GENERAL NOTES

- I. WORK MUST CONFORM TO THE REQUIREMENTS OF THE TOWN OF NYACK ZONING LAW, THE N.Y.S. 2020 BUILDING CODE, FIRE DEPARTMENT REGULATIONS AND ALL APPLICABLE LAWS, UTILITY COMPANY REQUIREMENTS AND BEST TRADE PRACTICES.
- 2. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIREMENTS CERTIFICATES OF INSURANCE WITH DEPARTMENT OF BUILDING. OBTAIN ALL REQUIRED PERMITS FROM ALL APPLICABLE AGENCIES AND PAY ALL FEES REQUIRED BY GOVERNING AGENCIES.
- 3. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ENGINEER/ARCHITECT.
- 4. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS. AND THE ENGINEER/ARCHITECT AND OWNER SHALL BE NOTIFIED IN THE WRITING PRIOR TO COMMENCING WORK.
- 5. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND OWNER.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITH IN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITIES FOR ANY DAMAGE AND INJURIES CAUSED DURING THE EXECUTION OF THE WORK.
- 7. PLUMBING AND ELECTRICAL WORK IF ANY SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADE, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN OFF.
- 8. THE CONTRACTOR SHALL DO ALL PATCHING AND CUTTING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- 9. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE CAPPED AND PLUGGED IN A MANNER COMPLIANT WITH ALL APPLICABLE BUILDING CODES
- 10. SHORING OF MEMBERS AND PROTECTIONS OF THE EXISTING STRUCTURE DURING CONSTRUCTION IS THE RESPONSIBILITY OF CONTRACTOR AND SHALL COMPLY WITH ALL REQUIREMENTS OF LOCAL AND STATE CODES.
- 11. THIS PLAN AND APPLICATION HAS BEEN FILED FOR STATED WORK ONLY. ANY REVISIONS OR CHANGES TO THE SCOPE OF THE WORK SHALL REQUIRE AMENDED PLANS AND/OR A SEPARATE APPLICATION.
- 12. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, NOTES, AND CONDITIONS AT THE JOB SITE, AND IS TO REPORT ANY DEVIATIONS TO THE ARCHITECT/ENGINEER PRIOR TO THE START OF ANY WORK.
- 13. PROTECTION OF ADJOINING PROPERTIES SHALL BE MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES, AND RULES AND REGULATIONS.
- 14. THE PLANS ARE NOT TO BE SCALED, WRITTEN DIMENSIONS SHALL GOVERN.
- 15. IN CASE OF ANY DISCREPANCIES BETWEEN THE GENERAL NOTES, AND SPECIFIC ITEMS SHOWN ON PLANS, THE PLANS SHALL PREVAIL.
- 16. THE CONTRACTOR SHALL REPAIR ALL PORTIONS OF THE PREMISES THAT ARE DAMAGED DURING THE COURSE OF HIS WORK.
- 17. BEFORE SUBMITTING PROPOSAL, ALL CONTRACTORS SHALL VISIT THE PREMISES, FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF WORK AND DIFFICULTIES THAT ATTEND ITS EXECUTION.
- 18. IF THE CONTRACTOR CLAIMS EXTRA COST UNDER THE CONTRACT HE SHALL GIVE THE OWNER AND THE ARCHITECT WRITTEN NOTICE THEREOF WITHIN A REASONABLE TIME BEFORE PROCEEDING TO EXECUTE THE WORK, ALL CLAIMS FOR EXTRA WORK WILL BE SUBMITTED IN WRITING FOR APPROVAL BY THE OWNER.
- 19. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO SCHEDULE ALL NECESSARY INSPECTIONS FROM AGENCIES RESPONSIBLE. GC IS ALSO RESPONSIBLE FOR ALL TRADE PERMITS AND INSPECTION FEES

TENANT SAFETY NOTES

1. ALL WORK TO BE ONE IN ACCORDANCE WITH THE NEW YORK STATE BUILDING CODE AND REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.

- CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING AND SHORING WHERE EVER ANY STRUCTURAL WORKS IS INVOLVED B. ALL DEMOLITION OPERATIONS ,REPAIR OPERATIONS AND
- ALTERNATIONS OPERATIONS TO BE DONE IN ACCORDANCE WITH NEW YORK STATE BUILDING CODE AND LOCAL LAWS C. IF SITE SAFETY BRIDGING IS NOT REQUIRED BY CODE, AT A MINIMUM, OVERHEAD PROTECTION SHALL BE PROVIDED AT ALL ENTRANCES. WALKWAYS WITHIN 10' OF THE WORK SHALL ALSO BE BRIDGED REGARDLESS OF CODE REQUIREMENTS.

ALL EXISTING MEANS OF EGRESS FOR TENANTS OF BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS E.T.C.

- A. ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA AND /OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS TO BE CONTROLLED BY OWNER AND /OR GENERAL CONTRACTOR.
- B. ALL MATERIALS TO BE STORED IN AN ORDERLY FASHION. C. ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURERS CONTAINERS SUCH MATERIALS
- ARE TO BE KEEP AWAY FROM HEAT. D. ALL FLAMMABLE MATERIALS TO BE USED AND STORED IN AN ADEQUATE\
- VENTILATED SPACE. E. ALL ELECTRICAL POWER TO BE SHUT OFF WHERE THERE IS
- EXPOSED CONDUIT. F. ALL ELECTRICAL POWER IN CONSTRUCTION AREA TO BE SHUT OFF AFTER WORKING HOURS.
- G. CONTRACTOR AT ALL TIMES TO MAKE SURE THERE'S NO LEAKAGE OF NATURAL GAS IN THE BUILDING OR ANY FLAMMABLE GAS USED IN CONSTRUCTION.

- A. DEBRIS ,DIRT AND DUST TO KEPT TO A MINIMUM AND BE CONFINED TO IMMEDIATE CONSTRUCTION AREA. B. CONTRACTOR TO ISOLATE CONSTRUCTION AREA FROM OCCUPIED
- BUILDING AREA BY MEANS OF TEMPORARY PARTITIONS OR HEAVY WEIGHT DROP CLOTHS.
- C. DEBRIS, DIRT AND DUST TO BE CLEANED UP AND CLEARED FROM BUILDING PERIODICALLY BUT NOT LESS THAN FREQUENTLY THAN DAILY TO AVOID ANY EXCESSIVE ACCUMULATIONS.

CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS 7 A.M. TO 6:00 P.M., MONDAY THROUGH FRIDAY EXCEPT LEGAL HOLIDAYS. B. CONTRACTOR TO OBTAIN WRITTEN CONSENT OF ALL PARTIES AFFECTED

BY HIS WORKING DURING OTHER THAN NORMAL HOURS, AS DEFINED ABOVE.

- C. CONTRACTOR SHALL OBTAIN AFTER HOUR WORK PERMIT FROM ALL APPLICABLE AGENCIES IF WORKING AFTER HOURS. D. CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING
- WATER OR ELECTRICAL SERVICES TO OTHER TENANTS OF THE BUILDING. CONSTRUCTION WORK WILL BE CONFINED TO AREA OF WORK AND WILL NOT
- CREATE DUST, DIRT OR OTHER SUCH INCONVENIENCES TO OTHER APARTMENT UNITS WITHIN THE BUILDING. F. LOCATION WILL BE DETERMINED BY THE EXTENT OF REPAIRS OR CONSTRUCTION.

SPECIFICATIONS

CONDITIONS:

1. ALL WORK MUST BE PERFORMED IN ACCORDANCE W/ THE TOWN OF NYACK ZONING LAW, THE 2020 BUILDING CODE OF NEW YORK STATE AND ALL OTHER APPLICABLE ORDINANCES, REGULATIONS, AND STANDARDS REQUIRED.

