

Historical Areas Board of Review(HABR)

Town of Orangetown Building Department
20 Greenbush Road, Orangeburg, New York 10962

PROPERTY ADDRESS: 37 Highland Ave. Palisades Section/Block/Lot: 78.18-2-13.2

1. Provide a narrative summary explaining the project and including any facts pertaining to this project which applicant feels would be of interest to the Board;
2. Architectural Plans;
3. It is preferable to the HABR if the Architect would appear at the meeting with the Applicant.
4. Please bring SAMPLES of building materials to the meeting.
5. Materials checklist: (please provide the brand name, type, style, model and color numbers):

	COLOR	MATERIAL	MANUFACTURER
Roof:	Charcoal	Architectural Shingles	GAF
Siding:	NE Stovepipe	Cedar vertical	N/A
Decorative Siding:			
Soffits & Fascia:	NE Stovepipe	Composite PVC	Azek or equal
Gutters & Leaders:	Black	1/2 round aluminum	N/A
Windows:	Black	Aluminum/Wood	Marvin narrow mull
Trim:	NE Stovepipe	Composite PVC	Azek or equal
Shutters:	N/A		
Front Door:	NE Stovepipe	Wood	Custom
Back Door:	Black	Aluminum/Wood	Marvin
Garage Door(s):	NE Stovepipe	Composite PVC	Fimbal Architectural Doors
Other Door(s):	N/A		
Lighting:	Black	Metal / Glass	Hinkley
Lighting:	Black	Metal/Glass	Visual Comfort
Stone or Rock being used on Structure:	Light sand	Reclaimed Limestone	N/A
Stone or Rock being used on walkway(s):	Grey/Blue	Bluestone	N/A
Other:	Black	Standing seam metal roof	

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: _____

LAND USE BOARD APPLICATION

<i>Please check all that apply:</i>	
<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential
<input type="checkbox"/> Planning Board	<input checked="" type="checkbox"/> Historical Board
<input type="checkbox"/> Zoning Board of Appeals	<input checked="" type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Consultation
<input type="checkbox"/> Number of Lots	<input type="checkbox"/> Pre-Preliminary/Sketch
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Interpretation
<input type="checkbox"/> Variance	
<input type="checkbox"/> Performance Standards Review	
<input type="checkbox"/> Use Variance	
<input type="checkbox"/> Other (specify): _____	

PERMIT#: BLDR-4633-24

ASSIGNED

INSPECTOR: DDM

Referred from Planning Board: YES / NO
If yes provide date of Planning Board meeting: _____

Project Name: Keywork Residence

Street Address: 37 Highland Ave, Palisades NY 10964

Tax Map Designation:
Section: 78.18 Block: 2 Lot(s): 13.2
Section: _____ Block: _____ Lot(s): _____

Directional Location:
On the East side of Highland Ave, approximately
200 feet South of the intersection of Washington Spring Rd, in the
Town of ORANGETOWN in the hamlet/village of Palisades.

Acreage of Parcel <u>2.25</u>	Zoning District <u>R-80</u>
School District <u>SOCSD</u>	Postal District <u>Palisades</u>
Ambulance District <u>South Orangetown</u>	Fire District <u>Sparkill Palisades</u>
Water District <u>Town of Orangetown</u>	Sewer District <u>Town of Orangetown</u>

Project Description: (If additional space required, please attach a narrative summary.)
New residence on vacant lot

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: _____ Applicant's Signature: _____

APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage N/A
- 2) Total square footage 5,937
- 3) Number of dwelling units 1 proposed

If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area _____

Are there **streams** on the site? If yes, please provide the names. _____

Are there **wetlands** on the site? If yes, please provide the names and type: _____

Yes as delineated by Peter Torgerson Dec 2023

Project History:

Has this project ever been reviewed before? No

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN
20 Greenbush Road
Orangeburg, N.Y. 10962

Jane Slavin, R.A.
Director

(845)359-8410

Fax: (845) 359-8526

REFERRAL TO THE HISTORICAL AREAS BOARD OF REVIEW

Date: Feb 1, 2024 Section: 78.18 Block: 2 Lot: 13.2

Applicant: Keyword

Address: 37 Highland Ave, Palisades

RE: Application Made at: same

Referred For: Chapter 12, Section 12-4(E) Requires HABR approval

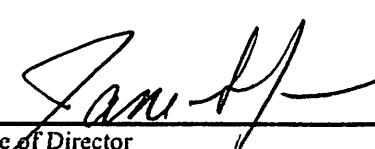
Comments: New Single Family Residence

Dear Keyword:

Please be advised that the Building Permit Application # p24-4633, which you submitted on Jan 30, 2024, has been referred to the Historical Areas Board of Review. The Clerk to the Historical Areas Board of Review, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or darbolino@orangetown.com

Sincerely,


Richard Oliver
Deputy Building Inspector


Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023 JSA

2/5/24
Date
Liz DeCort
Debbie Arbolino

KEYWORK RESIDENCE PROJECT NARRATIVE

My wife and I are submitting this application to construct a new home in Palisades, New York, which is the town I was born and raised in. Our intention is to move our family back to this beloved town and provide them with the same wonderful environment that shaped my own childhood.

