

PROJECT NAME: 59 TWEED BOULEVARD

PROJECT ARCHITECT: IKE KLIGERMAN BARKLEY
CIVIL ENGINEER: DOMINICK R.PILLA ASSOCIATES PC

PROJECT ADDRESS: 59 TWEED BOULEVARD, NYACK, NY 10965

ISSUED: FOR BUILDING PERMIT

CIVIL PLANS-PAA#1

ORIGINAL SUBMISSION DATE: 8/17/2021
REVISION 1 DATE: 2/2/2022
REVISION 2 DATE: 5/24/2022
REVISION 3 DATE: 8/16/2022
REVISION 4 DATE: 10/12/2022
PAA#1 DATE: 09/15/2023

REVISION 6 DATE: 01/22/2024

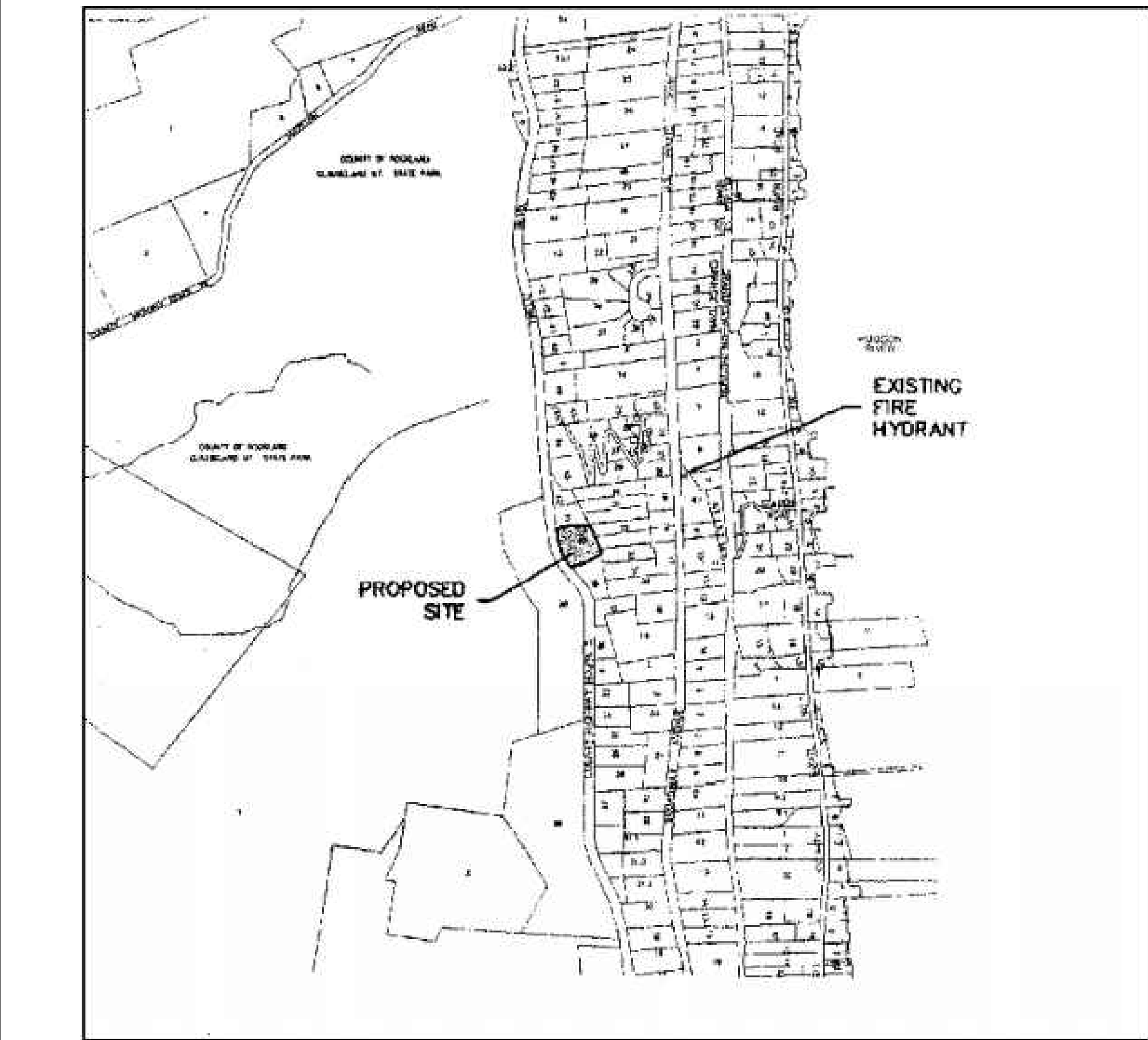
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PROPERTY INFORMATION:

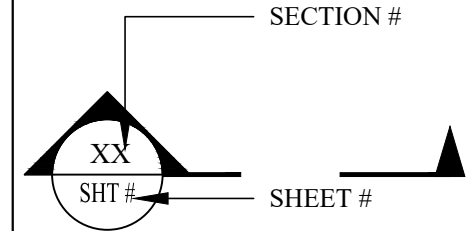
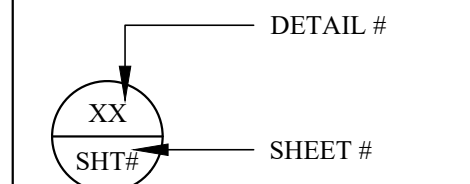
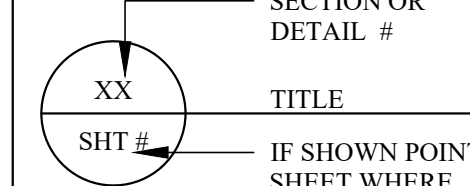
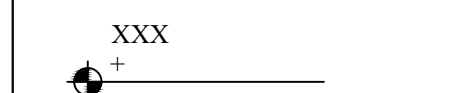
ADDRESS: 59 TWEED BOULEVARD, NYACK, NY 10965
SECTION: 71.13
BLOCK: 1
LOT: 40
LOT AREA: 47,906 SQFT

ZONING DISTRICT: R-22
SCHOOL DISTRICT: SOUTH ORANGETOWN CENTRAL DISTRICT 1
FIRE DISTRICT: BLAUVELT
WATER DISTRICT: VEOLIA
SEWER DISTRICT: ORANGETOWN SEWER DISTRICT
LIGHTING DISTRICT: ORANGETOWN

AREA OF DISTURBANCE = 29,585 SQFT



A VICINITY MAP

LEGEND	
	SECTION SYMBOL
	DETAIL REFERENCE SYMBOL
	PLAN, SECTION, OR DETAIL TITLE SYMBOL
	ELEVATION SYMBOL

ABBREVIATION	
AESS	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL
B	BOTTOM REINFORCEMENT
BOC	BOTTOM OF CURB
BM	BEAM
BS	BOTH SIDES
BU	BUILT UP MEMBER
C	COMPRESSION FORCE IN KIPS
CANT.	CANTILEVER
CL	CENTER LINE
CG	CENTER OF GRAVITY
COL	COLUMN
CONT	CONTINUOUS
COMP LAP	COMPRESSION REINF LAP SLICE
CP	COMPLYR PENETRATION ERLF
DB	FISMRKYT OF REINFORCEMENT BAR
DEL	DELTA OR CHANGE IN ELEVATION
(E)	EXISTING CONSTRUCTION
EF	EACH FACE
EL	ELEVATION
EW	EACH WAY
F	FINISHED SURFACE
GB	GRADE BEAM
H	HORIZONTAL REINFORCEMENT
H	HORIZONTAL FORCE IN KIJS
JI,J2	NEW CODE FORMED STEEL JOISTS
LAP	FULL TENSION CAPACITY LAP SPICE
LD	TENSION DEVELOPMENT LENGTH FOR REINFORCINGBARS
LDC	COMPRESSION SPICE LENGTH FOR REINFORCE BARS
LLBB	LONG LEGS BACK-TO-BACK
LW	LIGHTWEIGHT CONCRETE
M	BENING MOMENT IN FOOT-KIPS
MC	MOMENT CONNECTION SHOWN ON DRAWING
MIN	MINIMUM
(N)	NEW CONSTRUCTION
N	BEARING BOLTS THREADS INCLUDED IN SHEAR PLANE
NTS	NOT TO SCALE
OC	ON CENTER
PC	PILE CAP
PL	PLATE
PP	PARTIAL PENETRATION WELD
PEOP	PROPERTY LINE
SAD	SEE ARCHITECTURAL DRAWINGS/DETAILS
S1,S2	SLAB ON DECK TYPE
SC	SLIP CRITICAL BOLT
SIM	SIMILAR
T	TENSION FORCE IN KIPS
T	THICKNESS
T	TOP REINFORCEMENT
TBC	TO BE CONFIRMED
TOC	TOP OF CURB
TOF	TOP OF FOOTING
TOS	TOP OF STEEL
TYP	TYPICAL
UNO,UON	UNLESS OTHERWISE NOTED
M	VERTICAL REINFORCEMENT
V	VERTICAL BEAM END REACTION IN KIPS
VIF	VERIFY IN FIELD
WP	WORKPOINT
WWF	WELDED WIRE FABRIC

CONSTRUCTION NOTES:

- ANY EXISTING UTILITIES AND UNDERGROUND STRUCTURES SHOWN ON THE PLAN ARE BASED UPON THE BEST AVAILABLE PUBLIC RECORDS, PRIVATE RECORDS AS SUPPLIED BY THE OWNER, OR DATA OBTAINED VERBALLY FROM OWNERS OR OFFICIALS FAMILIAR WITH THE PROJECT SITE. NEITHER THE OWNER NOR THE ENGINEER GUARANTEE ACCURACY OR COMPLETENESS OF THIS INFORMATION AND ASSUME NO RESPONSIBILITY FOR IMPROPER LOCATIONS ON THE CONSTRUCTION PLANS. OTHER UNDERGROUND FACILITIES NOT SHOWN ON THE DRAWINGS MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL INVERT ELEVATIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- IF CHANGED CONDITIONS ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF EITHER (1) PREEXISTING SUBSURFACE CONDITIONS DIFFERING FROM THOSE INDICATED IN THE PLANS, OR (2) PREEXISTING UNKNOWN SUBSURFACE CONDITIONS OF AN UNUSUAL NATURE, DIFFERING MATERIALLY FROM THOSE ORIGINALLY ENCOUNTERED AND GENERALLY RECOGNIZED AS INHERENT IN THE CHARACTER OF THE WORK PROVIDED FOR IN THE CONTRACT. THE CONTRACTOR AND/OR OWNER SHALL MAKE NO CLAIMS TO THE ENGINEER FOR RECOMPENSATION FOR EXTRA WORK RESULTING FROM CHANGED CONDITIONS UNLESS THE ENGINEER HAS APPROVED THE WORK IN WRITING.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND APPROVED CITY ORDINANCES AND SHALL POST SUCH DOCUMENTS AT VISIBLE LOCATIONS AND MAINTAIN UPDATED DOCUMENTATION ACCORDINGLY.
- CONTRACTOR SHALL CALL THE UTILITIES UNDERGROUND LOCATION CENTER FOR FIELD LOCATIONS OF ALL UTILITIES AND SHALL NOT BEGIN EXCAVATION UNTIL ALL KNOWN UNDERGROUND FACILITIES IN THE VICINITY OF THE PROPOSED WORK HAVE BEEN LOCATED AND MARKED. IF THE UTILITY IS NOT A SUBSCRIBER OF THE UTILITIES UNDERGROUND LOCATION CENTER, THEN THE CONTRACTOR SHALL GIVE NOTICE TO THAT UTILITY.
- THE CONTRACTOR IS RESPONSIBLE FOR REVIEW OF ALL INFORMATION PROVIDED BY UTILITY PURVEYORS, AND CITY OR STATE RECORDS RELATED TO THE EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR AVOIDING DAMAGE TO THESE FACILITIES AND SHALL RESTORE ALL UTILITIES AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL NOTIFY ALL UTILITY SERVICES FOR TEMPORARY SHUT OFF AS REQUIRED. CONTRACTOR SHALL MAINTAIN AND PROTECT SERVICES AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
- NO PUBLIC WAYS OR WALKS MAY BE OBSTRUCTED WITHOUT THE WRITTEN PERMISSION OF GOVERNING AUTHORITIES AND OF THE OWNER. WHERE ROUTES ARE PERMITTED TO BE CLOSED, PROVIDE ALTERNATE ROUTES AND SIGNAGE IF REQUIRED.
- WET DEBRIS WITH WATER AS NECESSARY TO LIMIT DUST TO LOWEST PRACTICAL LEVEL. DO NOT WET TO THE EXTENT OF FLOODING, CONTAMINATED RUNOFF, OR ICING.
- ANY PORTIONS OF PAVEMENT TO BE REMOVED MUST BE SEPARATED BY MAKING A NEAT VERTICAL SAW CUT ALONG THE BOUNDARIES OF THE AREA TO BE REMOVED. MAKE CUTS AT CLOSEST PAVING JOINT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT, AND SERVICES TO PROPERLY EXECUTE THE DEMOLITION AND REMOVAL WORK INDICATED ON THESE CONSTRUCTION DOCUMENTS
- ALL DEMOLITION WORK SHALL BE PERFORMED WITH MINIMUM DAMAGE TO THE EXISTING WORK TO REMAIN. IT SHALL BE RECOGNIZED THAT THE UTMOST CARE BE TAKEN WHEN PERFORMING THE DEMOLITION WORK. PROVIDE BARRICADES, BARRIERS, AND SHORING WHERE REQUIRED TO PROTECT THE PUBLIC, PERSONNEL, CONSTRUCTION, AND VEGETATION TO REMAIN. COMPLY WITH ALL STATE AND LOCAL AGENCY REQUIREMENTS.
- PROVISIONS SHALL BE MADE TO ALLEVIATE THE SPREAD OF DEBRIS, DIRT, AND DUST TO THE ADJACENT PROPERTIES. THE PROPERTY SHALL BE KEPT AS CLEAN AS POSSIBLE AT ALL TIMES. MAINTAIN HAULING ROUTES CLEAN AND FREE OF ANY DEBRIS RESULTING FROM DEMOLITION WORK ON THIS PROJECT. ANY HAZARDOUS MATERIAL REMOVAL, SUCH AS ASBESTOS REMOVAL, SHALL BE PERFORMED PRIOR TO ANY DEMOLITION ACTIVITY. THE HAZARDOUS MATERIAL REMOVAL SHALL BE PERFORMED BY A LICENSED ABATEMENT COMPANY.
- THE REFUSE RESULTING FROM ANY CLEARING AND GRUBBING AND ALL DEBRIS AND MATERIALS FROM ANY STRUCTURE(S) TO BE DEMOLISHED SHALL BE DISPOSED OF BY THE CONTRACTOR IN A MANNER CONSISTENT WITH ALL GOVERNMENT REGULATIONS. IN NO CASE SHALL REFUSE MATERIAL BE LEFT ON THE PROJECT SITE, PUSHED ONTO ABUTTING PRIVATE PROPERTIES, OR BE BURIED IN EMBANKMENTS OR TRENCHES ON THE PROJECT SITE. DEBRIS SHALL NOT BE DEPOSITED IN ANY STREAM, LAKE, WETLAND, BODY OF WATER, OR IN ANY STREET OR ALLEY, OR UPON ANY PRIVATE PROPERTY EXCEPT BY WRITTEN CONSENT OF THE PRIVATE PROPERTY OWNER. NO RECLAIMED LUMBER OR MATERIALS SHALL BE RE-USED EXCEPT AS SPECIFICALLY APPROVED BY THE ARCHITECT OR OWNER.
- WHERE DEMOLITION AND CUTTING WORK HAS OCCURRED OR WHERE EXISTING SURFACES, MATERIALS, OR OTHER ITEMS HAVE BEEN DAMAGED OR DISTURBED AS A RESULT OF THE CONTRACTED WORK, THE SAID SURFACES AND AREAS SHALL BE CAREFULLY CLOSED UP, PATCHED, REPAIRED, FINISHED, OR RESTORED AS REQUIRED TO BE CONTIGUOUS TO EXISTING SURROUNDING SURFACES.
- ALL MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION, INCLUDING GAS LINE REMOVAL IS TO BE PERFORMED BY A CONTRACTOR OR SUB-CONTRACTOR LICENSED IN THE PARTICULAR TRADE.

STORM WATER SYSTEM CLEANING AND MAINTENANCE:

STORM WATER SYSTEM, INCLUDING ANY ROOF GUTTERS AND UNDERGROUND PIPING, SHOULD BE CLEANED OF LEAVES, SAND, DIRT, SEDIMENT, TRASH AND OTHER DEBRIS BY HAND OR BY VACTOR TRUCK. THE SYSTEM IS TO BE EVALUATED, CLEANED AND MAINTAINED AT LEAST TWO TIMES PER YEAR. SURFACE GRATES AND INTERIOR SUMPS SHOULD BE MAINTAINED TO FUNCTION AS ORIGINALLY DESIGNED. SEE MAINTENANCE PLAN ON FILE WITH BOTH THE PROPERTY OWNER AND THE LOCAL BUILDING DEPARTMENT FOR MORE DETAILS.