- 2. ALL MANUFACTURED ITEMS SHALL BE INSTALLED OR APPLIED AS DIRECTED BY THE MANUFACTURERS RECOMMENDATIONS.
- 3. CONTRACTOR TO INCLUDE ALL MATERIALS, LABOR, INCIDENTALS AND SERVICES FOR SATISFACTORY COMPLETION OF THE WORK.
- 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES BEFORE STARTING THE WORK.
- 5. CONTRACTOR SHALL PERFORM ALL WORK REQUIRED FOR THE TOTAL COMPLETION OF THE PROJECT, WHETHER OR NOT INDICATED ON THE DRAWINGS. THE INTENTION OF THE DRAWINGS IS FOR A COMPLETE AND PROPER FUNCTIONING OF THE ENTIRE PROJECT.

. CONTRACTOR, AND HIS SUBCONTRACTORS, SHALL MAINTAIN WORKMEN'S COMPENSATION INSURANCE AS WELL AS ADEQUATE

OF THE CONSTRUCTION, INCLUDING FIRE & VANDALISM.

LIABILITY INSURANCE DURING THE ENTIRE LENGTH OF THE JOB. 2. OWNER SHALL PROVIDE ADEQUATE PROPERTY INSURANCE ON VALUE

- **PERMITS & SURVEYS:** 1. CONTRACTOR SHALL FURNISH ALL PERMITS, LICENSES, FEE'S AND APPROVALS NECESSARY TO COMPLETE THE WORK.
- 2. CONTRACTOR SHALL PROVIDE THE OWNER WITH A CERTIFICATE OF OCCUPANCY AND OR COMPLETION UPON COMPLETION OF WORK.

- JOB SITE TO BE KEPT CLEAN AT ALL TIMES, TRASH TO BE REMOVED FROM THE SITE WEEKLY OR STORED IN APPROVED DUMPSTER UNTIL FULL THAN THAN CARTED AWAY FROM THE SITE.
- 2. CARE SHALL BE TAKEN TO PROTECT THE TREES ON THE PROPERTY FROM THE METHODS AND MANNERS OF CONSTRUCTION. TRAFFICKING AND STORAGE OF MATERIALS. RETURN THOSE AREAS DAMAGED BY SUCH TO THEIR ORIGINAL CONDITION.

GENERAL EXCAVATION:

- 1. LOCATE AND MARK ALL UTILITIES, ETC. BEFORE STARTING
- EXCAVATION
- 2. CALL LOCAL GAS COMPANIES BEFORE EXCAVATION 3. EXCAVATION OF BASE LEVELING PAD AND WALL REINFORCED ZONE
- MEETS CONSTRUCTION DRAWINGS AND SPECIFICATIONS. 4. EXCAVATED BACK-CUT HAS BEEN TERRACED TO FOLLOW ENGINEER SPECIFICATIONS OR IN ACCORDANCE TO OSHA REQUIREMENTS

SPECIFICATIONS

- 1. CONTRACTOR TO FOLLOW MANUFACTURER'S SPECIFICATIONS
- 2. MINIMUM BACKFILL SOIL TO BE 32 DEGREES OF FRICTION ANGLE. 3. CAMBRIDGE SIGMA 8 WALL STONE 8"X18"X12"
- 4. DRAIN PIPE MINIMUM 4" DIAMETER 5. THE DRAIN PIPE MUST BE SLOPED IN ORDER FOR GRAVITY TO DIRECT
- THE WATER TO AN OUTLET 6. DRAIN PIPE OUTLETS CAN BE UNDER THE WALL UNITS. THROUGH THE WALL UNITS OR OUT THE END OF THE RETAINING WALL. AN OUTLET MUST BE PLACED AT THE LOWEST POINT OF THE RETAINING WALL AND A MINIMUM OF EVERY 50 FEET. THE DRAIN PIPE MUST BE SLOPED
- SO WATER CAN GRAVITATE OUT OF THE PIPE. 7. 8"X14"X8" CORNER WALL STONE FOR OUTSIDE 90 DEGREES ANGLE
- CORNERS 8. DRAINAGE AGGREGATE WITH 1/2" TO 3/4" ANGULAR GRAVEL WITH A
- MAXIMUM 5% FINES. 9. BACKFILL AND COMPACT IN 6-8" LIFTS, AS EACH COURSES OF BLOCKS IS INSTALLED. DO NOT STACK TWO OR MORE COURSES AND BACKFILL
- IN DEEPER LIFTS. 10.COMPACT THE BACKFILL TO 95% STANDARD PROCTOR DENSITY OR
- BETTER. 11.KEEP HEAVY COMPACTION EQUIPMENT AT LEAST 3FEET AWAY FROM
- THE RETAINING WALL UNITS. 12.USE GEOGRID FOR SOIL REINFORCEMENT SUCH AS RETAINING WALLS, STEEPENED SLOPES, EMBANKMENTS, SUB-GRADE STABILIZATION, EMBANKMENTS OVER SOFT SOILS AND WASTE
- CONTAINMENT APPLICATION 13.EDGES OF THE GEOGRID SHOULD NEVER OVERLAP. 14.SRW CAP ADHESIVE OR EQUIVALENT SPEC ADHESIVE