Our hope is this home will blend modern comfort with timeless elegance, to reflect the architectural charm Palisades is known for while minimizing our environmental impact.

SWIS	PRINT KEY	NAME	ADDRESS
392489	78.18-1-28	David A Englander	108 Washington Spring Rd, Palisades, NY 10964
392489	78.18-1-29	Marjorie Galen	112 Washington Spring Rd, Palisades, NY 10964
392489	78.18-1-30	John T Hoffmeister	118 Washington Spring Rd, Palisades, NY 10964
392489	78.18-1-31	Roland Wyn Jones	124 Washington Spring Rd, Palisades, NY 10964
392489	78.18-1-32	Andrew Pak	126 Washington Spring Rd, Palisades, NY 10964
392489	78.18-1-33	Avi J Barak	136 Washington Spring Rd, Palisades, NY 10964
392489	78.18-1-47	New Old Stone House LLC	10 Lexington Ave, Greenwich, CT 06830
392489	78.18-1-48	New Old Stone House LLC	10 Lexington Ave, Greenwich, CT 06830
392489	78.18-1-49	Diane Tank	
392489	78.18-2-5	David Seeger	160 Washington Spring Rd, Palisades, NY 10964
392489	78.18-2-6	Cathleen A Bacich	400 W 12th St Unit 10B, New York, NY 10014
		Daniel Griffin	143-145 Washington Spring Rd, Palisades, NY 10964
392489	78.18-2-7.1	David Palachek	141 Washington Spring Rd, Palisades, NY 10964
392489	78.18-2-7.2	William M Hodash	60 Highland Ave, Palisades, NY 10964
392489	78.18-2-8	Diane Salerno	127 Washington Spring Rd, Palisades, NY 10964
392489	78.18-2-9	Palisades Presbyterian Church	P.O. Box 687, Palisades, NY 10964
392489	78.18-2-10	111 Washington Spring LLC	111 Washington Spring Rd, Palisades, NY 10964
392489	78.18-2-11	Roopa Awal	400 E 85th St Apt 17G, New York, NY 10028
392489	78.18-2-12	Dexter Sun	68 Dean Dr, Tenafly, NJ 07670
392489	78.18-2-14	Christopher Winfree	54 Highland Ave, Palisades, NY 10964
392489	78.18-2-15	Andrew Kim	46 Highland Ave, Palisades, NY 10964
392489	78.18-2-16	Aidan Quinn	P.O. Box 678, Palisades, NY 10964
392489	78.18-2-17	Christopher Keywork	159 Rte 9W, Palisades, NY 10964
392489	78.18-2-18	Judy Castagna	1671 Choptank Rd, Middletown, DE 19709
392489	78.18-2-19	Donagh Bracken	P.O. Box 598, Palisades, NY 10964
392489	78.18-2-21.2	Kieuoanh Nguyen	5 Prior Ct, Palisades, NY 10964
392489	80.06-1-15	Marlene Barba	P.O. Box 662, Palisades, NY 10964
392489	80.06-1-16	Elias Josephs	120 Ludlow Ln, Palisades, NY 10968
392489	80.06-1-27	Melvin Rosenwasser	38 Ludlow Ln, Palisades, NY 10964
392489	80.06-1-28	Sean Scully	183 Oak Tree Rd, Tappan, NY 10983
392489	78.18-2-13.1	Mikyong Hyun	P.O. Box 689, Palisades, NY 10964
392489	78.18-2-13.2	Robert Keywork	201 E 86th St Ph PH-A, New York, NY 10028



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1/26/24

KEYWORK RESIDENCE

LOT #2
37 HIGHLAND AVENUE
PALISADES, NEW YORK 10964

PROJECT NO. 22-084
DATE: JAN. 29, 2024

REVISIONS:

SHEET TITLE:
EXTERIOR ELEVATIONS

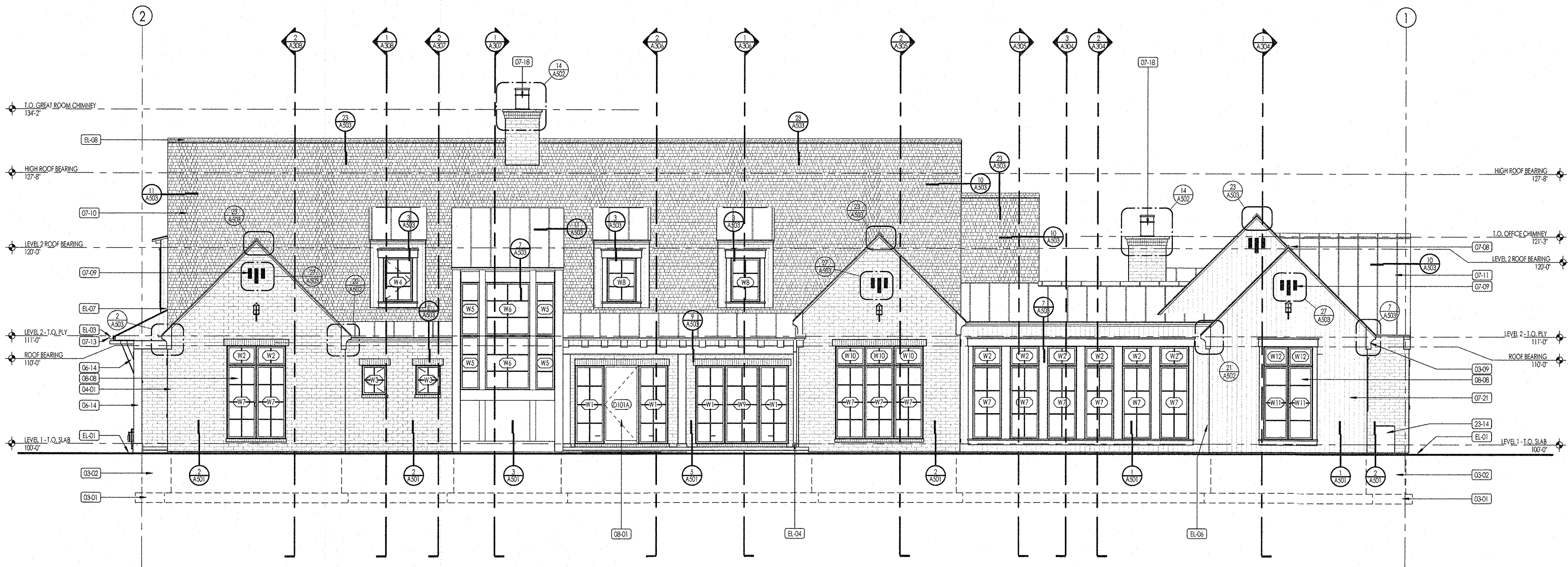
SHEET NUMBER:

A201

CONSTRUCTION DOCUMENTS - JANUARY 29, 2024

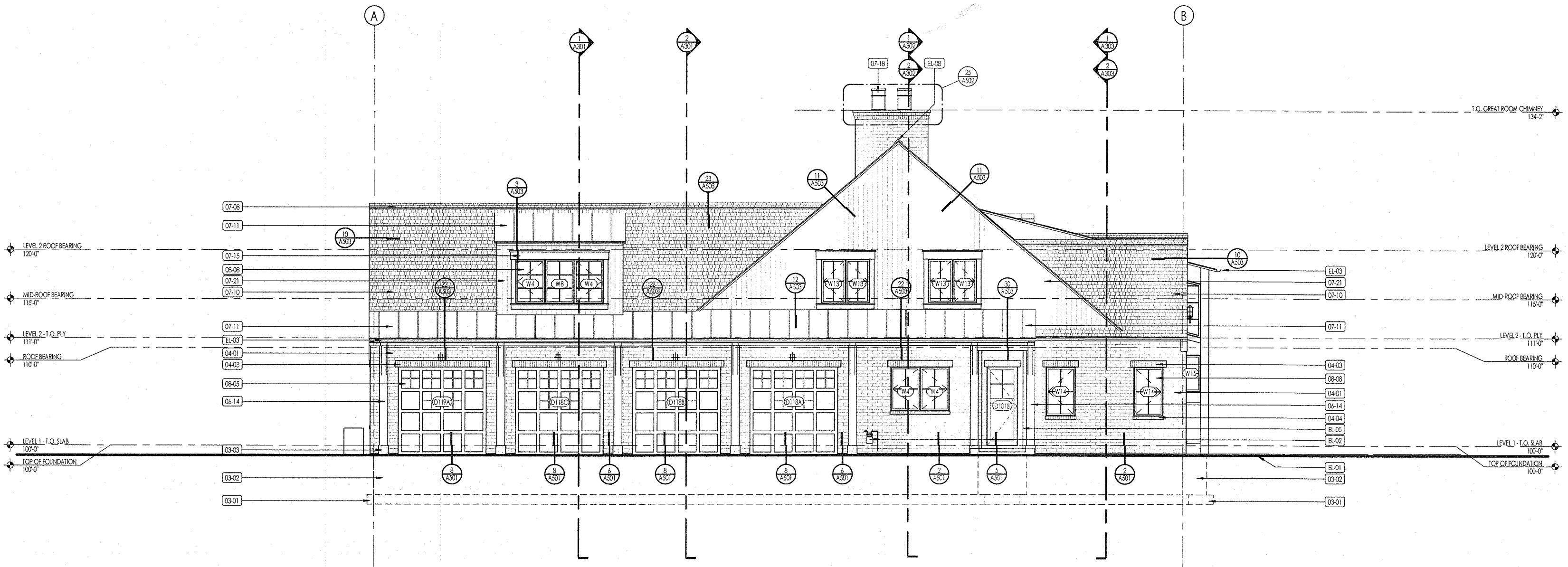
ELEVATION/ SECTION MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
	ASPHALT SHINGLE ROOF SYSTEM
	FLAT SEAM METAL ROOFING SYSTEM
	FIBER CEMENT CHANNEL LAP SIDING SYSTEM
	EXTERIOR BRICK VENEER

