

Name of Municipality: TOWN OF ORANGETOWN

Date Submitted: 1-8-24

Please check all that apply:

<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Commercial	<input type="checkbox"/> Residential	<input type="checkbox"/> Historical Board
<input checked="" type="checkbox"/> Zoning Board of Appeals			<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision		<input type="checkbox"/> Consultation	
<input type="checkbox"/> Number of Lots		<input type="checkbox"/> Pre-Preliminary/Sketch	
<input type="checkbox"/> Site Plan		<input type="checkbox"/> Preliminary	
<input type="checkbox"/> Conditional Use		<input type="checkbox"/> Final	
<input checked="" type="checkbox"/> Special Permit		<input type="checkbox"/> Interpretation	
<input type="checkbox"/> Variance			
<input type="checkbox"/> Performance Standards Review			
<input type="checkbox"/> Use Variance			
<input type="checkbox"/> Other (specify): _____			

PERMIT#: _____

ASSIGNED _____

INSPECTOR: _____

Referred from Planning Board: YES / NO

If yes provide date of Planning Board meeting: _____

Project Name: RYAN

Street Address: 341 LAUREL ROAD
PEARL RIVER N.Y. 10965

Tax Map Designation:

Section: <u>68.11</u>	Block: <u>2</u>	Lot(s): <u>10</u>
Section: _____	Block: _____	Lot(s): _____

Directional Location:

On the WEST side of LAUREL ROAD, approximately 50 feet FISHER of the intersection of FISHER, in the Town of ORANGETOWN in the hamlet/village of PEARL RIVER.

Acreage of Parcel <u>.35</u>	Zoning District <u>R-15</u>
School District <u>PR</u>	Postal District <u>10965</u>
Ambulance District _____	Fire District _____
Water District _____	Sewer District _____

Project Description: (If additional space required, please attach a narrative summary.)

ADDITION IN REAR FOR LARGER KITCHEN
NEW DECK OFF KITCHEN

The undersigned agrees to an extension of the statutory time limit for scheduling a public hearing.

Date: 2.8.24 Applicant's Signature: _____



APPLICATION REVIEW FORM

FILL IN WHERE APPLICABLE.

(IF THE FOLLOWING DOES NOT APPLY PLEASE MOVE ON TO THE NEXT PAGE)

NA If **subdivision**:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

NA If **site plan**:

- 1) Existing square footage _____
- 2) Total square footage _____
- 3) Number of dwelling units _____

NA If **special permit**, list special permit use and what the property will be used for.

Environmental Constraints:

Are there **slopes greater than 25%**? If yes, please indicate the amount and show the gross and net area No

Are there **streams** on the site? If yes, please provide the names. No

Are there **wetlands** on the site? If yes, please provide the names and type:

 No

Project History:

Has this project ever been reviewed before? No

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.



OFFICE OF BUILDING, ZONING, PLANNING,
ADMINISTRATION AND ENFORCEMENT
TOWN OF ORANGETOWN

20 Greenbush Road
Orangeburg, N.Y. 10962



Jane Slavin, R.A.
Director

(845)359-8410

REFERRAL TO THE ZONING BOARD OF APPEALS

Date: January 24, 2024 Section: 68.11 Block: 2 Lot: 10

Applicant: Ryan

Address: 341 Laurel Rd, Pearl River, NY

RE: Application Made at: same

Referred For:

Chapter 43, Table 3.12 R-15 District, Column 3 Max Floor Area Ratio 20% w/ 24% proposed, Column 9, Minimum Side Yard 20' with 9.4' proposed.

§ 9.2 Degree of Non-Conforming Bulk not to be increased

Three Variances required

Comments:

FAR and Side Yard

Expanding degree of non-conforming bulk

Dear Ryan:

Please be advised that the Building Permit Application # p24-4576, which you submitted on January 17, 2024, has been referred to the Town of Orangetown Zoning Board of Appeals. The Clerk to the Zoning Board of Appeals, Debbie Arbolino, can assist you in the preparation necessary to appear before the board. She can be reached at 845-359-8410 ext. 4331 or darbolino@orangetown.com.

Sincerely,

Richard Oliver
Deputy Building Inspector

1/26/24

Signature of Director
NOTE: PLEASE KEEP FOR YOUR RECORDS
1-30-2023

CC: 1/26/24
Date
Liz DeCort
Debbie Arbolino

IS	PRINT KEY	NAME	ADDRESS
489	68.07-3-59	John Mc Kiernan	351 Laurel Rd,Pearl River, NY 10965
489	68.07-3-60	Christopher Carroll	14 May Rd,Pearl River, NY 10965
489	68.11-2-6	Brian J Quinn Jr	25 Fisher Ave,Pearl River, NY 10965
489	68.11-2-7	Brian J Quinn	15 Fisher Ave,Pearl River, NY 10965
489	68.11-2-8.1	Robert Eide	345 Laurel Rd,Pearl River, NY 10965
489	68.11-2-8.2	Robert Eide	345 Laurel Rd,Pearl River, NY 10965
489	68.11-2-9	Francis T Duffy	343 Laurel Rd,Pearl River, NY 10965
489	68.11-2-10	Jeremy Ryan	341 Laurel Rd,Pearl River, NY 10965
489	68.11-2-11	Barbara A Johnson	2 Fisher Ave,Pearl River, NY 10965
489	68.11-2-12	Christopher Cesca	321 Laurel Rd,Pearl River, NY 10965
489	68.11-2-22	Louis Torrellas	314 Laurel Rd,Pearl River, NY 10965
489	68.11-2-23	John A Brennan	320 Laurel Rd,Pearl River, NY 10965
489	68.11-2-24	Thomas Moore	344 Laurel Rd,Pearl River, NY 10965
489	68.11-2-25	Douglas E Peterson	338 Laurel Rd,Pearl River, NY 10965
489	68.11-2-74	Grzegorz Kida	20 Fisher Ave,Pearl River, NY 10965



DECISION

ZBA #99-11

TO: Steven and Patrice Jensen
341 Laurel Road
Pearl Road, New York 10965

FROM: ZONING BOARD OF APPEALS: TOWN OF ORANGETOWN.

RE: Appeal from denial by building inspector. The application of Steven and Patrice Jensen for a second floor addition. The following variance is requested:

- (1) Section 3.12, R-15 District, Group M, Column 12, maximum building height permitted @ one foot per foot is 9.4' and 20'6" is proposed.

Premises involved are situated on the west side of Laurel Road at the intersection of Laurel Road and Fisher Avenue in the hamlet of Pearl River, Rockland County, New York. Section 68.11, Block 2, Lot 10. This is an R-15 zoning district.

Heard by the Zoning Board of Appeals of the Town of Orangetown at a meeting held Wednesday February 3, 1999 at which time the Board made the following determination.

Steven and Patrice Jensen appeared and testified.

The following documents were presented:

1. Plans by James P. Cutillo Associates, Architects, dated November 19, 1998.
2. Survey map by Joseph Haller, P.L.S., dated August 26, 1998.
3. Letter to the Zoning Board of Appeals, dated January 25, 1999, signed by Francis and Bridget Duffy, Brian and Nancy Quinn, George and Pamela McGevna, John and Mary Brennan, Douglas and Teresa Petersen and Thomas and Mary Moore.

The applicants testified that they wished to add a second floor to their residence; that they needed to increase the living area of their residence and this was the most economical method available to them; that the addition will increase the height of the building but will not reduce the distances to the property lines; that the applicants have two children and space is limited; that the bedrooms are small, approximately 10' x 10', and there is a need for a home office for Mrs. Jensen; that the addition of a second floor will not affect the neighborhood as most of the homes in the area are two-story dwellings.

The Board members made a personal inspection of the premises on Sunday, January 31, 1999 and found them to be properly posted and as generally described on the application.

A satisfactory statement in accordance with the provisions of Section 809 of the General Municipal Law of the State of New York was received.

FINDING OF FACTS:

After personal observation of the property, hearing all the testimony and reviewing same, the Board found that:

1. The requested variance would not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties.
2. The proposed variance would not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district.
3. The neighborhood consists of many two-story houses similar to that proposed by the applicants.

4. The proposed addition will not change the foot print of the existing house. The applicants have chosen the least costly option to provide for an increase in needed living space and their plans are supported by their neighbors.