SAFEGUARDS DURING CONSTRUCTION:

PROJECT SHALL COMPLY WITH CHAPTER 33 SAFEGUARDS DURING CONSTRUCION OF THE NEW YORK STATE 2020 NYS BUILDING CODE

SECTION 3301 GENERAL

3301.1 SCOPE THE PROVISIONS OF THIS CHAPTER SHALL GOVERN SAFETY DURING CONSTRUCTION AND THE PROTECTION OF ADJACENT PUBLIC AND PRIVATE PROPERTIES.

3301.2 STORAGE AND PLACEMENT CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE STORED AND PLACED SO AS NOT TO ENDANGER THE PUBLIC. THE WORKERS OR ADJOINING PROPERTY FOR THE

SECTION 3302 CONSTRUCTION SAFEGUARDS 3302.1 ALTERATIONS, REPAIRS AND ADDITIONS

DURATION OF THE CONSTRUCTION PROJECT.

REQUIRED EXITS, EXISTING STRUCTURAL ELEMENTS, FIRE PROTECTION DEVICES AND SANITARY SAFEGUARDS SHALL BE MAINTAINED AT ALL TIMES DURING ALTERATIONS. REPAIRS OR ADDITIONS TO ANY BUILDING OR STRUCTURE.

EXCEPTIONS:

WHERE SUCH REQUIRED ELEMENTS OR DEVICES ARE BEING ALTERED OR REPAIRED, ADEQUATE SUBSTITUTE PROVISIONS SHALL BE MADE. MAINTENANCE OF SUCH ELEMENTS AND DEVICES IS NOT REQUIRED WHERE THE

EXISTING BUILDING IS NOT OCCUPIED.

3302.2 MANNER OF REMOVAL WASTE MATERIALS SHALL BE REMOVED IN A MANNER THAT PREVENTS INJURY OR DAMAGE TO PERSONS, ADJOINING PROPERTIES AND PUBLIC RIGHTS-OF-WAY.

REQUIREMENTS OF THIS CODE AND THE APPLICABLE PROVISIONS OF CHAPTER 33 OF

3302.3 FIRE SAFETY DURING CONSTRUCTION FIRE SAFETY DURING CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE

THE FIRE CODE OF NEW YORK STATE

SECTION 3309 FIRE EXTINGUISHERS

3309.1 WHERE REQUIRED

LIQUIDS.

STRUCTURES UNDER CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE PROVIDED WITH NOT FEWER THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER IN ACCORDANCE WITH SECTION 906 AND SIZED FOR NOT LESS THAN ORDINARY HAZARD AS FOLLOWS: AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED.

IN EVERY STORAGE AND CONSTRUCTION SHED. ADDITIONAL PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED WHERE SPECIAL HAZARDS EXIST, SUCH AS THE STORAGE AND USE OF FLAMMABLE AND COMBUSTIBLE

SECTION 3310 MEANS OF EGRESS

3310.2 MAINTENANCE OF MEANS OF EGRESS MEANS OF EGRESS AND REQUIRED ACCESSIBLE MEANS OF EGRESS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION, DEMOLITION, REMODELING OR

EXCEPTION: EXISTING MEANS OF EGRESS NEED NOT BE MAINTAINED WHERE APPROVED TEMPORARY MEANS OF EGRESS SYSTEMS AND FACILITIES ARE PROVIDED.