ELEVATION/ SECTION KEYNOTES	
KEYNOTES	
03-01	CAST IN PLACE FOOTINGS TO BEAR ON UNDISTURBED SOIL OR ENG.
03-02	CAST IN PLACE FOUNDATION WALLS TO BE 8" THICK AS PER PLANS W/ WATER PROOFING AS NOTED. SEE STRUCTURAL.
03-03	CAST IN PLACE CONCRETE COLUMN/PIER - SEE STRUCTURAL DRAWINGS.
03-09	PRE-CAST ARCHITECTURAL CONCRETE CORBEL. SEE DETAILS.
04-01	EXTERIOR 3 5/8" BRICK VENEER AS SELECTED - RUNNING BOND PATTERN.
04-03	EXTERIOR 3 5/8" BRICK VENEER AS SELECTED - SOLDIER COURSE.
04-04	EXTERIOR 3 5/8" BRICK VENEER AS SELECTED - CUT SILL.
06-14	HEAVY TIMBER FRAMING, DOUG FIR #1 S4S KILN DRIED, STAIN FINISH AS SELECTED.
07-08	COR-A-VENT ROOF VENTILATION SYSTEM AS PER DETAILS AND BUILDING CODE. SEE DETAILS.
07-09	CUSTOM GABLE ROOF VENTILATION SYSTEM AS PER DETAILS AND BUILDING CODE. SEE DETAILS.
07-10	ARCHITECTURAL GRADE 40 YR. ASPHALT SHINGLES AS SELECTED BY OWNER. INSTALL AS PER DETAILS & MFR.
07-11	FLAT SEAM METAL ROOFING AS SELECTED BY OWNER. INSTALL AS PER DETAILS & MFR.
07-13	6" DIA. HALF ROUND RAIN GUTTER SYSTEM W/ 6" DIA. ROUND COPPER DOWNSPOUTS AS SELECTED BY ARCHITECT. INSTALL AS PER DETAILS & MFR'S REQUIREMENTS.
07-15	POLY-ASH TRIM AS PER DETAILS. INSTALL AS PER MFR. AND FINISH WITH 1 COAT OF PRIMER AND 2 COATS OF PAINT AS SELECTED.
07-18	CUSTOM FABRICATED CHIMNEY CAP AS PER DETAILS & MFR.
07-21	POLY-ASH 8" VERTICAL CHANNEL SIDING. FINISH AS PER OWNER & DETAILS.
08-01	CUSTOM EXTERIOR ENTRY DOOR WITH TEMPERED GLASS. 2" THICK, AS SELECTED BY OWNER/INT. DESIGNER. SEE DOOR SCHEDULE. DETAILS.
08-05	OVER HEAD SECTIONAL DOOR - SEE SCHEDULE. DETAILS AND SPECIFICATIONS.
08-08	ALUMINUM CLAD WOOD WINDOWS W/ DBL. INSUL. LOW E GLAZING. PROVIDE TEMPERED GLASS AS REQUIRED BY CODE. SEE DOOR SCHEDULE. DETAILS.
23-14	TRANE AIR CONDITIONING CONDENSOR, MIN 17 SEER SYSTEM, COORD. W/ DESIGN/BUILD MECHANICAL CONTRACTOR.
EL-01	CONTRACTOR SHALL VERIFY THAT ALL GRADE SLOPES AWAY FROM BUILDING. SLOPE SHALL BE 2" SLOPE IN FIRST 10'-0".
EL-02	CONTRACTOR TO COORDINATE WITH CIVIL DRAWINGS FOR LOCATION OF UTILITIES, AND COORDINATE GAS AND ELECTRICAL METERS ON BUILDING AND SHALL PROVIDE PROTECTION.
EL-03	CONTINUOUS GUTTERS TO SLOPE TO DOWNSPOUTS AT 1/8" PER 1'-0" MIN. SEE DETAILS.
EL-04	CONNECT DOWNSPOUT TO STORM DRAIN CONNECTION AT GRADE AND DAYLIGHT 10' AWAY FROM STRUCTURE. MIN. SEE CIVIL PLANS FOR HOOKUP.
EL-05	PROVIDE EXPANSION JOINT IN MASONRY AT INSIDE CORNER AS SHOWN AND NOTED.
EL-06	PROVIDE TRANSITION OF SIDING MATERIALS AT INSIDE CORNER AS SHOWN ON DRAWINGS.
EL-07	PROVIDE FLASHING DIVERTER AT ALL LOCATION WHERE ROOF TERMINATES INTO SIDE OF WALL. DIVERTOR SHALL BE INSTALLED TO DIRECT WATER AWAY FROM WALL.
EL-08	CONTRACTOR TO COORDINATE WITH ROOF PLAN FOR ALL VENTING REQUIREMENTS.