DECISION: In view of the foregoing and the testimony before the Board, the application is **APPROVED:**

(i) The approval of any variance or Special Permit is granted by the Board in accordance with, and subject to those facts shown on the plans submitted and, if applicable, as amended at or prior to this hearing, as hereinabove recited or set forth.

(ii) Any approval of a variance or Special Permit by the Board is limited to the specific variance or Special Permit requested but only to the extent such approval is granted herein and subject to those conditions, if any, upon which such approval was conditioned which are hereinbefore set forth.

(iii) The Board gives no approval of any building plans, including, without limitation, the accuracy and structural integrity thereof, of the applicant, but same have been submitted to the Board solely for informational and verification purposes relative to the variances being requested.

(iv) A building permit as well as any other necessary permits must be obtained within a reasonable period of time following the filing of this decision and prior to undertaking any construction contemplated in this decision. To the extent any variance or Special Permit granted herein is subject to any conditions, the Building Department shall not be obligated to issue any necessary permits where any such condition imposed should, in the sole judgment of the Building department, be first complied with as contemplated hereunder. Occupancy will not be made until, and unless, a Certificate of Occupancy is issued by the Office of Building, Zoning, and Planning Administration and Enforcement which legally permits such occupancy.

(v) Any foregoing variance or Special Permit will lapse if any contemplated construction for which the variance or Special Permit is granted is not substantially implemented within one year of the date this decision is filed; it being clearly understood and agreed that the mere obtainment of a Building Permit does not constitute "substantial implementation" for the purposes hereof.

The foregoing resolution to approve the application was presented and moved by William Mowerson, seconded by Dominic Filippone and carried as follows; Dominic Filippone, aye; Alfred Visalli, aye; Ennio Munno, absent; William Mowerson, aye and John Duffy, aye.

The administrative aide to the Board is hereby authorized, directed and empowered to sign this decision and file a certified copy thereof in the office of the Town Clerk.

DATED: February 3, 1999

**ZONING BOARD OF APPEALS
TOWN OF ORANGETOWN**

By: 

John A. Bosco
Administrative Aide

DISTRIBUTION:

Applicant
Town Board Members
ZBA Members
Supervisor
Town Attorney
Deputy Town Attorney
OBZPAE
Building Inspector

Town Clerk
Highway Department
Assessor
Dept. of Environmental
Mgmt and Engineering
Supervising Clerk
Chairman PB, ZBA, ACABOR

99 FEB 22 P 1:19

TOWN OF ORANGETOWN

RYAN RESIDENCE

341 LAUREL ROAD - PEARL RIVER, NY 10965
SECTION: 68.11 BLOCK: 2 LOT: 10

DEFINITIONS:

- 1 THE WORD "PATCH" MEANS THE CONTRACTOR SHALL PATCH TO ALIGN & MATCH ALL EXISTING MATERIAL (JOINTS)
- 2 THE WORD "PROVIDE" MEANS THE CONTRACTOR SHALL SUPPLY & INSTALL

GENERAL NOTES:

- 1 ALL WORK INCLUDING MATERIAL STRESSES & METHODS OF CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE STATE LAWS FOR FIRE PREVENTION AND BUILDING CODE AND ALL LOCAL ORDINANCES GOVERNING THE CONSTRUCTION
- 2 DO NOT SCALE DRAWINGS OR MEASUREMENTS INDICATED. ANY DISCREPANCIES MUST BE BROUGHT TO THE ARCHITECT'S ATTENTION.
- 3 TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THESE DRAWINGS CONFORM TO THE MOST RECENT EDITION OF THE APPLICABLE NEW YORK STATE ENERGY CODE, ALL LOCAL CODES AND GENERALLY ACCEPTED PRACTICES
- 4 ALL ELECTRICAL WORK TO BE DONE IN ACCORDANCE WITH ANY AND ALL LOCAL CODES AND GENERALLY ACCEPTED PRACTICES
- 5 THE CHARACTER AND SCOPE OF WORK ARE ILLUSTRATED BY THE DRAWINGS. TO INTERPRET AND EXPLAIN THE DRAWINGS, OTHER INFORMATION DEEMED NECESSARY BY JOHN ANTHONY FERRARO P.C., ARCHITECT WILL BE FURNISHED TO THE CONTRACTOR WHEN AND AS REQUIRED BY THE WORK, AND IT IS TO BE UNDERSTOOD THAT THE SAID ADDITIONAL DRAWINGS ARE TO BE OF EQUAL FORCE WITH THE DRAWINGS AND SHALL BE CONSIDERED AS FORMING PART OF THESE NOTES TO WHICH THEY RELATE
- 6 CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE APPLICABLE STATE BUILDING CODES, STATE LABOR LAW AND ALL REGULATIONS OF NEW YORK STATE AND OTHER GOVERNMENT AGENCIES. ALL PERMITS SHALL BE PROPERLY OBTAINED
- 7 ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICES EQUIPMENT SHALL MEET THE FOLLOWING REQUIREMENTS:
 - A. ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE CODE
 - B. ACCEPTED FOR USE UNDER PRESCRIBED CODE TEST METHODS
- 8 ALL INSULATION SHALL BE EITHER EXHAUST OR FOLDED OVER UNPAVED AS VENTILATION MEANS
- 9 CONTRACTOR TO CONSULT WITH OWNER REGARDING ALL INTERIOR ROOMS INCLUDING THOSE NOT EFFECTED BY CONSTRUCTION

- 10 CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING CONDITIONS AND CHECK ALL DIMENSIONS OF THE BUILDING IN THE FIELD BEFORE STARTING WORK AND REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO START OF WORK. ARCHITECT TO BE NOTIFIED OF ELEVATIONS OR CHANGES MADE TO PLANS
- 11 THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, SUPERVISION, COORDINATION, BORROW, INSURANCE, PERMITS AND INSPECTIONS AS NECESSARY FOR THE COMPLETION OF WORK
- 12 CONTRACTOR SHALL COORDINATE HIS/HER WORK WITH THAT OF OTHER CONTRACTORS AND SUPPLIERS
- 13 CONTRACTOR SHALL NOT OBSTRUCT ACCESS TO STAIRS, ENTRANCES OR MEANS OF EGRESS
- 14 THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING WORK DURING THE COURSE OF CONSTRUCTION. ANY DAMAGE RESULTING FROM CONSTRUCTION PROCEDURES SHALL BE THE RESPONSIBILITY OF THOSE CONTRACTORS CAUSING SUCH DAMAGE
- 15 THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR INSPECTION OF ALL STRUCTURAL ELEMENTS OF THE CONSTRUCTION. 48 HOURS IN ADVANCE NOTICE IS REQUIRED
- 16 CONTRACTOR SHALL NOTIFY THE ARCHITECT AT LEAST FORTY EIGHT (48) HOURS IN ADVANCE OF WORK WHICH WILL AFFECT THE EXISTING BUILDING SERVICES AND OBTAIN THE ARCHITECT'S APPROVAL BEFORE PROCEEDING WITH THE WORK
- 17 CONTRACTOR SHALL MAINTAIN THE SECURITY AND WEATHER TIGHTNESS OF THE EXISTING BUILDING
- 18 WINDOWS SHALL BE ANCHORED AND SEALS AND SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS. PROVIDE SCREENS AND GRILLS. VERIFY CATALOG NUMBERS WITH PELLA REP. AS NEEDED TO INSURE EXPRESS REQUIREMENTS ARE MET. PROVIDE SCREENS AND GRILLS. OWNER TO CONFORM PROFILE AND STYLE OF WINDOWS

GENERAL SPECIFICATIONS NOTES:

- 1 ALL LUMBER USED IN CONSTRUCTION SHALL BE DOUGLAS FIR #2, OR SIF #2 MINIMUM 1" X 100 PSI - E 111 X 100000. ALL STRUCTURAL HEADERS AND DIMERS SHALL HAVE 4 X 6 OR 6 X 6 POSTS AT EACH END AS REQUIRED BY STUDIES
- 2 ALL EXTERIOR LUMBER SHALL BE EXTERIOR GRADE. ALL EXTERIOR STEEL JOIST HANGERS, LAG BOLTS, NAILS AND SCREWS SHALL BE GALVANIZED. EXPOSITION CONNECTORS (NOT DIFIED) SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS
- 3 ALL EXTERIOR OPENINGS SHALL BE CAULKED, FLASHED AND WEATHER STRIPPED
- 4 ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL FIRE PROTECTION AGENCY (N.F.P.A.), NATIONAL ELECTRICAL CODE (N.E.C.) AND THE LOCAL UTILITY COMPANY
- 5 WINDOWS ALTERED TO ACCOMMODATE NEW CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH APPLICABLE CODES REGARDING EMERGENCY ESCAPE, LIGHT AND VENTILATION REQUIREMENTS
- 6 GUY WIRE CABLE STRAPS SHALL BE PROVIDED AT ALL JOINTS/ROTTERS (EXISTING AND NEW) AS REQUIRED
- 7 A VAPOR BARRIER SHALL BE INSTALLED ON THE WARM SIDE OF ALL CONSTRUCTION
- 8 INSULATION SHALL BE INSTALLED IN ALL FRAMED WALLS BETWEEN HEATED AND UNHEATED SPACES AS PER LOCAL, STATE, AND ENERGY CONSERVATION CONSTRUCTION CODES. WHERE APPLICABLE CONCRETE SLAB INSULATION SHALL BE 2" STYROFOAM
- 9 THE WORD "PROVIDE" MEANS THE CONTRACTOR SHALL SUPPLY AND INSTALL
- 10 ALL NEW CONSTRUCTION SHALL ALIGN AND MATCH EXISTING
- 11 THE CONTRACTOR IS RESPONSIBLE FOR ACCURATELY REPORTING EXISTING CONDITIONS AS SHOWN ON THE PLANS, INCLUDING BUT NOT LIMITED TO:
STRUCTURAL HEADERS AND ALL STRUCTURAL COMPONENTS FRAMING MEMBERS IN FLOORS, WALLS AND CEILING FOUNDATIONS, FOOTINGS AND STRUCTURAL CONNECTORS
NOTIFY ARCHITECT OF CONDITIONS AND/OR DISCREPANCIES

- 12 TO THE BEST OF MY KNOWLEDGE AND PROFESSIONAL JUDGMENT THESE DRAWINGS CONFORM TO THE FOLLOWING CODES:
NEW YORK STATE BUILDING CODE (INTERNATIONAL BUILDING CODE 2015)

NOTES:

- 1 ELEVATION NOTES ARE TYPICAL AND APPLY TO ALL ELEVATIONS WHEN APPLICABLE

- 2 PROVIDE CONTINUOUS FLASHING AT ALL VALLEYS

- 3 THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FROM THE ELEMENTS DURING DEMOLITIONS

HVAC/WATER HEATER

- 1 THE CONTRACTOR SHALL CONFIRM EXISTING HVAC CAPACITY AND RECOMMEND ADJUSTMENTS AND SIZES OF EXISTING EQUIPMENT TO PROVIDE ADDITION WITH HEAT AND AIR. PROVIDE ESTIMATE FOR NEW HVAC SYSTEM
- 2 CONTRACTOR SHALL CONFIRM ADEQUACY OF EXISTING WATER HEATER. PROVIDE NEW WATER HEATER IF REQUIRED

- 18 CONTRACTOR SHALL PATCH AND REPAIR ALL SURFACES OPENED FOR THE INSTALLATION OF THE WORK AND REPAIR ALL EXISTING AREAS TO REMAIN DAMAGED DURING THE PERFORMANCE OF THE WORK. PATCH SHALL ALIGN AND MATCH EXISTING
- 19 CONTRACTOR SHALL PREPARE FLOOR AREAS WITH SUBSTRATE APPROPRIATE TO FINISH SELECTED BY OWNER(S)
- 20 THE CONTRACTOR SHALL ORDER SUFFICIENT STOCK OF ALL FINISHED MATERIALS FOR FUTURE REPLACEMENT IF NECESSARY
- 21 ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AS SPECIFIED BY THE ARCHITECT
- 22 PENETRATION PROTECTIONS OF WALL PARTITIONS OR FLOORS FOR PIPES, SLEEVES, ELECTRICAL DEVICES, ETC. SHALL BE PROPERLY SEALED OR OTHERWISE ISOLATED TO MAINTAIN THE REQUIRED R-VALUE
- 23 VAPOR BARRIER TOWARDS WINTER WARM SIDE OF ASSEMBLY
- 24 ALL NEW AND DISTURBED FINISHES TO RECEIVE ONE PRIME COAT AND TWO FINISH COATS OF PAINT WHERE APPLICABLE
- 25 ALL WINDOWS AND DOORS SHALL BE CALLED ON EXTERIOR BUILDINGS

ELECTRICAL NOTES:

- 1 CONTRACTOR SHALL MEASURE LOADS IN EXISTING PANEL AND ADJUST AS NECESSARY FOR PROPER BALANCING
- 2 CONTRACTOR SHALL REMOVE EXISTING LIGHT FIXTURES, RECEPTACLES, AND/OR SWITCHES AS REQUIRED AND EXISTING CIRCUITRY AS NECESSARY TO CONNECT TO NEW LIGHT FIXTURES, RECEPTACLES AND/OR SWITCHES SHOWN ON DRAWING. PROPERLY TERMINATE UNUSED CIRCUITRY AT NEAREST JUNCTION POINT OR BACK AT ELECTRICAL PANEL. FIELD DIRECTLY LABEL CIRCUITRY FOR FUTURE USE
- 3 CONTRACTOR SHALL RELOCATE LIGHT FIXTURES, RECEPTACLES, AND/OR SWITCHES AS REQUIRED FOR RELOCATION AND EXISTING CIRCUITRY AS NECESSARY TO REINSTALL LIGHT FIXTURE, RECEPTACLE AND/OR SWITCHES IN LOCATIONS SHOWN ON DRAWING
- 4 CONTRACTOR SHALL RELOCATE/REMOVE ELECTRICAL CIRCUITRY FOUND IN WALLS DESIGNATED FOR REMOVAL
- 5 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, PATCHING AND PAINTING ASSOCIATED WITH ALL ELECTRICAL WORK
- 6 ALL ELECTRICAL CIRCUITRY SHALL BE CONCEALED IN WALLS, CEILING AND FLOORS IF SPACE IS POSSIBLE. ADVISE THE OWNER AND OBTAIN APPROVAL/AUTHORIZATION FOR SURFACE MOUNTING. SUCH EXPOSED CIRCUITRY SHALL BE RUN IN SURFACE METAL RACEWAY
- 7 CONTRACTOR SHALL PROVIDE TYPEWRITTEN SCHEDULES OF ALL CIRCUITRY IN ELECTRICAL PANEL. SCHEDULES SHALL MATCH THE LOADS SHOWN IN THE PROJECT PANEL SCHEDULE INCLUDED WITH THESE DRAWINGS. ALL SPARE PANEL SPACES SHALL BE FULLY PROTECTED WITH METAL BLANKS
- 8 ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (LATEST EDITION), AND THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CONSTRUCTION CODE. THIS INCLUDES ALL TYPED NATED ELECTRICAL
- 9 CONTRACTOR SHALL OBTAIN, PAY FOR AND COMPLY WITH ALL REQUIRED PERMITS. CONTRACTOR SHALL ARRANGE FOR ALL INSPECTIONS AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO OWNER PRIOR TO COMPLETION OF PROJECT
- 10 CONTRACTOR SHALL PROVIDE AND INSTALL ALL BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER THE ELECTRICAL INSTALLATION COMPLETE AND OPERATIVE AND IN COMPLIANCE WITH APPLICABLE CODES
- 11 ALL WIRING SHALL BE COPPER CONDUCTOR WITH MINIMUM SIZE #12 AWG UNLESS OTHERWISE NOTED
- 12 CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING EQUIPMENT AND NOTE CONDITIONS AND AREAS WHERE WORK WILL OCCUR IN FIELD
- 13 CONTRACTOR SHALL COORDINATE LOCATION OF LIGHT FIXTURES AND ELECTRICAL EQUIPMENT WITH OTHER TRADES TO AVOID CONFLICTS
- 14 CONTRACTOR SHALL SEAL AROUND ALL CONDUIT PENETRATIONS THROUGH WALLS, FLOORS AND CEILING AT BETWEEN BASEMENT AND AREA OF NEW CONSTRUCTION WITH AN INTUMESCENT STOP OF MATERIAL
- 15 CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES TO AVOID CONFLICTS OF EQUIPMENT INSTALLATION. CONTRACTOR SHALL VERIFY EXACT LOCATION OF ALL EQUIPMENT CONNECTIONS, WIRING DEVICES AND LIGHTING WITH ARCHITECT PRIOR TO INSTALLATION
- 16 CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIAL INSTALLED UNDER THIS CONTRACT FREE FROM DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNER AND AGREES TO REPLACE DEFECTIVE WORK AT NO ADDITIONAL COST TO OWNER DURING THE GUARANTEE PERIOD
- 17 FINAL LOCATIONS AND ELEVATIONS OF ALL LIGHT FIXTURES, RECEPTACLES, SWITCHES, PHONE JACKS, AND CABLE OUTLETS SHALL BE DICTATED IN THE FIELD