ZONING ANALYSIS (ZONE R-22, USE GROUP 1, SINGLE FAMILY RESIDENCE)			
USE GROUP 0	REQUIRED	EXISTING	PROPOSED
LOT GROSS AREA (SQFT)	22,500	47,906	47,906
AREAS WITH SLOPES > 25% (SQFT)	-	15,625.80	15,625.80
SLOPE DEDUCTION SLOPES > 25% (SQFT)	-	7,812.90	7,812.90
NET AREA (SQFT)	-	40,078.10	40,078.10
FLOOR AREA RATIO	0.20	0.13 ²	0.158 ²
LOT WIDTH (FT)	125	249.41	249.41
STREET FRONTAGE (FT)	75	256.14	256.14
FRONT YARD SETBACK (FT)	40	43.5	40.6
SIDE YARD (ONE) SETBACK (FT)	25	24.3	24.3
SIDE YARD (BOTH) SETBACK (FT)	60	100.7	63.3
REAR YARD SETBACK (FT)	45	98.6	98.6
BLDG. HEIGHT 9"/FT FROM LOT LINE	9"/FT	28'-10" (7.95"/FT) MAIN HOUSE	19'-2" (5.67"/FT) POOL HOUSE

¹ EXISTING NON-CONFORMING CONDITIONS
² BASED ON FLOOR AREA OF 6,168 SQFT EXISTING, 7,587 PROPOSED, AND GROSS LOT AREA
³ ALLOWABLE BUILDING HEIGHT IS 9"/FT FROM LOT LINE (DSL).
EXISTING BUILDING IS 43.5' FROM DSL
EXISTING 9"/FT X 43.5 = 393.5' = 32.77'
EXISTING HEIGHT OF HOUSE 28'-10" = 346"/43.5 = 7.95 IN/FT
PROPOSED BUILDING IS 40.6' FROM DSL
PROPOSED 9"/FT X 40.6 = 365.4' = 30.45'
PROPOSED HEIGHT OF POOL HOUSE 19'-2" = 230"/40.6 = 5.67 IN/FT

KLIGERMAN
ARCHITECTURE
& DESIGN

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59
TWEED BOULEVARD

No.	REMARKS	DATE
1	REVISION 1	2/2/2022
2	REVISION 2	5/24/2022
3	REVISION 3	8/16/2022
4	REVISION 4	10/12/2022
5	PAA#1	9/15/2023
6	REVISION 6	1/23/2024

PROJECT:
RESIDENCE
59 TWEED BOULEVARD
ORANGETOWN, NY 10960

SEAL & SIGNATURE:



TITLE SHEET

DATE: 09/15/2023
PROJECT No.: 21-077
DRAWING BY: JB
CHK BY: GF
DWG No.:

C-001.06

GENERAL NOTES

- UNLESS OTHERWISE NOTED OR SHOWN ON THE CIVIL DRAWINGS, THE FOLLOWING REQUIREMENTS, TOGETHER WITH THE PROJECT PLANS, SPECIFICATIONS AND GEOTECHNICAL REPORT APPLY TO THE STRUCTURES IN THIS CONTRACT.
- CONSTRUCTION IS TO COMPLY WITH THE REQUIREMENTS OF THE GOVERNING BUILDING CODE AND ALL OTHER APPLICABLE FEDERAL, STATE, AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
 - THE CIVIL DOCUMENTS SHALL BE USED IN CONJUNCTION WITH AND COORDINATED WITH THE ARCHITECTURAL, STRUCTURAL, AND MEP CONTRACT DOCUMENTS, AS WELL AS ANY OTHER TRADES. IF A CONFLICT EXISTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER AND OBTAIN CLARIFICATION PRIOR TO BIDDING AND PROCEEDING WITH WORK.
 - THE GENERAL CONTRACTOR SHALL COORDINATE ALL CONTRACT DOCUMENTS WITH FIELD CONDITIONS, DIMENSIONS, ELEVATIONS AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS; USE ONLY PRINTED DIMENSIONS. REPORT ANY DISCREPANCIES IN WRITING TO THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH WORK. DO NOT CHANGE SIZE OR LOCATION OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE STRUCTURAL ENGINEER OF RECORD.
 - CONTRACTORS WHO DISCOVER DISCREPANCIES, OMISSIONS OR VARIATIONS IN THE CONTRACT DOCUMENTS DURING BIDDING SHALL IMMEDIATELY NOTIFY THE ARCHITECT. THE ARCHITECT WILL RESOLVE THE CONDITION AND ISSUE A WRITTEN CLARIFICATION.
 - THE CONTRACTOR SHALL PROTECT ADJACENT PROPERTY, HIS OWN WORK AND THE PUBLIC FROM HARM. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, AND JOBSITE SAFETY INCLUDING ALL OSHA REQUIREMENTS.
 - DETAILS LABELED "TYPICAL" APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY REFERENCED, WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. QUESTIONS REGARDING THE APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.

CODES AND SPECIFICATIONS

THE DESIGN SHOWN ON THESE DRAWINGS IS BASED ON THE FOLLOWING CODES, SPECIFICATIONS AND STANDARDS:

- " BUILDING CODE OF NEW YORK STATE," 2020.
ASCE 7-16: "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES."

SHOP DRAWINGS AND OTHER SUBMITTALS

- INCOMPLETE SUBMITTALS WILL BE RETURNED WITHOUT REVIEW.
- ON FIRST SUBMITTAL, CLEARLY FLAG AND CLOUD ALL DIFFERENCES FROM THE CONTRACT DOCUMENTS. ON RE-SUBMITTALS, FLAG AND CLOUD ALL CHANGES AND ADDITIONS TO PREVIOUS SUBMITTAL. ONLY CLOUDED ITEMS WILL BE REVIEWED.
- A DELEGATED ENGINEER IS DEFINED AS A NEW YORK STATE LICENSED ENGINEER WHO SPECIALIZES IN AND UNDERTAKES THE DESIGN OF CIVIL COMPONENTS OR CIVIL SYSTEMS INCLUDED IN A SPECIFIC SUBMITTAL, PREPARED FOR THIS PROJECT AND IS AN EMPLOYEE OR OFFICER OF, OR CONSULTANT TO, THE CONTRACTOR OR FABRICATOR RESPONSIBLE FOR THE SUBMITTAL. THE DELEGATED ENGINEER SHALL SIGN, SEAL AND DATE THE SUBMITTAL, INCLUDING CALCULATIONS AND DRAWINGS. SEE SPECIFICATIONS FOR MORE SPECIFIC CRITERIA.
- THE TRADE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING AND CORRELATING DIMENSIONS AT THE JOB SITES, FOR TOLERANCES, CLEARANCES, QUANTITIES, FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, COORDINATION OF THE WORK WITH OTHER TRADES AND FULL COMPLIANCE WITH THE CONTRACT DOCUMENTS.
- THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER SHALL REVIEW AND APPROVE SUBMITTALS AND SHALL SIGN AND DATE EACH DRAWING PRIOR TO SUBMITTING TO THE ARCHITECT. THIS APPROVAL IS TO CONFIRM THAT THE SUBMITTAL IS COMPLETE, COMPLIES WITH THE SUBMITTAL REQUIREMENTS AND IS COORDINATED WITH FIELD DIMENSIONS, OTHER TRADES, ERECTION SEQUENCING AND CONSTRUCTABILITY.
- THE CIVIL ENGINEER REVIEWS SUBMITTALS TO CONFIRM THAT THE SUBMITTAL IS IN GENERAL CONFORMANCE WITH THE DESIGN CONCEPT PRESENTED IN THE CONTRACT DOCUMENTS. QUANTITIES AND DIMENSIONS ARE NOT CHECKED. NOTATIONS ON SUBMITTALS DO NOT AUTHORIZE CHANGES TO THE CONTRACT SUM. CHECKING OF THE SUBMITTAL BY THE CIVIL ENGINEER SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR DEVIATIONS FROM THE CONTRACT DOCUMENTS AND FROM ERRORS OR OMISSIONS IN THE SUBMITTAL.
- IN ADDITION TO THE ABOVE, THE CIVIL ENGINEER'S REVIEW OF DELEGATED ENGINEER SUBMITTALS IS LIMITED TO VERIFYING THAT THE SPECIFIED CIVIL SUBMITTAL HAS BEEN FURNISHED, SIGNED AND SEALED BY THE DELEGATED ENGINEER AND THAT THE DELEGATED ENGINEER HAS UNDERSTOOD THE DESIGN INTENT AND USED THE SPECIFIED CIVIL CRITERIA. NO DETAILED CHECK OF CALCULATIONS WILL BE MADE. THE DELEGATED ENGINEER IS SOLELY RESPONSIBLE FOR HIS/HER DESIGN, INCLUDING BUT NOT LIMITED TO THE ACCURACY OF HIS/HER CALCULATIONS AND COMPLIANCE WITH THE APPLICABLE CODES AND STANDARDS.
- CAD FILES OF CIVIL DRAWINGS MAY BE USED AS AN AID IN PREPARING SHOP DRAWINGS ONLY UPON THE CONTRACTOR SIGNING AN AGREEMENT. WHEN CAD FILES OR COPIES OF THE CIVIL DRAWINGS ARE MADE AVAILABLE, IT IS UNDER THE FOLLOWING CONDITIONS:
 - ALL INFORMATION CONTAINED IN THE CAD FILES OR COPIES OF THE CIVIL DRAWINGS ARE INSTRUMENTS OF SERVICE OF THE ARCHITECT/ENGINEER AND SHALL NOT BE USED FOR OTHER PROJECTS, ADDITIONS TO THE PROJECT OR THE COMPLETION BY OTHER PROJECT BY OTHERS. CAD FILES AND COPIES OF THE CIVIL DRAWINGS REMAIN THE PROPERTY OF DOMINICK R. PILLA ASSOCIATES AND IN NO CASE SHALL THEIR TRANSFER BE CONSIDERED A SALE.
 - CAD FILES OR COPIES OF THE CIVIL DRAWINGS ARE NOT CONTRACT DOCUMENTS. IN THE EVENT OF A CONFLICT, THE CIVIL DRAWINGS SHALL GOVERN.
 - THE USE OF CAD FILES OR COPIES OF THE CIVIL DRAWINGS SHALL NOT IN ANY WAY RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR PROPER CHECKING AND COORDINATION OF DIMENSIONS, DETAILS, SIZES AND QUANTITIES OF MATERIALS AS REQUIRED FOR THE PREPARATION OF COMPLETE AND ACCURATE SHOP DRAWINGS.
 - THE CONTRACTOR SHALL REVISE ALL REFERENCES TO CONTRACT DOCUMENT SHEET NUMBERS AND SECTION MARKS AND SHALL REMOVE INFORMATION THAT IS NOT REQUIRED FOR THEIR WORK FROM THE CAD FILES OR COPIES OF THE CIVIL DRAWINGS, INCLUDING THE TITLE BLOCK.
 - DIMENSIONS IN THE CAD FILES MAY NOT BE PRECISE AND, IN SOME CASES, HAVE BEEN INTENTIONALLY ALTERED FOR PRESENTATION PURPOSES. DO NOT SCALE DIMENSIONS ELECTRONICALLY OR OTHERWISE.

SUBMITTALS REQUIRED:

- THE FOLLOWING ITEMS REQUIRE SUBMITTAL OF SHOP AND ERECTION DRAWINGS AND STRUCTURAL CALCULATIONS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF NEW YORK:
 - SUPPORT OF EXCAVATION.
 - DRYWELL SPECIFICATIONS

EXCAVATION, BACKFILL AND DEWATERING

- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT AND OSHA REGULATIONS. DO NOT EXCAVATE WITHIN ONE FOOT OF THE ANGLE OF REPOSE OF ANY SOIL BEARING FOUNDATION UNLESS THE FOUNDATION IS PROPERLY PROTECTED AGAINST SETTLEMENT.
- DO NOT BACKFILL AGAINST WALLS UNTIL 7 DAYS AFTER THE WALLS ARE BRACED BY THE STRUCTURE OR ARE TEMPORARILY BRACED. DO NOT BACKFILL CANTILEVERED RETAINING WALLS UNTIL CONCRETE IS 7 DAYS OLD. DO NOT BACKFILL UNTIL AFTER COMPLETION AND INSPECTION OF ANY WATERPROOFING.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DISPOSAL OF ALL ACCUMULATED WATER IN A MANNER THAT DOES NOT INCONVENIENCE OR DAMAGE THE WORK.

REINFORCED CONCRETE

- COMPLY WITH ACI 301 AND 318.
- ALL CAST-IN-PLACE CONCRETE SHALL BE CONTROLLED CONCRETE AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (F_c) AT 28 DAYS AS FOLLOWS:

FOOTINGS	4,000 PSI
POURED WALLS	4,000 PSI
SLABS-ON-GRADE	4,000 PSI
SLAB ON METAL DECK	4,000 PSI (L.T. WT. CONC.)
- USE NORMAL WEIGHT CONCRETE FOR ALL STRUCTURAL MEMBERS. U.O.N.
- CONCRETE REINFORCEMENT SHALL BE ASTM A615, GRADE 60 DEFORMED REINFORCING STEEL. LAP BOTTOM STEEL OVER SUPPORTS AND TOP STEEL AT MIDSPAN (U.O.N.). HOOK DISCONTINUOUS ENDS OF ALL TOP BARS AND ALL BARS IN WALLS, U.O.N.
- USE EPOXY COATED REINFORCEMENT CONFORMING TO ASTM A775 FOR CONCRETE SUBJECT TO WATER AND CHLORITE PENETRATION.

A.LOADING DOCK SLABS AND WALLS.
- WHERE SPECIFIED, PROVIDE PLAIN, COLD-DRAWN ELECTRONICALLY WELDED WIRE REINFORCEMENT (WWF) CONFORMING TO ASTM A185. SUPPLY IN FLAT SHEETS ONLY. LAP SPLICE SHALL BE ONE CROSS WIRE SPACING PLUS TWO INCHES.
- FOLLOW ACI 117-10 "SPECIFICATION FOR TOLERANCES OF CONCRETE CONSTRUCTION AND MATERIALS" FOR REQUIRED TOLERANCES.
- UTILITIES SHALL NOT PENETRATE BEAMS OR COLUMNS BUT MAY PASS THROUGH SLABS AND WALLS INDIVIDUALLY, UON. SEE TYPICAL DETAILS.
- PROVIDE CONSTRUCTION JOINTS IN ACCORDANCE WITH ACI 318, SECTION 6.4. PROVIDE KEYWAYS AND ADEQUATE DOWELS. SUBMIT DRAWINGS SHOWING LOCATION OF CONSTRUCTION JOINTS AND DIRECTION OF POUR FOR REVIEW.
- PROVIDE 3/4" CHAMFER FOR ALL EXPOSED CORNERS. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL CONCRETE FINISH REQUIREMENTS.

CONCRETE FIELD TESTING:

- TESTING: OWNER WILL ENGAGE A QUALIFIED TESTING AGENCY TO PERFORM FIELD TESTS AND PREPARE TEST REPORTS.
- CONCRETE TESTS: TESTING OF COMPOSITE SAMPLES OF FRESH CONCRETE OBTAINED ACCORDING TO ASTM C172 AND SECTION BC 1905.6.5 OF NYC BUILDING CODE SHALL BE PERFORMED ACCORDING TO THE FOLLOWING REQUIREMENTS:
 - TESTING FREQUENCY: OBTAIN ONE COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIXTURE LESS THAN 25 CU. YD., PLUS ONE SET FOR EACH ADDITIONAL 50 CU. YD. OR FRACTION THEREOF.
 - WHEN FREQUENCY OF TESTING WILL PROVIDE FEWER THAN FIVE COMPRESSIVE STRENGTH TESTS OF EACH CONCRETE MIXTURE, TESTING SHALL BE CONDUCTED FROM AT LEAST FIVE RANDOMLY SELECTED BATCHES OR FROM EACH BATCH IF FEWER THAN FIVE ARE USED.
 - WATER CONTENT AND SLUMP: VERIFY WATER CONTENT IN ACCORDANCE WITH AASHTO T-318 "STANDARD METHOD OF TESTS FOR WATER CONTENT USING MICROWAVE OVEN DRYING." TEST SLUMP IN ACCORDANCE WITH ASTM C143; ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIXTURE. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE.
 - AIR CONTENT: ASTM C231, PRESSURE METHOD, FOR NORMAL-WEIGHT CONCRETE; ASTM C173, VOLUMETRIC METHOD, FOR LIGHTWEIGHT CONCRETE; ONE TEST FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIXTURE.
 - CONCRETE TEMPERATURE: ASTM C1064; ONE TEST HOURLY WHEN AIR TEMPERATURE IS 40 DEG F AND BELOW AND WHEN 80 DEG F AND ABOVE, AND ONE TEST FOR EACH COMPOSITE SAMPLE.
 - COMPRESSION TEST SPECIMENS: ASTM C31.
 - CAST AND LABORATORY CURE ALL TEST CYLINDER SPECIMENS.
 - WHEN REQUIRED, CAST AND FIELD CURE TWO SETS OF TWO STANDARD CYLINDER SPECIMENS FOR EACH COMPOSITE SAMPLE.
 - COMPRESSIVE-STRENGTH TESTS: ASTM C39 AND SECTION BC 1905.6.2 OF THE NYC BUILDING CODE; TEST FIRST SET OF TWO LABORATORY-CURED SPECIMENS AT 7 DAYS FOR INFORMATION, SECOND SET OF TWO LABORATORY-CURED SPECIMENS AT 28 DAYS FOR ACCEPTANCE AND THIRD SET OF TWO SPECIMENS AT 56 DAYS IF NECESSARY.
 - TEST ONE SET OF FIELD-CURED SPECIMENS AT 7 DAYS AND ONE SET OF TWO SPECIMENS AT 28 DAYS.
 - A COMPRESSIVE-STRENGTH TEST SHALL BE THE AVERAGE COMPRESSIVE STRENGTH FROM A SET OF TWO SPECIMENS OBTAINED FROM SAME COMPOSITE SAMPLE AND TESTED AT AGE INDICATED.

AREA OF DISTURBANCE

AREA OF DISTURBANCE = 29,585 SQFT

KLIGERMAN
ARCHITECTURE
& DESIGN

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📍 143 Main Street 📍 5 Columbus Circle
Nyack, NY, 10960 11th Fl
New York, NY, 10019
@ drpilla.com

59
TWEED BOULEVARD

No.	REMARKS	DATE
1	REVISION 1	2/2/2022
2	REVISION 2	5/24/2022
3	REVISION 3	8/16/2022
4	REVISION 4	10/12/2022
5	PAA#1	9/15/2023
6	REVISION 6	1/23/2024

PROJECT:
RESIDENCE
59 TWEED BOULEVARD
ORANGEBURG, NY 10960

SEAL & SIGNATURE:



GENERAL NOTES

DATE: 09/15/2023
PROJECT No.: 21-077
DRAWING BY: JB
CHK BY: GF
DWG No.:

C-002.03

REFERENCE:
1) LOT 40 BLOCK 1 SECTION 71.13 AS SHOWN ON THE TAX MAP OF TOWN OF ORANGETOWN, ROCKLAND COUNTY, NEW YORK.
2) ALSO KNOWN AS PART OF SUBDIVISION MAP ENTITLED, "MINOR SUBDIVISION FOR ERNEST G. HESSE & ALICE W. HESSE IN UPPER GRANDVIEW, TOWN OF ORANGETOWN, ROCKLAND COUNTY-NEW YORK." DATED JULY 11, 1973.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON. CERTIFICATIONS ARE NOT TRANSFERRABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

IT IS A VIOLATION OF THE STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY.

ONLY COPIES OF THIS SURVEY MARKED WITH THE LAND SURVEYOR'S SIGNATURE AND AN ORIGINAL EMBOSSED OR INKED SEAL ARE THE PRODUCT OF THE LAND SURVEYOR.

THIS SURVEY WAS PREPARED FOR THE PARTIES AND PURPOSE INDICATED HEREON. ANY EXTENSION OF THE USE BEYOND THE PURPOSE AGREED TO BETWEEN THE CLIENT AND THE SURVEYOR EXCEEDS THE SCOPE OF THE ENGAGEMENT.

SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE REPORT.