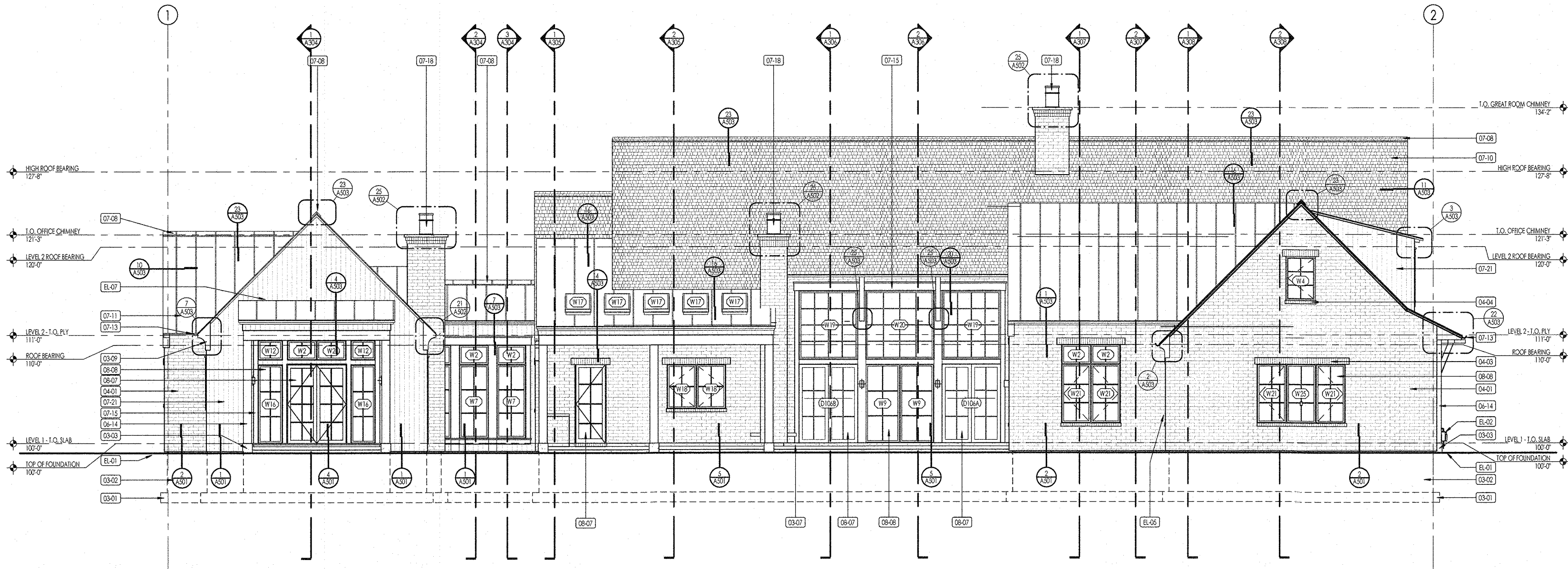
WEST ELEVATION

3/16" = 1'-0"

