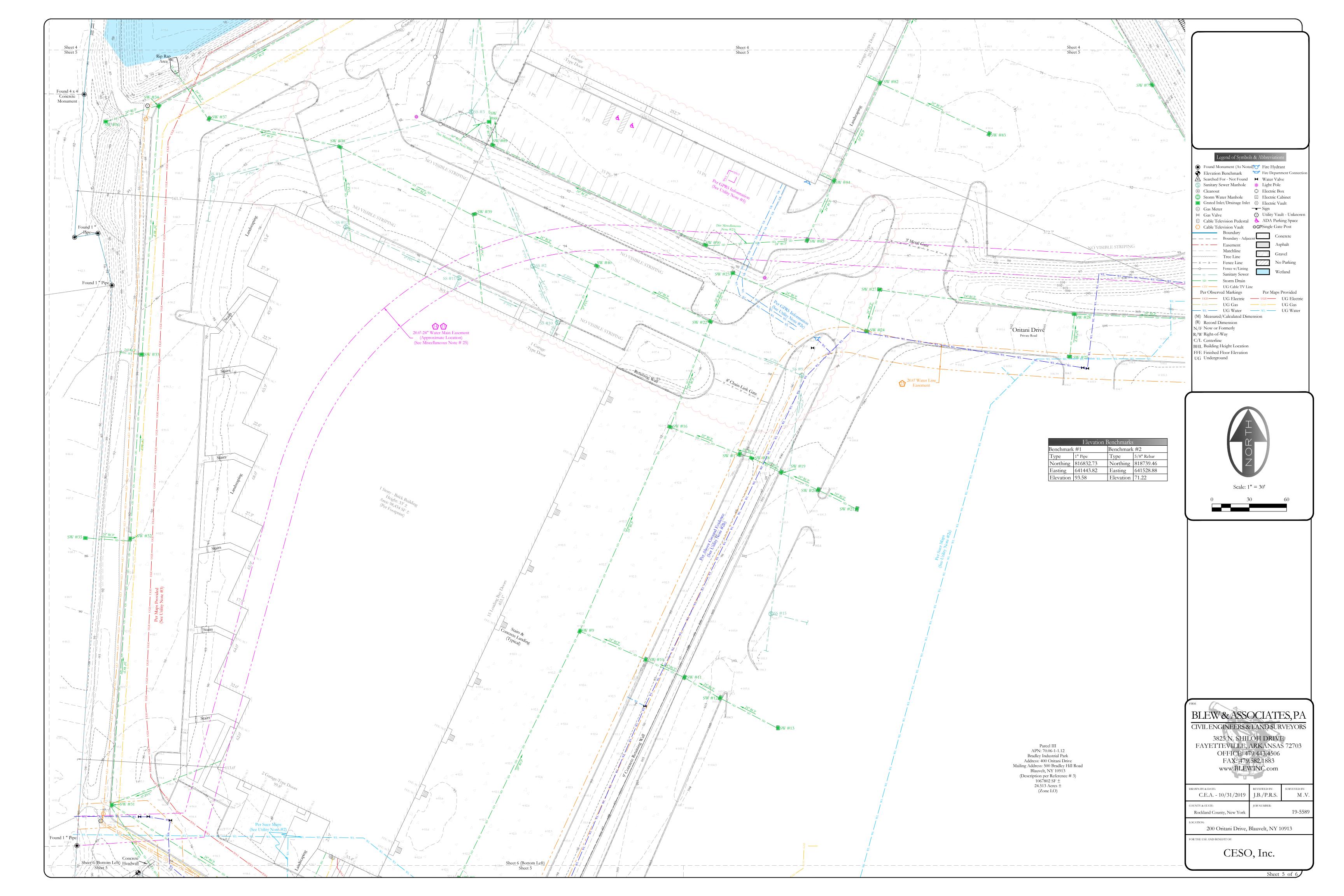
NW 36" RCP Invert Elevation: 68. SW #95 Rim Elevation: 73.60 36" RCP Invert Elevation: 69.52 24" RCP Invert Elevation: 68.21 SW #96 Rim Elevation: 73.43 Invert Elevation: 65.90 SW #97 Rim Elevation: 73.52 Invert Elevation: 65.49 SW #98 Rim Elevation: 73.50 Invert Elevation: 65.52 SW #99 Rim Elevation: 73.48 Invert Elevation: 64.90 SW #100 Rim Elevation: 73.53 Invert Elevation: 64.75 SW #101 Rim Elevation: 73.48 Invert Elevation: 64.74 SW #102 Rim Elevation: 73.33 Invert Elevation: 64.67 SW #103 Rim Elevation: 82.69 Invert Elevation: 77.14

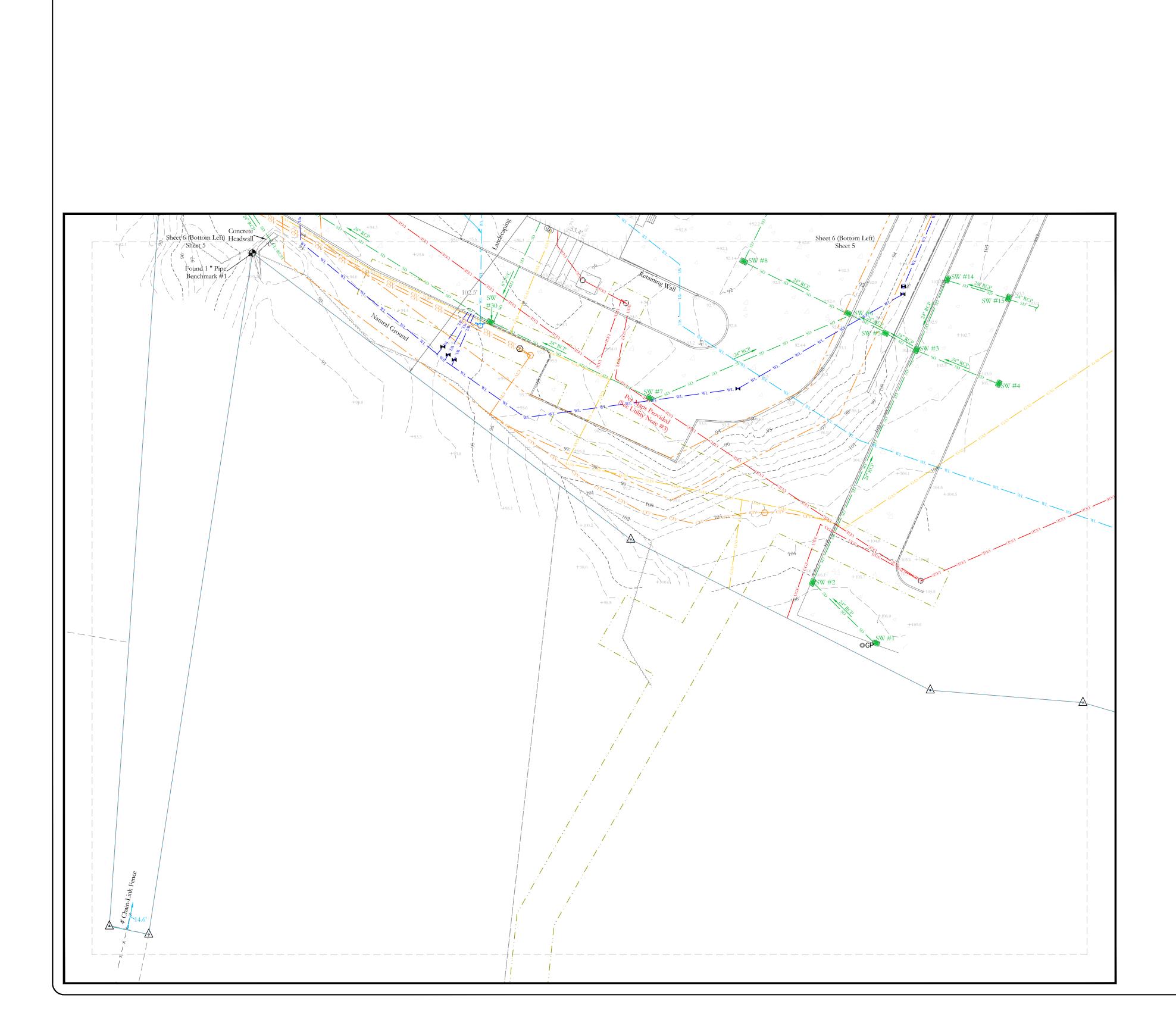
3.30	
Legend of Symbols & AbbreviationsImage: Found Monument (As Noted)Fire HydrantImage: Found Monument (As Noted)Fire Department ConnectionImage: Searched For - Not FoundImage: Water ValveImage: Sanitary Sewer ManholeImage: Light PoleImage: CleanoutImage: Electric BoxImage: Storm Water ManholeImage: Electric CabinetImage: Grated Inlet/Drainage InletImage: Electric CabinetImage: Gas MeterImage: SignImage: Gas ValveImage: Utility Vault - UnknownImage: Gas ValveImage: Gas ValveImage: Boundary - AdjacentImage: Gas AphaltImage: Boundary - Adjacent	1
CFC       CFC         CFC       CFC         Scale: 1" = 150'         0       150       300       45	0
BLEW & ASSOCIATES, PA CIVIL ENGINEERS & LAND SURVEYORS 3825 N. SHILOH DRIVE FAYETTEVILLE, ARKANSAS 72703 OFFICE: 479.443.4506 FAX: 479.582.1883 www.BLEWINC.com	
DRAWN BY & DATE: C.E.A 10/31/2019 COUNTY & STATE: Rockland County, New York JDB NUMBER: 19-558	
LOCATION: 200 Oritani Drive, Blauvelt, NY 10913	
FOR THE USE AND BENEFIT OF: CESO, Inc.	