No.	REMARKS	DATE
1	REVISION 1	2/2/2022
2	REVISION 2	5/24/2022
3	REVISION 3	8/16/2022
4	REVISION 4	10/12/2022
5	PAA#1	9/15/2023
6	REVISION 6	1/23/2024

PROJECT:
RESIDENCE
59 TWEED BOULEVARD
ORANGETOWN, NY 10960

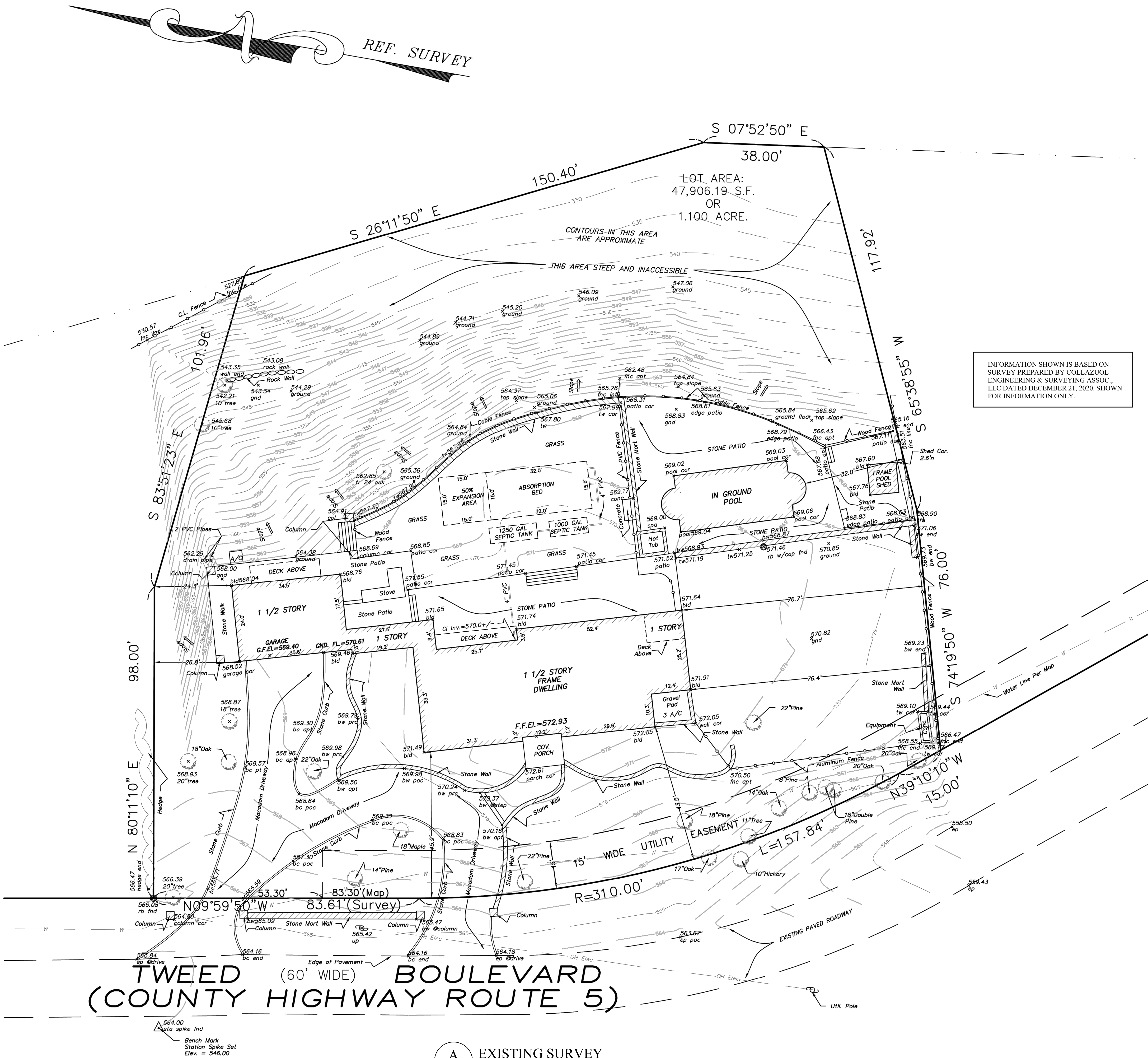
SEAL & SIGNATURE:



EXISTING SURVEY AT
59 TWEED BLVD

DATE: 09/15/2023
PROJECT No.: 21-077
DRAWING BY: JB
CHK BY: GF
DWG No.:

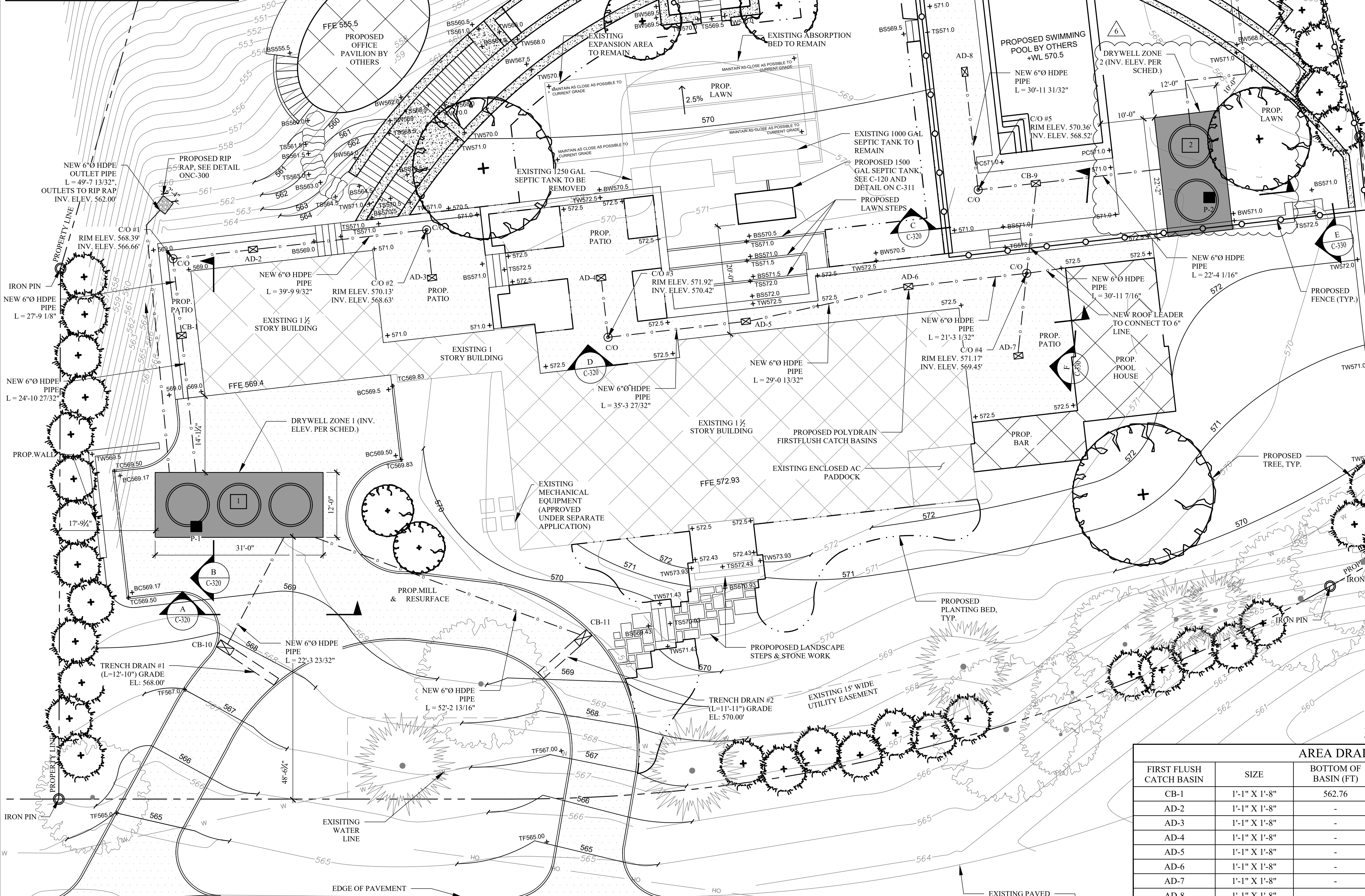
C-003.00



ADDITIONAL PERCOLATION TEST RESULTS				
INFILTRATION TIME (MINS)	P-1		P-2	
	INFILTRATION LEVEL DRAW DOWN (FT)	INFILTRATION RATE (IN/MIN)	INFILTRATION LEVEL DRAW DOWN (FT)	INFILTRATION RATE (IN/MIN)
24HRS	PRE-SOAK	-	PRE-SOAK	-
0	0.000	-	0.000	-
1	0.125	0.125	0.063	0.063
5	0.375	0.063	0.250	0.047
10	0.813	0.088	0.500	0.050
15	1.125	0.063	0.875	0.075
30	2.125	0.067	1.875	0.067

NOTE: PERCOLATION RATE = 4 IN/HR

SUBCATCHMENT AREAS		
AREAS (SQFT)	EXISTING	PROPOSED
TOTAL AREA	47,906	47,906
ROOF AREA	4,305	5,584
IMPERVIOUS AREA	8,857	9,508
PERVIOUS AREA	34,744	32,814
TOTAL IMPERVIOUS ADDED:	1,930	



PROPOSED SITE AND DRAINAGE PLAN
SCALE: 1"=10'
TWEED BOULEVARD
(COUNTY HIGHWAY ROUTE 5)
(60' WIDE)

DRYWELL SCHEDULE							
ZONE	SOURCE	SIZE	GRADE ELEV	T.O. GRAVEL ELEV. (FT)	DRYWELL ELEV. (FT)	INLET/OUTLET INV. ELEV. (FT)	B.O. DRYWELL ELEV (FT)
1	DRIVEWAY AND PATIO (1)	(3) 8'-0" DIA. X 4'-0" DEEP	596.00'	566.42'	565.59	565.09	561.26'
2	PATIO (1) & POOL HOUSE ROOF	(2) 8'-0" DIA. X 7'-0" DEEP	568.00'-571.00'	567.42'	566.59	566.09	558.92'

SIGNATURE _____ DATE _____

LEGEND	
	PROPERTY LINE
	ROOF AREA
	IMPERVIOUS AREA
	TRENCH DRAIN
	NEW CONTOURS
	EXISTING CONTOURS
	NEW STORMWATER DRAIN LINE
	EXISTING OVERHEAD WIRES
	PROPOSED PLANTING BED
	CATCH BASIN
	DETENTION SYSTEM ZONE 1
	DETENTION SYSTEM ZONE 2
	BORING LOCATION AND NUMBER
	TEST PIT LOCATION AND NUMBER
	ADDITIONAL TEST PIT LOCATION AND NUMBER

- GENERAL NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH NEW YORK DOT REGULATIONS AND CODES AND OSHA STANDARDS. THE CONTRACTOR SHALL OBTAIN FINAL PERMITTING AND APPROVAL/INSPECTIONS AS REQUIRED FROM THE LOCALITY.
 - THE CONTRACTOR SHALL VERIFY ELEVATIONS AT CONNECTION POINTS OR ANY EXISTING UTILITY CROSSING PRIOR TO ORDERING STRUCTURES. REPORT ANY CONFLICTS TO THE ENGINEER.
 - ALL SPOT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATION UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIRS TO UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
 - STORM SEWER CATCH BASINS, CURB INLETS MANHOLES AND ENDWALLS SHALL CONFORM TO NEW YORK DOT STANDARD CONSTRUCTION DRAWINGS.
 - PROVIDE 2% MAXIMUM CROSS SLOPE ON ALL SIDEWALKS AND ADA PARKING AREAS.
 - CONTRACTOR SHALL APPLY EROSION CONTROL BLANKET AND LOW MAINTENANCE GRASS SEED MIX TO ALL SLOPES 3:1V OR GREATER. REFER TO SOIL EROSION AND SEDIMENT CONTROL DETAIL FOR LOW MAINTENANCE GRASS SEED MIXTURE SPECIFICATION.
 - REFER TO GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION.
 - IRON PINS SHALL BE INSTALLED AT EACH PROPERTY CORNER IF THEY DO NOT ALREADY EXIST THERE.
 - AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY WORK, INCLUDING THE INSTALLATION OF EROSION CONTROL DEVICES OR THE REMOVAL OF TREES AND VEGETATION, A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE TOWN OF ORANGTOWN DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND ENGINEERING, SUPERINTENDENT OF HIGHWAYS AND THE OFFICE OF BUILDING, ZONING AND PLANNING ADMINISTRATION AND ENFORCEMENT. IT IS THE RESPONSIBILITY AND OBLIGATION OF THE PROPERTY OWNER TO ARRANGE SUCH A MEETING.
 - WITH REGARDS TO THE STORMWATER MANAGEMENT PHASE II REGULATIONS, ADDITIONAL CERTIFICATION, BY AN APPROPRIATE LICENSED OR CERTIFIED DESIGN PROFESSIONAL SHALL BE REQUIRED FOR ALL MATTERS BEFORE THE PLANNING BOARD INDICATING THAT THE DRAWINGS AND PROJECT ARE IN COMPLIANCE WITH THE STORMWATER MANAGEMENT PHASE II REGULATIONS. ALL UTILITIES, INCLUDING ELECTRIC AND TELEPHONE SERVICE, SHALL BE INSTALLED UNDERGROUND.
 - THIS PLAN DOES NOT CONFLICT WITH THE COUNTY OFFICIAL MAP AND HAS BEEN APPROVED IN THE MANNER SPECIFIED BY SECTION 239L&M OF THE GENERAL MUNICIPAL LAW OF THE STATE OF NEW YORK.
 - THE CLOSEST FIRE HYDRANT IS LOCATED APPROXIMATELY 700' NORTHEAST OF THE SITE ON ROUTE 9W. SEE VICINITY MAP ON C-100.
 - OWNERS: ADAM AND JORDANA GRUNFELD 59 TWEED BOULEVARD NYACK, NY 10965
 - AREA OF DISTURBANCE = 29,585 SQFT

PERCOLATION TEST #1 RESULTS		
INFILTRATION TIME (MINS)	INFILTRATION LEVEL DRAW DOWN (FT)	INFILTRATION RATE (IN/MIN)
30	PRE-SOAK	-
0	0.00	-
1	1.10	13.20
5	1.90	4.56
10	2.50	3.00
15	3.10	2.48

NOTE: THESE TESTS WERE DONE BEFORE STORMWATER ANALYSIS. UPDATED PERCOLATION TESTING CAN BE SEEN IN THE ADDITIONAL PERCOLATION TESTS TABLE ON THIS SHEET

AREA DRAIN/CATCH BASIN SCHEDULE					
FIRST FLUSH CATCH BASIN	SIZE	BOTTOM OF BASIN (FT)	RIM ELEVATION (FT)	OUTLET INVERT ELEVATION (FT)	INLET INVERT ELEVATION (FT)
CB-1	1'-1" X 1'-8"	562.76	568.26	566.26	566.26
AD-2	1'-1" X 1'-8"	-	568.56	567.06	567.06
AD-3	1'-1" X 1'-8"	-	570.54	569.04	-
AD-4	1'-1" X 1'-8"	-	572.03	570.53	-
AD-5	1'-1" X 1'-8"	-	571.68	570.18	570.18
AD-6	1'-1" X 1'-8"	-	571.39	569.89	569.89
AD-7	1'-1" X 1'-8"	-	572.03	570.53	-
AD-8	1'-1" X 1'-8"	-	570.57	569.07	-
CB-9	1'-1" X 1'-8"	564.76	570.26	568.26	568.26
CB-10	1'-1" X 1'-8"	562.50	568.00	566.00	-
CB-11	1'-1" X 1'-8"	564.50	570.00	568.00	-

KLIGERMAN ARCHITECTURE & DESIGN

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59
TWEED BOULEVARD

No.	REMARKS	DATE
1	REVISION 1	2/2/2022
2	REVISION 2	5/24/2022
3	REVISION 3	8/16/2022
4	REVISION 4	10/12/2022
5	PAA#1	9/15/2023
6	REVISION 6	1/23/2024

PROJECT:
RESIDENCE
59 TWEED BOULEVARD
ORANGEBURG, NY 10960

SEAL & SIGNATURE:

PROPOSED SITE AND DRAINAGE PLAN

DATE: 09/15/2023
PROJECT No.: 21-077
DRAWING BY: JB
CHK BY: GF
DWG No.:

C-100.05

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& DESIGN

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59

TWEED BOULEVARD

No.	REMARKS	DATE
1	REVISION 1	2/2/2022
2	REVISION 2	5/24/2022
3	REVISION 3	8/16/2022
4	REVISION 4	10/12/2022
5	PAA#1	9/15/2023
6	REVISION 6	1/23/2024