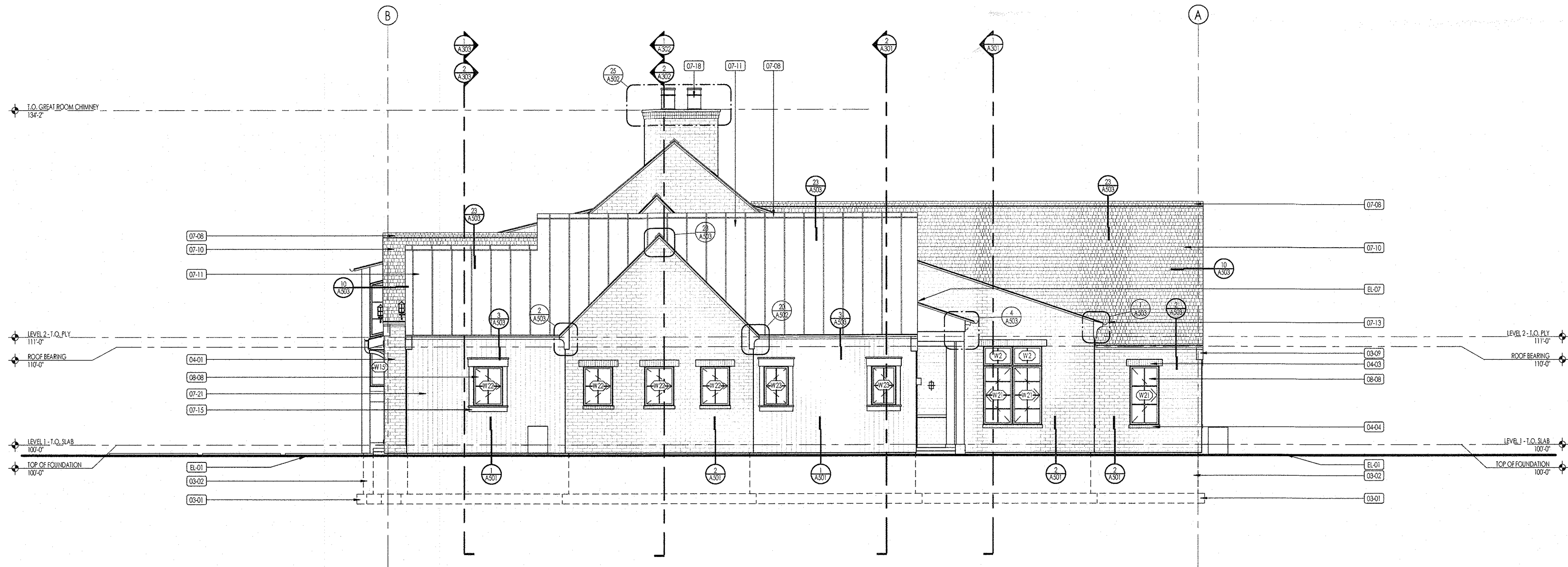


NORTH ELEVATION

3/16" = 1'-0"



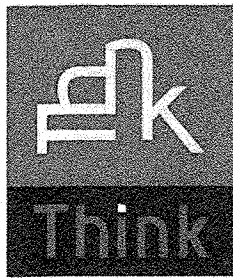
EAST ELEVATION
3/16" = 1'-0"



SOUTH ELEVATION
3/16" = 1'-0"

ELEVATION/ SECTION MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
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	FLAT SEAM METAL ROOFING SYSTEM
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03-03	CAST IN PLACE CONCRETE COLUMNS - SEE STRUCTURAL DRAWINGS.
03-07	EXTERIOR CAST IN PLACE CONCRETE SLABS TO BE 5" CONC. SLAB OVER 4" GRAVEL BASE WITH 6 X 6 WELDED WIRE FABRIC REIN. SEE STRUCTURAL.
03-09	PRE-CAST ARCHITECTURAL CONCRETE CORBEL. SEE DETAILS.
04-01	EXTERIOR 3 5/8" BRICK VENEER AS SELECTED - RUNNING BOND PATTERN.
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EL-05	PROVIDE EXPANSION JOINT IN MASONRY AT INSIDE CORNER AS SHOWN AND NOTED.
EL-07	PROVIDE FLASHING DIVERTER AT ALL LOCATION WHERE ROOF TERMINATES INTO SIDE OF WALL. DIVERTOR SHALL BE INSTALLED TO DIRECT WATER AWAY FROM WALL.