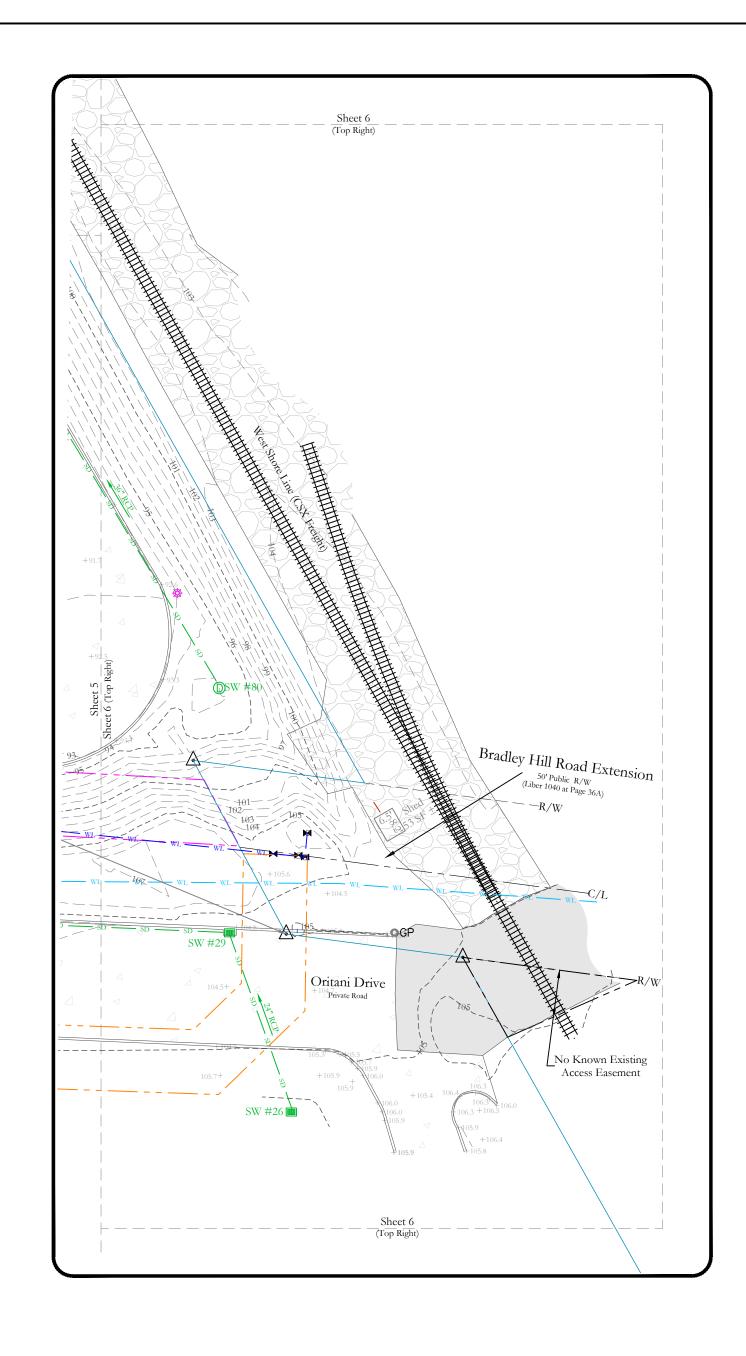


	Elevation Benchmark #1 Type 1" Pipe Northing 816832.73 Easting 641443.82	n Benchmarks Benchmark #2 Type 5/8" Rebar Northing 818739.46 Easting 641528.88			
	Elevation 93.58	Elevation 71.22		Legend of Symbo	
				<ul> <li>Elevation Benchmark</li> <li>Searched For - Not Found</li> <li>Sanitary Sewer Manhole</li> <li>Cleanout</li> <li>Storm Water Manhole</li> <li>Grated Inlet/Drainage Inlet</li> <li>Gas Meter</li> <li>Gas Valve</li> <li>Cable Television Pedestal</li> <li>Cable Television Vault</li> <li>Boundary</li> <li>Boundary - Adjace</li> </ul>	<ul> <li>Fire Department Connection</li> <li>Water Valve</li> <li>Light Pole</li> <li>Electric Box</li> <li>Electric Cabinet</li> <li>Electric Vault</li> <li>Sign</li> <li>Utility Vault - Unknown</li> <li>ADA Parking Space</li> <li>GPSingle Gate Post</li> </ul>
				Easement     Matchline     Matchline     Tree Line     × - ×	Asphalt  Asphalt  Asphalt  Asphalt  Gravel  No Parking  Wetland  Per Maps Provided  UGE UGE UG Electric  GAS UG Gas UG Gas UG WL UG Water
				Scale: 1	
			FI	RM:	
					ARKANSAS 72703 79.443.4506 .582.1883
+78.5				AWN BY & DATE: C.E.A 10/31/2019	REVIEWED BY: J.B./P.R.S. SURVEYED BY: JOB NUMBER:
			_	Rockland County, New York CATION: 200 Oritani Drive, 1	19-558 Blauvelt, NY 10913
			FO	or the use and benefit of:	), Inc.
					Sheet 3 of 6









	Elevation Benchmarks				
Benchmark	#1	Benchmark #2			
Туре	1" Pipe	Туре	5/8" Rebar		
Northing	816832.73	Northing	818739.46		
Easting	641443.82	Easting	641528.88		
Elevation	93.58	Elevation	71.22		