PLUMBING NOTES:

- 1 ALL PLUMBING WORK SHALL BE INSTALLED IN ACCORDANCE WITH NEW YORK FIRE PREVENTION AND BUILDING CONSTRUCTION CODE, APPLICABLE ENERGY CONSERVATION CONSTRUCTION CODE, ALL LOCAL CODES AND GENERALLY ACCEPTED PRACTICES
- 2 CONTRACTOR SHALL PROVIDE ALL FIXTURES, FITTINGS, VALVES, ACCESS DOORS, HANGERS, FITTINGS AND MISCELLANEOUS COMPONENTS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER THE MECHANICAL SYSTEMS COMPLETE, OPERABLE, AND IN ACCORDANCE WITH APPLICABLE CODES AND GENERALLY ACCEPTED PRACTICES
- 3 CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL PIPING AND EQUIPMENT WITH OTHER TRADES TO AVOID CONFLICTS
- 4 CONTRACTOR SHALL SEAL AROUND ALL PIPE PENETRATIONS THROUGH FIRE RATED WALLS, FLOORS AND CEILING WITH AN INTUMESCENT FIRE STOP MATERIAL TO MAINTAIN FIRE AND SMOKE RATINGS
- 5 CONTRACTOR SHALL PROVIDE ALL SANITARY PIPING (P) AND VENTILATION MINIMUM OF 1/4" PER FOOT. SANITARY PIPING (P) AND ABOVE MAY BE PITCHED A MINIMUM OF 1/8" PER FOOT
- 6 CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIAL INSTALLED UNDER THIS CONTRACT FREE FROM DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION AND ACCEPTANCE BY THE OWNER AND AGREES TO REPLACE DEFECTIVE WORK AT NO ADDITIONAL COST TO OWNER DURING THE GUARANTEE PERIOD
- 7 CONTRACTOR SHALL COORDINATE FINAL LOCATIONS OF ALL PIPING IN FINISHED AREAS WITH GENERAL CONTRACTOR TO ENSURE CONCEALMENT OF ALL PIPING IN WALLS, FLOORS AND CEILING
- 8 CONTRACTOR SHALL NOT DRILL OR CUT ANY STRUCTURAL MEMBERS WITHOUT PERMISSION OF ARCHITECT
- 9 CONTRACTOR SHALL INSTALL AIR CHIMNEYS ON DOMESTIC WATERS. APPLY PIPING TO PLUMBING FIXTURES
- 10 ALL EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS
- 11 CONTRACTOR SHALL PAY FOR ALL PERMITS AND INSPECTION FEES REQUIRED BY LOCAL AUTHORITY HAVING JURISDICTION
- 12 ALL CONTROL WIRING SHALL BE IN ACCORDANCE WITH N.E.C. ELECTRICAL CODE AND ALL LOCAL CODES. ALL CONDUITS SHALL BE COPPER WITH THERMINSULATION MINIMUM CONDUCTOR SIZE #12 24V MINIMUM CONDUCTOR SIZE #10
- 13 CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING PIPING & EQUIPMENT AND NOTE AREAS WHERE WORK WILL OCCUR
- 14 CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION, TRENCHING, BACKFILL, CONSTRUCTION AND RESTORATION TO MATCH EXISTING ASSOCIATED WITH PLUMBING WORK
- 15 CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING, PATCHING AND PAINTING ASSOCIATED WITH PLUMBING WORK
- 16 CONTRACTOR SHALL LOCATE ALL PIPING ON THE WARM SIDE OF BUILDING INSULATION ENVELOPE
- 17 PLUMBING & ELECTRICAL CONTRACTOR SHALL COORDINATE NEW TRENCHING TO ALLOW FOR THE INSTALLATION OF NEW PLUMBING & NEW ELECTRICAL WORK IN THE SAME TRENCH WHEREVER POSSIBLE. LOCATION OF INSTALLED EQUIPMENT DUE TO LACK OF COORDINATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS AND SHALL NOT INCUR ADDITIONAL COST TO OWNER

NOTE:

ALL HORIZONTAL SUPPORTS TO HAVE A MIN OF 6" SOLID BEARING EACH SIDE

HEADERS FOR DOORS & WINDOWS:

ALL OPENINGS 3'-0" TO 5'-0" TO HAVE (2) 2x10 HEADERS

ALL OPENINGS 5'-0" TO 9'-0" TO HAVE (3) 2x10 HEADERS

ALL OTHER OPENING AS SPECIFIED ON PLAN

THESE CONSTRUCTION DOCUMENTS/DETAILS AND SPECIFICATIONS ARE PROPERTY OF JOHN ANTHONY FERRARO P.C. ARCHITECT (JAFFC). JAFFC SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT. THESE CONSTRUCTION DOCUMENTS SHALL NOT BE SHARED, COPIED OR REPRODUCED WITHOUT WRITTEN APPROVAL FROM JOHN ANTHONY FERRARO P.C. ARCHITECT.

DEMOLITION NOTES:

- 1 CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY SHORING & BRACING FOR COMPLETION OF WORK
- 2 CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING OF DEBRIS FROM THE SITE
- 3 CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRIERS AND PROTECTIVE DEVICES FOR PUBLIC SAFETY DURING DEMOLITION AND CONSTRUCTION PROCEDURES
- 4 CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL EXISTING CONSTRUCTION TO REMAIN FROM ANY DAMAGE DURING DEMOLITION AND CONSTRUCTION PROCEDURES
- 5 CONTRACTOR SHALL PATCH AND REPAIR ALL INTERIOR AND EXTERIOR FINISHES AS REQUIRED TO MATCH EXISTING
- 6 ALL OSHA REGULATIONS ARE TO BE STRICTLY ADHERED TO. ANY FINES ARE TO BE PAID BY THE CONTRACTOR AND NOT THE OWNER
- 7 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE NEW YORK STATE AND LOCAL BUILDING CODES, REFERENCE STANDARDS AND ALL FEDERAL, STATE AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER THE WORK
- 8 DEMOLITION WORK SHALL COMPLY WITH THE NEW YORK STATE REQUIREMENTS IN ADDITION TO THE ANSI/ASSE SAFETY REQUIREMENTS FOR DEMOLITION
- 9 THE CONTRACTOR SHALL VISIT THE SITE AND CAREFULLY EXAMINE WORK OF THIS SECTION SO AS TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND NATURE AND SCOPE OF WORK AND DIFFICULTIES THAT ATTEND ITS EXECUTION
- 10 THE DRAWINGS MAY NOT SHOW ALL REMOVALS REQUIRED. CONTRACTOR INCLUDES ALL WORK NECESSARY TO PRODUCE THE FINAL ARRANGEMENT AS SHOWN, LEAVING NO EXISTING WORK WHICH IS NO LONGER NEEDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ENTIRE DEMOLITION OF SPACE, FOLLOWS WALLS, CEILING, ALL FINISHES, EQUIPMENT, LIGHTING AND WIRING, DUCTWORK AND HVAC EQUIPMENT AND PLUMBING LINES AS REQUIRED
- 11 BEFORE STARTING ANY WORK RELATIVE TO EXISTING UTILITIES, ELECTRICAL, SANITARY, WATER, HEAT, GAS, ETC., THAT WILL REMOVAL OR DISRUPT OR DISRUPT SERVICES TO THE EXISTING BUILDING, NOTIFY THE OWNER & ARCHITECT SEVENTY-TWO HOURS IN ADVANCE AND OBTAIN APPROVAL PRIOR TO BEGINNING THE WORK
- 12 CONTRACTOR SHALL SUPPLY NECESSARY PROTECTION AGAINST INJURY AND DAMAGE AND SHALL BE RESPONSIBLE FOR KEEPING THE ACCESS SPACE CLEAR AND FREE OF MATERIALS AT ALL TIMES
- 13 GENERAL CONTRACTOR SHALL KEEP JOB SITE FREE OF ALL MATERIALS AND BROOD CLEAN AND CONTROL THE CONSTRUCTION AREA TO JOB SITE AND NEIGHBORING AREAS OUTSIDE THE PROJECT AT ALL TIMES. GENERAL CONTRACTOR TO BE RESPONSIBLE FOR CLEAN UP AND CANTING FOR ALL TRADES WHETHER OR NOT UNDER HIS JURISDICTION
- 14 CONTRACTOR SHALL RESTORE AT HIS SOLE EXPENSE ALL AREAS DAMAGED DURING CONSTRUCTION
- 15 ALL DEMOLITION IS TO BE DONE WITH REASONABLE CARE SO AS TO MINIMIZE DAMAGE TO EXISTING REMAINING SURFACES. THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY DOORS AND PARTITIONS AS NECESSARY TO PROTECT ADJACENT AREAS
- 16 CONTRACTOR SHALL FOLLOW BUILDING REGULATIONS AND PERFORM WORK AT THE HOURS DESIGNATED BY LOCAL ORDINANCES FOR THE PARTICULAR PHASE OF WORK BEING DONE
- 17 ALL ITEMS SPECIFICALLY DESIGNATED FOR REUSE BUT DAMAGED IN THE COURSE OF WORK PERFORMED UNDER THE GENERAL CONTRACT OR OTHERWISE RENDERED UNUSABLE MATERIAL SHALL BE REPAIRED AT NO EXPENSE TO THE OWNER
- 18 DEMOLITION PREMISES AS SHOWN ON THE DRAWINGS INCLUDING ALL WALL, WOOD, TRIM, PIPING, PLUMBING FIXTURES, LIGHT FIXTURES, LIGHT TRUCK AND SHELVING UNLESS OTHERWISE NOTED (JOINTS)
- 19 ALL EXISTING PRELIMINARY MATERIALS & PLUMBING LINES NOT SHOWN TO REMAIN ON THE DRAWINGS SHALL BE REMOVED 1" BEYOND THE PLANE OF THE FINISHED SURFACE. PROVIDE ACCESS PANELS AS REQUIRED LOCATIONS AND SIZE(S) TO BE APPROVED PRIOR TO INSTALLATION. ALL ABANDONED PLUMBING LINES SHALL BE CAPPED AS PER CODE TO AVOID ENTRANCE OF NOXIOUS GASES
- 20 THE GENERAL CONTRACTOR SHALL REMOVE ALL SURFACE MOUNTED BOXES, WIRES, RACEWAYS, ETC. UPON
- 21 REMOVE AND DISCARD ALL FLOOR COVERINGS, CERAMIC TILE, ETC. SO THAT NEW FLOORING CAN BE PROPERLY INSTALLED FLUSH WITH ADJACENT SURFACES. THIS SHALL INCLUDE REMOVAL OF ADHESIVES AND SETTING BEDS (JOINTS)
- 22 EXECUTE THE WORK IN A CAREFUL AND ORDERLY MANNER, WITH THE LEAST POSSIBLE DISTURBANCE TO THE BUILDING. VEHICULAR ACCESS TO THE SITE SHALL BE MAINTAINED
- 23 CONTRACTOR SHALL VERIFY BEFORE REMOVAL OF ANY PARTITION THAT THE PARTITION IS NOT A BEARING WALL. ALL CONCERNS AS TO THE STRUCTURE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE THE WALL IS REMOVED
- 24 PROVIDE TEMPORARY SUPPORT BEFORE REMOVING ANY BEARING PARTITIONS
- 25 CONTRACTOR SHALL RELOCATE ALL PIPING TO ACCOMMODATE NEW BATHROOM LAYOUT INCLUDING BUT NOT LIMITED TO CLEAN OUTS, STACKS, VENTS, SUPPLY & RETURN LINES
- 26 CONTRACTOR TO PROVIDE ALL SERVICES AND LABOR AND EQUIPMENT FOR THE REMOVAL OF DEBRIS, GARBAGE OR VEGETATION, TREES AND BRUSH AND ON PROJECT SITE AS DIRECTED BY THE ARCHITECT

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Town of Orangetown
MEETING OF:

MAR 6 2024

ZONING BOARD OF APPEALS



RYAN RESIDENCE

341 LAUREN ROAD
PEARL RIVER 10965

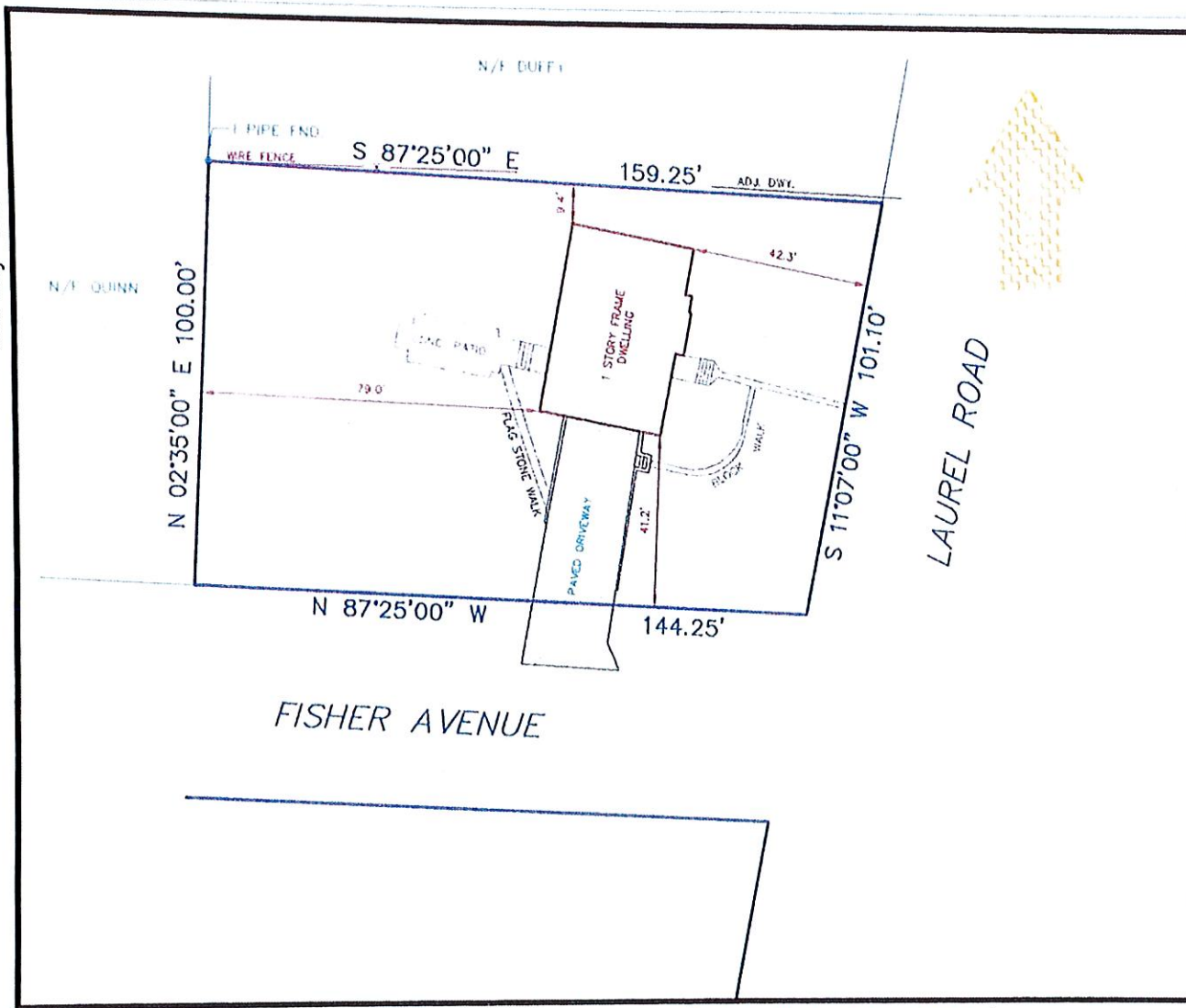
COVER SHEET

Project number	RYAN
Date	1-8-24
Drawn by	JF
Checked by	JF

A-1

Scale

RECEIVED
TOWN OF ORANGETOWN
LAND USE BOARDS
FEB 8 2024



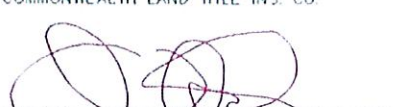
Reference: MAP OF JOSEPH A. FISHER'S PEARL RIVER HEIGHTS, FORMERLY LOTS OF FISHER & EVANS, PEARL RIVER, N.Y. FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE ON MAY 15, 1937

TAX LOT 68.11-2-10
15,172 Sq. Ft./0.35 Ac.