SECTION 3306 PROTECTION OF PEDESTRIANS

ALTERATIONS AND ADDITIONS TO ANY BUILDING.

3306.1 PROTECTION REQUIRED

PEDESTRIANS SHALL BE PROTECTED DURING CONSTRUCTION. REMODELING AND DEMOLITION ACTIVITIES AS REQUIRED BY THIS CHAPTER AND TABLE 3306.1. SIGNS SHALL BE PROVIDED TO DIRECT PEDESTRIAN TRAFFIC.

UTILITY NOTES

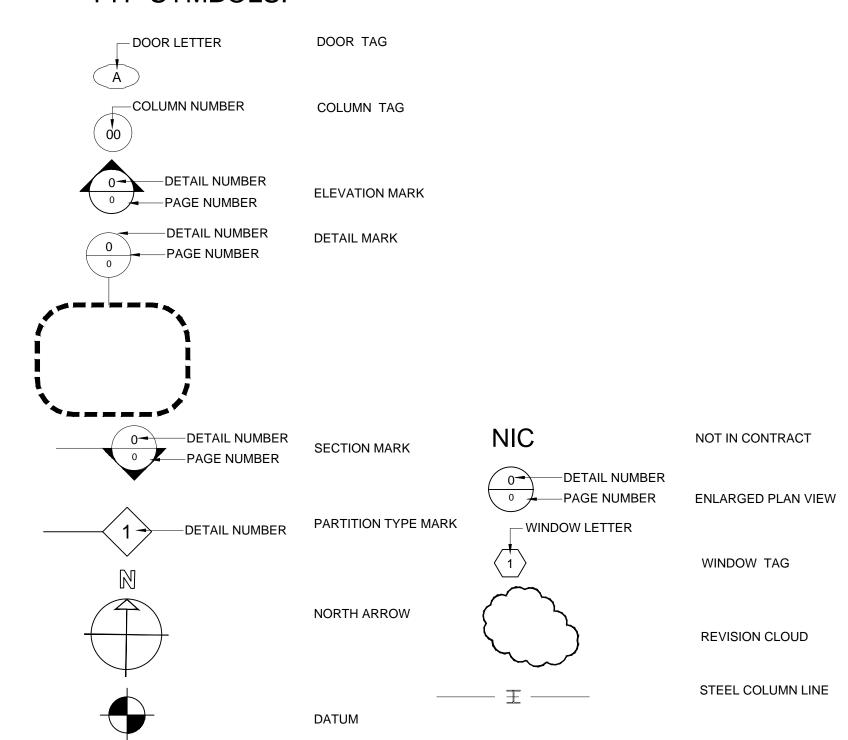
1. EXISTING WATER, ELECTRICAL, GAS, SANITARY DRAIN PIPES, STEAM PIPES, TELEPHONE FIRE SPRINKLER AND COMPUTER LINES SHALL BE PROTECTED

2. ANY CHANGES OR ADDITIONS TO GAS. ELECTRICAL. OR OTHER UTILITIES ARE TO BE COORDINATED BY THE GENERAL CONTRACTOR WITH A REPRESENTATIVE OF THAT UTILITY COMPANY.

CONSTRUCTION INSPECTIONS

FOUNDATION INSPECTION FINAL CONSTRUCTION INSPECTION

TYP SYMBOLS:



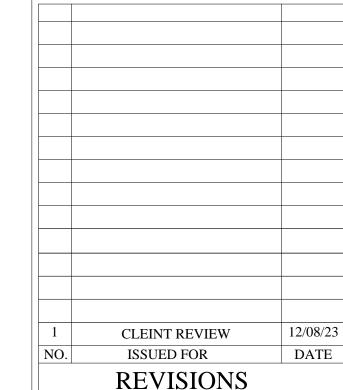
UNIVERSAL ENGINEERING SERVICES, P.C.