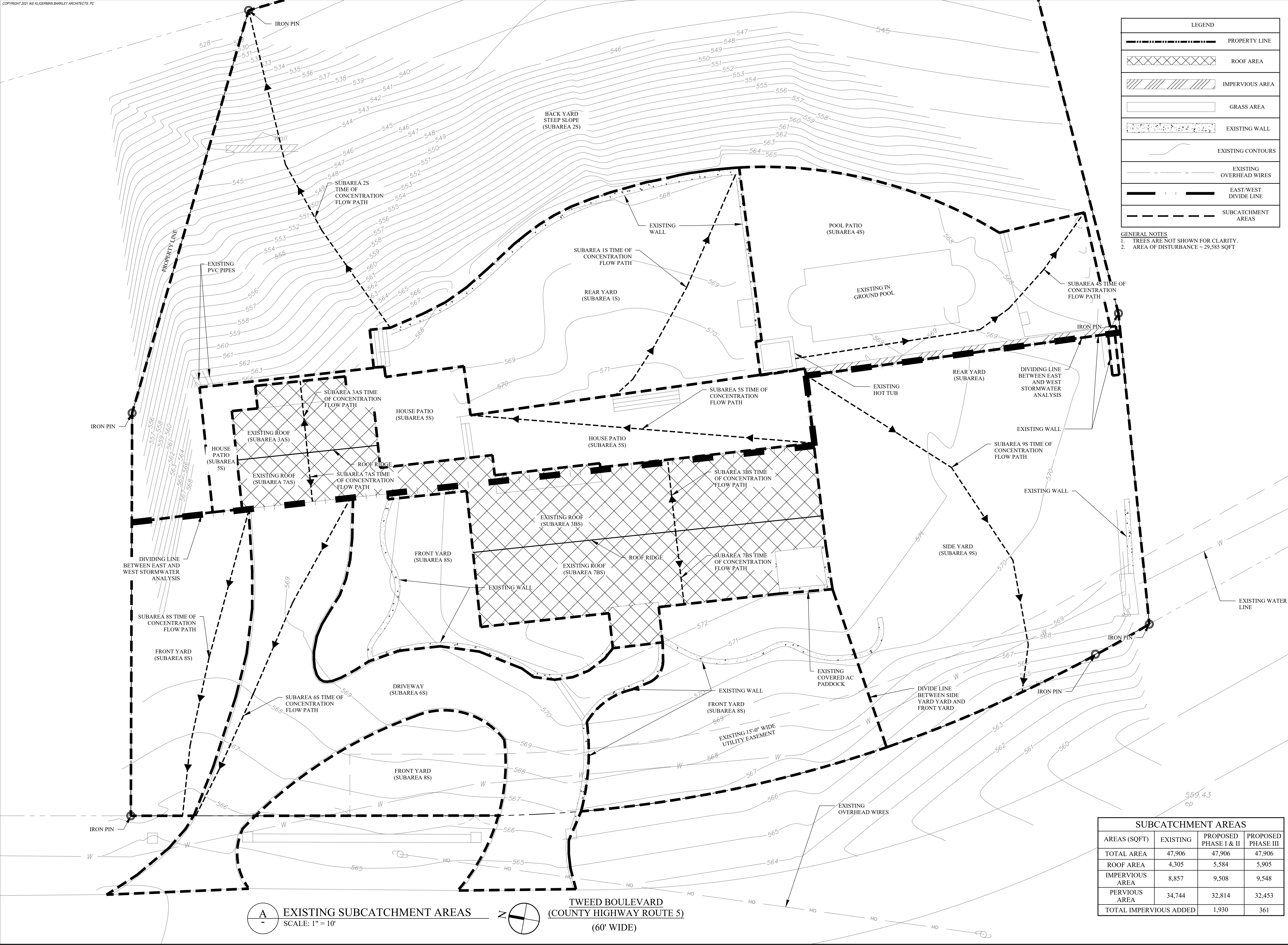
PROJECT:
RESIDENCE
59 TWEED BOULEVARD
ORANGEBURG, NY 10960

SEAL & SIGNATURE:



EXISTING
SUBCATCHMENT AREAS

DATE: 09/15/2023
PROJECT No.: 21-077
DRAWING BY: JB
CHK BY: GF
DWG No.: C-101.03



LEGEND	
	PROPERTY LINE
	ROOF AREA
	IMPERVIOUS AREA
	GRASS AREA
	PROPOSED WALL
	NEW CONTOURS
	EXISTING CONTOURS
	EXISTING OVERHEAD WIRES
	DETENTION SYSTEM ZONE 1
	DETENTION SYSTEM ZONE 2
	EAST/WEST DIVIDE LINE
	SUBCATCHMENT AREAS

GENERAL NOTES
1. TREES ARE NOT SHOWN FOR CLARITY.
2. AREA OF DISTURBANCE = 29,585 SQFT

No.	REMARKS	DATE
1	REVISION 1	2/2/2022
2	REVISION 2	5/24/2022
3	REVISION 3	8/16/2022
4	REVISION 4	10/12/2022
5	PAA#1	9/15/2023
6	REVISION 6	1/23/2024

PROJECT:
RESIDENCE
59 TWEED BOULEVARD
ORANGEBURG, NY 10960

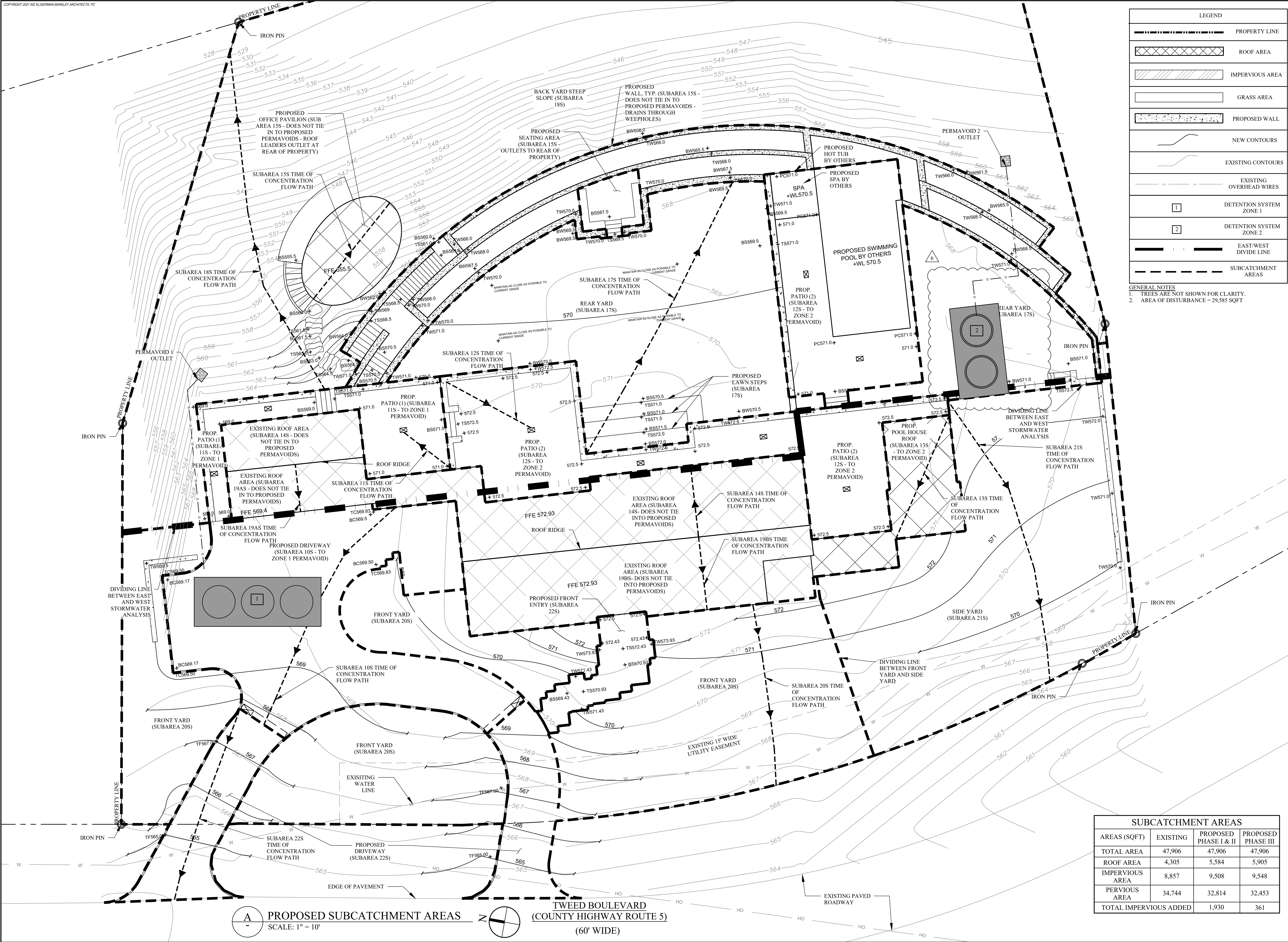
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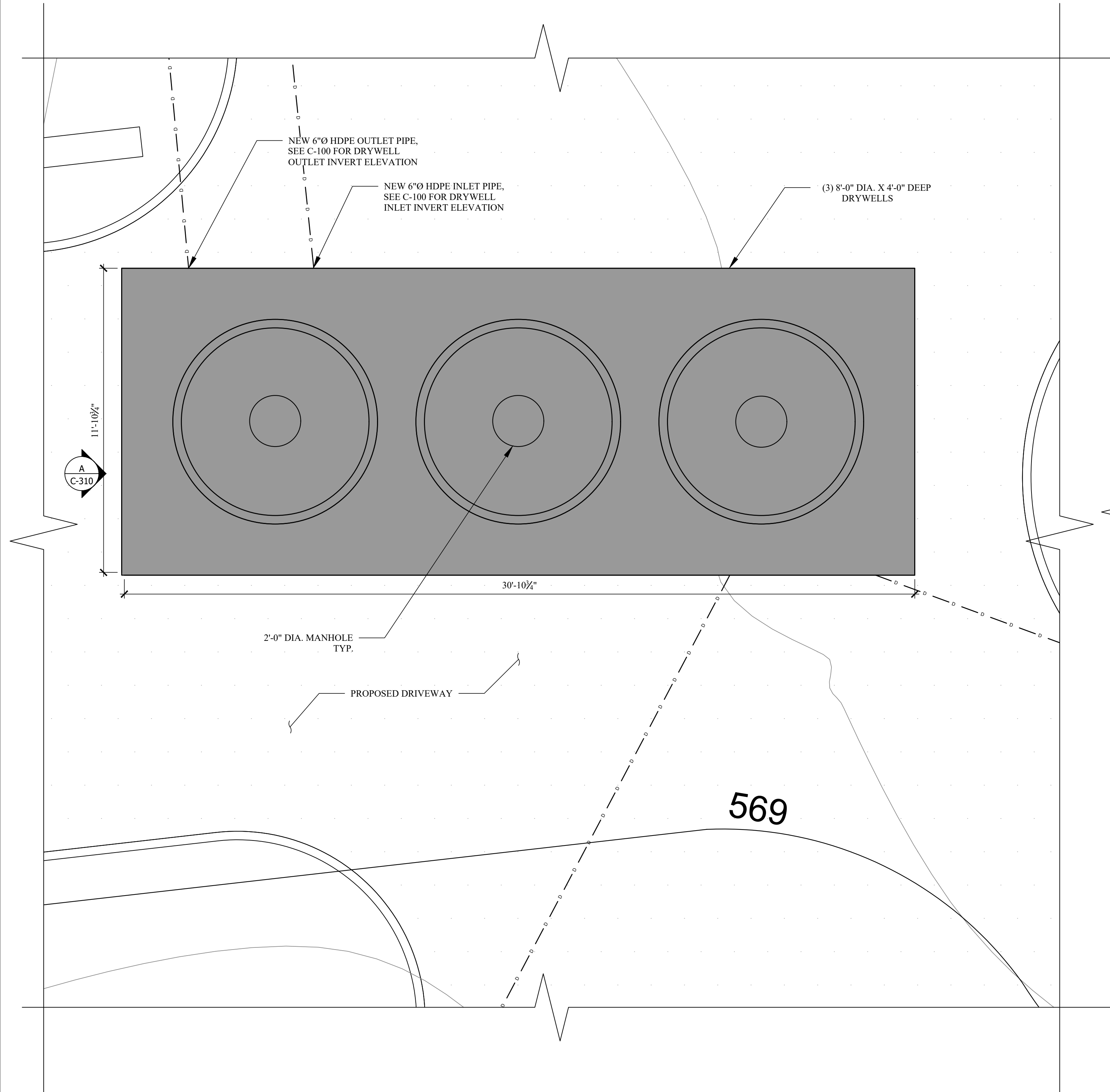


PROPOSED
SUBCATCHMENT AREAS

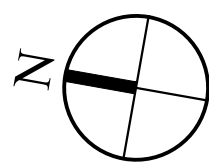
DATE: 09/15/2023
PROJECT No.: 21-077
DRAWING BY: JB
CHK BY: GF
DWG No.: C-102.04

SUBCATCHMENT AREAS			
AREAS (SQFT)	EXISTING	PROPOSED PHASE I & II	PROPOSED PHASE III
TOTAL AREA	47,906	47,906	47,906
ROOF AREA	4,305	5,584	5,905
IMPERVIOUS AREA	8,857	9,508	9,548
PERVIOUS AREA	34,744	32,814	32,453
TOTAL IMPERVIOUS ADDED		1,930	361





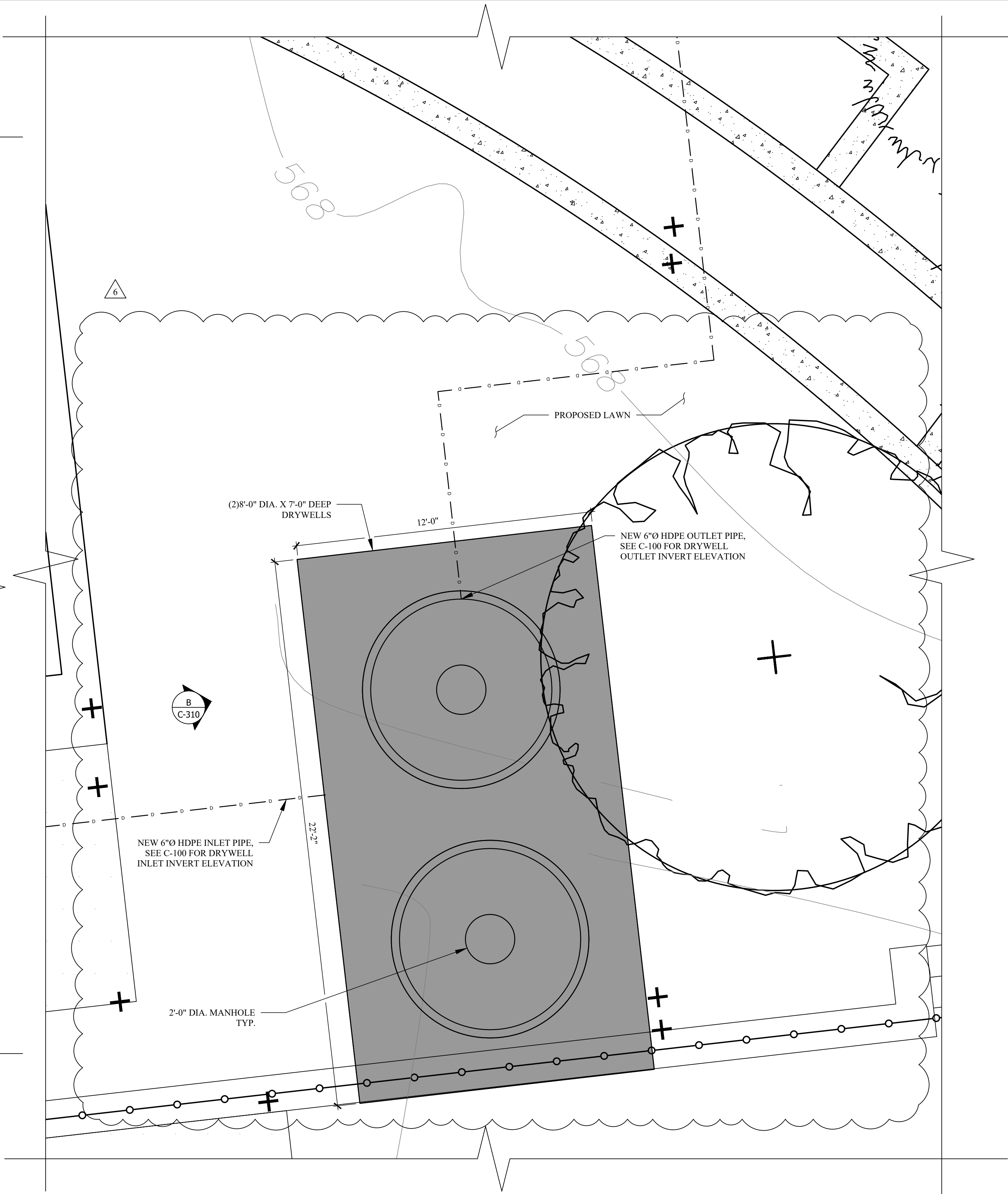
A DRYWELL ZONE 1
SCALE: 3/8" = 1'-0"



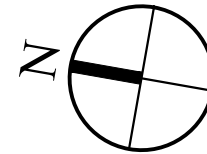
LEGEND	
	PROPERTY LINE
	NEW CONCRETE WALL
	IMPERVIOUS AREA
	NEW DRYWELLS
	NEW CONTOURS
	EXISTING CONTOURS
	NEW STORMWATER DRAIN LINE

GENERAL NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH NEW YORK DOT REGULATIONS AND CODES AND OSHA STANDARDS. THE CONTRACTOR SHALL OBTAIN FINAL PERMITTING AND APPROVAL/INSPECTIONS AS REQUIRED FROM THE LOCALITY.
- THE CONTRACTOR SHALL VERIFY ELEVATIONS AT CONNECTION POINTS OR ANY EXISTING UTILITY CROSSING PRIOR TO ORDERING STRUCTURES. REPORT ANY CONFLICTS TO THE ENGINEER.
- Lines UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED PRIOR TO BACKFILLING.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIRS TO UTILITIES DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- STORM SEWER CATCH BASINS, CURB INLETS MANHOLES AND ENDWALLS SHALL CONFORM TO NEW YORK DOT STANDARD CONSTRUCTION DRAWINGS
- ALL SPOT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATION UNLESS OTHERWISE NOTED
- PROVIDE 2% MAXIMUM CROSS SLOPE ON ALL SIDEWALKS AND ADA PARKING AREAS
- CONTRACTOR SHALL APPLY EROSION CONTROL BLANKET AND LOW MAINTENANCE GRASS SEED MIX TO ALL SLOPES 3H:1V OR GREATER. REFER TO SOIL EROSION AND SEDIMENT CONTROL DETAIL FOR LOW MAINTENANCE GRASS SEED MIXTURE SPECIFICATION.
- REFER TO GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION.
- AREA OF DISTURBANCE = 29,585 SQFT



B DRYWELL ZONE 2
SCALE: 3/8" = 1'-0"



59
TWEED BOULEVARD

No.	REMARKS	DATE
1	REVISION 1	2/2/2022
2	REVISION 2	5/24/2022
3	REVISION 3	8/16/2022
4	REVISION 4	10/12/2022
5	PAA#1	9/15/2023
6	REVISION 6	1/23/2024