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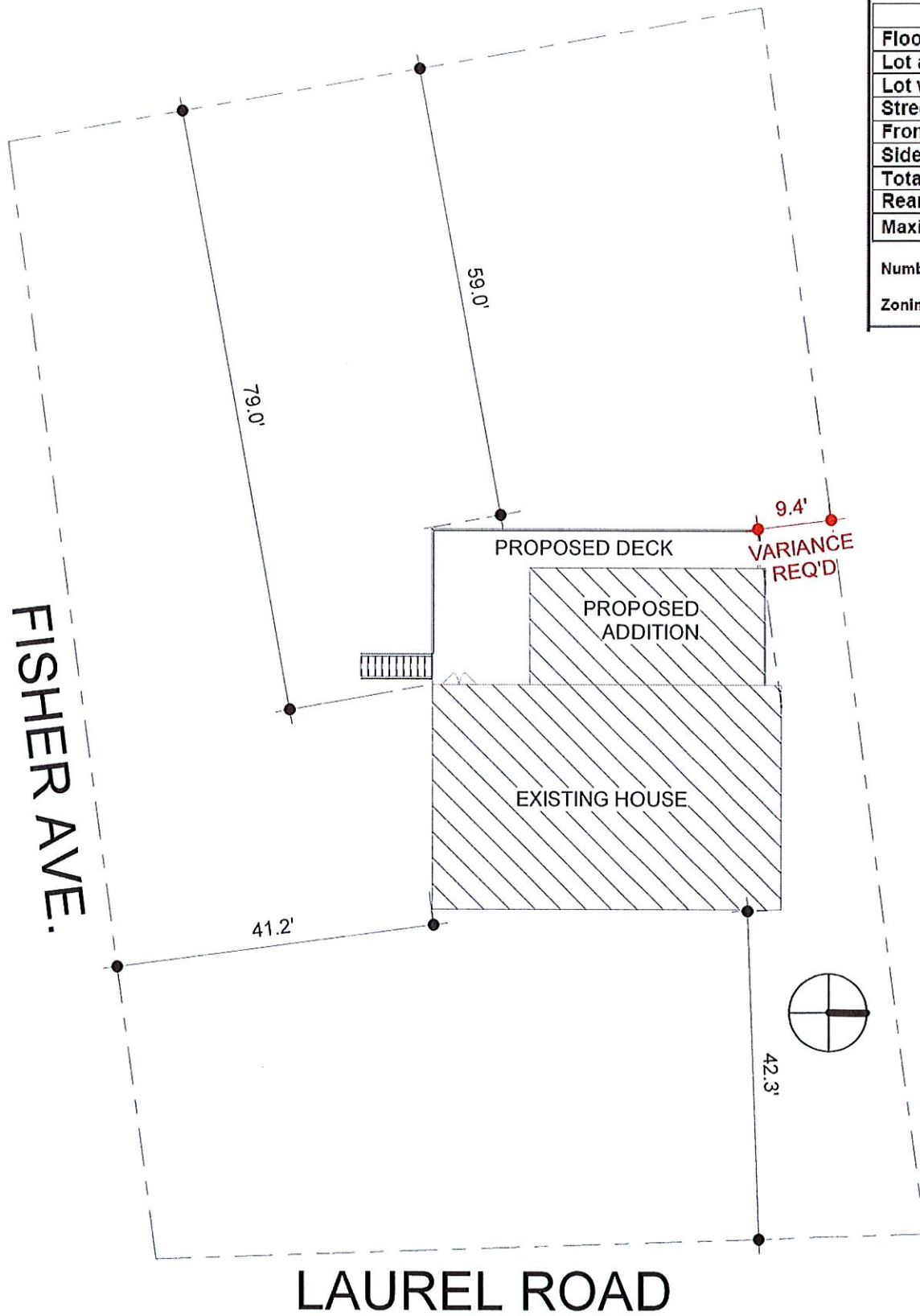
STEVEN JENSEN
PATRICE JENSEN
THE CHASE MANHATTAN BANK
COMMONWEALTH LAND TITLE INS. CO.


Joseph Haller, P.L.S.
N.Y. Lic. No. 49336

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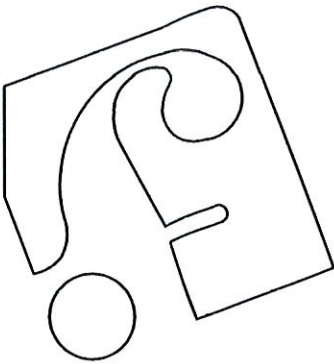
SURVEY MAP
FOR
**STEVEN & PATRICE
JENSEN**
TOWN OF ORANGETOWN
ROCKLAND COUNTY NEW YORK
AUGUST 26, 1998 SCALE: 1"=30'

Joseph Haller
Land Survey Consultant
10 FINE CREST ROAD, VALLEY COTTAGE, N.Y. 10989
PHONE: (914) 268-6510 FAX 268-6579



① SITE PLAN
1" = 20'-0"

ZONING BULK REQUIREMENTS			
Zone: R-15	Group: M	Use: SINGLE FAMILY	
	Required	Existing	Proposed
Floor area ratio	.20	.21	.24 VARIANCE REQ'D
Lot area	15,000	15,172	NO CHANGE
Lot width	100'	100'	NO CHANGE
Street frontage	75'	100'	NO CHANGE
Front yard setback	30'	42.3'	NO CHANGE
Side yard setback	20'	9.4'	9.4' VARIANCE REQ'D
Total side yard setback	50'	50.6	NO CHANGE
Rear yard setback	35'	79'	59'
Maximum building height	1 FT/42.3'	+/-30'	NO CHANGE
Number of stories: 2 Construction Type: 5B Occupancy Class: R-3			
Zoning Chart Information Completed by: JOHN FERRARO RA NCARB			