> **ENGINEERING GREEN DESIGN** CONSTRUCTION MANAGEMENT

403 Main Street, Suite 871 Armonk, New York 10504 TEL: (212) 586-5192 E-MAIL: MRG@UESPC.COM

UES NOTE:

PLANS ARE NOT TO BE SCALED. CONTRACTOR IS TO MAKE NO ASSUMPTIONS WITH REGARD TO THESE DRAWINGS, ANY ADDITIONAL INFORMATION OR DIMENSIONS REQUIRED TO PROPERLY ESTIMATE OR ERECT THIS PROJECT WILL BE SUPPLIED BY THE ENGINEER UPON REQUEST. CONTRACTOR SHALL VERIFY IN THE FIELD ALL DIMENSIONS AND CONDITIONS INDICATED ON THIS DRAWING AND BE RESPONSIBLE FOR SAME, ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS SHOULD BE REPORTED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THESE DRAWINGS SHALL NOT BE ALTERED WITHOUT THE CONSENT AND KNOWLEDGE OF THE ENGINEER. ALL REPRODUCTION RIGHTS RESERVED. REPRODUCTION WITHOUT PERMISSION IS PROHIBITED.



KEY PLAN:



OWNER:

ALANNA LEVINE 39 TWEED BOULEVARD NYACK, NY 10960

PROJECT LOCATION:

SCOPE OF WORK:

39 TWEED BOULEVARD NYACK, NY 10960

NEW RETAINING WALL

TOTAL AREA: AS NOTED

SHEET TITLE:

DRAWING INDEX:

1. T-1.0 GENERAL NOTES, SPECIFICATIONS

2. SK-1.0 PROPOSED RETAINING WALL DETAIL

3. SK-2.0 PROPOSED RETAINING WALL DETAIL

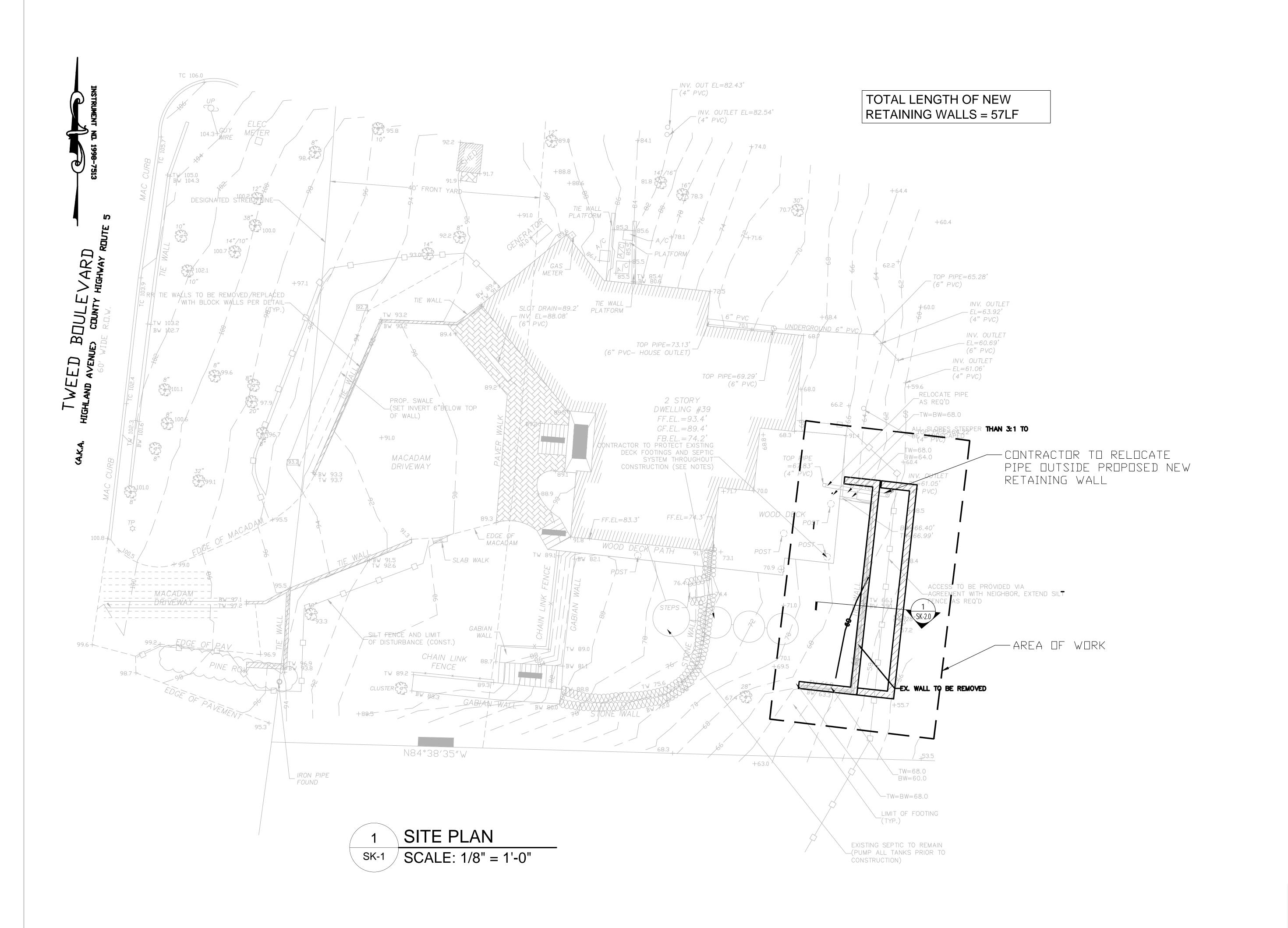
PROJECT #: 22-042022 AS NOTED DATE: 12/08/23