PROJECT:
RESIDENCE
59 TWEED BOULEVARD
ORANGEBURG, NY 10960

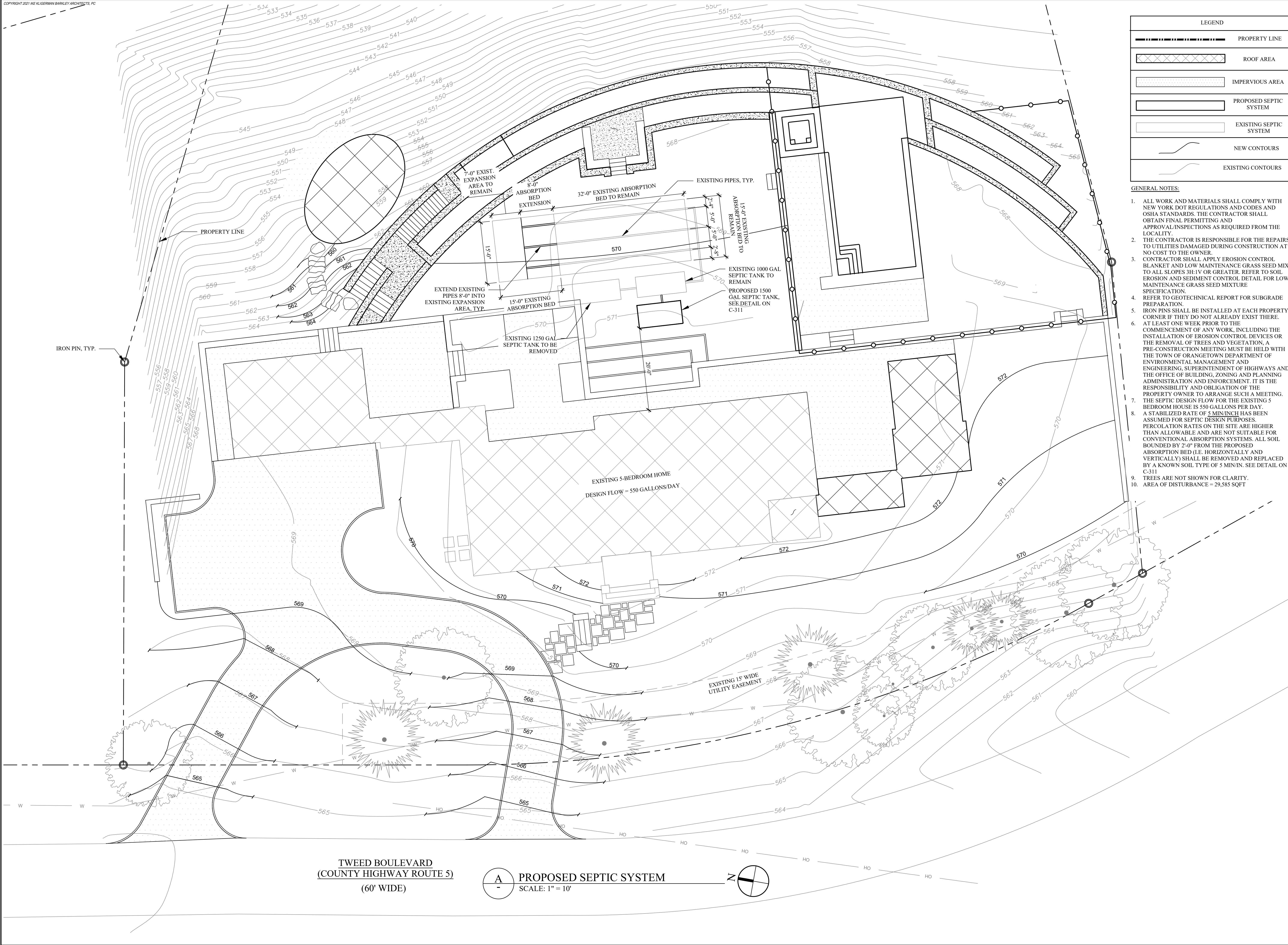
SEAL & SIGNATURE:



PROPOSED
DETENTION SYSTEMS

DATE: 09/15/2023
PROJECT No.: 21-077
DRAWING BY: JB
CHK BY: GF
DWG No.:

C-110.04



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& DESIGN**

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NEW YORK, NEW YORK 10110
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**59
TWEED BOULEVARD**

No.	REMARKS	DATE
1	REVISION 1	2/2/2022
2	REVISION 2	5/24/2022
3	REVISION 3	8/16/2022
4	REVISION 4	10/12/2022
5	PAA#1	9/15/2023
6	REVISION 6	1/23/2024

PROJECT:

RESIDENCE
59 TWEED BOULEVARD
ORANGETOWN, NY 10960

SEAL & SIGNATURE:

STATE OF NEW YORK
DOMINICK R. PILLA
Professional Engineer
No. 4087-1

PROPOSED SEPTIC SYSTEM

DATE: 09/15/2023
PROJECT No.: 21-077
DRAWING BY: JB
CHK BY: GF
DWG No.:
C-120.01

o.	REMARKS	DATE
1	REVISION 1	2/2/2022
2	REVISION 2	5/24/2022
3	REVISION 3	8/16/2022
4	REVISION 4	10/12/2022
5	PAA#1	9/15/2023
6	REVISION 6	1/23/2024

PROJECT:
RESIDENCE
59 TWEED BOULEVARD
ORANGEBURG, NY 10960

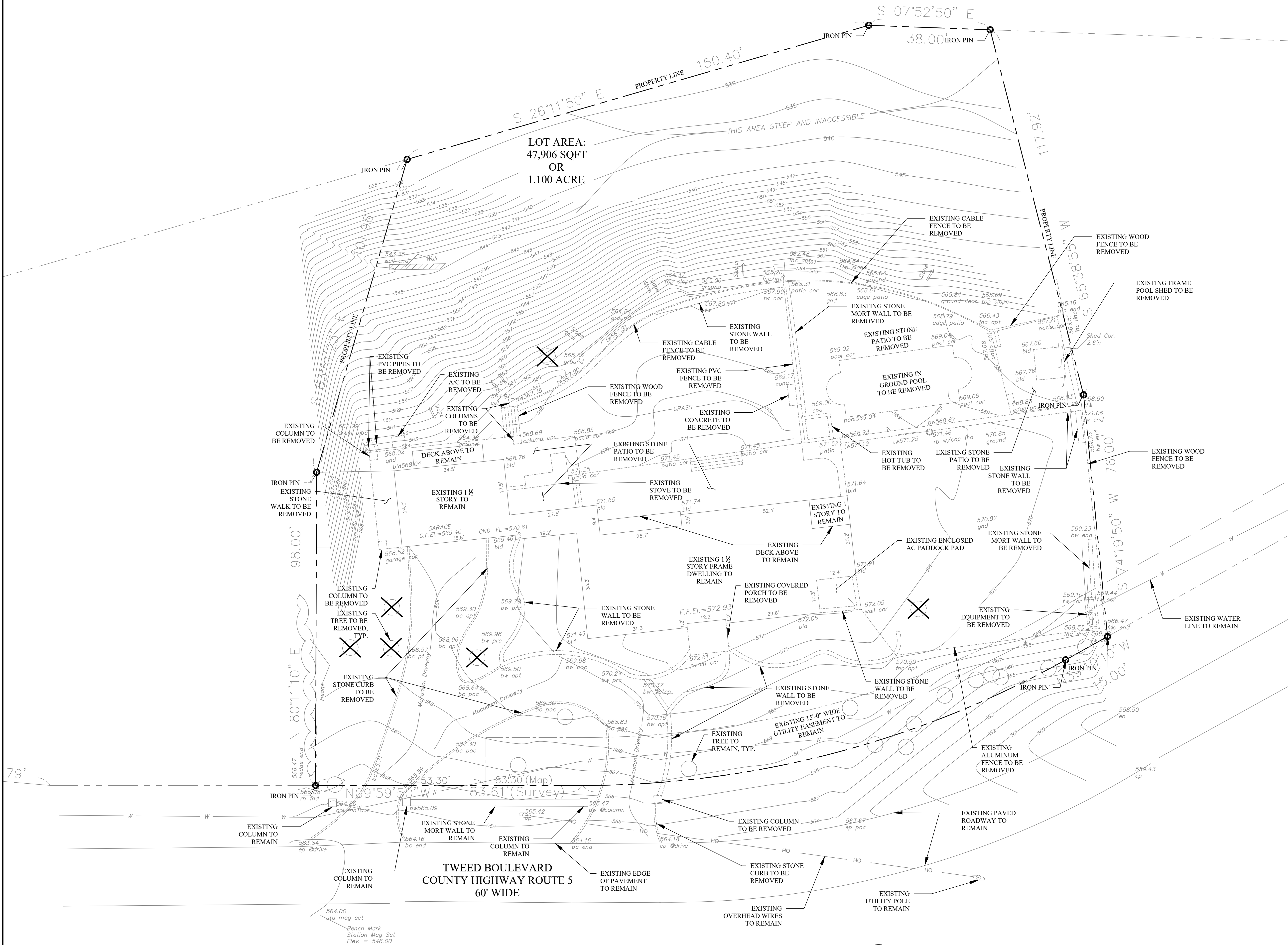
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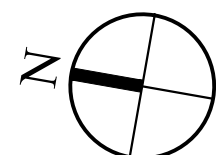
SITE DEMOLITION PLAN








DATE:	09/15/2023
PROJECT No.:	21-077
DRAWING BY:	JB
CHECK BY:	GF
FWG No.:	

C-200.02



A SITE DEMOLITION PLAN
- SCALE: 1" = 15'



LEGEND	
	PROPERTY LINE
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	EXISTING EASEMENT
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	EXISTING CONTOURS

1. AREA OF DISTURBANCE = 29.585 SQFT
2. THE TREE PROTECTION AND PRESERVATION GUIDELINES, ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGETOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO RESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
 - 2.1. NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER TREE CANOPY.
 - 2.2. THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES
 - 2.3. TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10-FOOT HEIGHT.
 - 2.4. THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
 - 2.4.1. ONE (1) FOO RADIUS FROM TRUNK PER INCH DBH
 - 2.4.2. DRIP LINE OF THE TREE CANOPY. THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING MAXIMUM TREE PROTECTION. IF POSSIBLE, A BARRIER OF SNOW FENCE OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VARYING, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:
 - 2.4.2.1. LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
 - 2.4.2.2. LIGHT IMPACTS ONLY - INSTALLATION OF ½ INCH OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED
- 2.5 THE BUILDER OR AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES, TREES DESIGNATED TO THE MINIMUM GRADE SHALL BE WELLED AND PRESERVED IN A WELLED BED WITH THE TREE WELL A RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.



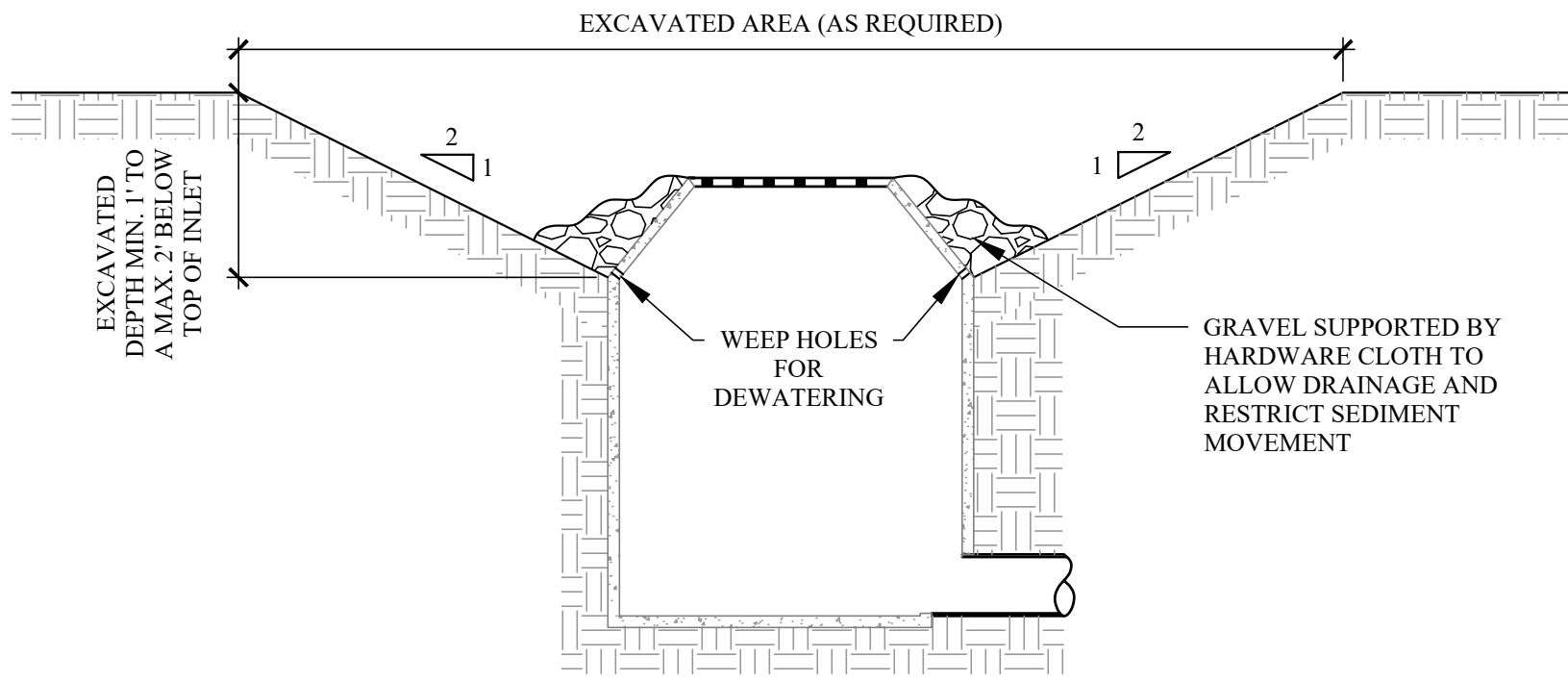
- NOTE:
1. AREA OF DISTURBANCE = 29,585 SQFT
2. THE TREE PROTECTION AND PRESERVATION GUIDELINES ADOPTED PURSUANT TO SECTION 21-24 OF THE LAND DEVELOPMENT REGULATIONS OF THE TOWN OF ORANGE TOWN WILL BE IMPLEMENTED IN ORDER TO PROTECT AND PRESERVE BOTH INDIVIDUAL SPECIMEN TREES AND BUFFER AREA WITH MANY TREES. STEPS THAT WILL BE TAKEN TO RESERVE AND PROTECT EXISTING TREES TO REMAIN ARE AS FOLLOWS:
 - 2.1. NO CONSTRUCTION EQUIPMENT SHALL BE PARKED UNDER TREE CANOPY.
 - 2.2. THERE WILL BE NO EXCAVATION OR STOCKPILING OF EARTH UNDERNEATH THE TREES.
 - 2.3. TREES DESIGNATED TO BE PRESERVED SHALL BE MARKED CONSPICUOUSLY ON ALL SIDES AT A 5 TO 10-FOOT HEIGHT.
 - 2.4. THE TREE PROTECTION ZONE FOR TREES DESIGNATED TO BE PRESERVED WILL BE ESTABLISHED BY ONE OF THE FOLLOWING METHODS:
 - 2.4.1. ONE (1) FOOT RADIUS FROM TRUNK PER INCH DBH
 - 2.4.2. DRIP LINE OF THE TREE CANOPY. THE METHOD CHOSEN SHOULD BE BASED ON PROVIDING MAXIMUM PROTECTION ZONE POSSIBLE, A BUFFER OF 10 FEET OR MORE, OR EQUAL IS TO BE PLACED AND MAINTAINED ONE YARD BEYOND THE ESTABLISHED TREE PROTECTION ZONE. IF IT IS AGREED THAT THE TREE PROTECTION ZONE OF A SELECTED TREE MUST BE VIOLATED, ONE OF THE FOLLOWING METHODS MUST BE EMPLOYED TO MITIGATE THE IMPACT:
 - 2.4.2.1. LIGHT TO HEAVY IMPACTS - MINIMUM OF EIGHT INCHES OF WOOD CHIPS INSTALLED IN THE AREA TO BE PROTECTED. CHIPS SHALL BE REMOVED UPON COMPLETION OF WORK.
 - 2.4.2.2. LIGHT IMPACTS ONLY - INSTALLATION OF 1/2 INCH OF PLYWOOD OR BOARDS, OR EQUAL OVER THE AREA TO BE PROTECTED
- 2.5. THE BUILDER OR ITS AGENT MAY NOT CHANGE GRADE WITHIN THE TREE PROTECTION ZONE OF A PRESERVED TREE UNLESS SUCH GRADE CHANGE HAS RECEIVED FINAL APPROVAL FROM THE PLANNING BOARD. IF THE GRADE LEVEL IS TO BE CHANGED MORE THAN SIX (6) INCHES, TREES DESIGNATED TO BE PRESERVED SHALL BE WELLED AND/OR PRESERVED IN A RAISED BED WITH THE TREE WELL A RADIUS OF THREE (3) FEET LARGER THAN THE TREE CANOPY.