John Anthony Ferraro PC
ARCHITECT

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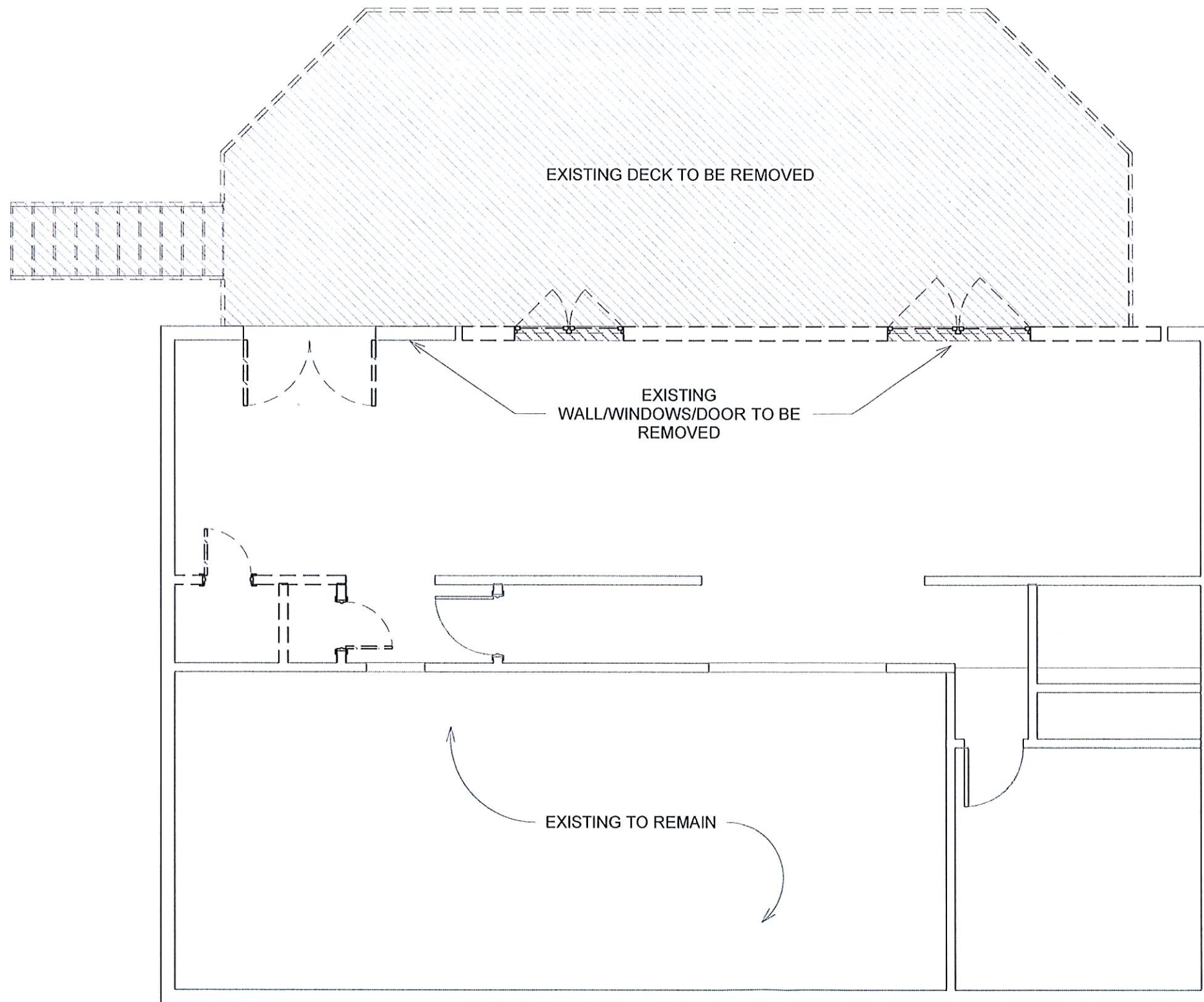
SITE PLAN

Project number	RYAN
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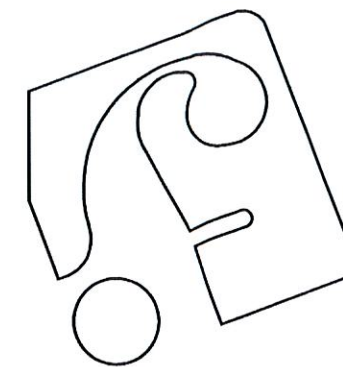
S-1

Scale 1" = 20'-0"

THIS SITE PLAN WAS TAKEN
FROM A SURVEY PREPARED BY:
JOSEPH HALLER P.L.S
10 PINE CHEST ROAD
VALLEY COTTAGE NY 10989
DATED: AUGUST 26, 1998



1 EXIST-DEMO FIRST FLOOR PLAN
3/16" = 1'-0"



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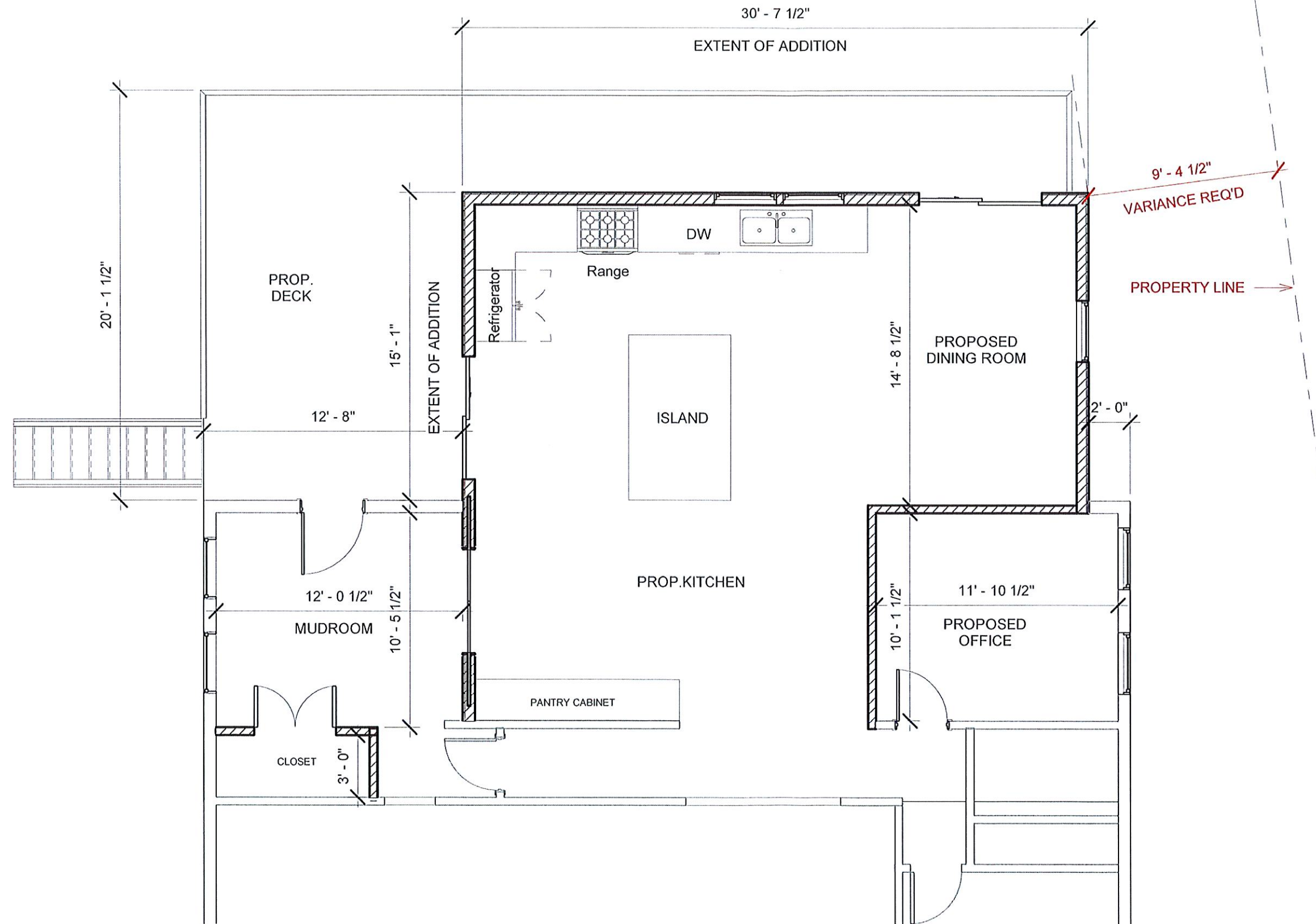
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EXISTING/DEMO
FLOOR PLAN

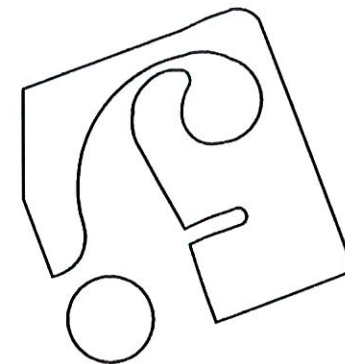
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Checked by	JF

ZBA-1

Scale	3/16" = 1'-0"
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1 PROPOSED FIRST FLOOR PLAN
3/16" = 1'-0"