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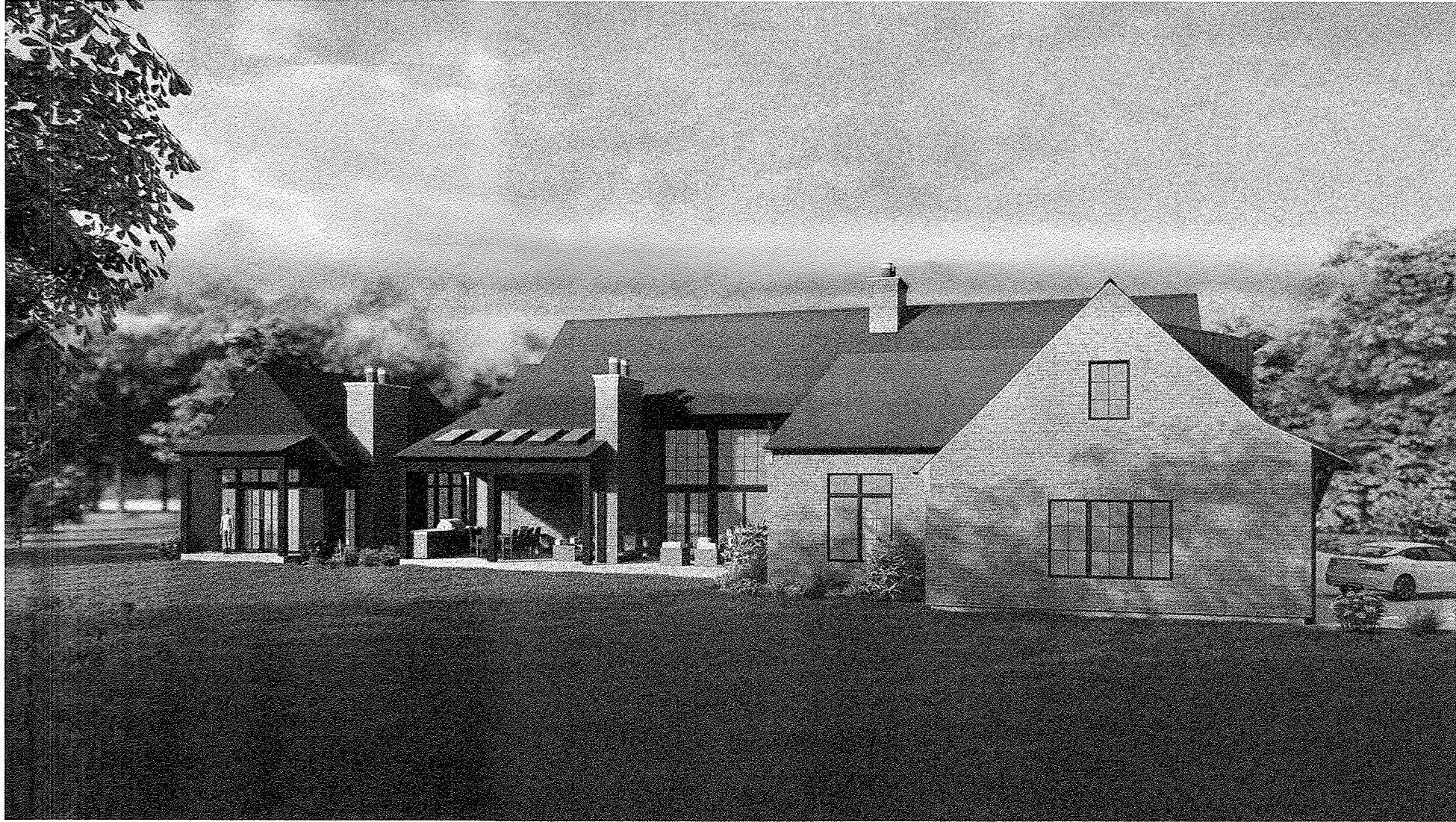
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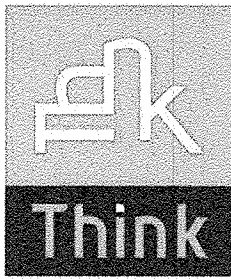
KEYWORK RESIDENCE
LOT #2
37 HIGHLAND AVENUE
PALISADES, NEW YORK 10964

PROJECT NO. 22-084
DATE: JAN. 29, 2024
REVISIONS:

CONSTRUCTION DOCUMENTS - JANUARY 29, 2024
SHEET TITLE: EXTERIOR ELEVATIONS
SHEET NUMBER: A202



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JAN. 29, 2024

KEYWORK RESIDENCE
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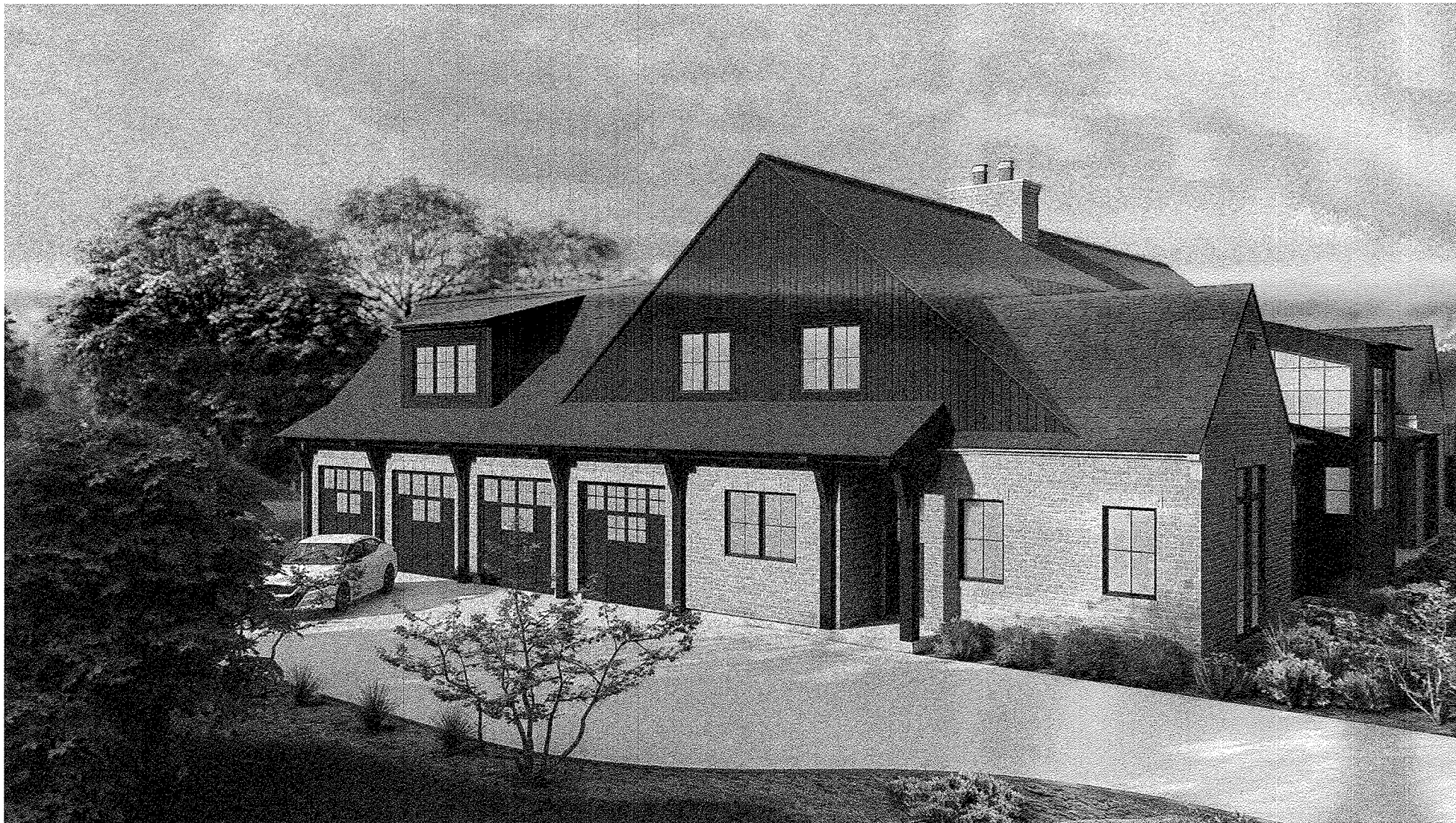
PROJECT NO. 22-084
DATE: JAN. 29, 2024

REVISIONS:

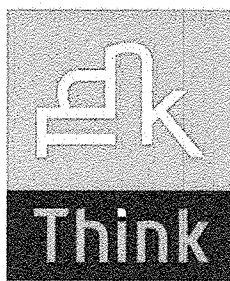
SHEET TITLE:
EXTERIOR VIEWS

SHEET NUMBER:
A203

CONSTRUCTION DOCUMENTS - JANUARY 29, 2024



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JAN. 29, 2024

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CONSTRUCTION DOCUMENTS - JANUARY 29, 2024
SHEET TITLE:
EXTERIOR VIEWS
SHEET NUMBER:
A204



West Elevation