59
TWEED BOULEVARD

PROJECT:
RESIDENCE
59 TWEED BOULEVARD
ORANGEBURG, NY 10960

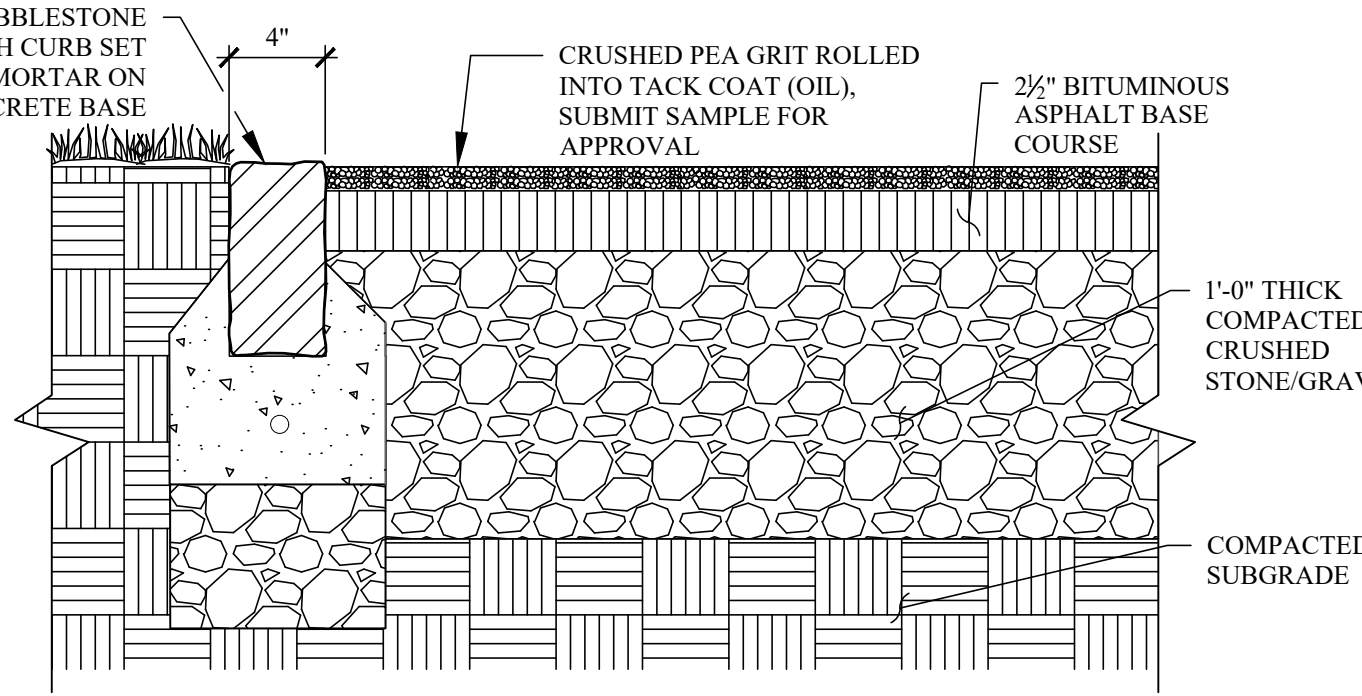
DATE:	09/15/2023
PROJECT No.:	21-077
DRAWING BY:	JB
CHK BY:	GF

C-210.05

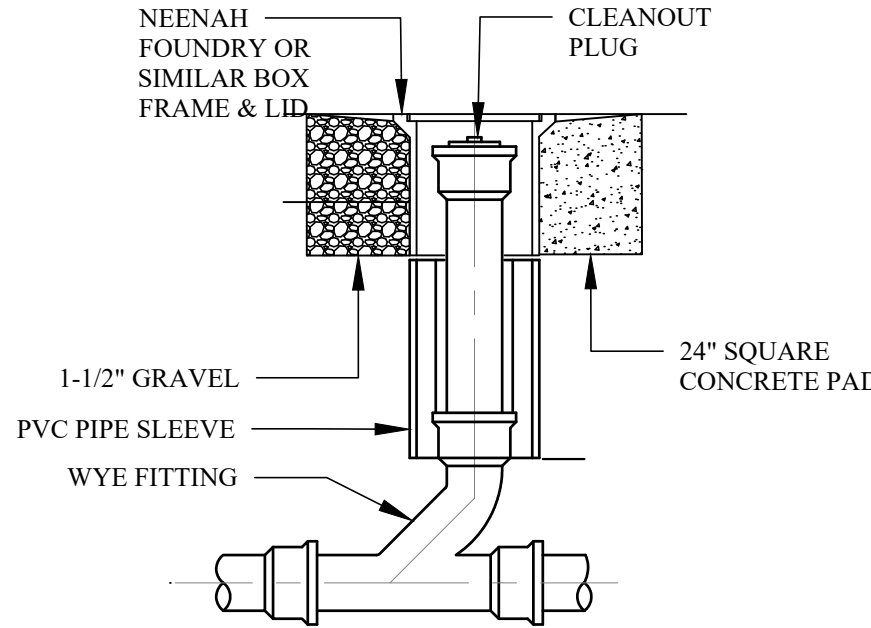


- NOTES:
1. CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
 2. GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
 3. WEEP HOLES SHALL BE PROTECTED BY GRAVEL.
 4. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES, FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY AND STABILIZE WITH PERMANENT SEEDING.
 5. MAXIMUM DRAINAGE AREA = 1 ACRE

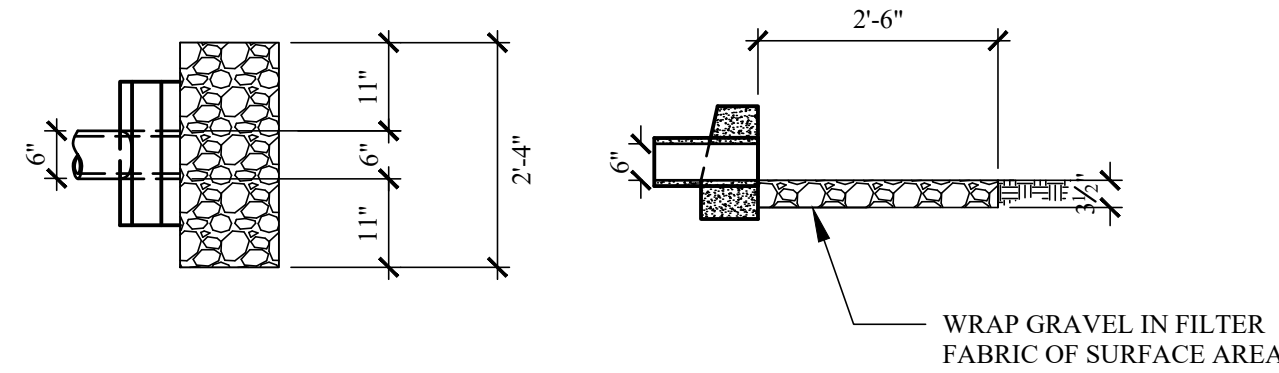
DROP INLET PROTECTION
SCALE: 1/2" = 1'-0"



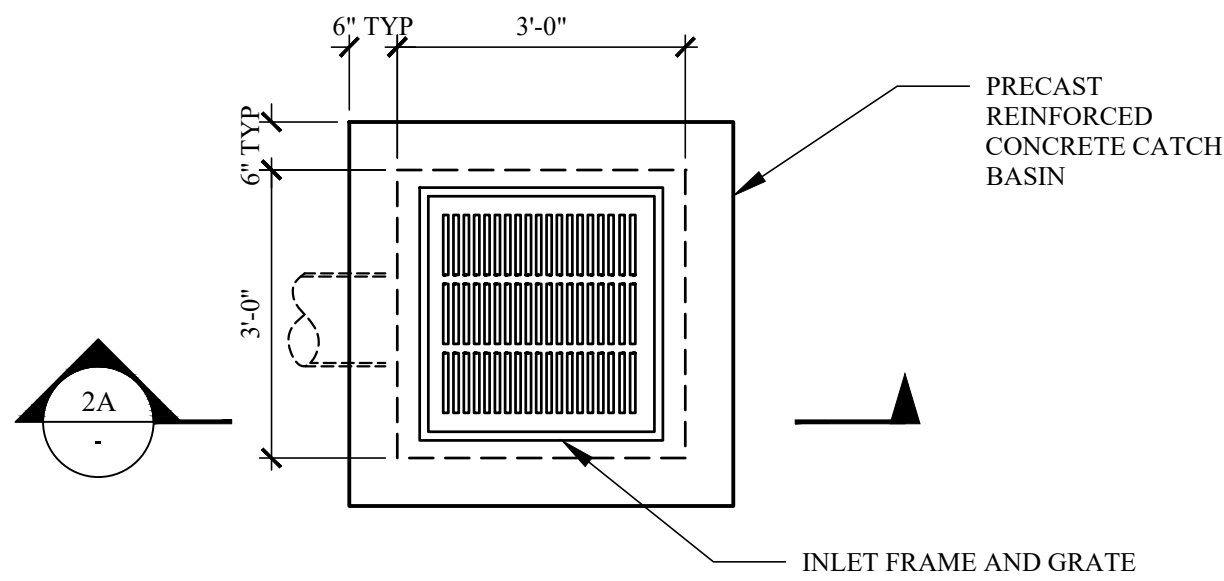
FLUSH CURB DETAIL
SCALE: 1 1/2" = 1'-0"



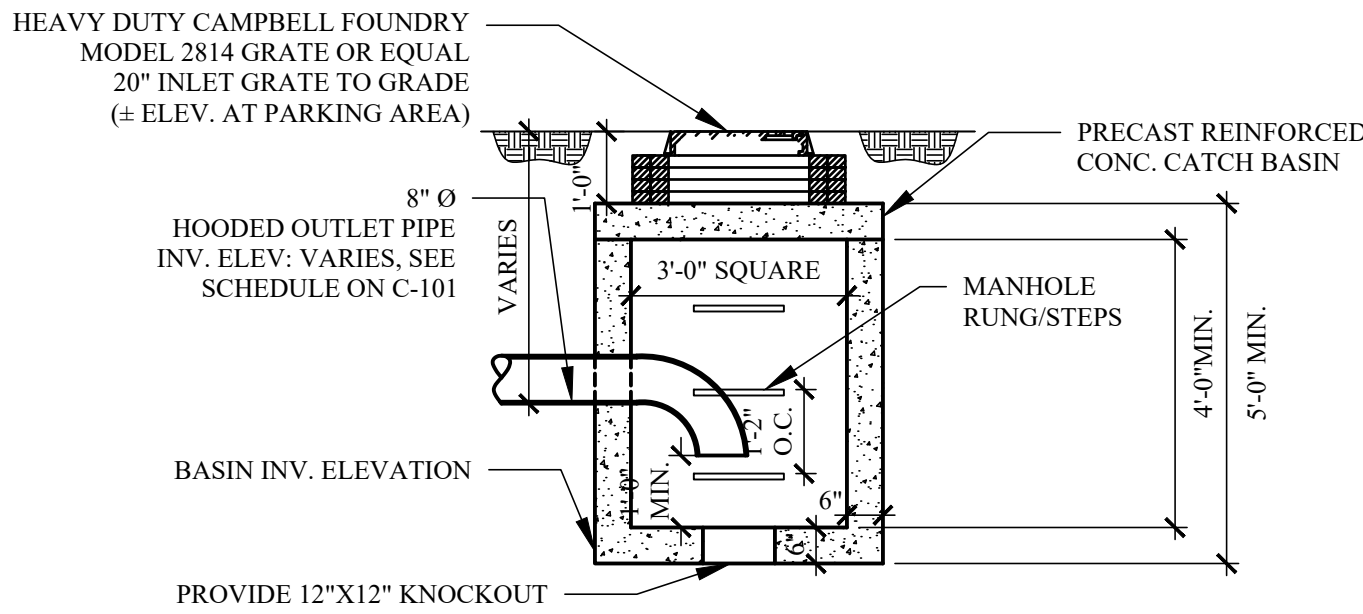
TYP. CLEANOUT DETAIL
SCALE: 1/2" = 1'-0"



RIP RAP DISCHARGE AREA
SCALE: 1/2" = 1'-0"

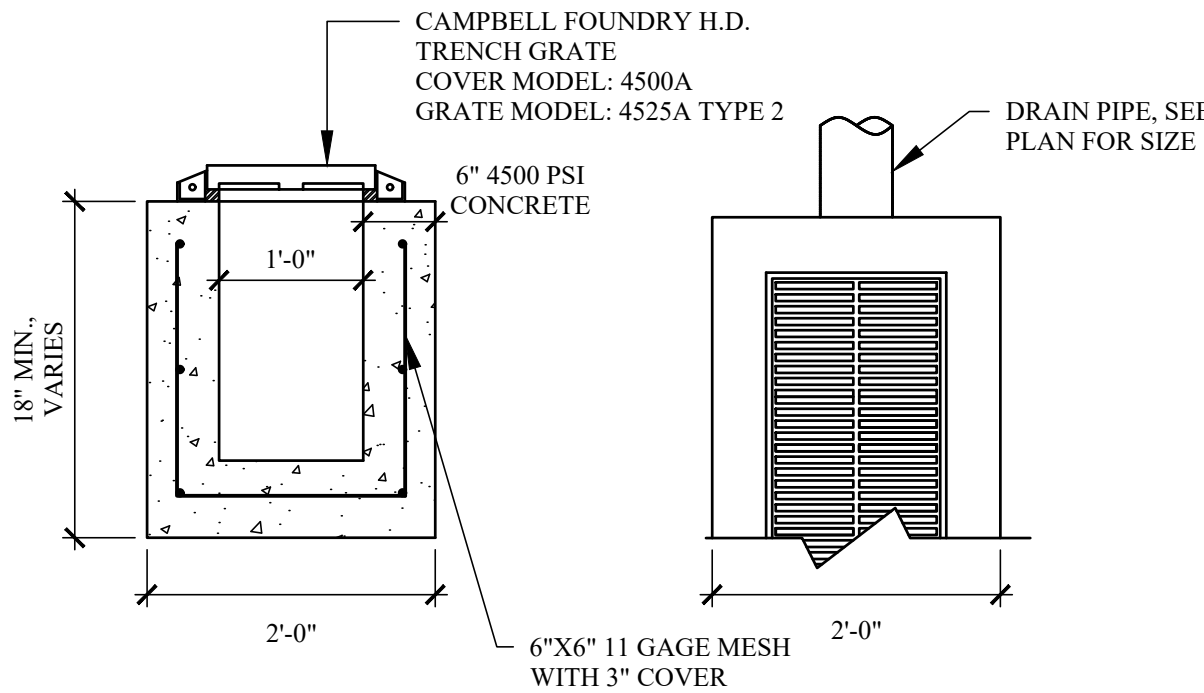


CATCH BASIN TOP VIEW
SCALE: 1/2" = 1'-0"



NOTE:
HOODED OUTLETS ARE DESIGNED TO CAPTURE DEBRIS AND OTHER HYDROCARBONS BEFORE ENTERING THE PERMAVOIDS.

HOODED CATCH BASIN SIDE VIEW
SCALE: 3/8" = 1'-0"



TYP. TRENCH DRAIN
SCALE: 3/4" = 1'-0"

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1	REVISION 1	2/2/2022
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4	REVISION 4	10/12/2022
5	PAA#1	9/15/2023
6	REVISION 6	1/23/2024