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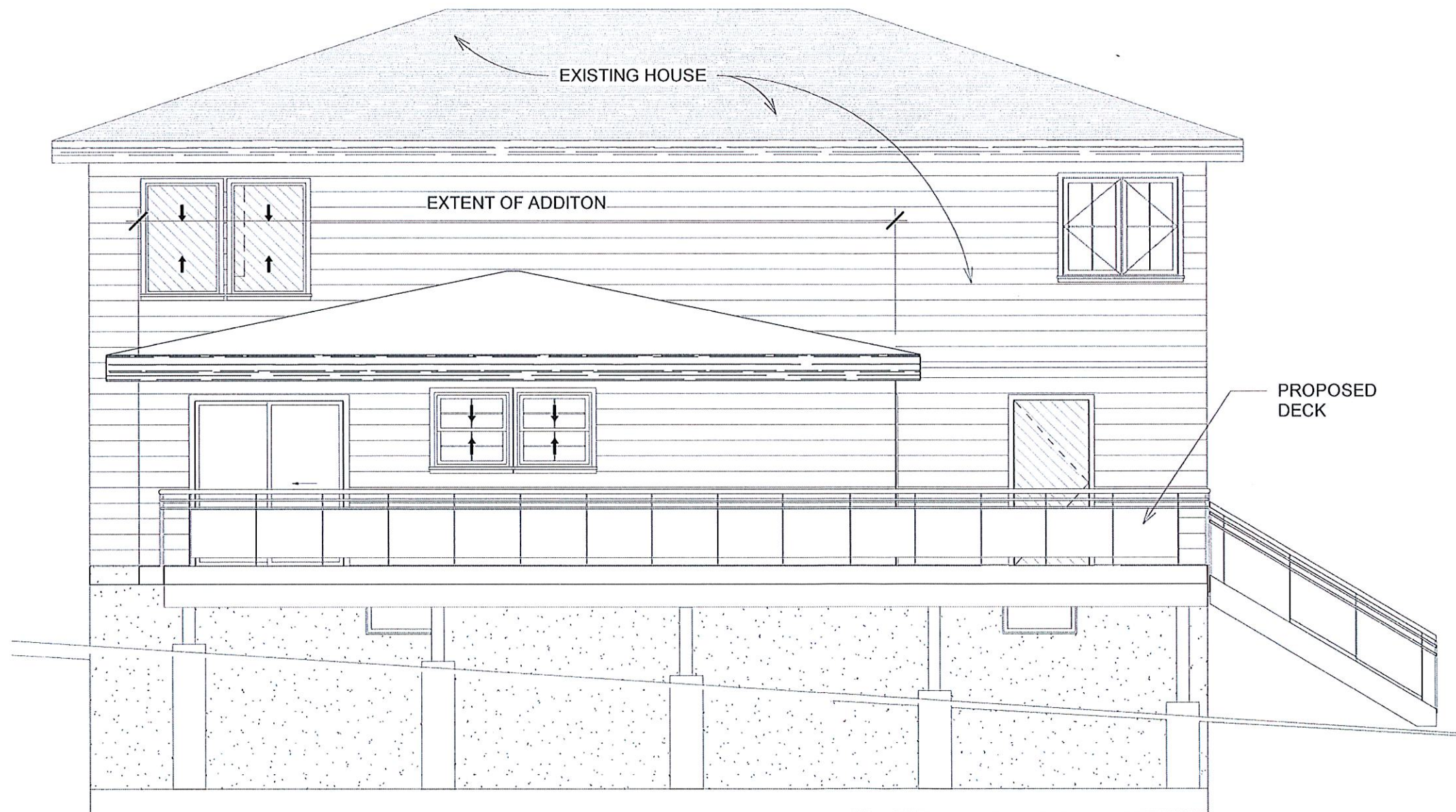
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PROPOSED FLOOR PLAN

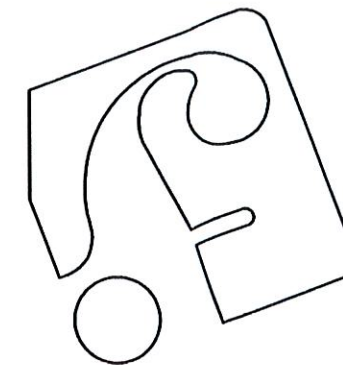
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ZBA-2

Scale 3/16" = 1'-0"



1 PROPOSED REAR ELEVATION
3/16" = 1'-0"



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ELEVATIONS

Project number	RYAN
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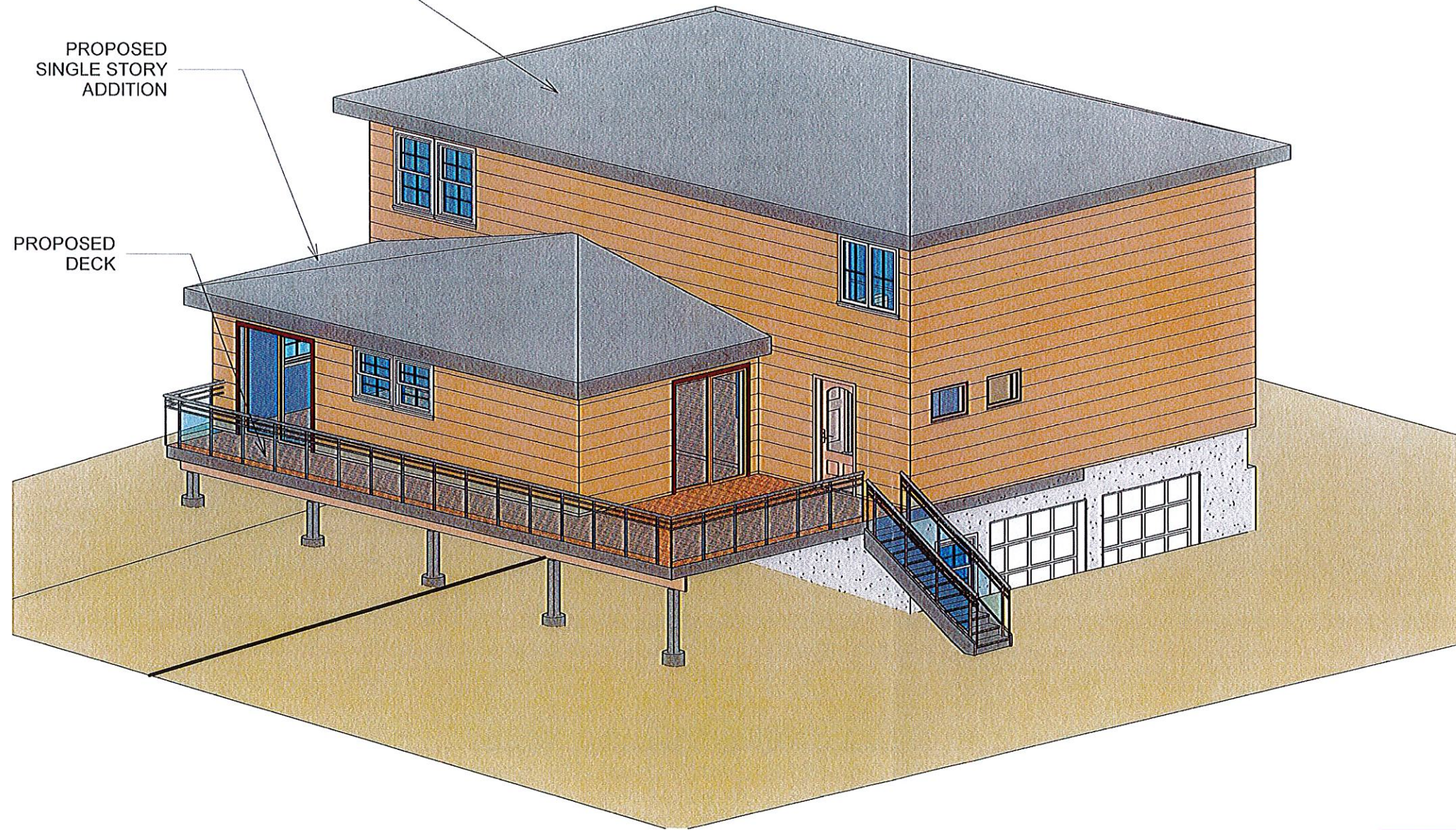
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Scale 3/16" = 1'-0"

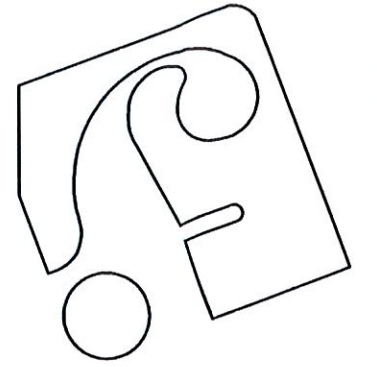
EXISTING HOUSE

PROPOSED
SINGLE STORY
ADDITION

PROPOSED
DECK



1 3D WORKING VIEW



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3D

Project number	RYAN
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ZBA-4

Scale

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