Legend of Symbol         ●       Found Monument (As Not         ●       Elevation Benchmark         ▲       Searched For - Not Found         ⑤       Sanitary Sewer Manhole         ●       Cleanout         ①       Storm Water Manhole         ■       Grated Inlet/Drainage Inlet         ⑥       Gas Meter         ▷       Gas Valve         ⑦       Cable Television Pedestal         ⑦       Cable Television Vault         Boundary       Boundary         □       Boundary         □       Boundary - Adja         □       Easement         □       Matchline         □       Tree Line         ×       ×         ×       Fence WLining         Ss       Sanitary Sewer         SD       Storm Drain         CIV       UG Cable TV Ling         Ss       Sanitary Sewer         SD       Storm Drain         CIV       UG Cable TV Ling         SS       Sanitary Sewer         SD       Storm Drain         CIV       UG Cable TV Ling         Per Observed Markings       UGE         UGE	ed) Fire Hydra Fire Departu Water Valv Light Pole Electric Ba Electric Ca Electric Va Sign Utility Vau ADA Park OGPSingle Gatu Con Asp Con Asp Con Market Gran We ne Per Maps Cas WI mension	nt nent Connection ze x hbinet nult lt - Unknown ing Space e Post ncrete chalt ivel Parking tland
		60
BLEW & ASS CIVIL ENGINEERS 8 3825 N. SHIII FAYETTEVILLE, OFFICE: 4 FAX: 479 www.BLEV	LAND SUR COH DRIVI ARKANSA 79.443.4506 .582.1883	VEYORS
drawn by & date: C.E.A 10/31/2019	REVIEWED BY: J.B./P.R.S.	SURVEYED BY: M.V.
COUNTY & STATE: Rockland County, New York	JOB NUMBER:	19-5589
LOCATION: 200 Oritani Drive, FOR THE USE AND BENEFIT OF:	Blauvelt, NY 1	0913
	), Inc.	
	01	6 of 6