REVIEWED BY: MICHAEL GIANATASIO, P.E

DRAWN BY: JOSEPH PATERNO, LEED AP

SHEET NO.:

SHEET: 1 OF 3

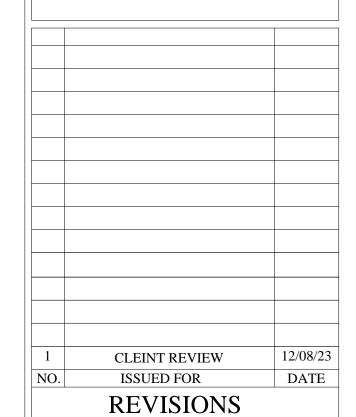


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KEY PLAN:

- SITE

OWNER:

ALANNA LEVINE 39 TWEED BOULEVARD NYACK, NY 10960

SCOPE OF WORK:

NEW RETAINING WALL

PROJECT LOCATION:

39 TWEED BOULEVARD NYACK, NY 10960

TOTAL AREA: AS NOTED

SHEET TITLE:

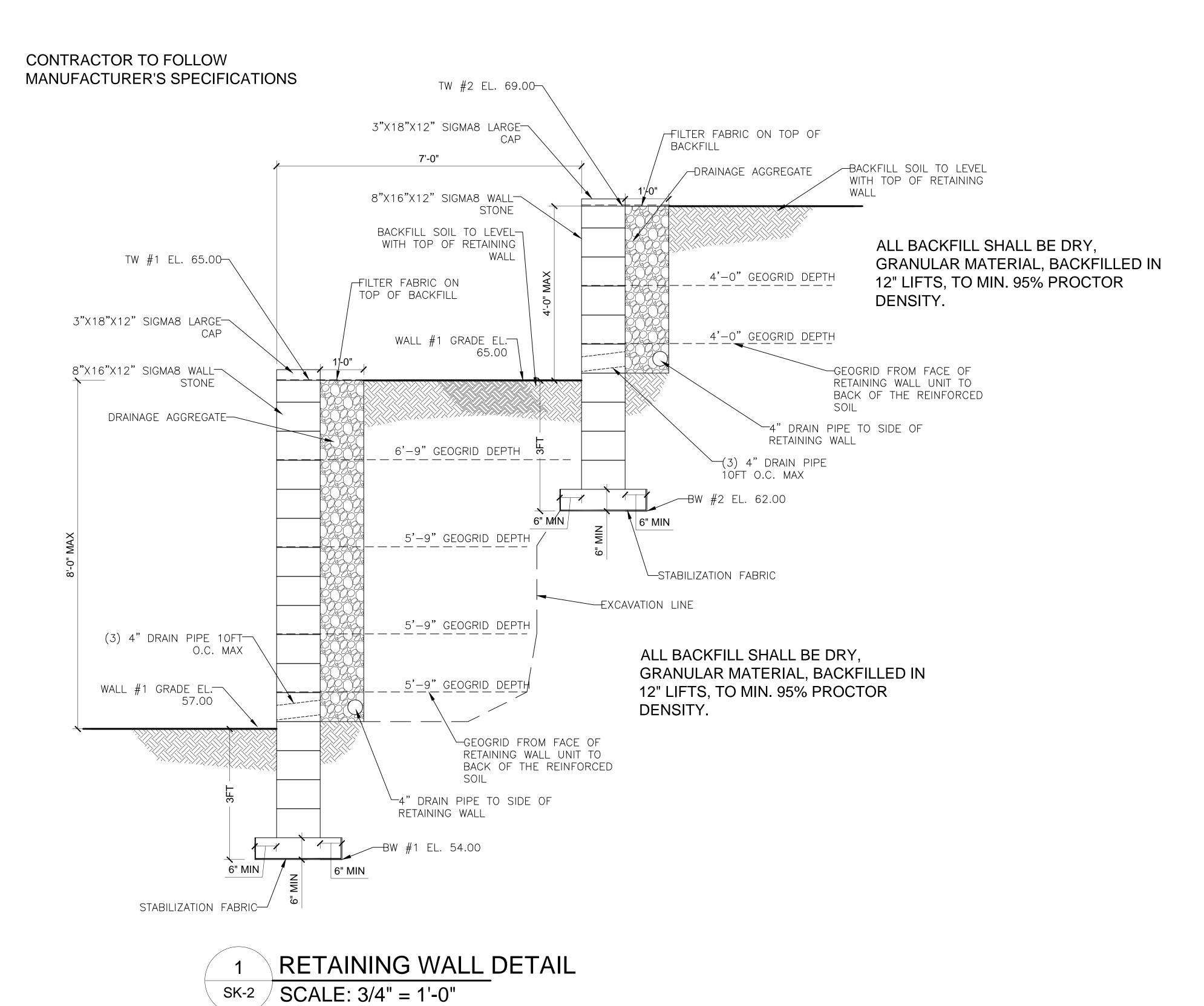
PROPOSED RETAINING WALL DETAIL

AS NOTED 12/08/23 DRAWN BY: JOSEPH PATERNO, LEED AP

PROJECT #: 22-042022