PROJECT:
RESIDENCE
59 TWEED BOULEVARD
ORANGEBURG, NY 10960

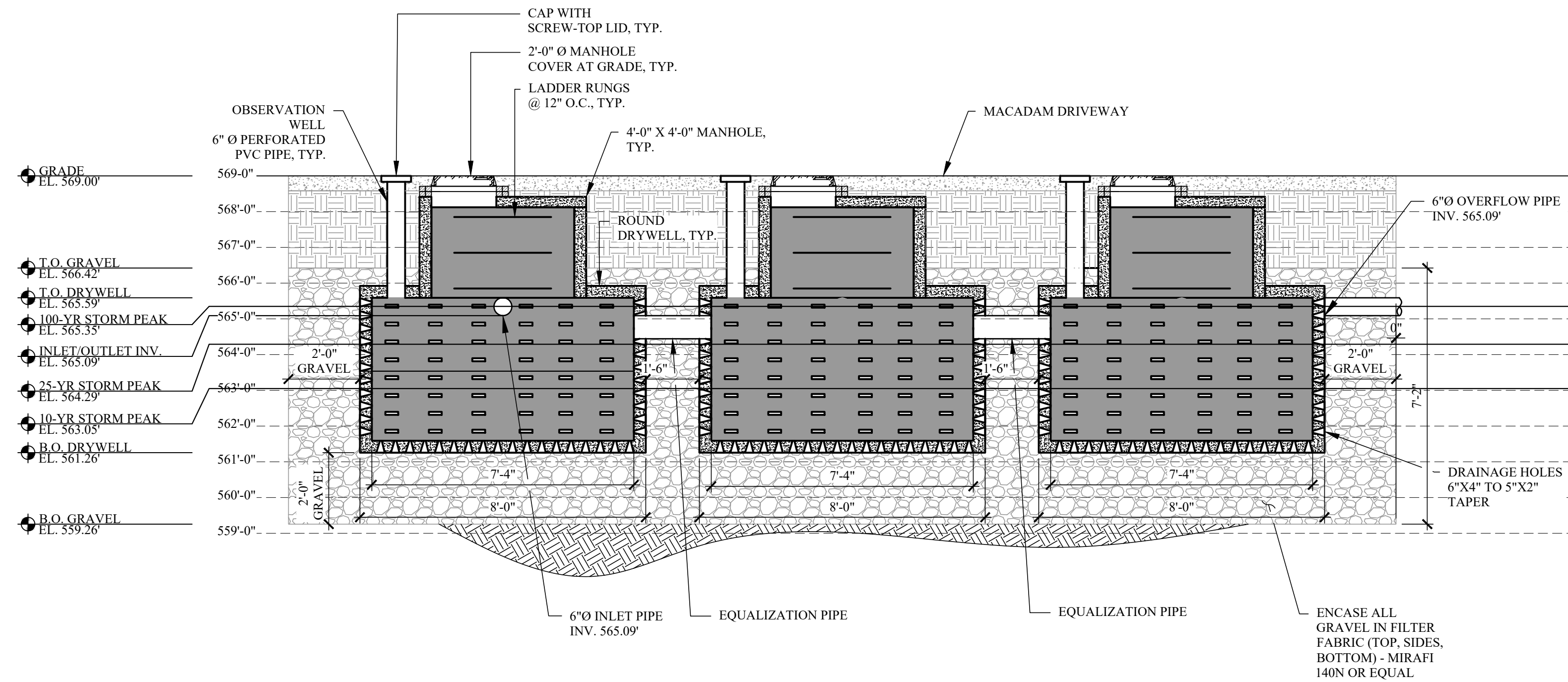
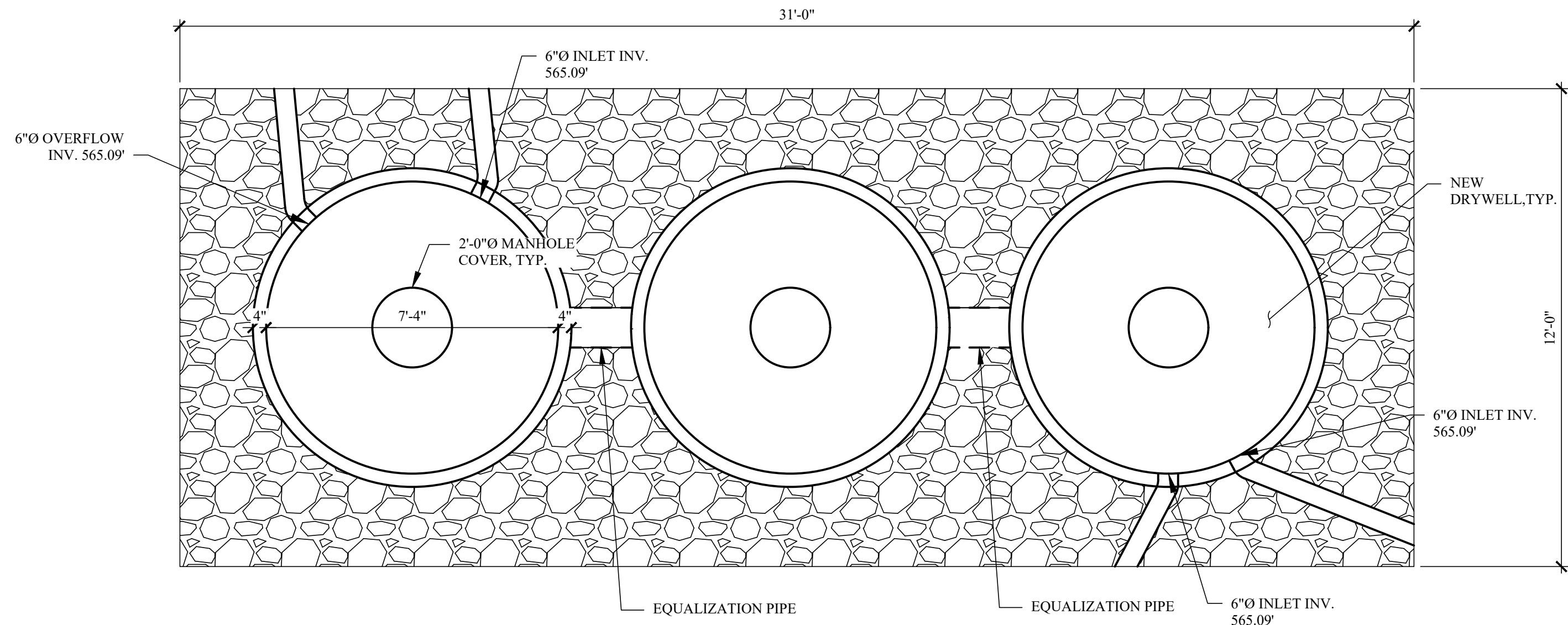
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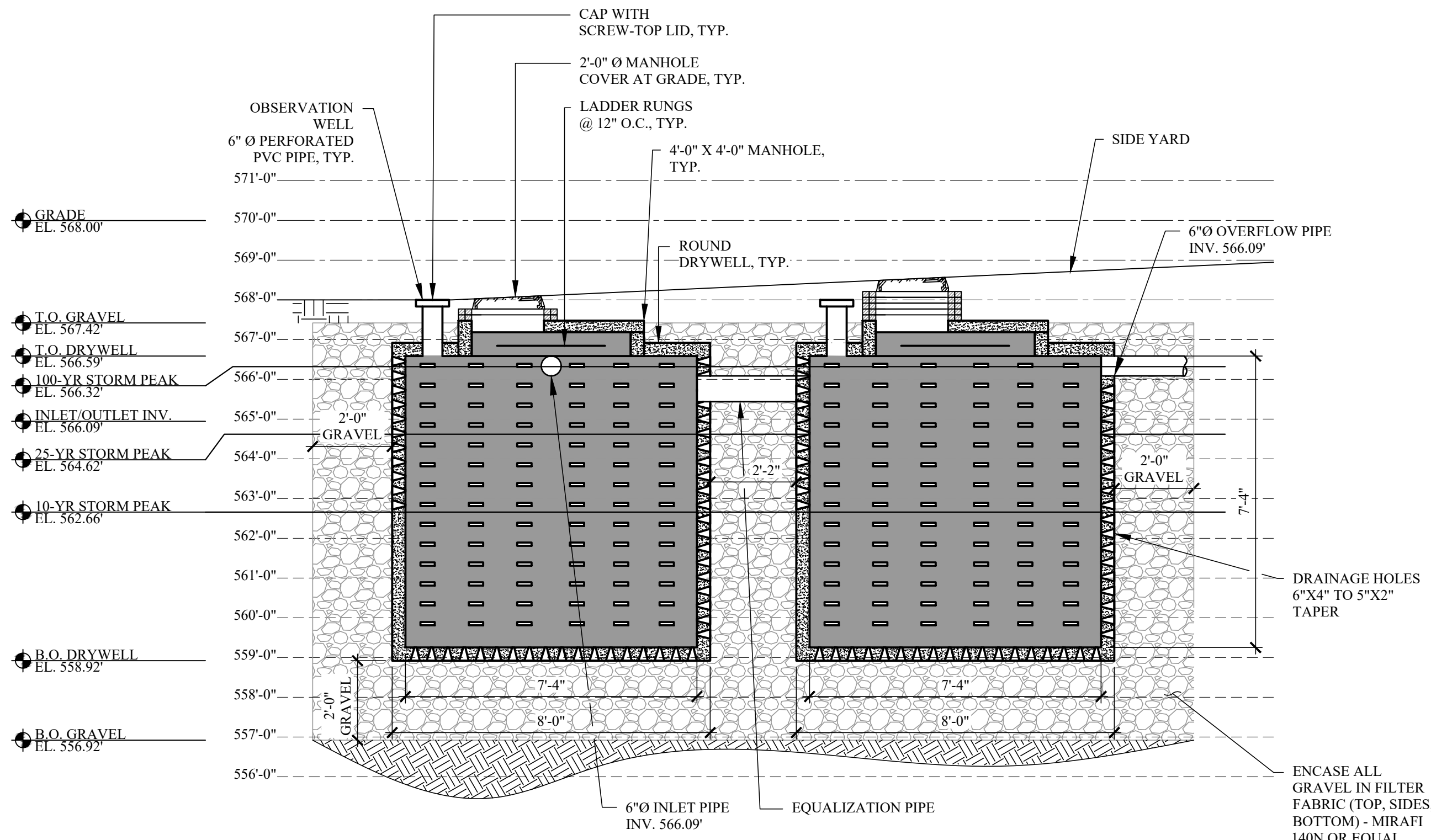
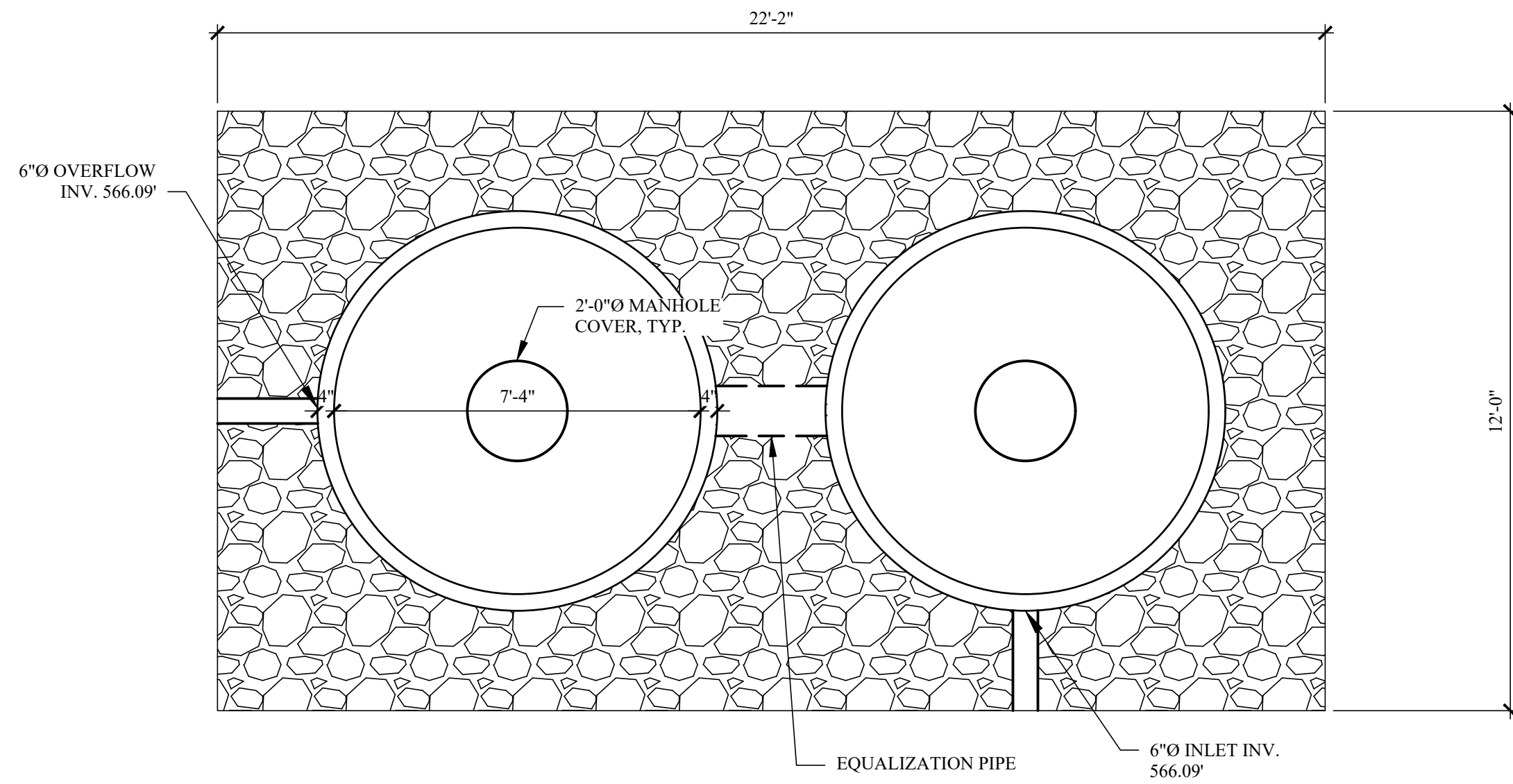
STORMWATER
MANAGEMENT DETAILS
(1)

DATE: 09/15/2023
PROJECT No.: 21-077
DRAWING BY: JB
CHK BY: GF
DWG No.:

C-300.02



DRYWELL ZONE 1 ELEVATION
SCALE: $\frac{3}{8}$ " = 1'-0"



DRYWELL ZONE 2 ELEVATION
SCALE: $\frac{3}{8}$ " = 1'-0"

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5	PAA#1	9/15/2023
6	REVISION 6	1/23/2024

PROJECT:
RESIDENCE
59 TWEED BOULEVARD
ORANGEBURG, NY 10960

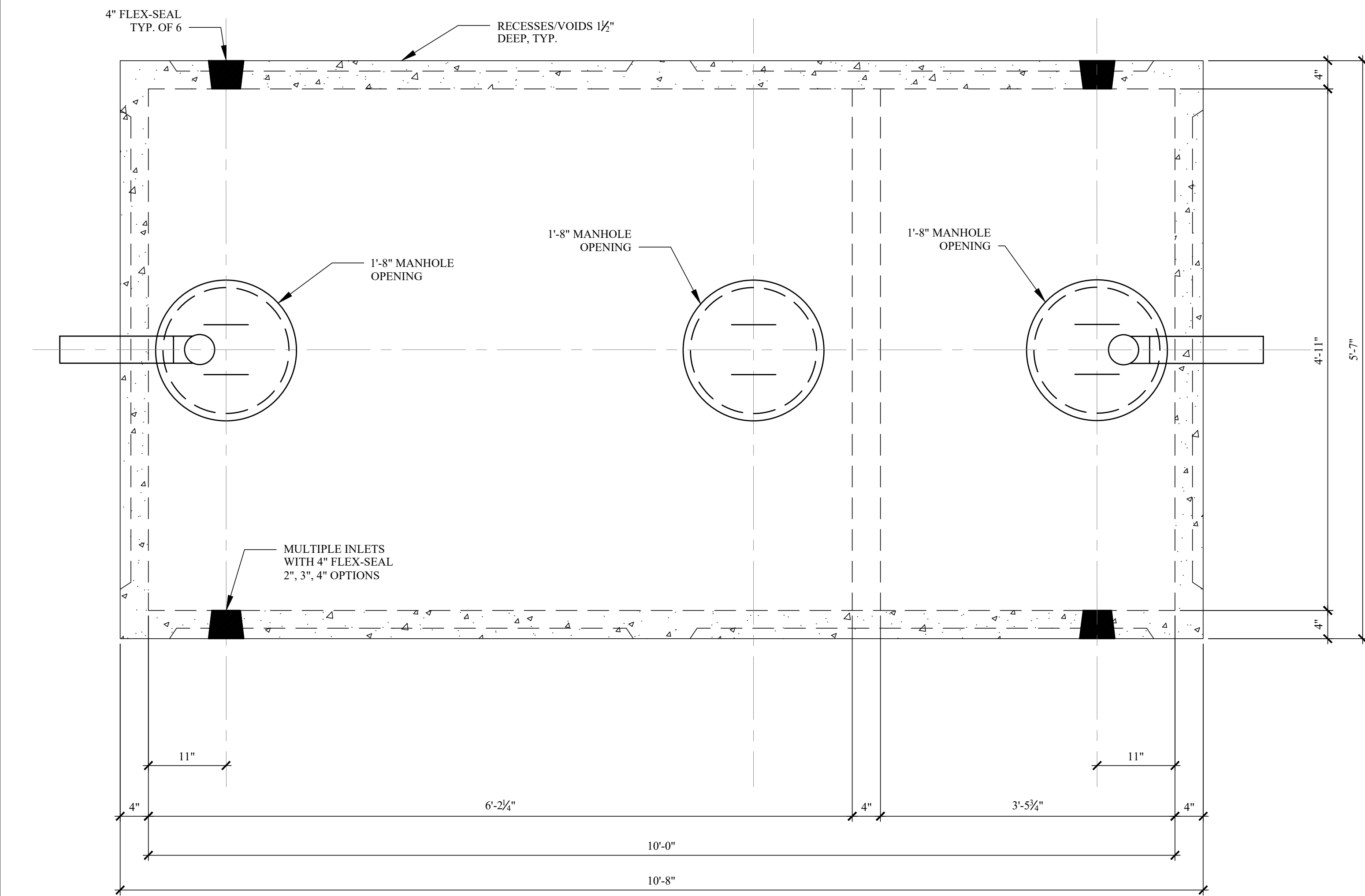
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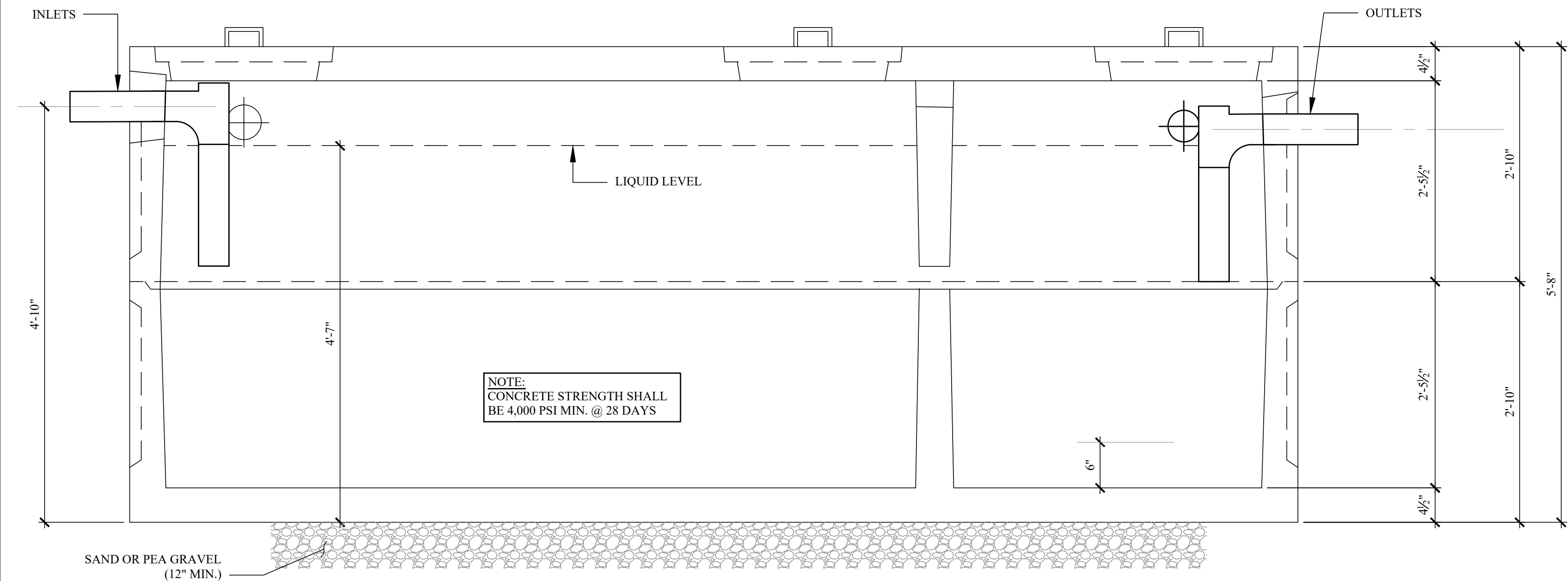
STORMWATER
MANAGEMENT DETAILS
(2)

DATE: 09/15/2023
PROJECT No.: 21-077
DRAWING BY: JB
CHK BY: GF
DWG No.:

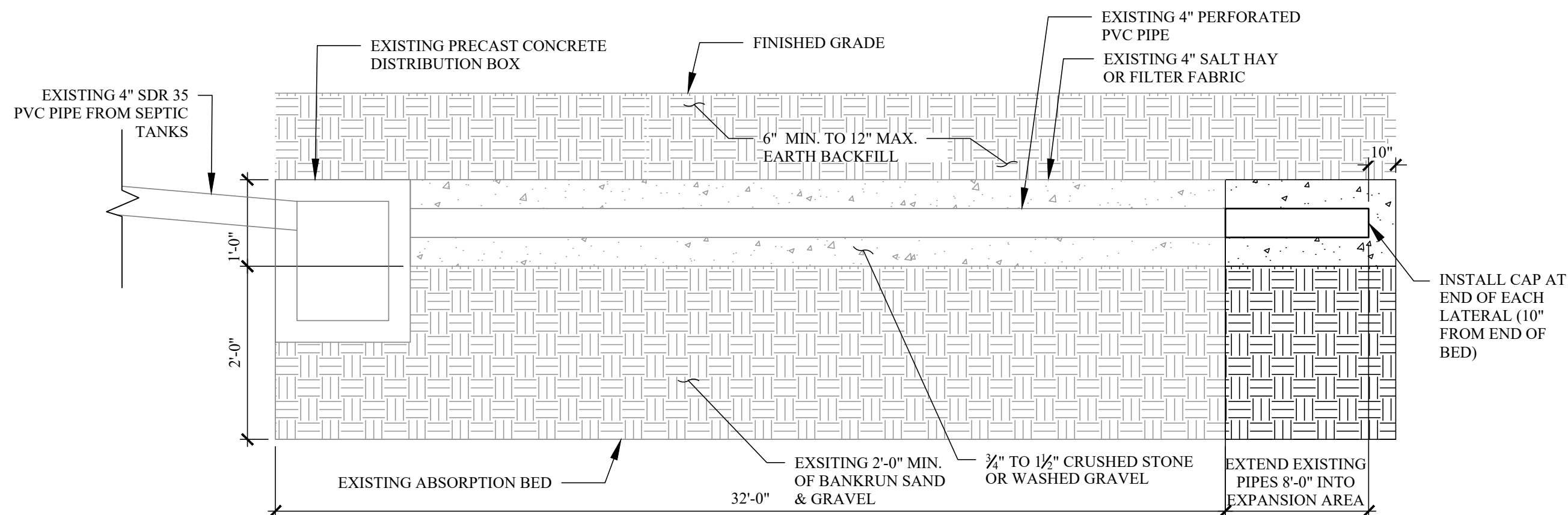
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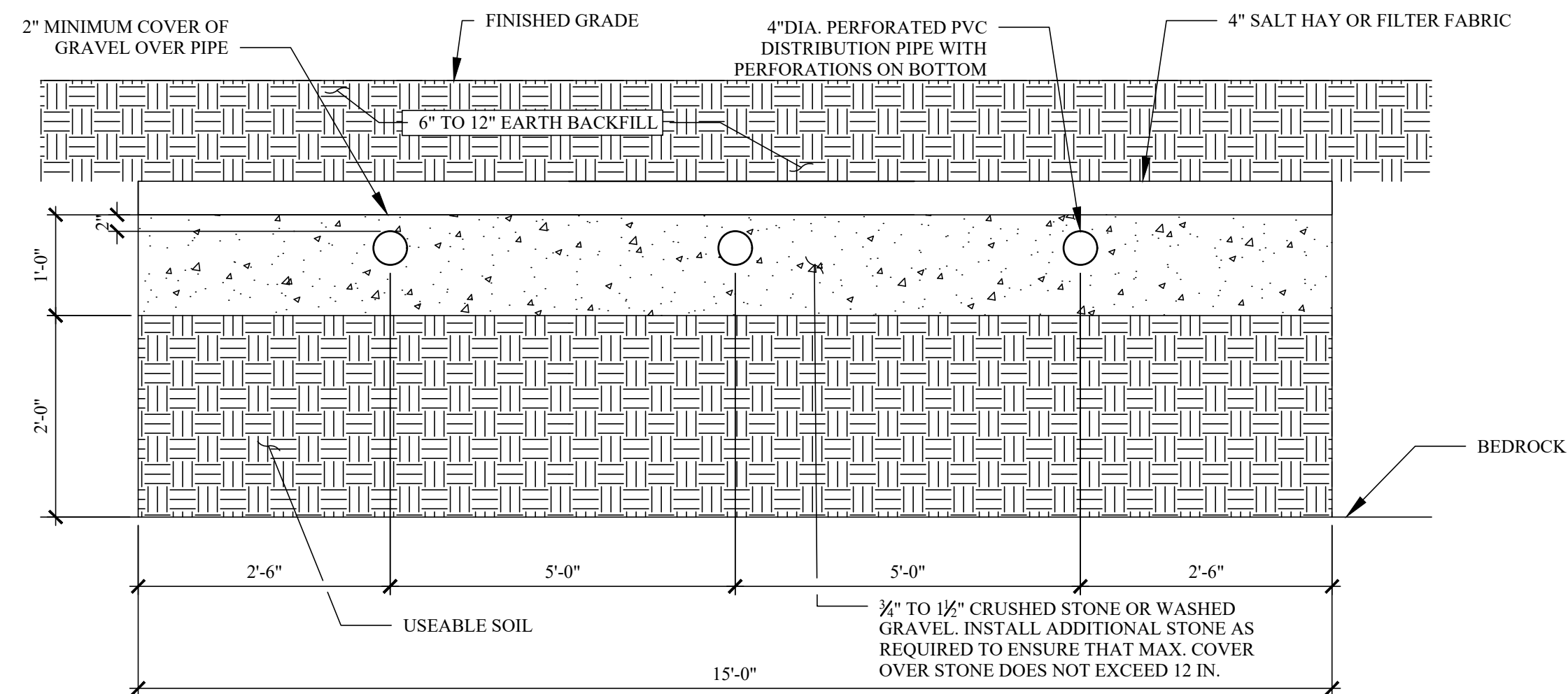
A SEPTIC TANK PLAN VIEW
SCALE : NTS



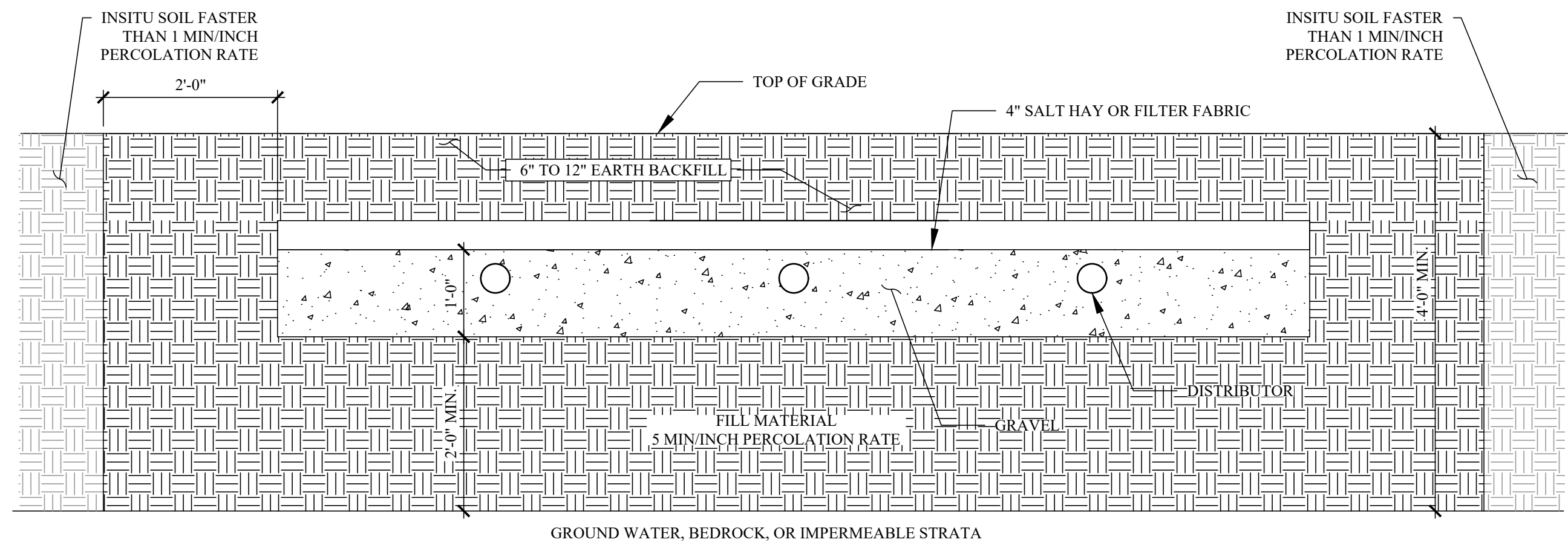
B SEPTIC TANK -SECTION (1,500 GALLON TANK)
SCALE : NTS



C ABSORPTION BED DETAIL
SCALE : NTS



D ABSORPTION BED SECTION
SCALE : NTS



- NOTES:
- ON SLOPED SITES, A DIVERSION DITCH SHALL BE CONSTRUCTED UPHILL FROM THE FILL AND ABSORPTION BED AREA TO PREVENT SURFACE RUNOFF FROM ENTERING THE ABSORPTION AREA.
 - A MINIMUM OF FOUR (4) FEET OF UNSATURATED SOIL SHALL BE AVAILABLE ABOVE BOUNDARY CONDITIONS.
 - ALL MINIMUM VERTICAL AND HORIZONTAL SEPARATION DISTANCES CAN BE MAINTAINED AS DESCRIBED IN TABLE 2.
 - THE INSITU SOIL WITH A PERCOLATION RATE FASTER THAN ONE (1) MINUTE PER INCH SHALL BE REMOVED AND REPLACED BY SOIL HAVING A PERCOLATION RATE OF FIVE (5) MINUTES PER INCH.
 - THE REQUIRED LENGTH OF THE ABSORPTION BED IS BASED UPON THE PERCOLATION OF THE FILL MATERIAL.
 - THE AREA EXCAVATED AND FILLED MUST PROVIDE AT LEAST A TWO (2) FOOT BUFFER BELOW AND IN EACH DIRECTION BEYOND THE BED.

E SITE MODIFICATION FOR VERY FAST PERCOLATING SOILS
SCALE : NTS

**KLIGERMAN
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TWEED BOULEVARD

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59 TWEED BOULEVARD
ORANGEBURG, NY 10960

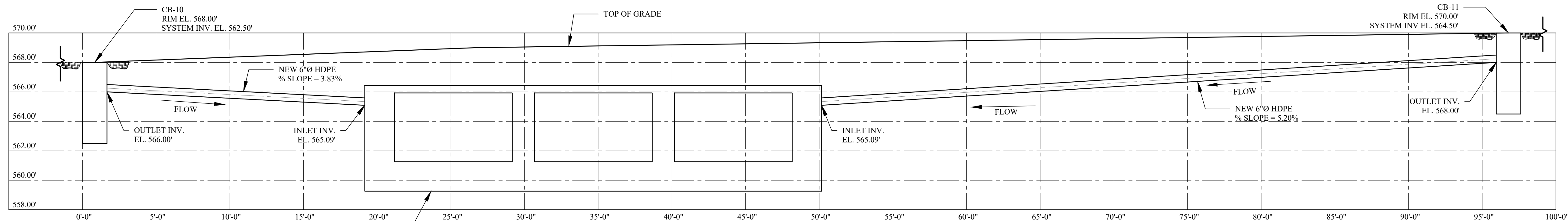
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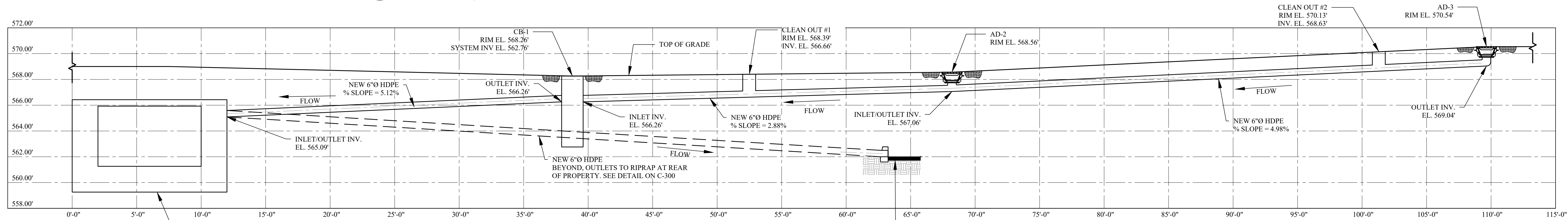
SEPTIC DETAILS

DATE: 09/15/2023
PROJECT No.: 21-077
DRAWING BY: JB
CHK BY: GF
DWG No.:

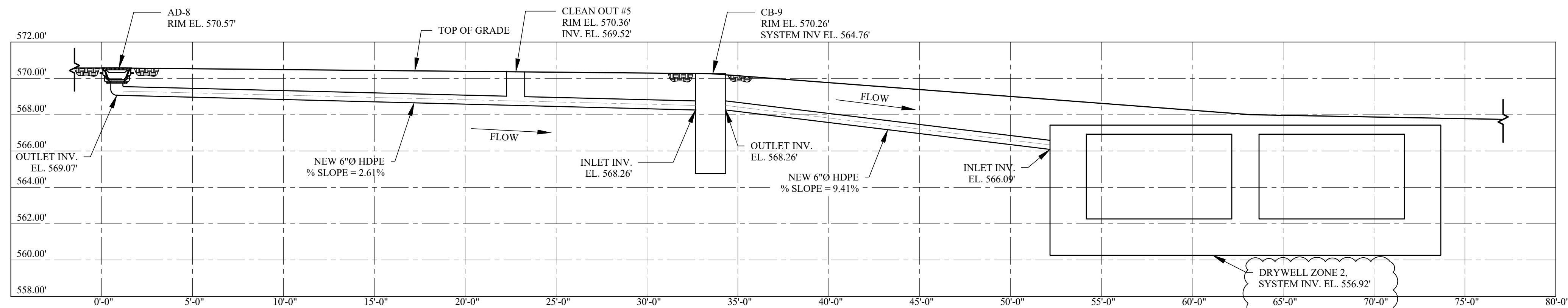
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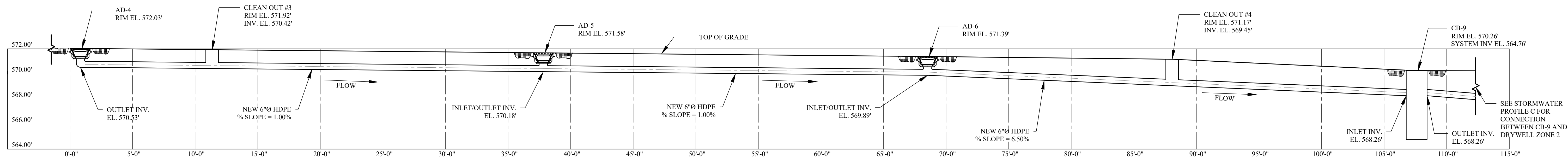
A STORMWATER PROFILE AT DRYWELL ZONE 1
C-100 CB-10 AND CB-11
SCALE: 1/4"=1'-0"



B STORMWATER PROFILE AT DRYWELL ZONE 1
C-100 CB-1, AD-2, AD-3, AND DRYWELL OUTLET
SCALE: 1/4"=1'-0"



C STORMWATER PROFILE AT DRYWELL ZONE 2
C-100 AD-8 AND CB-9
SCALE: 1/4"=1'-0"



D STORMWATER PROFILE AT DRYWELL ZONE 2
C-100 AD-4, AD-5, AD-6 AND CB-9
SCALE: 1/4"=1'-0"

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59
TWEED BOULEVARD

No.	REMARKS	DATE
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PROJECT:
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ORANGEBURG, NY 10960

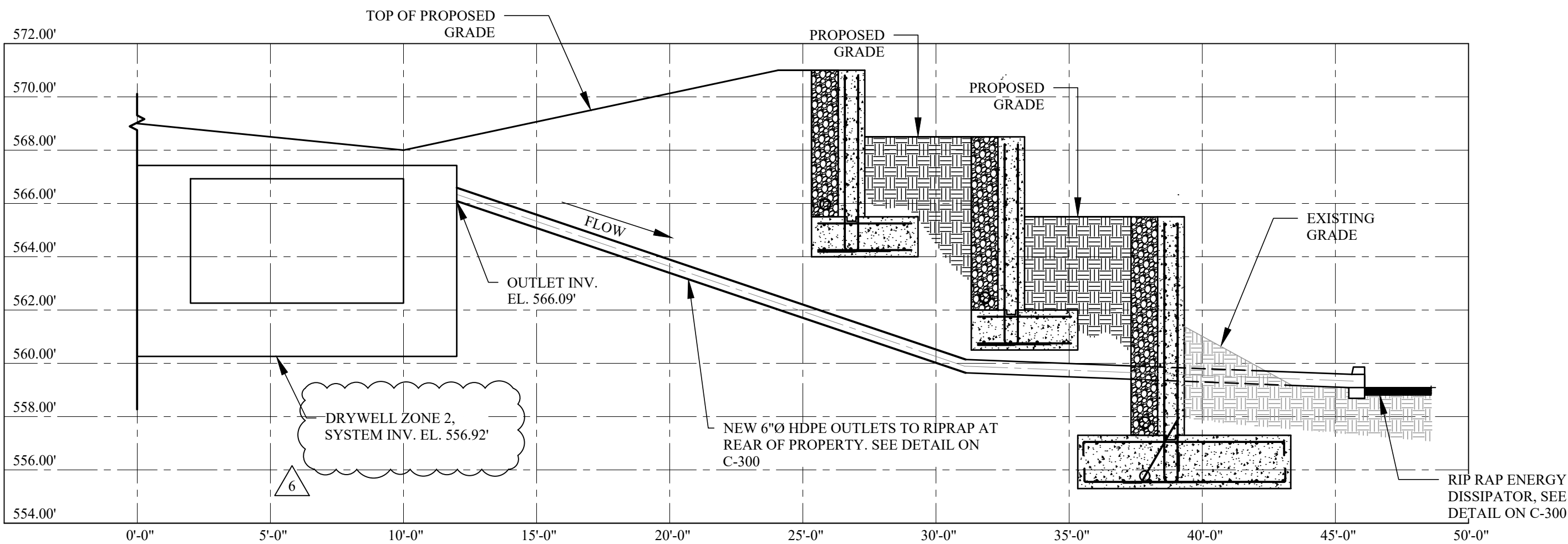
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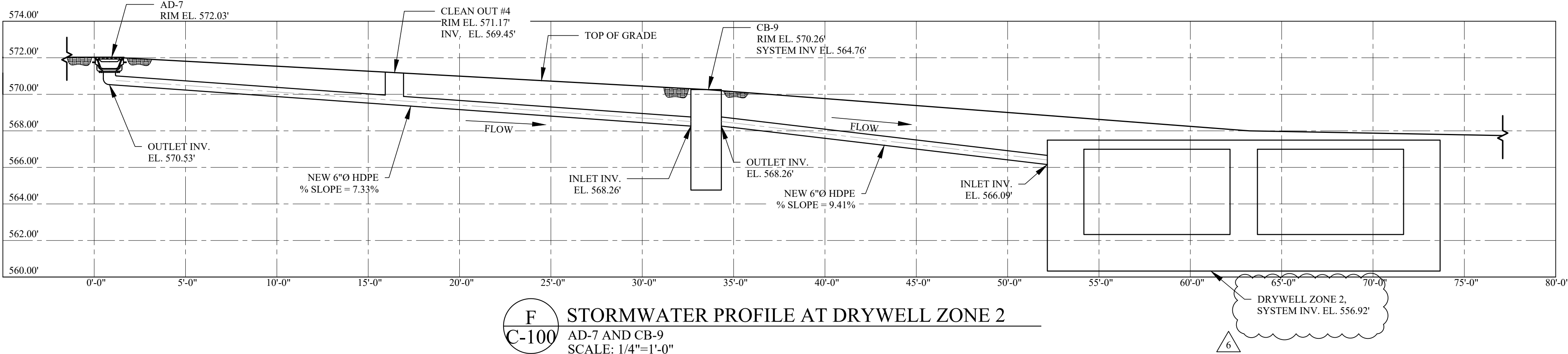
STORMWATER
PROFILES (1)

DATE: 09/15/2023
PROJECT No.: 21-077
DRAWING BY: JB
CHK BY: GF
DWG No.:

C-320.03



E
C-100 STORMWATER PROFILE AT DRYWELL ZONE 2
DRYWELL OUTLET
SCALE: 1/4"=1'-0"



F
C-100 STORMWATER PROFILE AT DRYWELL ZONE 2
AD-7 AND CB-9
SCALE: 1/4"=1'-0"

No.	REMARKS	DATE
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6	REVISION 6	1/23/2024

PROJECT:
RESIDENCE
59 TWEED BOULEVARD
ORANGEBURG, NY 10960

SEAL & SIGNATURE:



STORMWATER PROFILES (2)

DATE: 09/15/2023
PROJECT No.: 21-077
DRAWING BY: JB
CHK BY: GF
DWG No.:

C-330.01

C-400.00