REVIEWED BY: MICHAEL GIANATASIO, P.E

SHEET: 2 OF 3

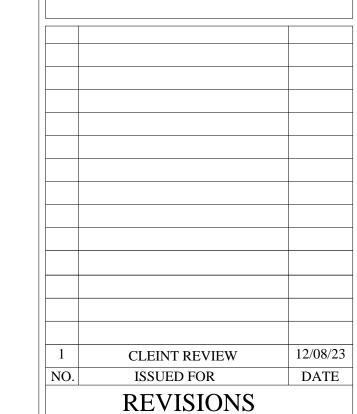


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KEY PLAN:

SITE

OWNER:

ALANNA LEVINE 39 TWEED BOULEVARD NYACK, NY 10960

SCOPE OF WORK:

NEW RETAINING WALL

PROJECT LOCATION:

39 TWEED BOULEVARD NYACK, NY 10960

TOTAL AREA: AS NOTED

SHEET TITLE:

PROPOSED RETAINING WALL DETAIL

PROJECT #: 22-042022

SCALE: AS NOTED

DATE: 12/08/23

DRAWN BY: JOSEPH PATERNO, LEED AP

REVIEWED BY: MICHAEL GIANATASIO, P.E

OF NEW SHEET NO.:

VSK-2.0

SHEET: 3 OF 3